



A photograph of a two-story terracotta house with a tiled roof. The house features a single-story garage with white doors and a car parked in front. There are several black trash bins and a ladder in the foreground. The house is surrounded by other buildings and utility poles.



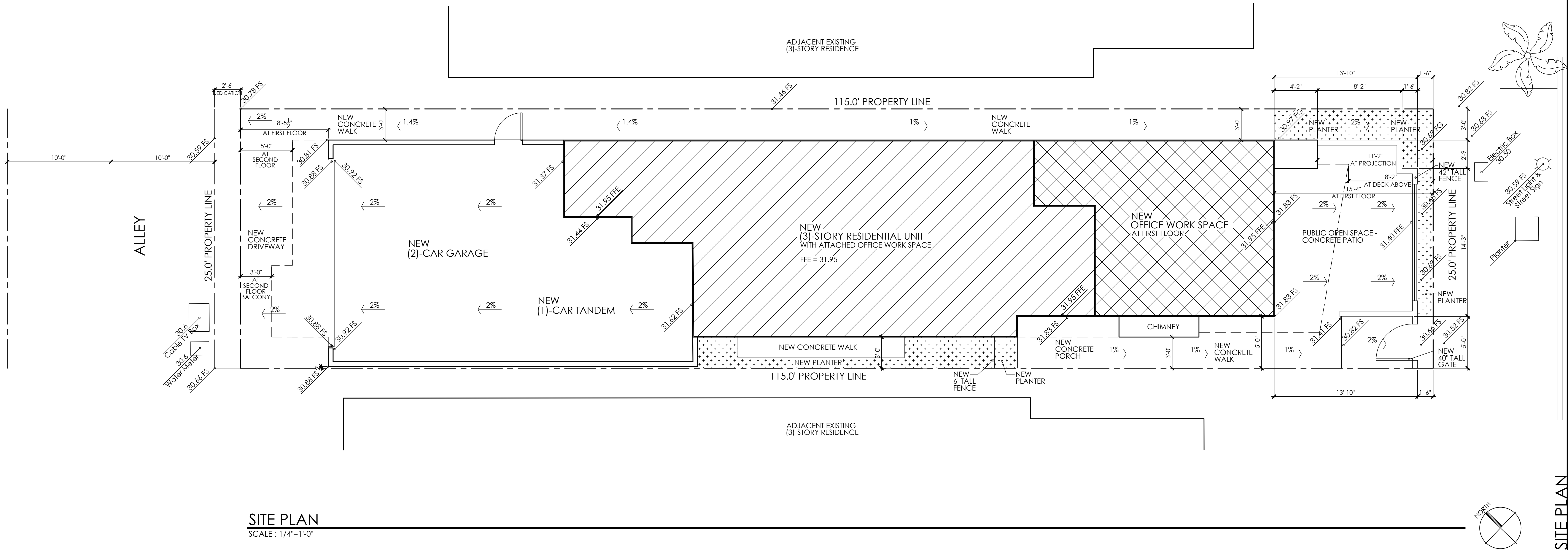
DEVELOPMENT STANDARDS MATRIX

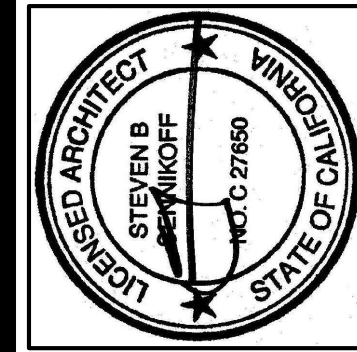
REQUIREMENT	PLANNING STANDARD	PROPOSED
MINIMUM DWELLING UNIT SIZE	500 S.F.	2997.01 S.F.
SINGLE-FAMILY PARKING	(2) ENCLOSED UP TO (3) BEDROOMS, (1) SPACE REQUIRED FOR EACH ADDITIONAL BEDROOM	(3) ENCLOSED SPACES PROVIDED (PROJECT HAS (3)-BEDROOMS, ONLY (2)-SPACES REQUIRED)
MINIMUM PARCEL SIZE	25' STREET FRONTAGE & 2500 S.F. NET AREA	25' STREET FRONTAGE & 2937.5 S.F.
MINIMUM BUILDING HEIGHT	25'	34'-10"
MAXIMUM BUILDING HEIGHT	35' & (3) STORIES	34'-10" & (3) STORIES
UPPER STORY SETBACK	10' AVERAGE FROM FRONT FACADE	15'-1.5" AVERAGE AT TRELLIS STRUCT.
FRONT YARD SETBACK	0' - 5' MAXIMUM	15'-4" AT FIRST FLOOR TO PROVIDE PUBLIC OUTDOOR SPACE
