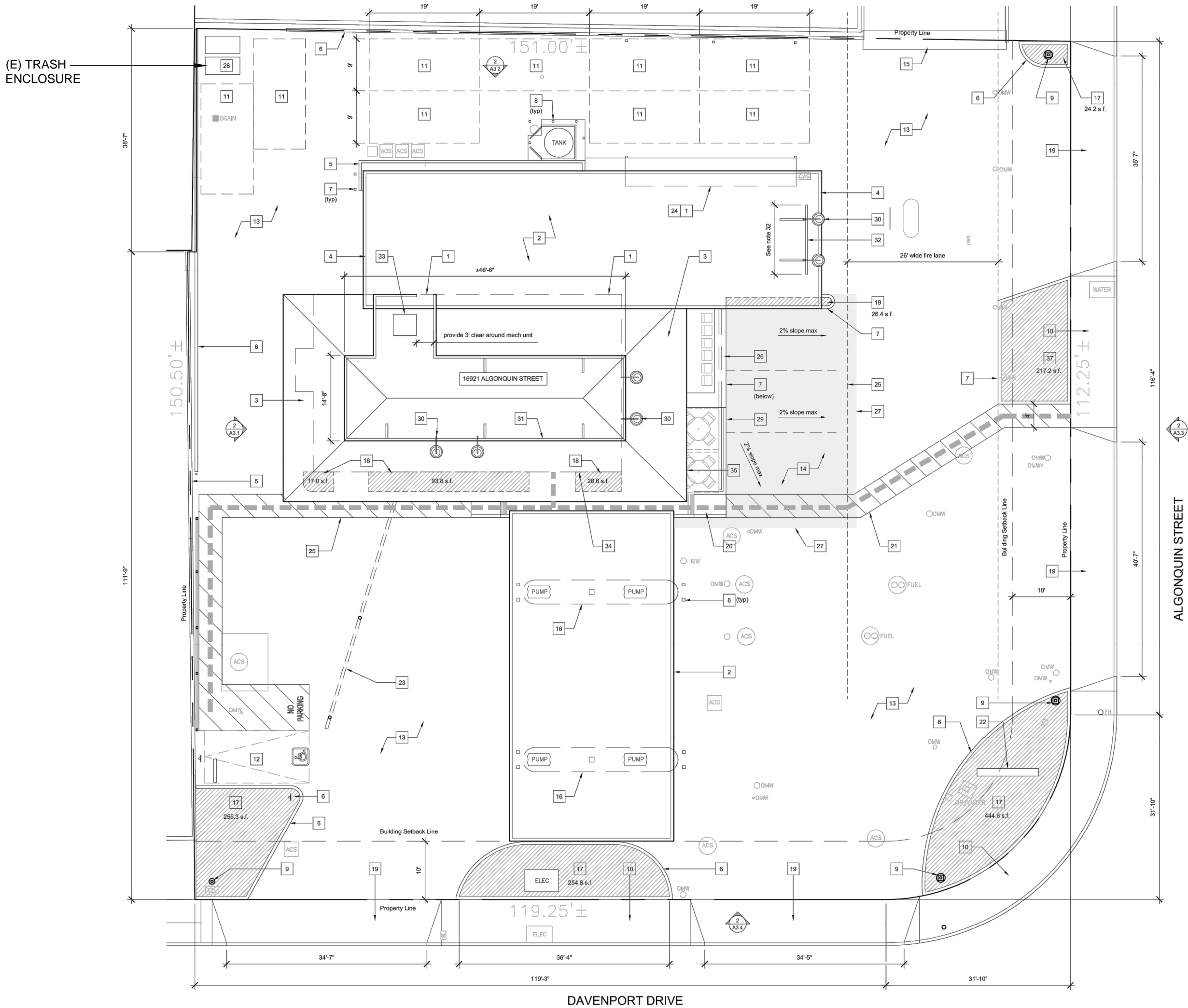


INSTALLATION OF CONVENIENCE STORE EQUIPMENT

FOR:

RUSSELL FISCHER  
CAR WASH

16921 ALGONQUIN STREET  
HUNTINGTON BEACH, CA 92649



EXISTING SITE PLAN (SHOWN FOR REFERENCE ONLY)

