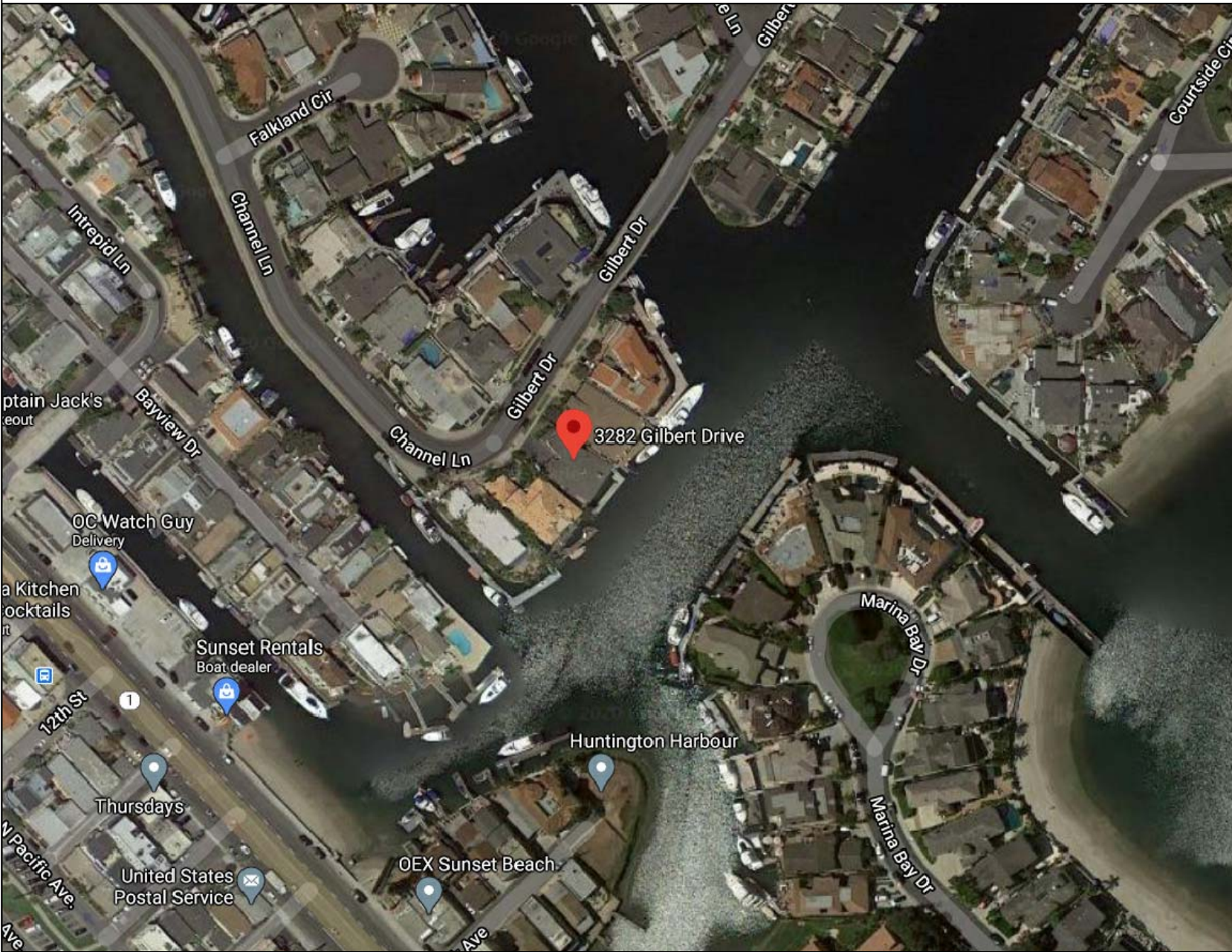


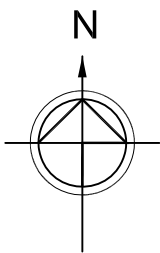
# RESIDENCE REMODEL OF THE FIRST FLOOR AND REBUILD THE SECOND FLOOR ENLARGE THE EXISTING DECK

3282 GILBERT DR., HUNTINGTON BEACH, CA 92649

## VICINITY MAP



## PROJECT LOCATION



## PROJECT SUMMARY

### A

Owner: Sui Cu Din  
Job Address: 3282 Gilbert Dr., Huntington Beach, CA 92649  
Tel: 626-346-3224  
APN: 178-421-33  
Legal Des.: TRACT 4677 LOT 10

Job Description: 1. Remodel the 1st floor.  
A. Enlarge and remodel the existing living room.  
B. Enlarge and remodel the existing bedroom 2.  
C. Remodel the kitchen.  
D. Relocate and build a new stairway.  
E. Remodel the existing garage.  
F. Add a sauna room.  
2. Enlarge the existing deck ( From 684 SF TO 1017 SF).  
A. Add a jacuzzi.  
3. Demolish and rebuild the 2nd floor.  
A. 3 Bedrooms and 3 bathrooms for the new 2nd floor.  
B. Add a new balcony (344 SF).

### B

#### Building Summary

Existing: 1st Floor 2,376 SF Garage: 497 SF Patio: 443 SF (To be Demolished)  
2nd Floor 794 SF Total Building Area: 3,170 SF

New: 1st Floor 2,376 + 68 SF ( Conversion From Existing Garage to Living Space ) + 107 SF= 2,551 SF New Garage: 429 SF  
2nd Floor 794 SF + 1,896 SF ( Addition ) = 2,690 SF Total New Building Area: 5,241 SF  
2nd Floor Balcony: 209 SF (NO CANTILEVER)

Zoning: R -1

Occupancy Group: R3/U

Construction: V-B

Fire Sprinkler: No

NUMBER OF PARKING REQUIRED FOR  
5 BED RM IS 2 CAR SPACE

Number of Story: 2 - Story

Lot Size: 6,039 SF

Lot Coverage: (2,551 SF + 429 SF ) / 6,039 SF = 49.3 %

### C

Governing Code:

The Project Shall Comply With Any And All Requirements  
Of The Legally Constituted Authorities

Having Jurisdiction Including The Following:

2019 CALIFORNIA RESIDENTIAL CODE (CRC)

2019 CALIFORNIA BUILDING CODE (CBC)

2019 CALIFORNIA ELECTRICAL CODE (CEC)

2019 CALIFORNIA MECHANICAL CODE (CMC)

2019 CALIFORNIA PLUMBING CODE (CPC)

2019 T-24 ENERGY STANDARDS ( CA ENERGY CODE )

2019 CALIFORNIA GREEN BUILDING CODE ( CGBC ), H.B. MUNICIPAL CODE 17.05, AND HBZSO 230.84

## SHEET INDEX

### ARCHITECTURAL

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- T-2 CAL-GREEN MANDATORY MEASURES
- T-3 CAL-GREEN MANDATORY MEASURES
- T-4 DOCUMENTS
- A-1 VICINITY MAP
- A-2 EXISTING SITE PLAN
- A-3 PROPOSED SITE PLAN
- A-4 EXISTING 1ST FLOOR PLAN
- A-5 PROPOSED 1ST FLOOR PLAN
- A-6 EXISTING 2ND FLOOR PLAN
- A-7 PROPOSED 2ND FLOOR PLAN
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- A-14 DOOR SCHEDULE
- A-15 WINDOW SCHEDULE

### MECHANICAL

### ENERGY

### STRUCTURAL

#### ENERGY STANDARDS NOTES:

A) The person in charge of the construction or installation , who is eligible under Division 3 of the Business and Professions Code to accept responsibility for the construction or installation of regulated manufactured devices shall post, or make available with the building permit(s) issued for the building, the Certificate of Installation documentation for manufactured devices regulated by the Appliance Efficiency Regulations or Part 6. Such Certificate of Installation documentation shall be made available to the enforcement agency for all applicable inspections . These certificates shall:

- i) Identify features , materials, components , manufactured devices , and system diagnostic results required to verify compliance with the Appliance Efficiency Regulations and Part 6.
- ii) State the number of the building permit and r which the construction or installation was performed. Sections of the certificate(s) , for which submittal to a HERS provider data registry is required, shall display the unique registration number assigned by the HERS data registry.
- iii) Include a declaration statement indicating that the constructed or installed features , materials, components , or manufactured devices conform to all applicable codes and regulations , and to the requirements for such devices given in the plans and specifications approved by the local enforcement agency.

iv) Be signed by the documentation author to certify the documentation is accurate and complete .  
v) Be signed by the individual eligible under Division 3 of the Business and Professions Code to accept responsibility for construction, or installation in the applicable classification for the scope of work specified on the Certificate of Installation document(s).

B) The builder shall provide the building owner or the person(s) responsible for operation and maintenance of the feature, material, component or mechanical device installed (in case of multi-tenant or centrally operated buildings) with the following at the time of occupancy:

- i) Compliance information. The appropriate completed and signed Certificate(s) of Compliance , Certificate(s) of Installation, and if applicable Certificate(s) of Verification documentation submitted.
- ii) Operating information. The appropriate Certificate(s) of Compliance and a list of the features, materials, components, and mechanical devices installed in the building and instructions on how to operate them correctly and efficiently .
- iii) Maintenance information. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying the operation and maintenance manual.
- iv) Ventilation Information. A description of the quantity of outdoor air that the ventilation system is designed to provide to the building conditioned space, and instructions for proper operation and maintenance.