INTERIOR SIDE YARD SETBACK	0'	2' PROVIDED AT GARAGE & 3' PROVIDED AT RES/COMM
REAR YARD SETBACK	3'	5' PROVIDED AT FIRST FLOOR, 3' PROVIDED AT UPPER FLOORS
PUBLIC OPEN SPACE	3% TO 5% = 86.25 SF TO 143.75 SF	7.1% = 203.00 SF
MAXIMUM FENCE HEIGHT IN FRONT YARD SETBACK	42"	42"

PROJECT DATA

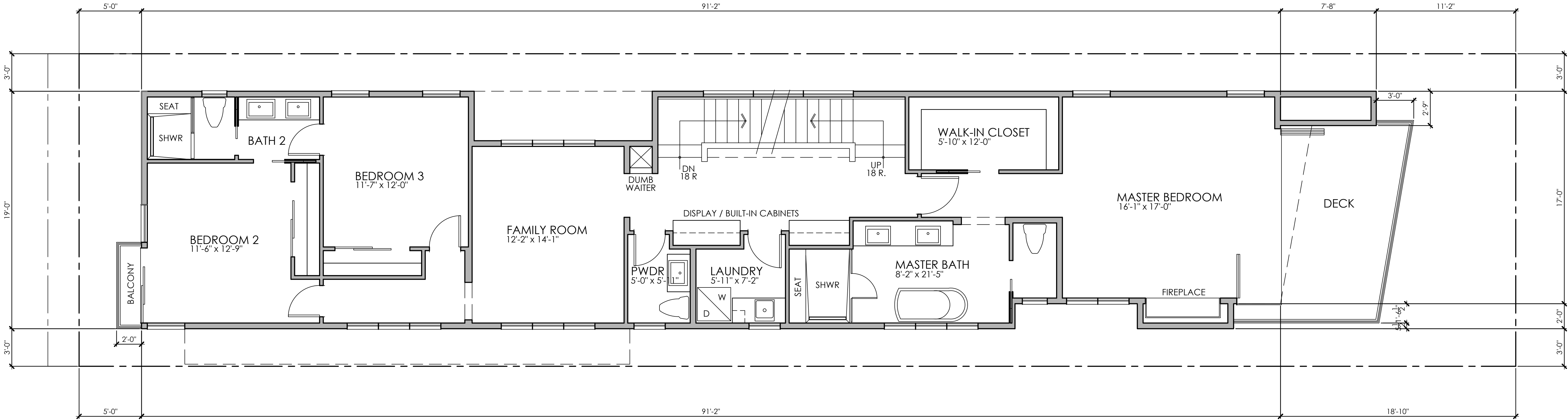
OWNERS:	BRE PONTICELLO AND ROBERT MAWHINNEY
ARCHITECT:	STEVEN SENNIKOFF SENNIKOFF ARCHITECTS 5500 EAST 2ND STREET, SUITE 2 LONG BEACH, CALIFORNIA 90803
PROJECT ADDRESS:	115 6th STREET HUNTINGTON BEACH, CA 92648
LEGAL DISPOSITION:	LOT 15 OF BLOCK 106 OF HUNTINGTON BEACH IN MISC. MAPS BOOK 3, PAGE 36
ZONING DISTRICT:	DOWNTOWN SPECIFIC PLAN NO. 5
LOT SIZE:	25.00' X 115.00' AFTER DEDICATION
LOT AREA:	2875.00 S.F.
MAXIMUM BUILDING HEIGHT:	= 35' & 3 STORIES
MINIMUM SETBACKS:	FRONT = 0' TO 5' MAXIMUM INTERIOR SIDE = 0' REAR = 3'
FLOOR AREA RATIO:	NA
LOT COVERAGE:	NA
PROJECT DESCRIPTION:	DEMOLISH EXISTING ONE STORY, SINGLE-FAMILY HOME AND CONSTRUCT NEW, THREE-STORY LIVE/WORK RESIDENCE.