EXISTING BUILDING DATA

NUMBER OF STORIES IN EXISTING BUILDING:	ONE
FLOOR AREA OF EXISTING RETAIL BUILDING:	1,631 S.F.
RETAIL	883 S.F.
OFFICE AND STORAGE	429 S.F.
RESTROOMS AND HALLWAY AND MISC.	319 S.F.
TYPE OF CONSTRUCTION:	VB
OCCUPANCY TYPE:	B
AUTOMATIC FIRE SPRINKLER SYSTEM:	NO
OCCUPANT LOAD TABULATION:	
RETAIL	883/60 = 15
OFFICE AND STORAGE	429/200 = 2
TOTAL OCCUPANT LOAD:	17
NUMBER OF RESTROOMS REQUIRED: (CPC 422.2 EXCEPTION 3)	ONE
NUMBER OF RESTROOMS PROVIDED:	THREE

BUILDING CODE

APPLICABLE CODES:  
CONSTRUCTION PLANS AND CALCULATIONS SHALL COMPLY FULLY WITH THE FOLLOWING:  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 BUILDING ENERGY EFFICIENCY STANDARDS  
  
AS ADOPTED BY THE CITY OF HUNTINGTON BEACH INCLUDING ALL AMENDMENTS AND MUNICIPAL CODES

NOT USED

PROJECT DIRECTORY

OWNER:	RUSSELL FISCHER LP 16061 BEACH BOULEVARD HUNTINGTON BEACH, CA 92647 (714) 842-5543
ARCHITECT:	JEFF S. COFFMAN ARCHITECT 2000 E. CHAPMAN AVENUE, SUITE 202 FULLERTON, CA 92831 (714) 738-7045

SCOPE OF WORK

THE PROPOSED WORK OCCURS INSIDE AN EXISTING CARWASH CONVENIENCE STORE. THE CARWASH AND CONVENIENCE STORE ARE CURRENTLY IN OPERATION.

THE FOLLOWING IMPROVEMENTS ARE EXISTING TO REMAIN:

GLASS STOREFRONT AND DOORS  
INTERIOR PARTITIONS  
BACK OF HOUSE OFFICE AND STORAGE  
CEILINGS AND LIGHTING  
ROOFTOP MOUNTED HVAC UNITS AND DISTRIBUTION  
ELECTRIC METER, INTERIOR SUB PANEL AND OUTLETS  
ACCESSIBLE RESTROOMS (3)  
THREE COMPARTMENT SINK  
HAND SINK  
WATER HEATER  
MOP SINK

THE FOLLOWING IMPROVEMENTS ARE PROPOSED:

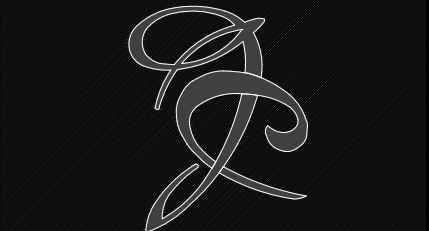
CONVENIENCE STORE EQUIPMENT AND FIXTURES  
SELF SERVE COUNTER  
SERVICE COUNTER AND POS  
CONVENIENCE STORE FINISHES

THERE IS NO CHANGE IN THE DEMISING WALLS, BUILDING FOOTPRINT, BUILDING FLOOR AREA OR BUILDING EXTERIOR.

DRAWING INDEX

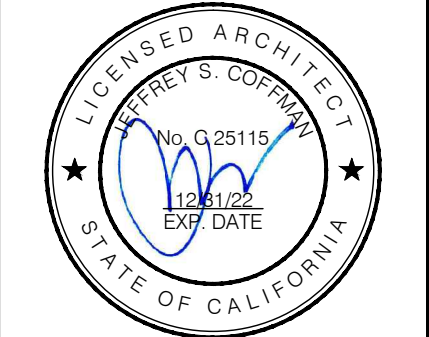
T100	COVER SHEET AND EXISTING SITE PLAN
A100	EQUIPMENT PLAN AND EQUIPMENT SCHEDULE
A200	ROOM FINISH SCHEDULE AND DETAILS

JEFF S. COFFMAN  
ARCHITECT  
architecture  
planning  
research



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fullerton, ca 92831

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714.525.9822 f:



Project:  
  
INSTALLATION OF  
CONVENIENCE STORE  
EQUIPMENT  
  
FOR:  
  
RUSSELL FISCHER  
CAR WASH

16921 ALGONQUIN STREET  
HUNTINGTON BEACH, CA 92649

Revisions:

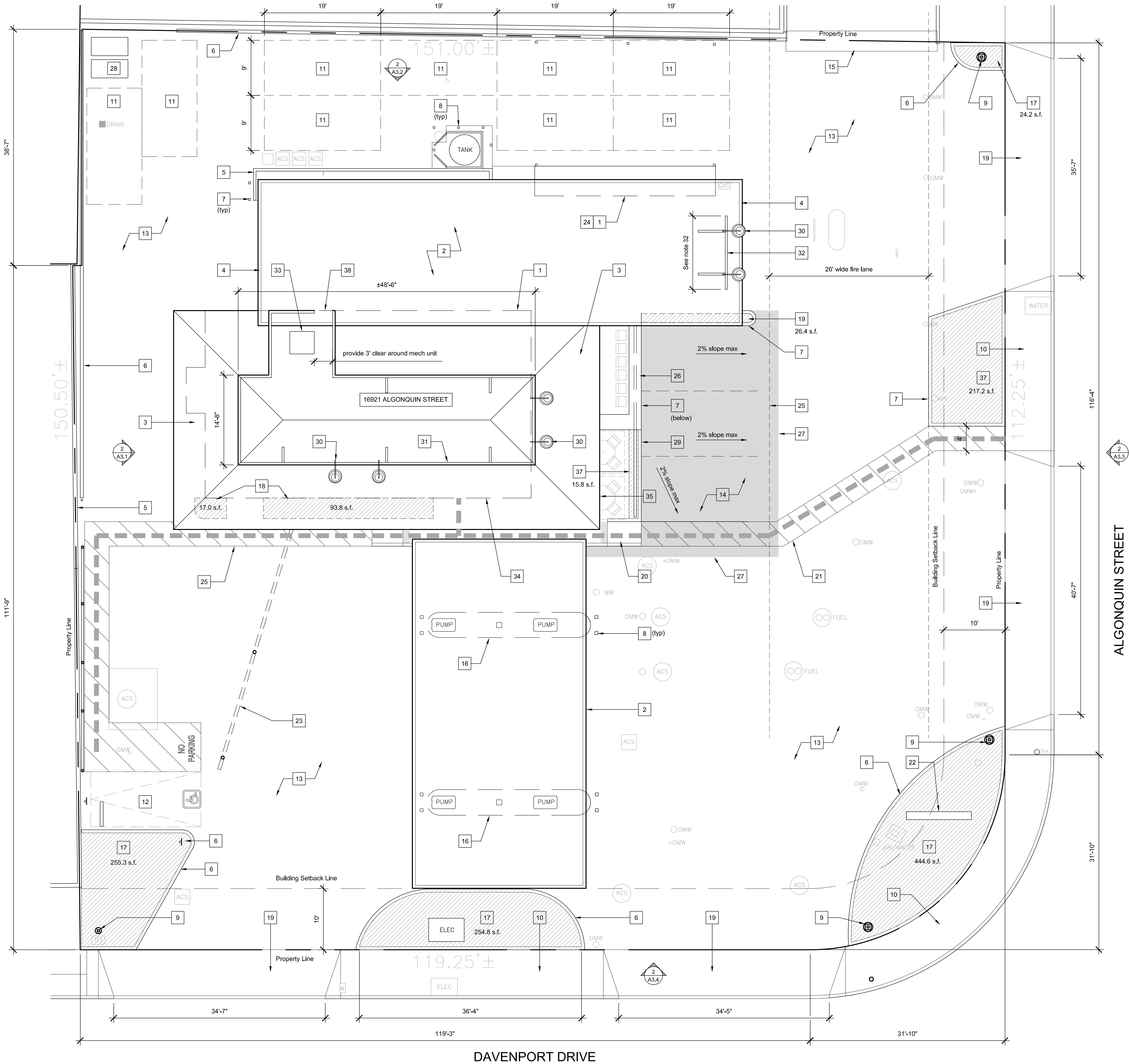
Comments / Issue Dates:  
  
08/17/20 ISSUED FOR PLAN  
CHECK

Drawn By: E.O.  
Checked By: J.C.  
Project No.: 1114-20  
Date: 08/11/20  
Sheet Title:

COVER SHEET  
AND EXISTING  
SITE PLAN

Sheet Number:

T100



1 New Site Plan / Roof Plan  
Scale: 1/8" = 1'-0"

Site Plan Key Notes

1. Outline of (E) building below

2. Prep, prime and repaint (e) metal panel roofing of car wash tunnel. Roof (E) car wash tunnel with Certainteed Flintlastic modified bitumen roof covering system, ICC ES # ESR 1388.