C) The Enforcement agency shall not issue a Certificate of Occupancy until all required Certificates of Verification are posted and made available to the building department for all applicable inspections, and that all Certificates of Verification conform to the specifications of Section 10-103(a)5.

D) Setback thermostats are required for all central heating and cooling systems. A non-setback thermostat may be used when a heating system is non-central.

Structural design and details fully conform to all appropriate requirements of this code, the California Residential Code. Should a portion or all of the structural design conform to the requirements of the California Building Code, as allowed in the CRC, the statement shall clearly identify which portions of the structural design conform to the CBC or that the full structural design is in conformance with the structural requirements of the California Building Code. (R301.1.3 CRC)

Building shall have address numbers placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and be a minimum of 4" high with a minimum stroke of 12'. (R319.1 CRC)

Note: a) Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than one extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to six months. When a permit has been expired for a period in excess of one year, the reactivation fee shall be approximately 100% of the original permit fee. (R105.5)

b) Concrete slab and under-floor inspections shall be made after in-slab or under-floor reinforcing steel and building service equipment, conduits, piping or other ancillary building trade products or equipment are installed, but before any concrete is placed or floor sheathing is installed, including the subfloor. (R109.1.1.1)

c) Rough inspection of plumbing, mechanical, gas and electrical systems shall be made prior to covering or concealment, before fixtures or appliances are set or installed, and prior to framing inspection. (R109.1.1)

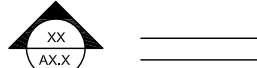
e) Water piping materials within a building shall be in accordance with Sec. 604.1 of the California Plumbing Code. Pex, CPVC and other plastic water piping systems shall be installed in accordance with the requirements of Sec. 604 of the CPC, Installation Standards of Appendix I of the CPC and manufacturers recommended installation standards. CPVC water piping requires a Certification of Compliance as specified in Sec 604.1.1 of the CPC prior to permit issuance.

## CONTACT LIST

PROPERTY OWNER: Sui Cu Din  
ADDRESS: 3282 GILBERT DR., HUNTINGTON BEACH, CA 92649  
TEL #: 626-346-3224  
EMAIL : SWALLOW\_BIAN@HOTMAIL.COM

DESIGNER: TOPWAY ARCHI DESIGN CONSTRUCTION INC.  
ADDRESS : 18702 COLIMA RD SUITE 101, ROWLAND HEIGHTS, CA 91748  
TEL : 626-400-0736  
EMAIL : TOPWAYARCHI@GMAIL.COM

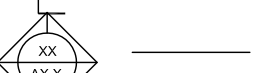
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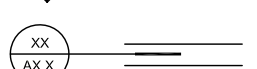
DETAIL IDENTIFICATION NUMBER SHEET NUMBER



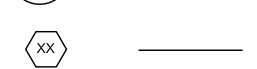
SECTION REFERENCE SHEET NUMBER



INTERIOR ELEVATION REFERENCE SHEET NUMBER



DETAIL REFERENCE NUMBER SHEET NUMBER



WINDOW REFERENCE



LAUNDRY FIXTURE / APPLIANCE REFERENCE



BATHROOM FIXTURE & ACCESSORIES REFERENCE



GENERAL NOTE REFERENCE



KITCHEN FIXTURE / APPLIANCE REFERENCE



DOOR REFERENCE

## ABBREVIATIONS

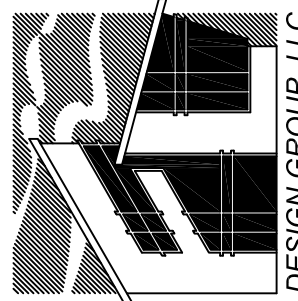
AC. T. ACOUSTIC TILE  
AFF ABOVE FINISH FLOOR  
ALT ALTERNATE  
ALUM ALUMINUM  
ANCH ANCHOR  
APPROX APPROXIMATELY  
ARCH ARCHITECT/ARCHITECTURAL  
BR.CS BRICK COURSE  
BLDG BUILDING  
BLK BLOCK  
B.M. BENCH MARK  
BM BEAM  
B.N. BULL NOSE  
BNT BENT  
BMT BOTTOM  
C.B. CATCH BASIN  
CEM CEMENT  
CER.T. CERAMIC TILE  
C.J. CONTROL JOINT  
CLR. CLEAR  
CLG CEILING  
CMU CONCRETE MASONRY UNIT  
COL COLUMN  
COMP COMPOSITION  
CONC. CONCRETE  
CONSTR CONSTRUCTION  
CONT. CONTINUOUS  
CONTR. CONTRACTOR  
CTR CENTER  
DET. DETAIL  
D.F. DRINKING FOUNTAIN  
DIA. DIAMETER  
DIM DIMENSION  
D.O. DOOR OPENING  
DS DOWNSPOUT

DWG DRAWING  
EIFS EXT. INSULATION & FINISH SYSTEM  
EL ELEVATION (SEA LEVEL)  
ELEC. ELECTRICAL  
ELEV. ELEVATION  
EXP EXPANSION  
E.J. EXPANSION JOINT  
EXT. EXTERIOR  
F.D. FLOOR DRAIN  
F.E. FIRE EXTINGUISHER  
FIN. FINISH  
FLR FLOOR  
FDN FOUNDATION  
FOM FACE OF MASONRY  
FPHB FROST PROOF HOSE BIBB  
F.S. FULL SIZE OR FLOOR SINK  
FTG FOOTING  
FURR CERAMIC TILE  
FVC FIRE VALVE CABINET  
GA. GAUGE  
GALV. GALVANIZED  
GEN. GENERAL  
GRFC GLASS FIBER REINFORCED CONCRETE  
GRFG GLASS FIBER REINFORCED GYPSUM  
GL. GLASS/GLAZING  
G.S. GRAVEL STOP  
GYP.BD. GYPSUM BOARD  
HDWE HARDWARE  
HB HOSE BIBB  
H.M. HOLLOW METAL  
HYD. HYDRANT  
I.D. INSIDE DIAMETER  
INSUL INSULATION  
JT. JOINT  
LAV LAVATORY

L.G. LONG  
LLH LONG LEG HORIZONTAL  
LLV LONG LEG VERTICAL  
L.P. LOW POINT / LIGHT PANEL  
LT. LIGHT  
MAR. MARBLE  
MAS. MASONRY  
MAX. MAXIMUM  
MECH. MECHANICAL  
METAL METAL  
MFR. MANUFACTURER  
MH. MANHOLE  
MIN. MINIMUM  
MISC. MISCELLANEOUS  
M.O. MASONRY OPENING  
METTHRES. METAL THRESHOLD  
NIC. NOT IN CONTRACT  
NO. NUMBER  
O/A. OVERALL  
O/C. ON CENTER  
O.D. OUTSIDE DIAMETER  
OH. OVERHEAD  
O/O. OUT TO OUT  
OPNG. OPENING  
PC. PIECE  
PL. PLATE  
PLAS. PLASTER  
PLBG. PLUMBING NUMBER  
PLYWD. PLYWOOD  
POL. POLISHED  
PROJ. PROJECT  
PTD. PAINTED  
R. RADIUS  
R.D. ROOF DRAIN  
REINF. REINFORCEMENT / REINFORCED

REQD. REQUIRED  
RM. ROOM  
R.O. ROUGH OPENING  
S. SINK  
SHT. SHEET  
S.M. SHEET METAL  
SQ. SQUARE  
SPM. SINGLE PLY MEMBRANE  
S.S. SLOP / SERVICE SINK  
S.STL. STAINLESS STEEL  
STD. STANDARD  
STRUCT. STRUCTURAL  
SUSP. SUSPENDED  
T/ TOP OF  
T.D. TRENCH DRAIN  
TERR. TERRAZZO  
TYP. TYPICAL  
VCT. VINYL COMPOSITION TILE  
W.C. WATER CLOSET  
WD. WOOD  
WT. WEIGHT  
WWF. WELDED WIRE FABRIC

FL DESIGN GROUP  
Residential & Commercial Design  
14211 Rialto st. Westminster, CA. 92683  
Tel. 714-414-5636



Room Addition & Remodel  
Owner : Kyle Tran  
3282 Gilbert Dr, Huntington Beach, CA 92649