SQUARE FOOTAGES:		
FIRST FLOOR LIVABLE	=	780.21
SECOND FLOOR LIVABLE	=	1551.45
THIRD FLOOR LIVABLE	=	320.77
TOTAL LIVABLE	=	2652.43
OFFICE WORK SPACE	=	344.58
TOTAL LIVE/WORK	=	2997.01
GARAGE	=	676.21
SECOND FLOOR DECK	=	152.97
THIRD FLOOR FRONT DECK	=	478.29
THIRD FLOOR REAR DECK	=	623.10
TOTAL DECK	=	1101.39
PUBLIC OPEN SPACE - FIRST FLOOR PATIO	=	203.00

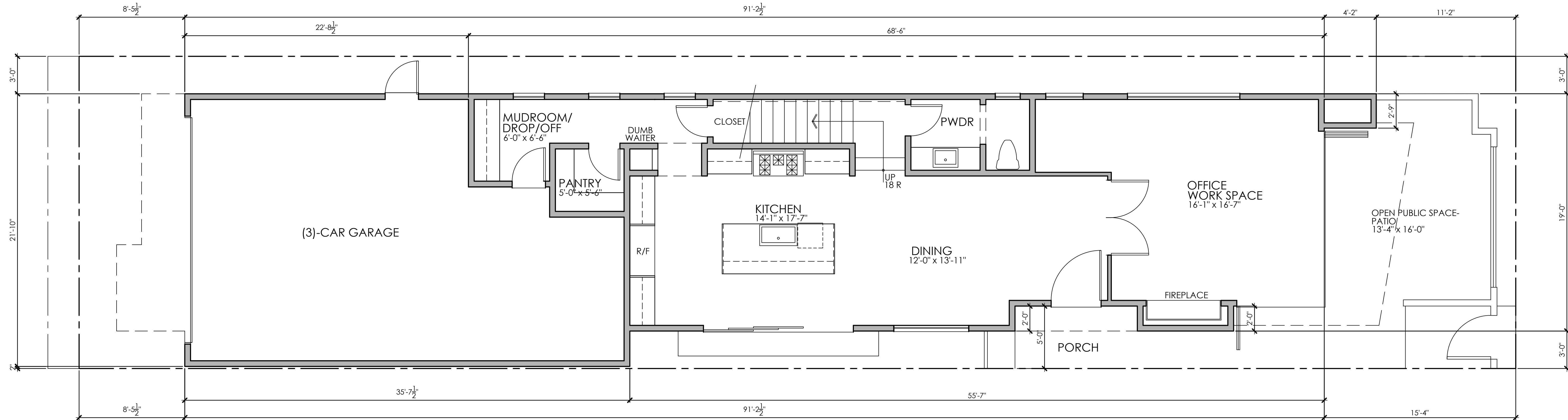




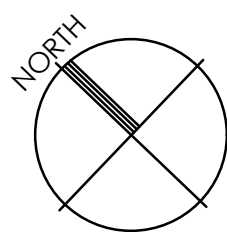
SET ISSUE DATE	PLAN CHECK NUMBER	SET REVISIONS
31 MAY 2021		
PROJECT NUMBER	PURPOSE	
2003	DESIGN	



SECOND FLOOR PLAN
SCALE : 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"