3. Reroof (E) roof structure w/ (N) standing seam metal roof o/ Class "A" roofing, Certainteed Flintlastic modified bitumen roof covering system, ICC ES # ESR 1388

4. Reframe car wash roof eave see structural drawings and Detail 7/A8.1

5. (E) site wall to remain

6. (E) 6" curb to remain

7. (N) 6" curb

8. (E) Bollard to remain

9. (E) light standard to remain

10. (E) concrete sidewalk to remain

11. (E) 19'x9' parking space per city records (Donald Krotee Partnership Drawings) (typ. of 9)

12. (E) 19'x9' van accessible parking space w/ 8' wide aisle

13. Patch and repair (E) asphalt paving per owner

14. (N) asphalt paving

15. (E) speed bump to remain

16. (E) fueling island, contractor to ensure that emergency and warning signage complies with current adopted CFC.

17. (E) landscape planter and irrigation to remain

18. (E) landscape area w/ irrigation (under roof eave) to remain

19. (E) concrete driveway apron to remain

20. (N) 4' wide accessible curb ramp w/ 12" wide grooved border, detectable warning of raised truncated domes, level landings and max 1:12 slope, see Detail 6/A8.1

21. (N) accessible path striping

22. (E) monument signage and fuel price signage to be replaced under separate permit

23. (E) overhead vaccum signage board to remain

24. (E) storage structure to remain

25. (E) accessible path of travel striping to remain

26. (N) outdoor counter, see Detail 1/A8.1

27. Feather edge of (N) paving to meet (E) paving

28. Recycling and trash bin area

29. (N) fence, see Detail 3/A8.1

30. (N) signage lighting, signage and signage area to be approved under separate permit

31. (N) roof parapet structure, see structural drawings and Detail 5/A8.1

32. (N) roof signage structure, see structural, signage & area of structure to be approved under separate permit

33. (N) mechanical equipment per mechanical plan, mechanical equipment not to exceed height of parapet

34. Permanently locate (N) emergency shut off device at remaining section of exterior wall per CFC requirements and ensure device remains functional throughout construction, verify location w/ owner.

35. (n) address location, "16921" in 10" contrasting numerals

36. (e) tow away warning signage

37. (n) landscape planter and irrigation

38. (n) provide access gate in parapet/rooftop mechanical screen as required

GENERAL NOTES:

1. Contractor to provide fire lane markings (red curbs) per current adopted California Fire Code (CFC) and current Huntington Beach Municipal Code (HBMC)

2. Contractor to provide emergency warning signage at fuel dispenser islands per current adopted CFC

3. Contractor to provide fire extinguishers at fuel islands and inside store per current adopted CFC

4. Contractor to locate emergency fuel pump shut off switch per current adopted CFC

5. Contractor shall submit a video of the existing sewer lateral to the City of Huntington Beach Public Works Department to determine if it is of adequate size, is in serviceable condition and conforms to current Public Works standards - otherwise, provide (n) sewer lateral connecting to the sewer main per Public Works Standards and Title 17 of Huntington Beach Municipal Code

6. Contractor shall arrange to have the water inspector evaluate the existing domestic water service to determine if it is of adequate size, is in working condition and conforms to current standards - otherwise, provide (n) domestic water service, meter and backflow protection device per Water Division Standards and size to meet min. requirements set forth by California Plumbing Code (CPC)

accessible path of travel with maximum 5% slope and maximum cross slope of 2%

LANDSCAPE REQUIREMENTS

Total Poperty Area

22,395.4 S.F.

Total landscape required (6%)

1,343.7 S.F.

Total landscape proposed

1,349.1 S.F.

PROJECT ADDRESS

16921 Algonquin Street  
Huntington Beach, CA 92649  
APN: 178-271-04, Tract P0010, Lot 1

PROJECT CONTACTS

Owner:

Jeani Russell  
16061 Beach Blvd.  
Huntington Beach, CA 92647  
(714) 842-4453

Architect:

Anders Lasater  
384 Forest Avenue, Suite 12  
Laguna Beach, CA 92651  
(949) 280-7057

Revisions

1

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Issued

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16921 Algonquin Street  
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Anders Lasater Architects, Inc.

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Laguna Beach, CA 92651  
949 497 1027 studio  
anders@anderslasaterarchitects.com

017-2013

Russell Fischer Car Wash

Phase 2  
Roof Remodel and Site Improvements to Existing  
Commercial Building  
16921 Algonquin Street  
Huntington Beach, CA 92649

017-2013

A1.2

New Site Plan / Roof Plan