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Frankle

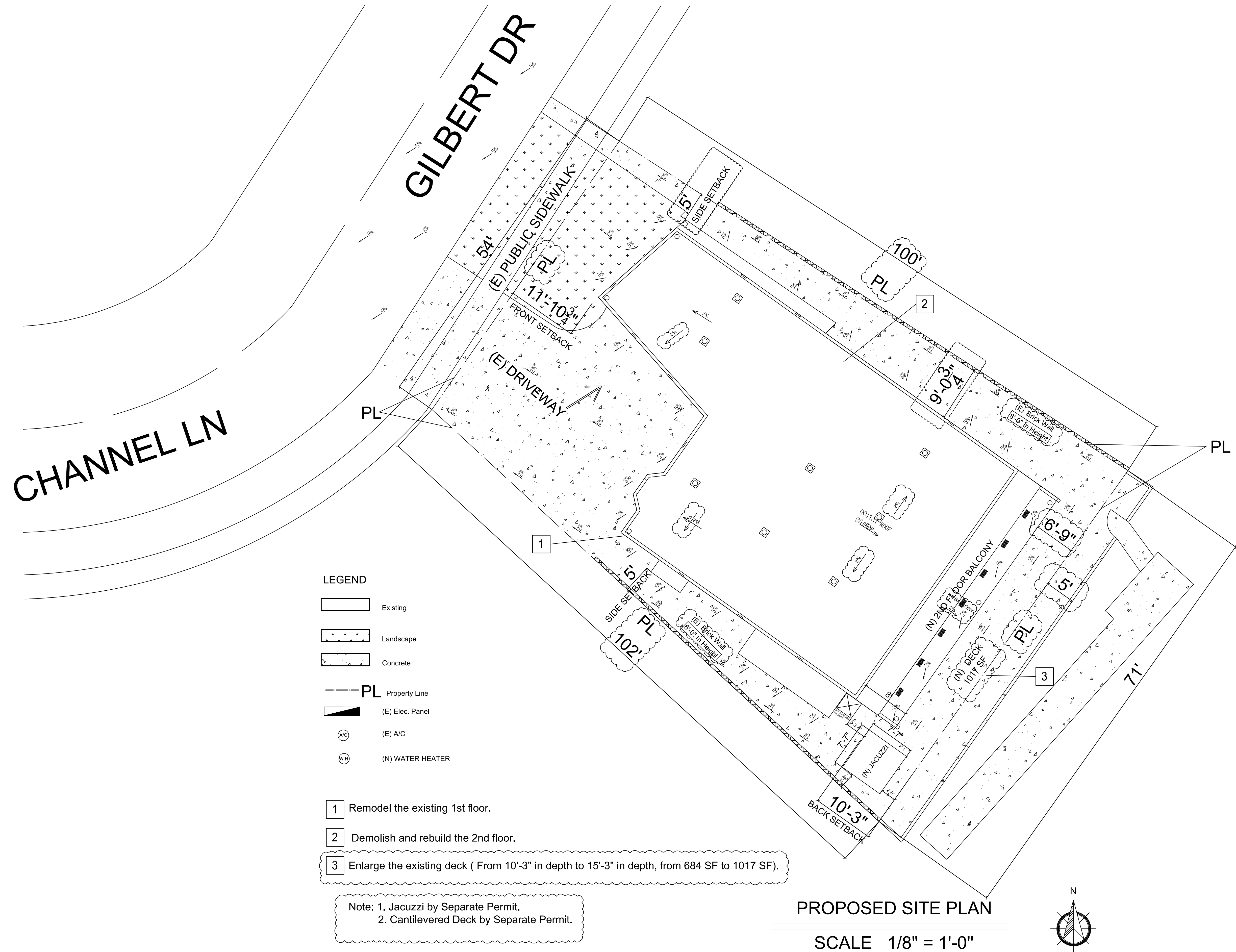
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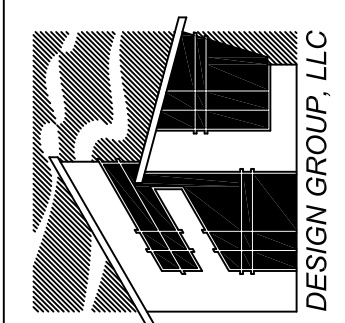
TITLE SHEET

T-1  
of






**FL DESIGN GROUP**  
Residential & Commercial Design  
14211 Rialto St., Westminster, CA 92683  
Tel: 714-414-5636



DESIGN GROUP, LLC

**Room Addition & Remodel**  
Owner : Kyle Tran  
3282 Gilbert Dr, Huntington Beach, CA 92649

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JOB NO. : 69-10  
NO. DESCRIPTION / DATE

PROPOSED SITE PLAN

**A 3**  
of

LEGEND

- EXISTING WALL TO REMAIN  
WALL TO BE REMOVED  
NEW WALL TO BE CONSTRUCT

(E) ELECTRICAL PANEL

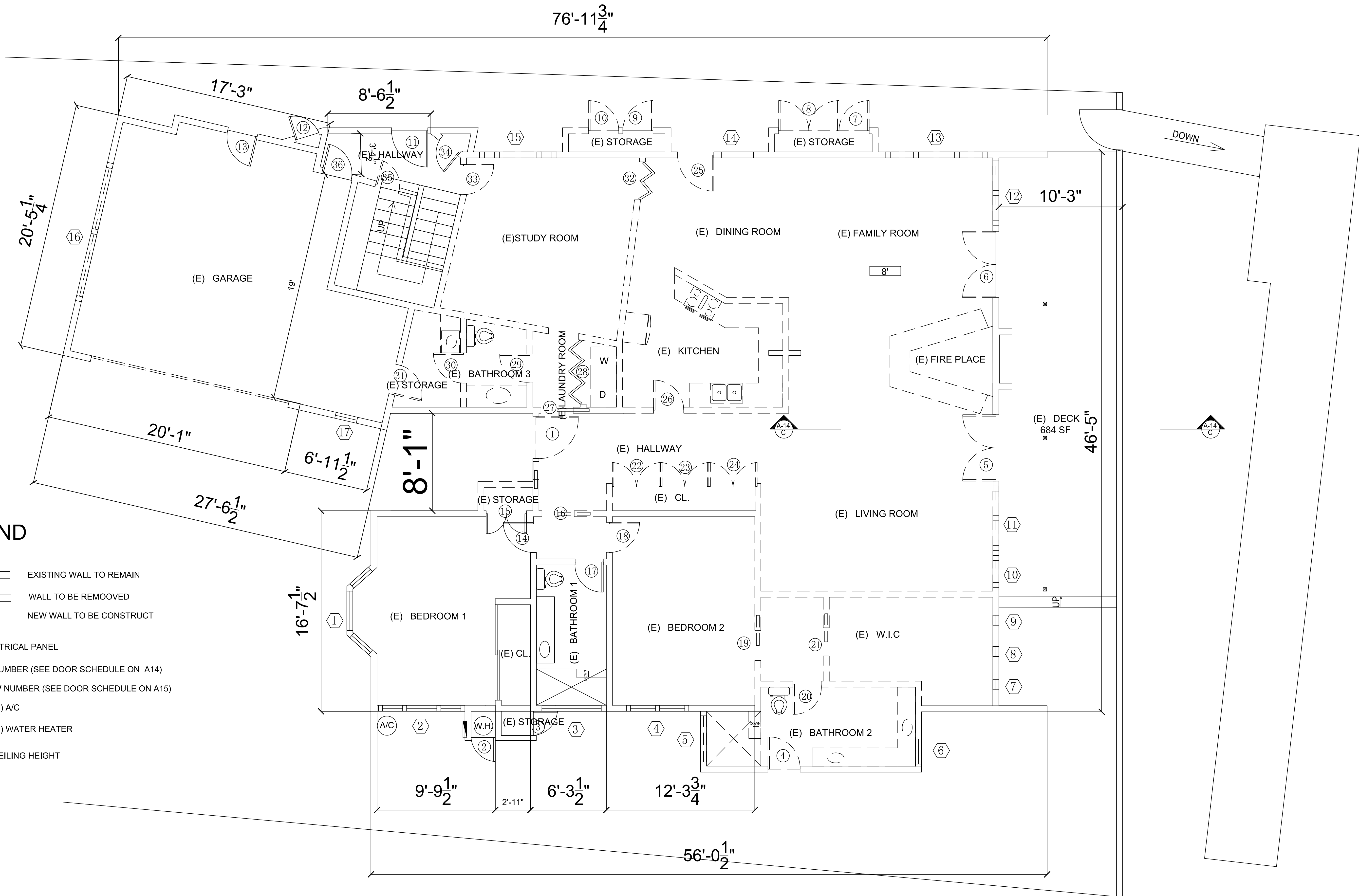
DOOR NUMBER (SEE DOOR SCHEDULE ON A14)

WINDOW NUMBER (SEE DOOR SCHEDULE ON A15)

(E) A/C

(E) WATER HEATER

CEILING HEIGHT

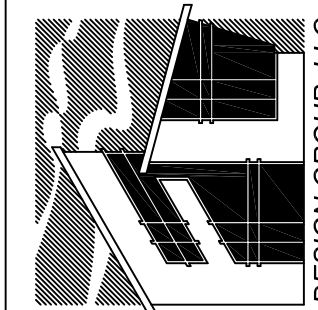


Existing 1st Floor Plan

SCALE 1/4" = 1'-0"