FIRST FLOOR PLAN / SECOND FLOOR PLAN

SHEET NUMBER SET ISSUE DATE PLAN CHECK NUMBER SET REVISIONS

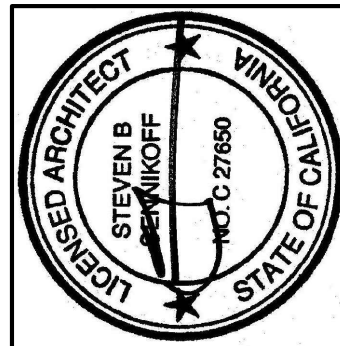
31 MAY 2021

PROJECT NUMBER

2003

PURPOSE

DESIGN



NEW RESIDENTIAL UNIT WITH
ATTACHED OFFICE WORK SPACE

PONTICELLO / BRANDON

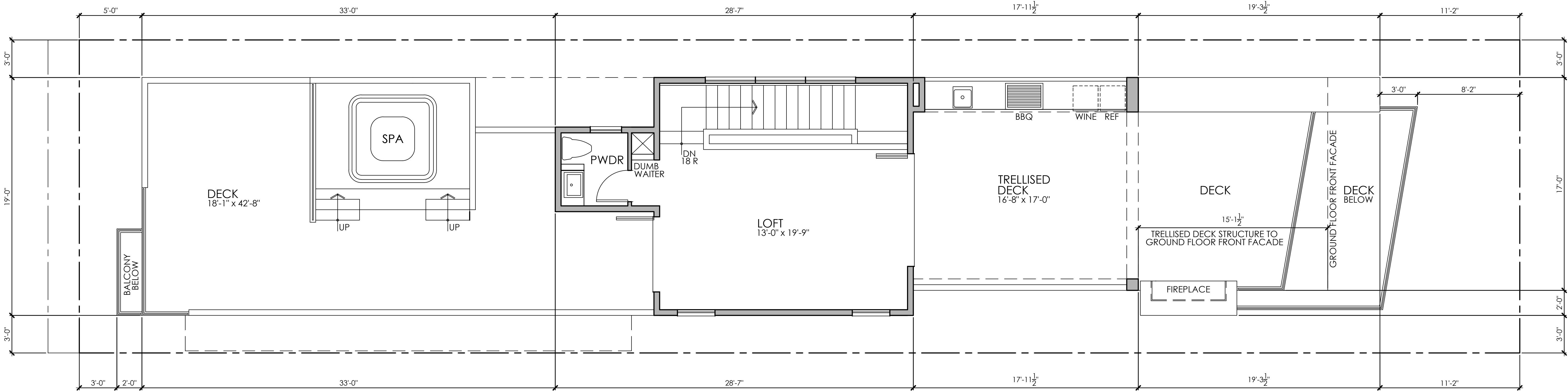
115 6TH STREET

HUNTINGTON BEACH, CALIFORNIA 92648

562.344.5438

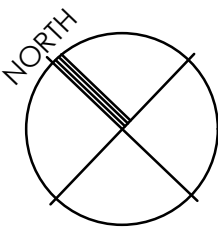
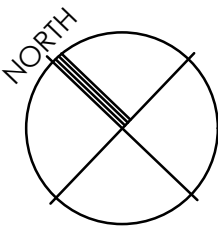
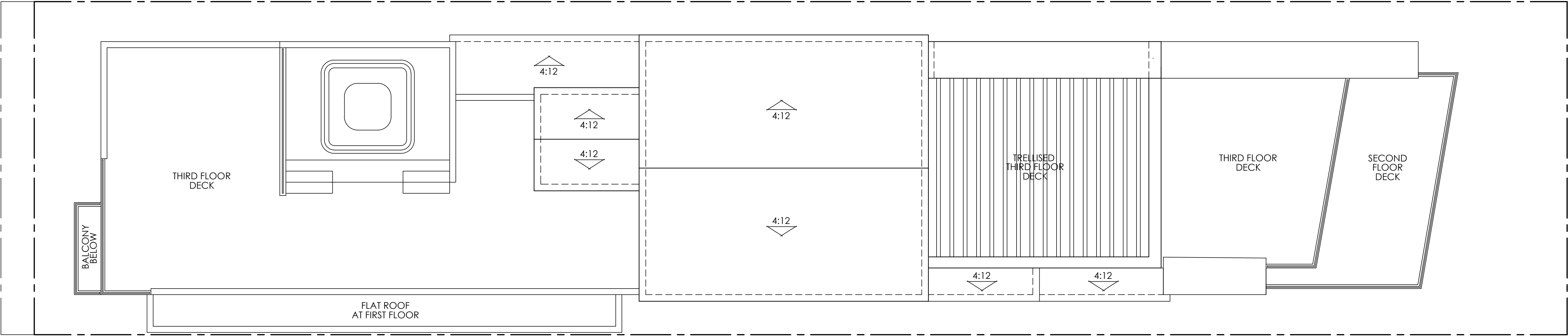
5500 East 2nd Street, Suite 2
Long Beach, California 90803

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ARCHITECTS



ROOF PLAN

SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN / ROOF PLAN

SHEET NUMBER SET ISSUE DATE PLAN CHECK NUMBER SET REVISIONS

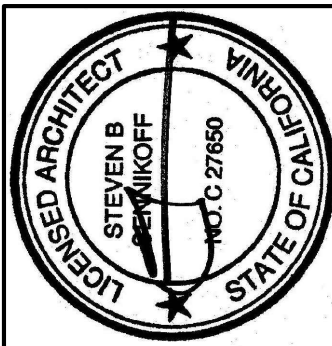
31 MAY 2021

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2003

PURPOSE

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PONTICELLO / BRANDON

115 6TH STREET

HUNTINGTON BEACH, CALIFORNIA 92648

562.344.5438

5500 East 2nd Street, Suite 2
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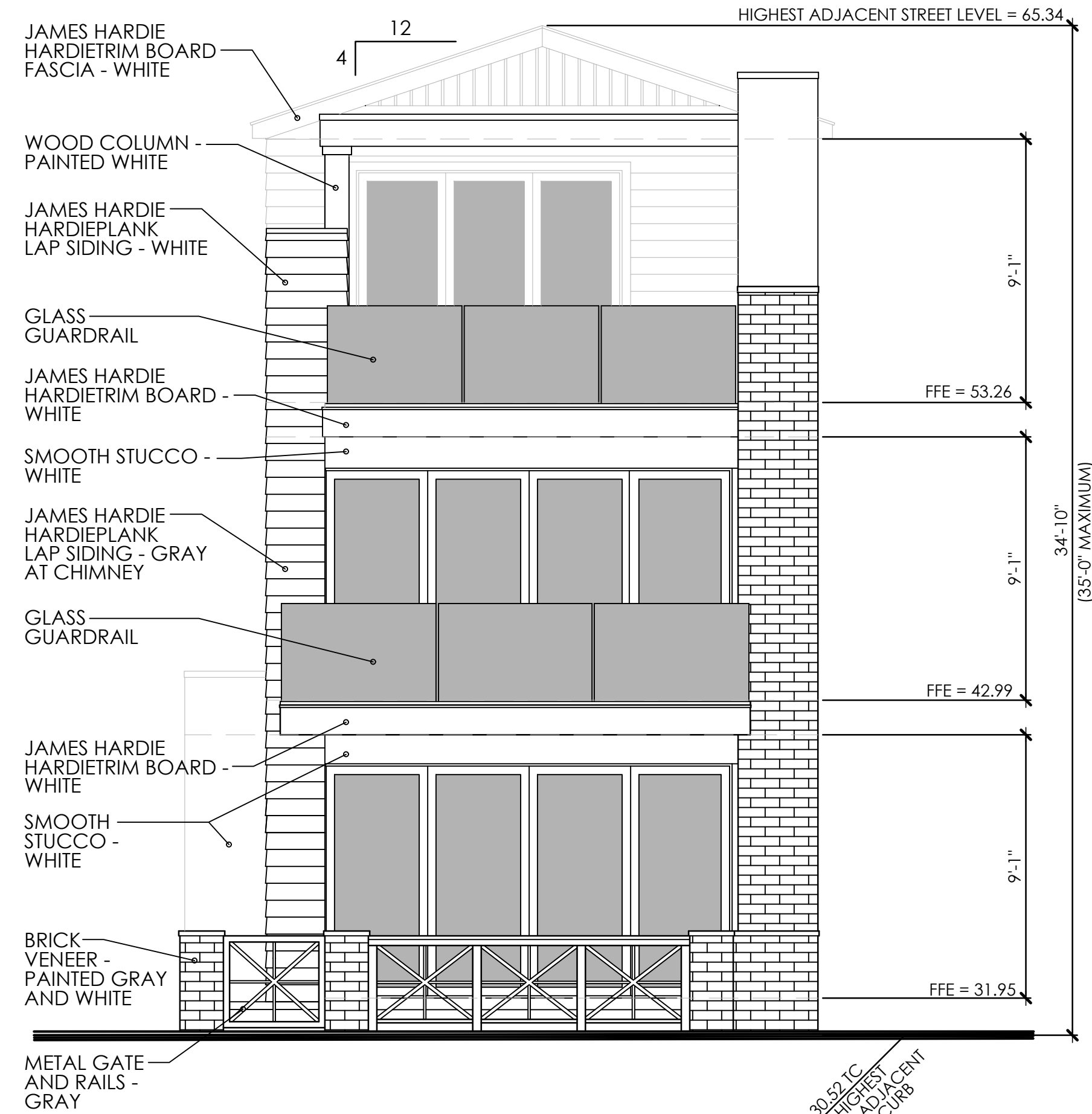
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A4