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Tel: 714-414-5636



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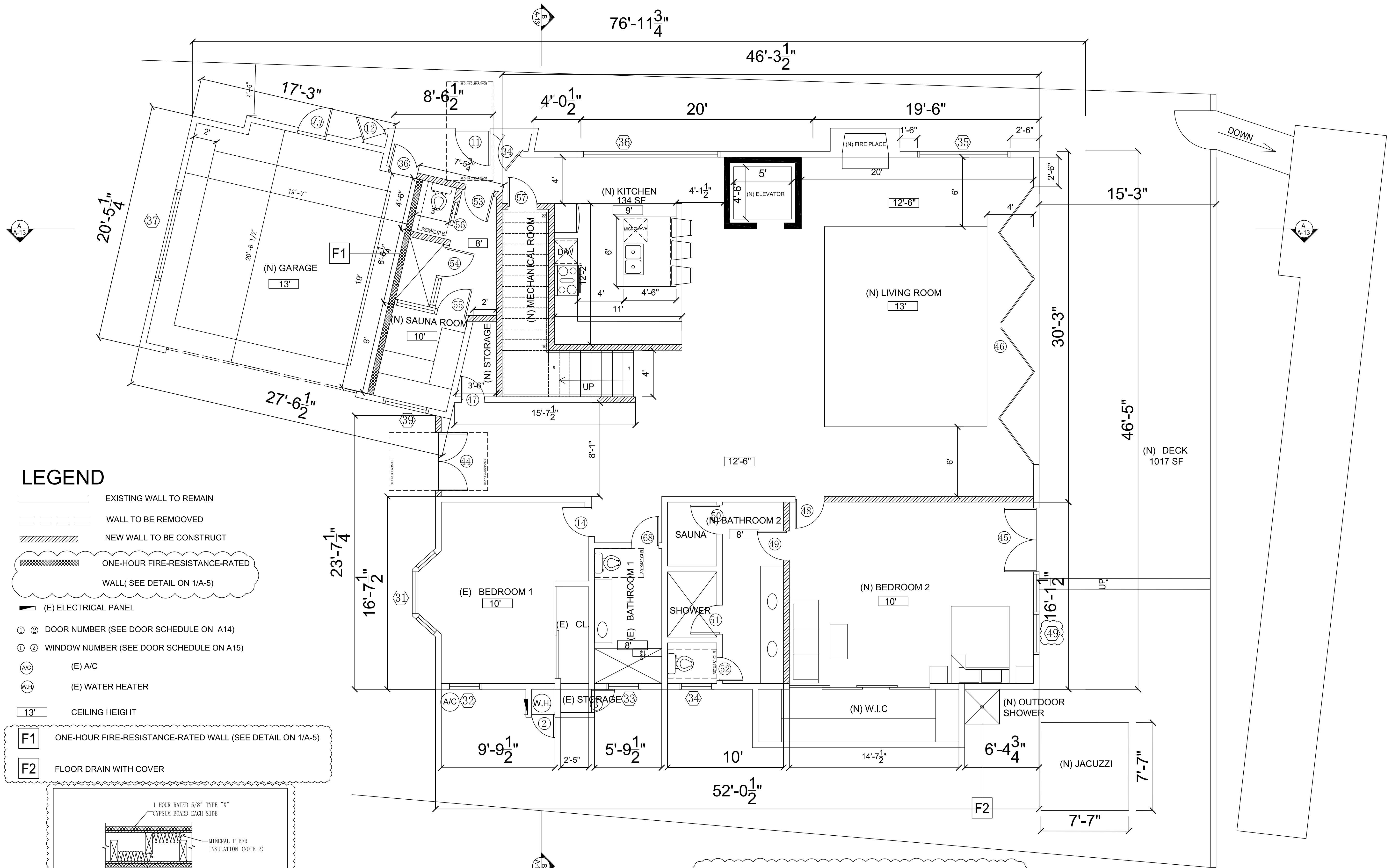
Frankle

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NO. DESCRIPTION / DATE

EXIST. 1ST FLR PLN

A 4  
of



Proposed 1st Floor Plan

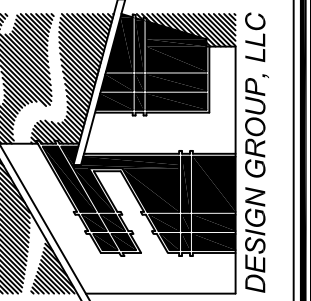
SCALE 1/4" = 1'-0"

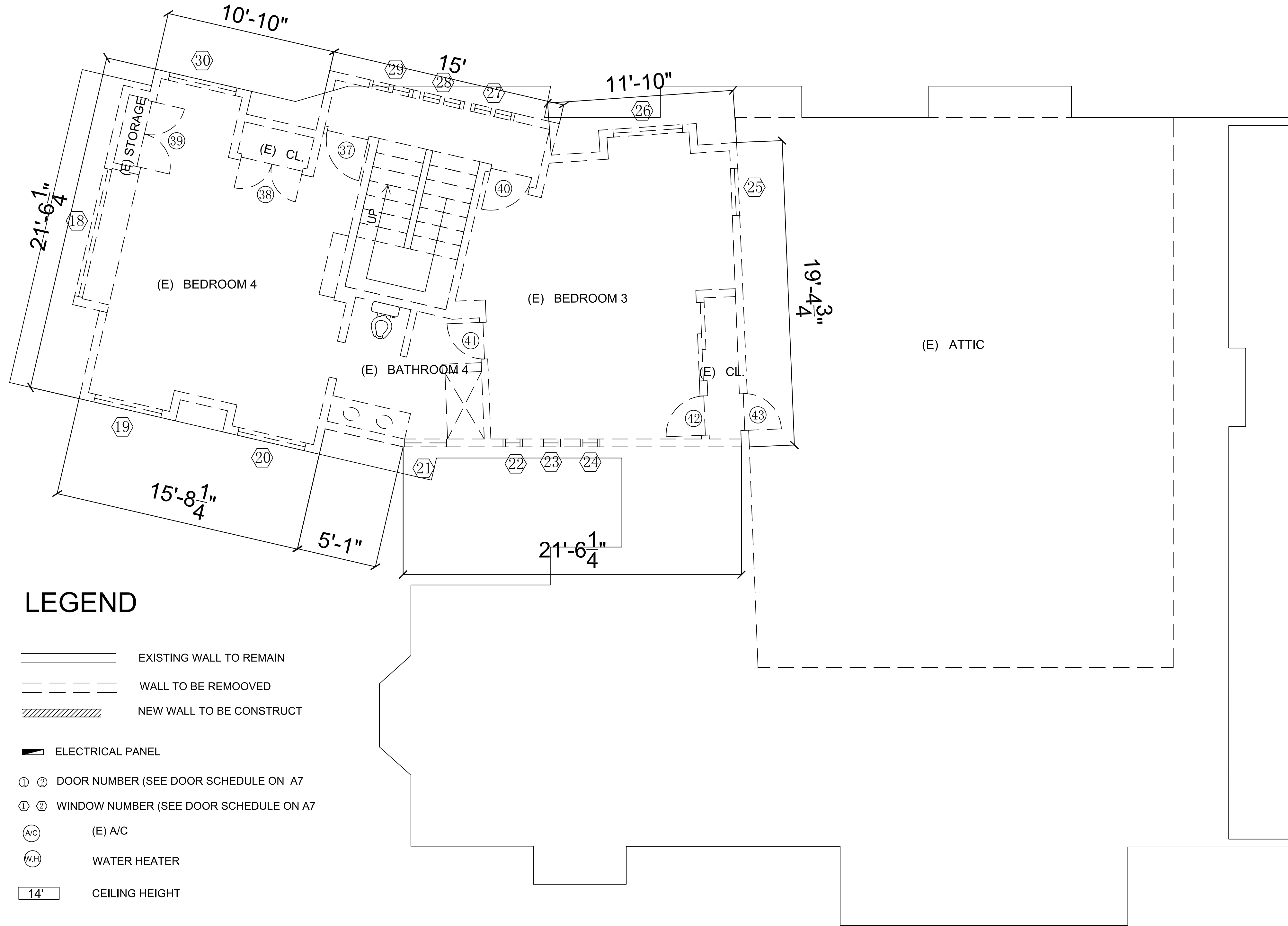


Note: a) Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to height of not less than 6 feet above the floor. CRC R307.2

b) Gypsum board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity. CRC R702.3.7

Note: Ducts in the garage or penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum 26 gage sheet steel or other approved material and shall have no openings into the garage. CRC R302.5.2



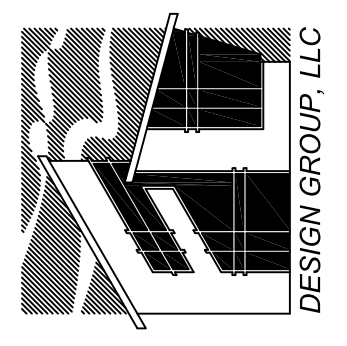
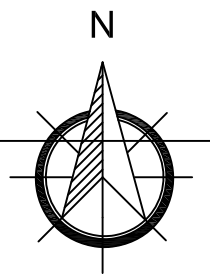


LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED
- NEW WALL TO BE CONSTRUCT
- ELECTRICAL PANEL
- DOOR NUMBER (SEE DOOR SCHEDULE ON A7)
- WINDOW NUMBER (SEE DOOR SCHEDULE ON A7)
- (E) A/C
- WATER HEATER
- CEILING HEIGHT

Existing 2ND Floor Plan

SCALE 1/4" = 1'-0"