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

MATERIALS AND COLORS

ROOFING:	STANDING SEAM METAL ROOF - DARK GRAY
SIDING:	JAMES HARDIE HARDIEPLANK LAP SIDING - WHITE
SIDING AT CHIMNEY:	JAMES HARDIE HARDIEPLANK LAP SIDING - GRAY
TRIM:	JAMES HARDIE HARDIETRIM BOARD - WHITE
STUCCO:	SMOOTH FINISH - WHITE
BRICK VENEER:	PAINTED - GRAY AND WHITE
GUARDRAILS:	GLASS - CLEAR
GATE AND RAILS:	METAL - GRAY

EXTERIOR ELEVATIONS

SHEET NUMBER

A5

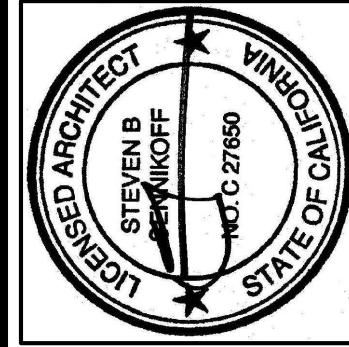
SET ISSUE DATE

31 MAY 2021

PLAN CHECK NUMBER

-

SET REVISIONS



EXP: 31-JAN-2023

NEW RESIDENTIAL UNIT WITH
ATTACHED OFFICE WORK SPACE

PONTICELLO / BRANDON

115 6TH STREET

HUNTINGTON BEACH, CALIFORNIA 92648

562.344.5438

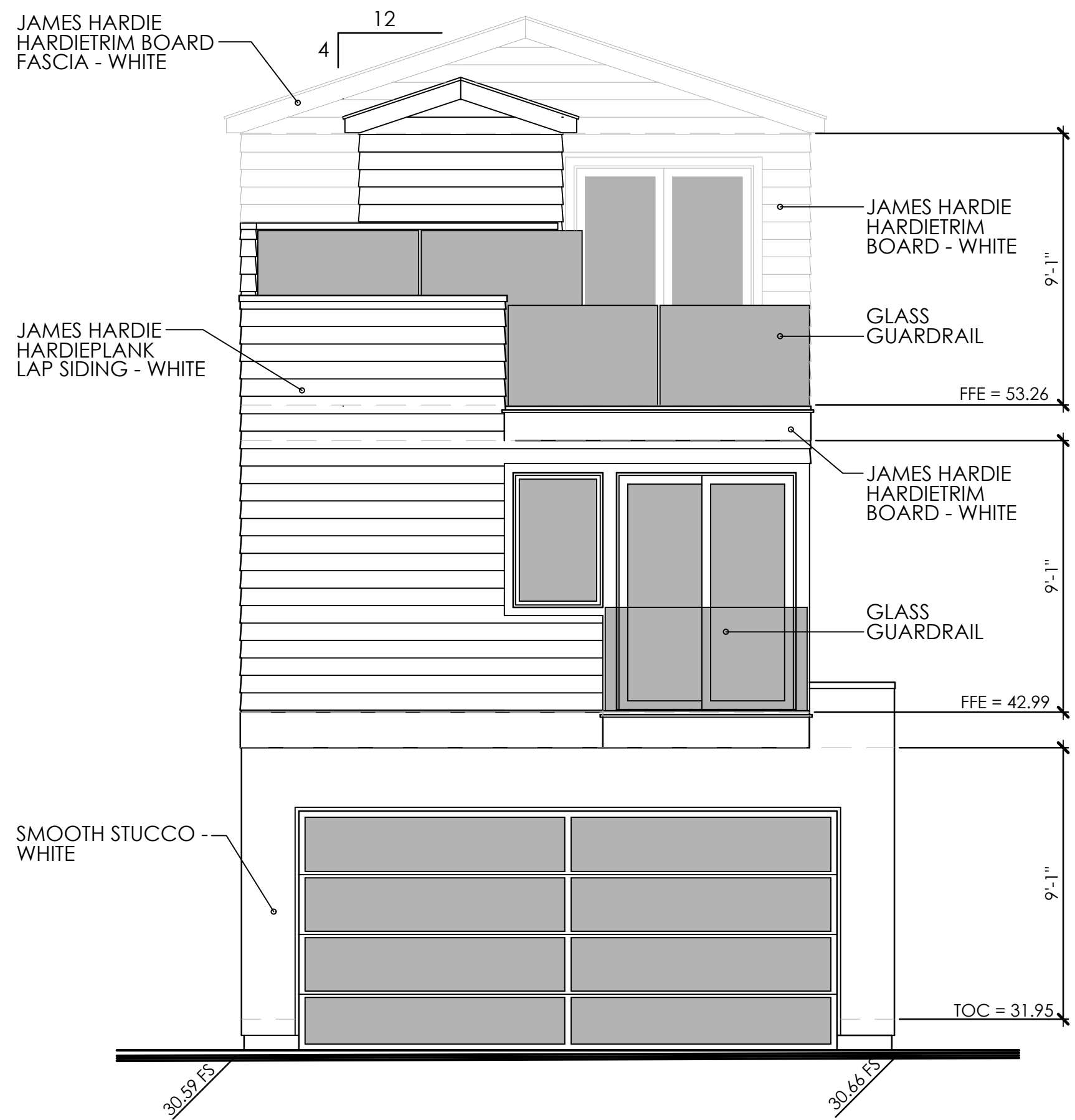
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NORTH ELEVATION

SCALE : 1/4"=1'-0"



WEST ELEVATION

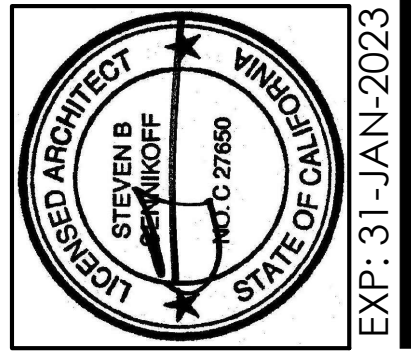
SCALE : 1/4"=1'-0"

MATERIALS AND COLORS

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EXTERIOR ELEVATIONS

SHEET NUMBER	SET ISSUE DATE	PLAN CHECK NUMBER	SET REVISIONS
A6	31 MAY 2021	-	
	PROJECT NUMBER	PURPOSE	
	2003	DESIGN	



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