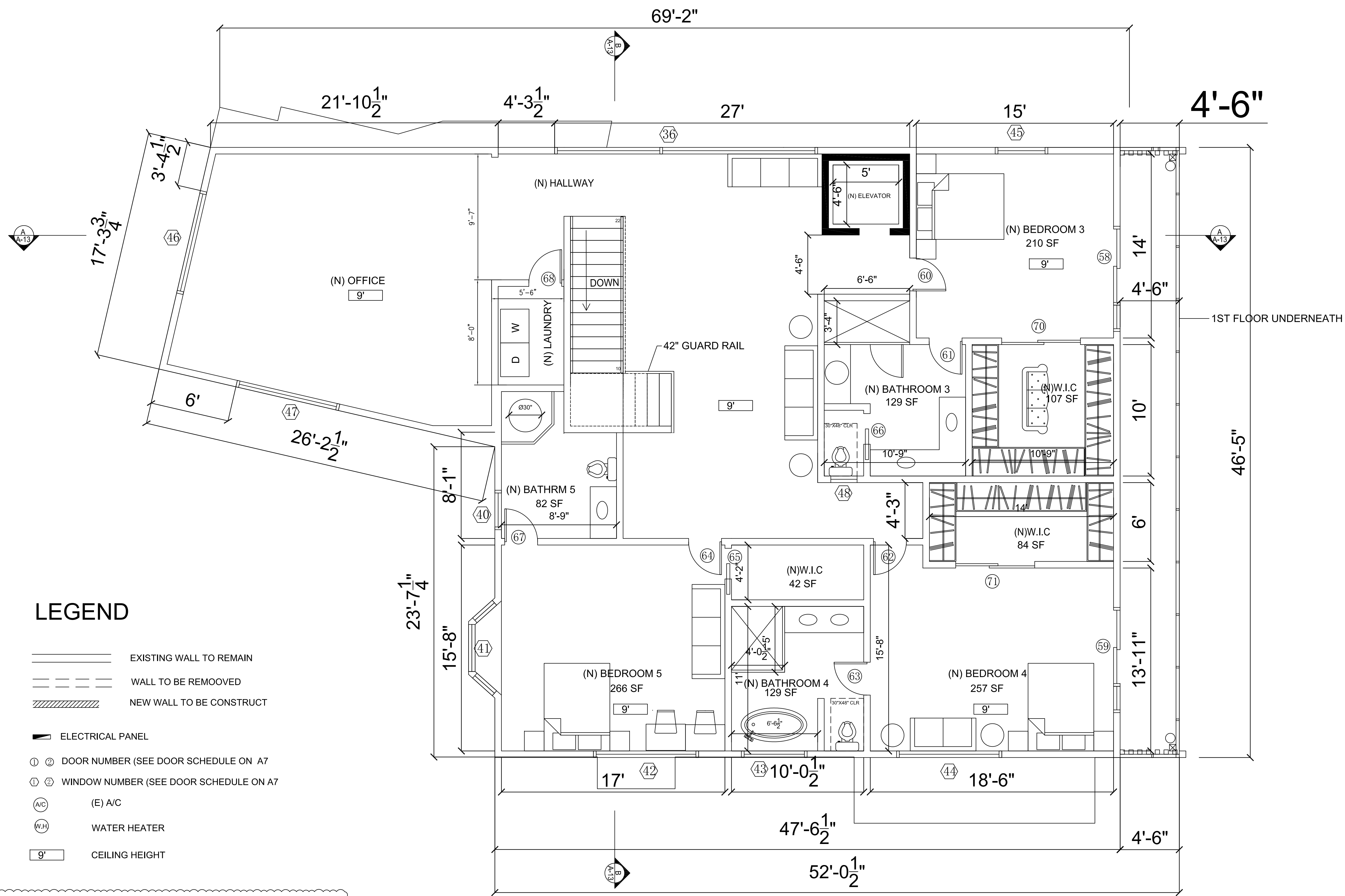
Room Addition & Remodel  
Owner : Kyle Tran  
3282 Gilbert Dr, Huntington Beach, CA 92649

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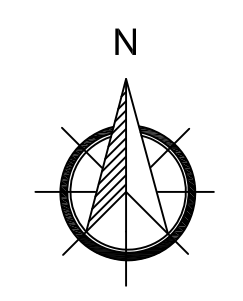
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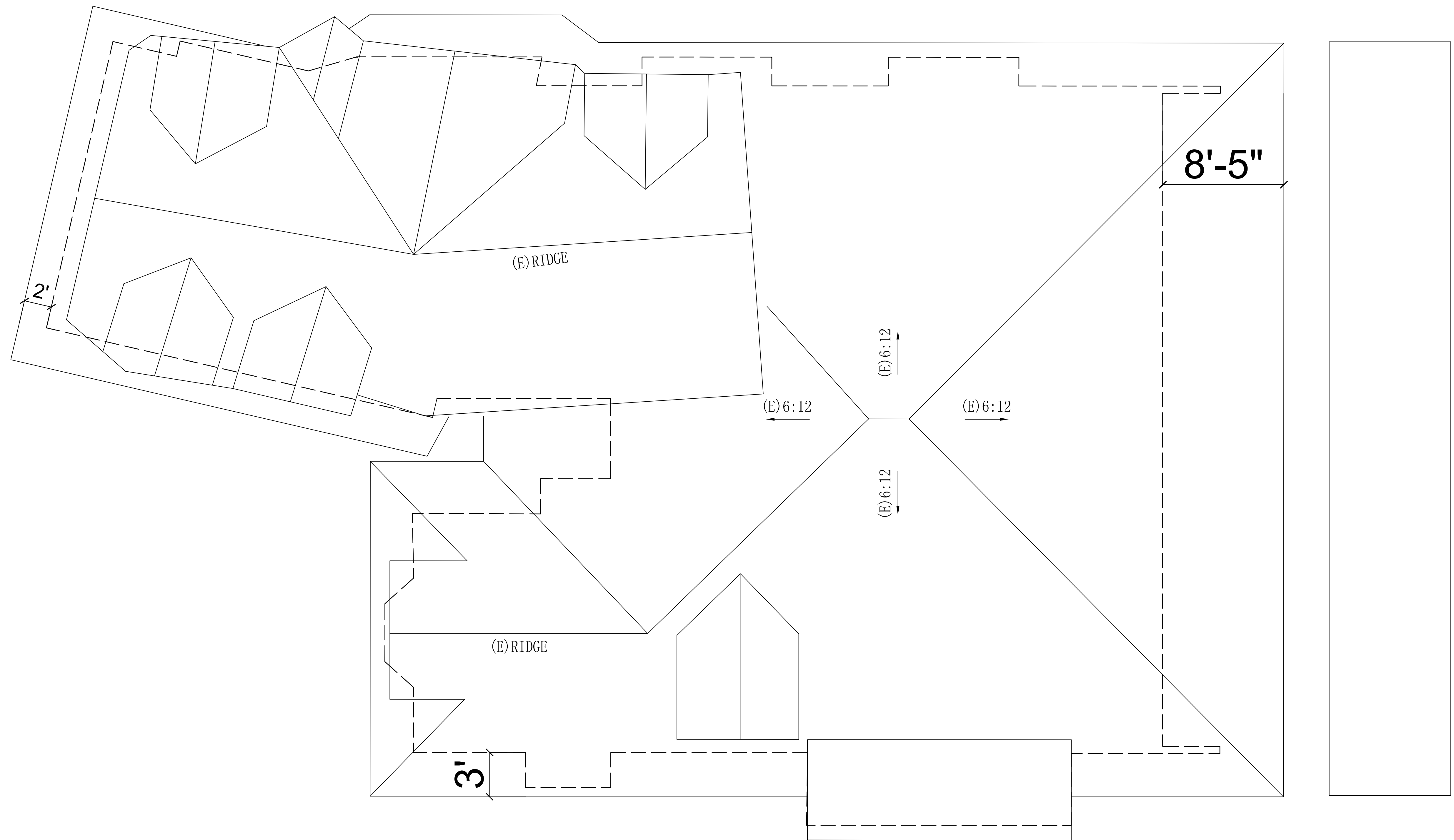
EXIST. 2ND FLR PLN





Proposed 2ND Floor Plan  
SCALE 1/4" = 1'-0"





Existing Roof Plan

SCALE 1/4" = 1'-0"



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FL DESIGN GROUP, LLC

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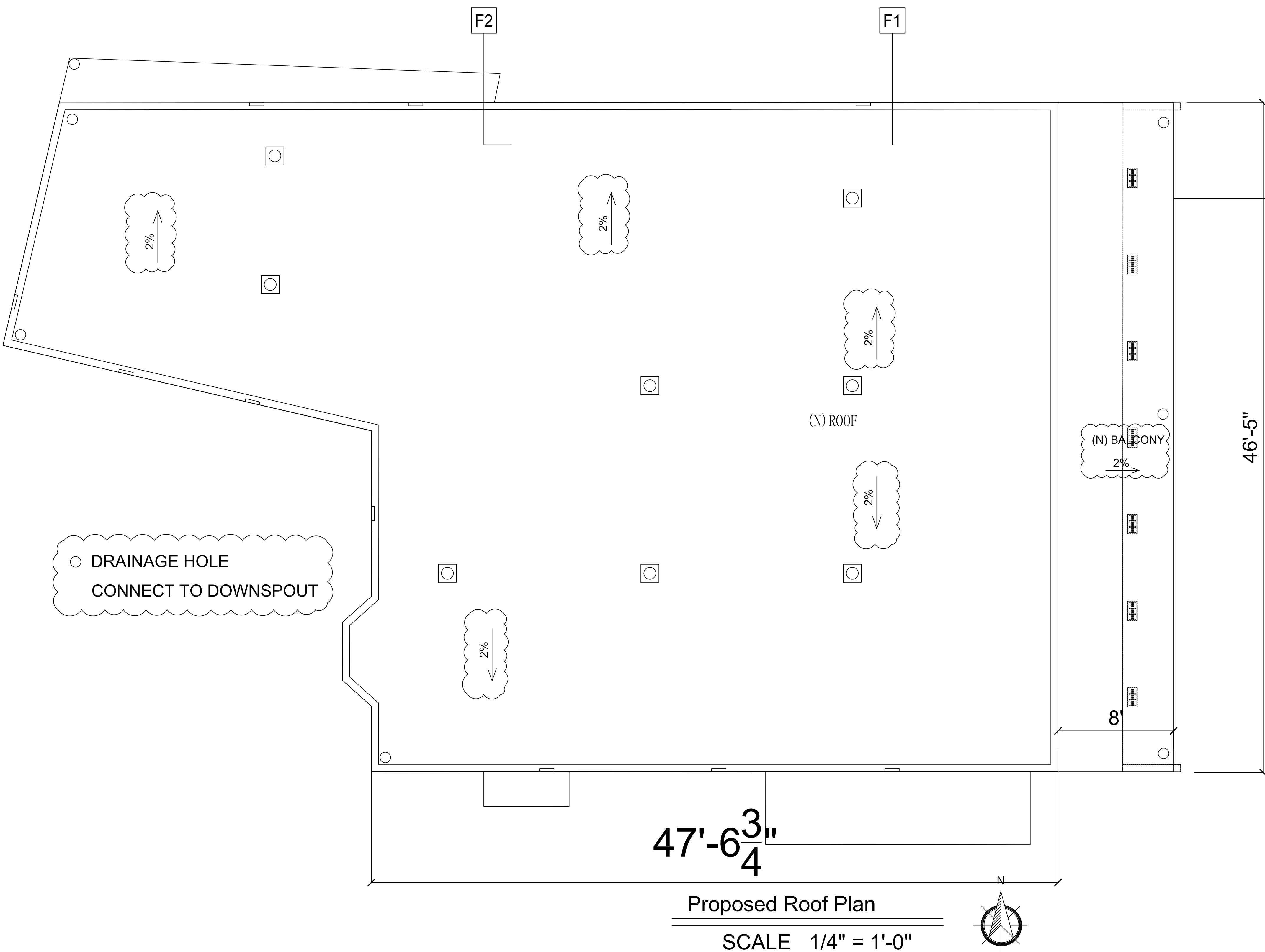
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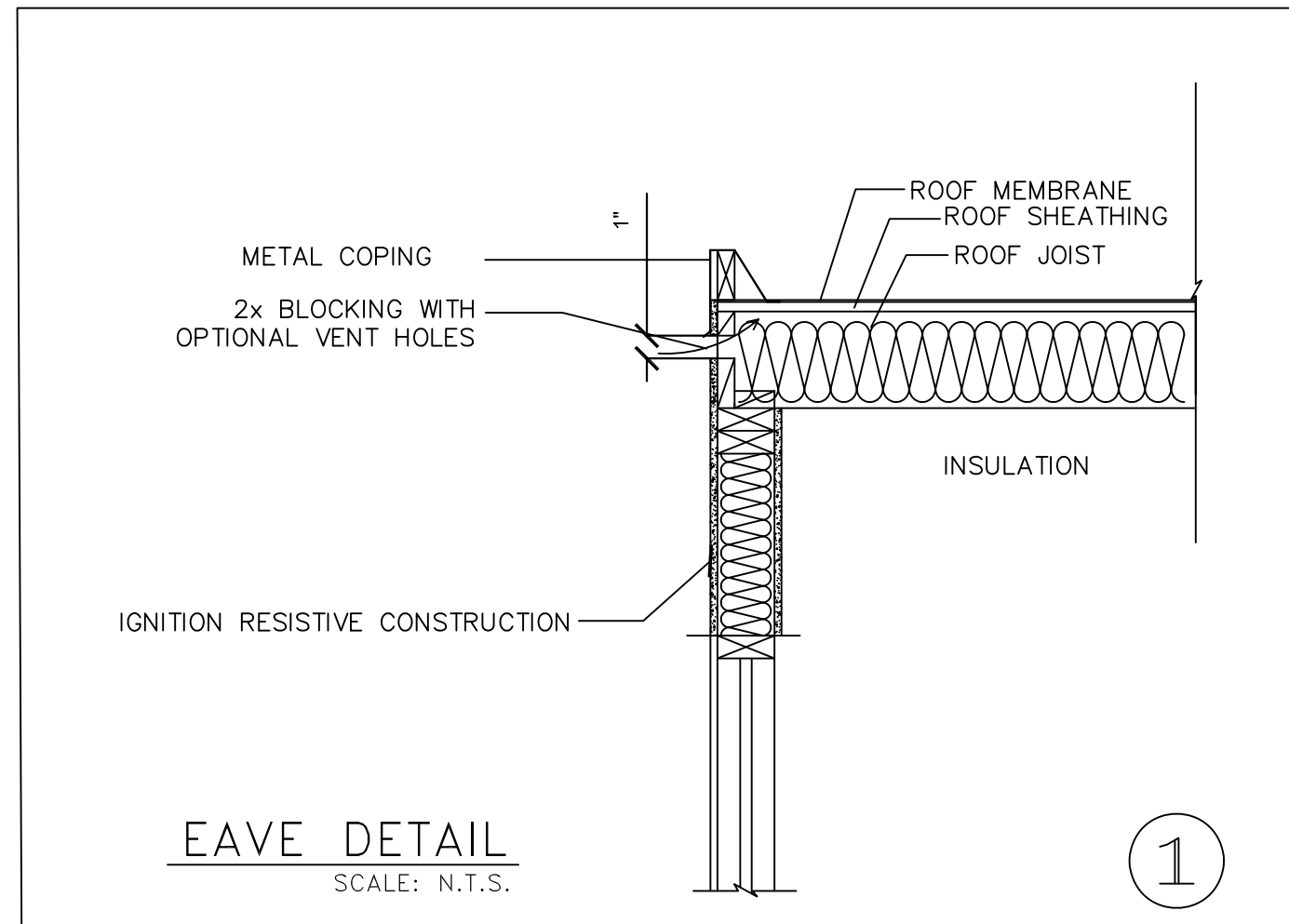
EXIST. ROOF PLN

A 8.0  
of

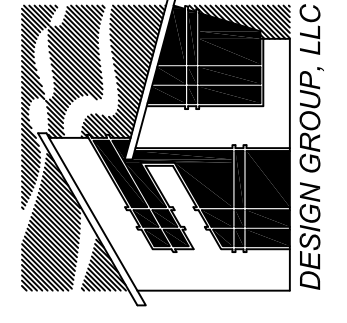


Proposed Roof Plan  
SCALE 1/4" = 1'-0"

- (N) BALCONY COVER
- F1** RUBBER MEMBRANE ROOF: ICC# ERS-1284
- F2** GLASS ENCLOSED SPACE  
TEMPERED GLASS: ICC # ESR-3842
- LEGEND
- Aluminum Keepa Static Vents , 9" Diameter, for Flat Roof  
Has 63.00 SQ. IN. (= 0.44 SQ. FT.) Free Area (TYP.)
  - ▮ Gable Vents , 18" x 24" Regular Base  
Aluminum-Zinc Coated Steel, Flush Mount  
Has 190.00 SQ. IN. (= 1.3194 SQ. FT.) Free Area (TYP.)
  - ▨ Aluminum Louvered Soffit Vents , 16" X 8", Soffit Mount  
Has 56.00 SQ. IN. (= 0.3889 SQ. FT.) Free Area (TYP.)
1. ATTIC VENTS SHALL MEET THE FOLLOWING:
- A. 1/150 OF THE ATTIC SPACE OR
  - B. A MINIMUM OF 1- IN. AIRSPACE SHALL BE PROVIDED
- BETWEEN INSULATION AND ROOF SHEATHING.(SEE 1 / A-11)
2. ROOF VENT. CALCULATION  
ROOF ATTIC AREA = 2,436 S.F.  
ROOF VENT REQ'D. = 2,436 S.F. / 150 = 16.24 S.F.  
ROOF VENT PROVIDED = (8) X 0.44 =3.52 S.F.  
ROOF VENT PROVIDED = (10) X 1.3194 =13.194 S.F.  
TOTAL = 16.71 > 16.24 S.F.  
VENT AREA PROVIDED IS GREATED THAN REQ'D.
3. VENTILATION BENEATH 2ND FLOOR BALCONY CALCULATION  
ROOF ATTIC AREA = 370 S.F.  
ROOF VENT REQ'D. = 370 S.F. / 150 = 2.47 S.F.  
ROOF VENT PROVIDED = (7) X 0.3889 =2.72 S.F.  
TOTAL = 2.72 > 2.47 S.F.  
VENT AREA PROVIDED IS GREATED THAN REQ'D.

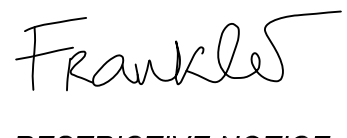


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Tel: 714-414-5636



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JOB NO. : 69-10  
NO. DESCRIPTION / DATE

NEW ROOF PLAN

**A 9**  
of



T. O. R. EL. +22’-6’’

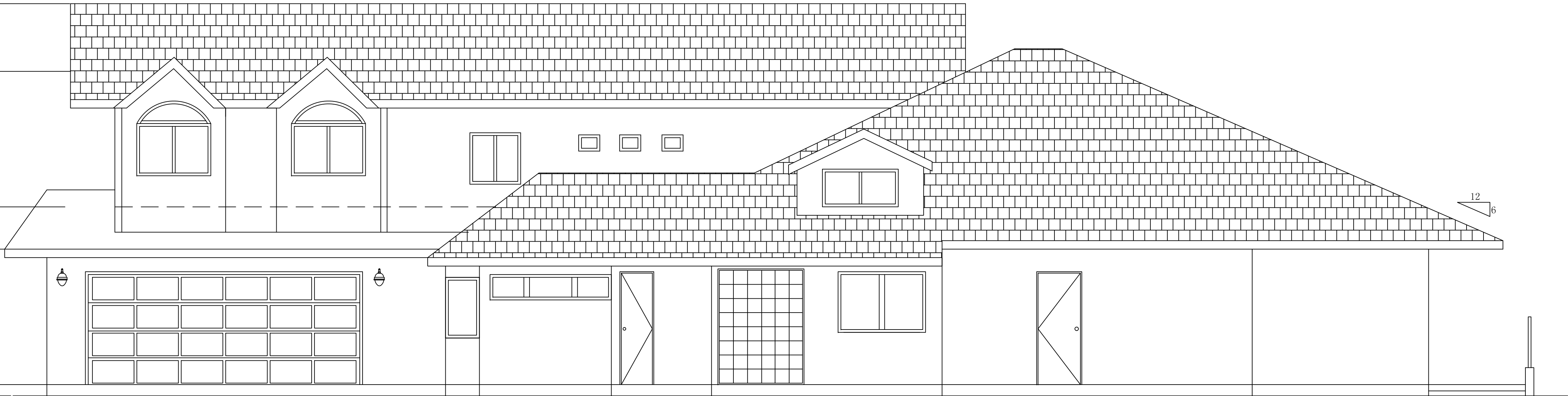
T. O. P. EL. +18’-6’’

F. F. EL. @ 2ND FLOOR +10’-6’’

T. O. P. EL. +8’-0’’

F. F. EL. +0’-0’’

F. G. EL.



Existing South Elevation

SCALE 1/4" = 1'-0"

T. O. R. EL. +22’-6’’

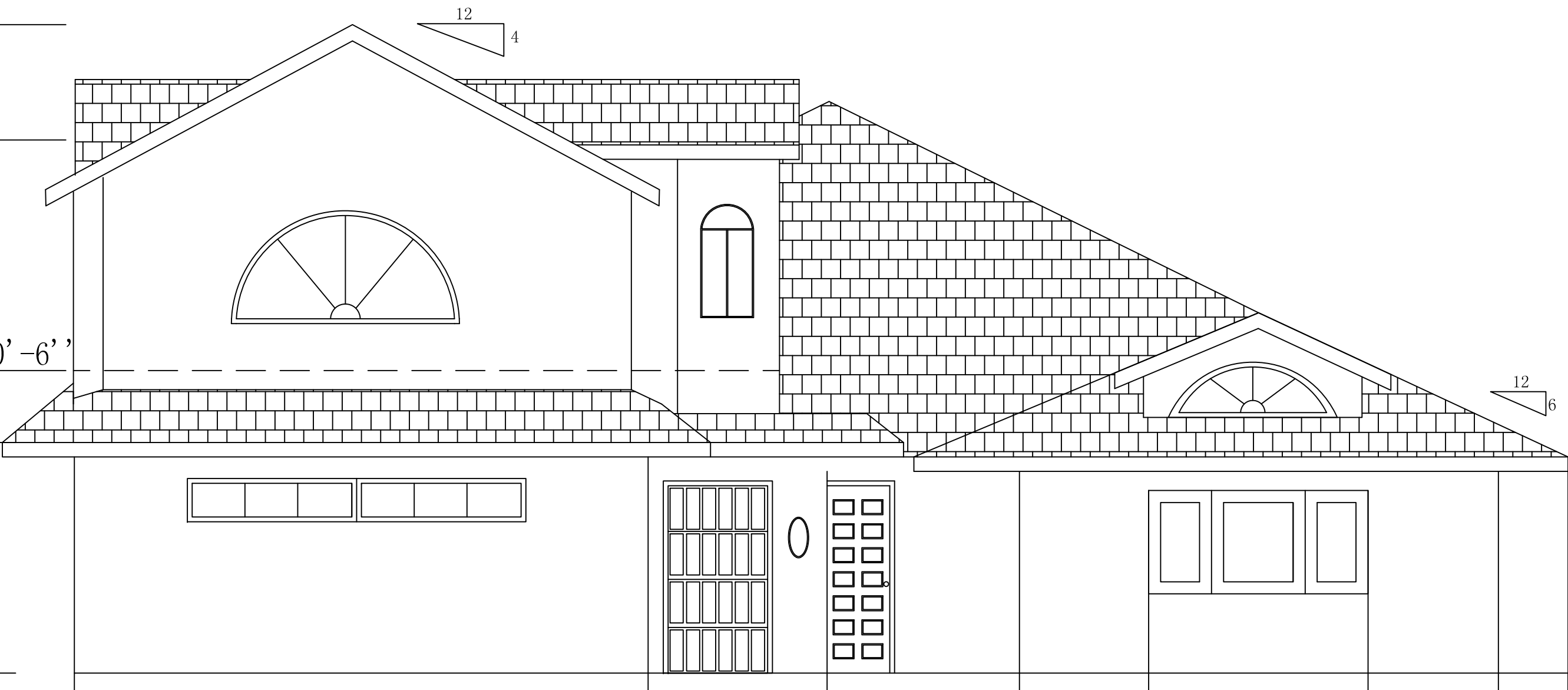
T. O. P. EL. +18’-6’’

F. F. EL. @ 2ND FLOOR +10’-6’’

T. O. P. EL. +8’-0’’

F. F. EL. +0’-0’’

F. G. EL.



Existing West Elevation

SCALE 1/4" = 1'-0"

Existing East Elevation

SCALE 1/4" = 1'-0"

T. O. R. EL. +22’-6’’

T. O. P. EL. +18’-6’’

F. F. EL. @ 2ND FLOOR +10’-6’’

T. O. P. EL. +8’-0’’

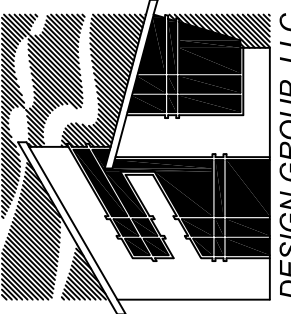
F. F. EL. +0’-0’’

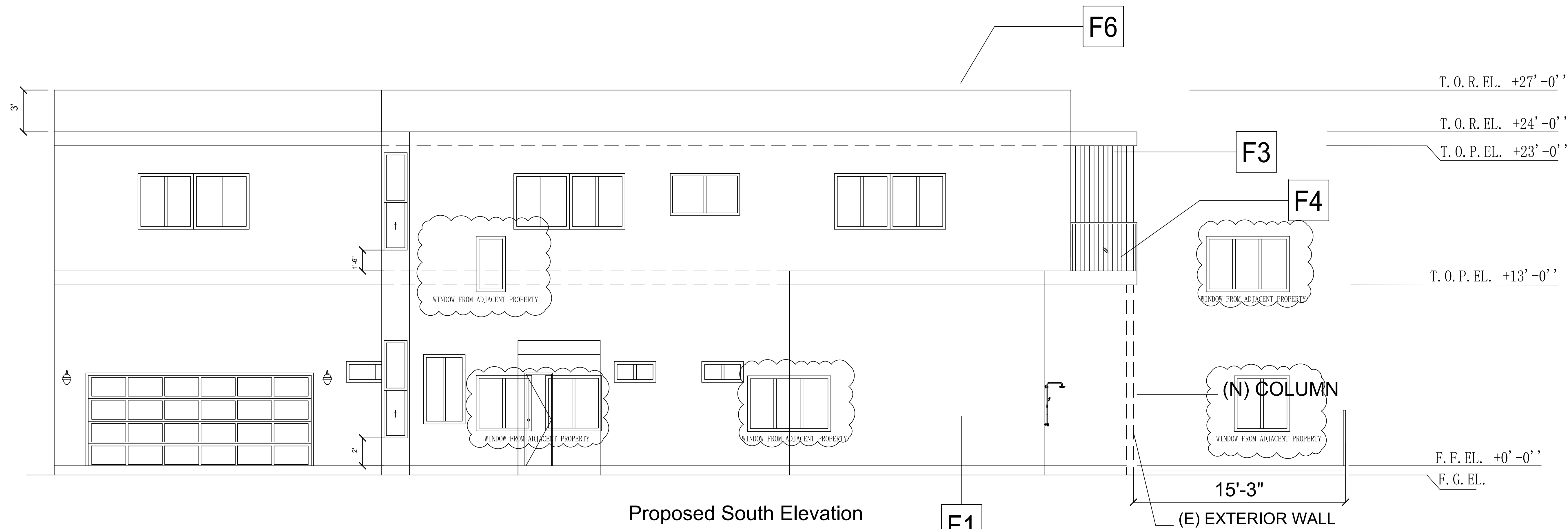
F. G. EL.



Existing North Elevation

SCALE 1/4" = 1'-0"





F1 (N) EXTERIOR WALL STUCCO (WHITE IN COLOR, ICC# ESR-2564 )

F3 WOOD SIDING: ICC# ESR-1301

F4 BALCONY SURFACE MATERIAL: GACO WESTERN LM-60H 120 MIL. MEMBRANE (GACOFLEX) ICC# ESR-1284, LARR# 25605

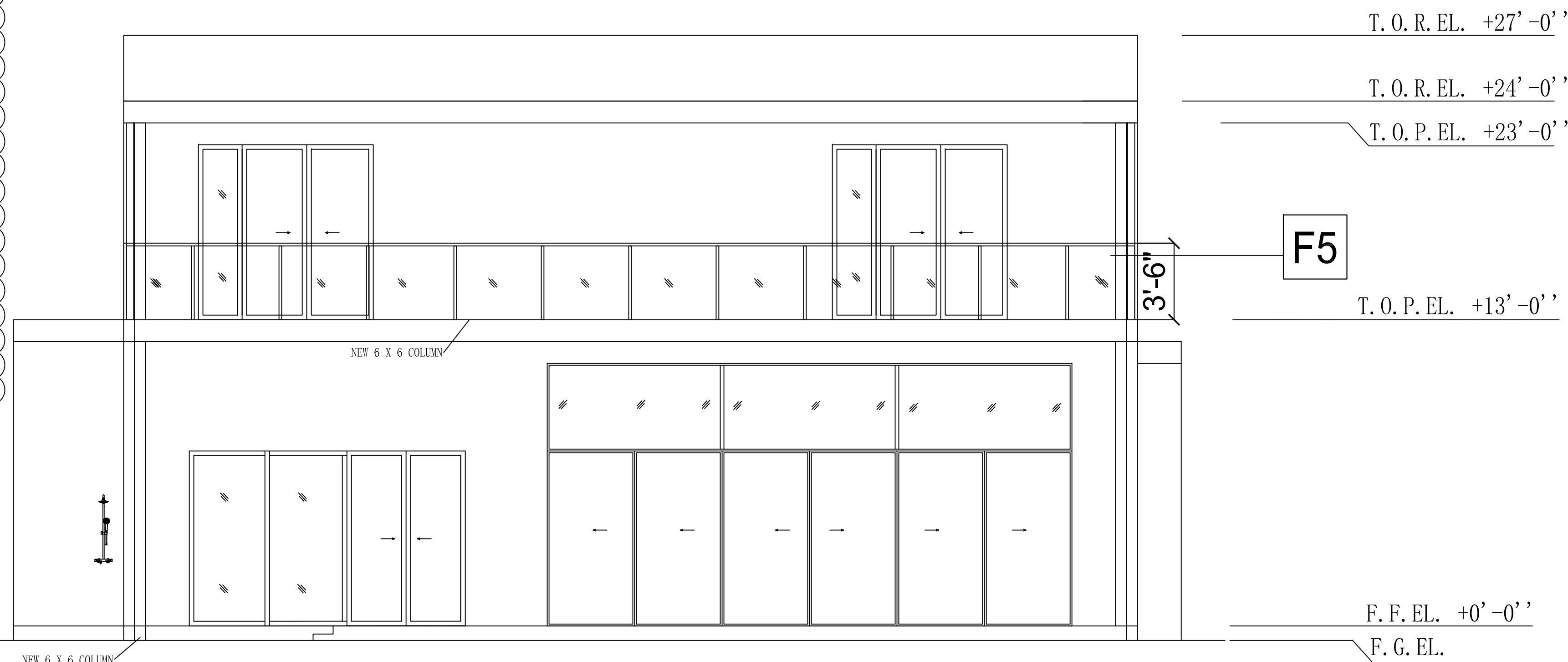
F5 TEMPERED GLASS: ICC # ESR-3842

F6 3 FEET HIGH PARAPET

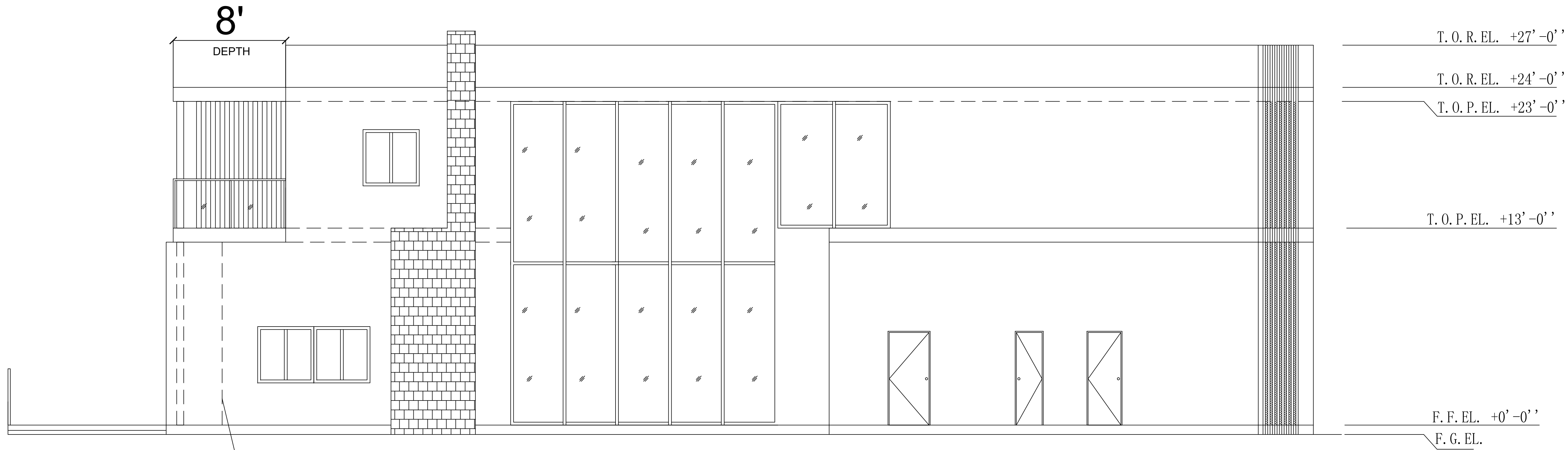
F7 GLASS ENCLOSED SPACE TEMPERED GLASS: ICC # ESR-3842

Note: Where balconies or other elevated walking surfaces are exposed to water from direct or blowing rain, snow, or irrigation, and the structural framing is protected by an impervious moisture barrier, all elements of the impervious moisture barrier system shall not be concealed until inspected and approved. CRC R109.1.5.3.

(1) Exception: Where special inspections are provided in accordance with California Building Code Section 1705.1.1, Item 3.



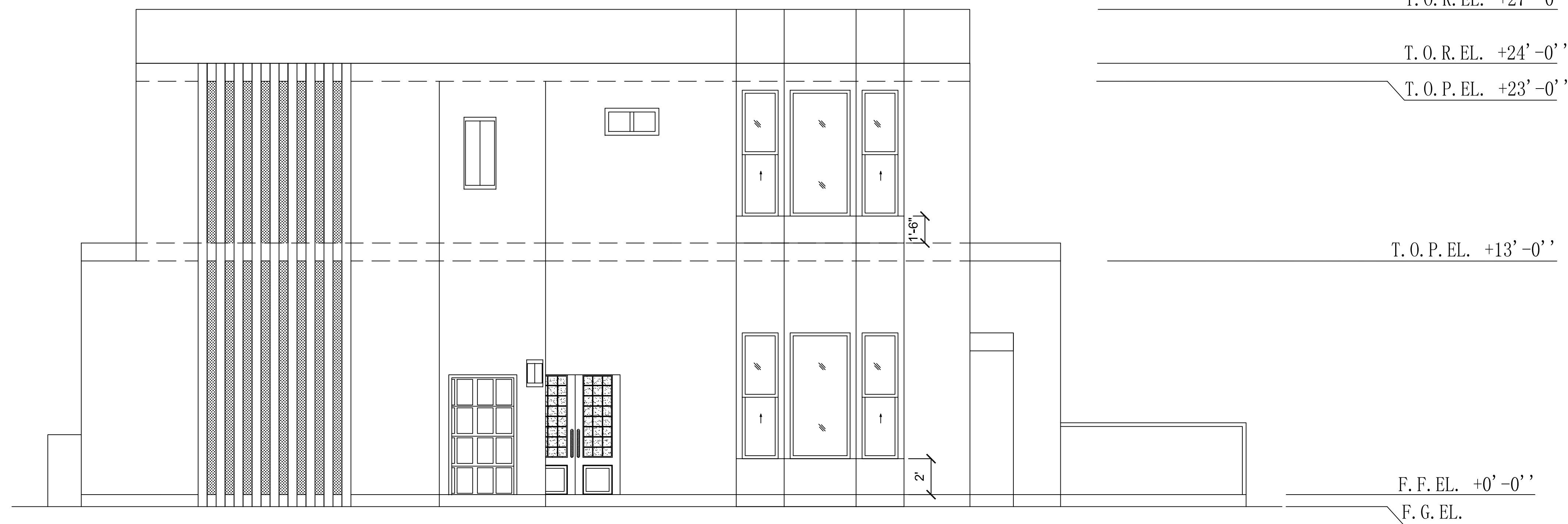




(E) EXTERIOR WALL

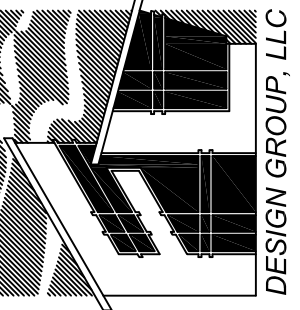
Proposed North Elevation

SCALE 1/4" = 1'-0"



Proposed West Elevation

SCALE 1/4" = 1'-0"



Frankle

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