

SITE PLAN
1/8" = 1'-0"

NOTES

- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPER'S AND ENGINEER'S ATTENTION IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING, OR OTHER ANCHILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUB-FLOOR. (R109.1.1.)
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)

THESE PLANS SHALL COMPLY WITH 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CBC, 2019 CCB, 2019 CEC, 2019 CPC, 2019 CMC, 2019 CFC, 2019 T24 ENERGY CODE, AND HUNTINGTON BEACH MUNICIPAL CODE 17.05 AND HB250 230.84.

FIRE DEPARTMENT NOTES

- A 13D RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED FOR BOTH PROPERTIES. A SEPARATE SUBMITTAL FOR FIRE SPRINKLERS (COMPLYING WITH NFPA 13D) IS REQUIRED. TWO SETS OF FIRE SPRINKLER PLANS SHALL BE SUBMITTED TO THE HBFD FOR REVIEW AND APPROVAL.
NOTE: FIRE FLOW INFORMATION FROM THE CITY OF HUNTINGTON BEACH IS REQUIRED TO BE INCLUDED WITH SPRINKLER PLAN SUBMITTALS. TO OBTAIN THE FIRE FLOW INFORMATION, HAVE THE SPRINKLER CONTRACTOR COMPLETE THE "FIRE FLOW INFORMATION FORM" IN WORD FORMAT AVAILABLE AT THE FOLLOWING LINK: http://surfcity-hb.org/government/departments/Fire/Fire_prevention_code_enforcement/plan-check-services.cfm SEND THIS FIRE FLOW INFORMATION REQUEST TO JBROWN@SURFCITY-HB.ORG. ONCE SUBMITTED, THE HBFD WILL FORWARD TO THE REQUEST TO THE PUBLIC WORKS DEPARTMENT. THE AVERAGE TURNAROUND TIME FOR FIRE FLOW INFORMATION REQUESTS IS 10 BUSINESS DAYS.
- MAINTAIN JOBSITE SAFETY DURING CONSTRUCTION AS PER CHAPTER 33 OF 2019 CALIFORNIA FIRE CODE.
- ADDRESS NUMBERS MUST BE PLACED OVER THE EXTERIOR OF THE MAIN ENTRANCE AS PER CITY SPECIFICATION #428. ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" HIGH NUMBERS WITH A MINIMUM 1/2" STROKE, AND THEY MUST CONTRAST WITH THE BACKGROUND.
- DISCOVERY OF SOIL CONTAMINATION/PIPELINES, ETC., MUST BE REPORTED TO THE FIRE DEPARTMENT IMMEDIATELY AND ALL WORK STOPPED UNTIL APPROVAL IS OBTAINED FROM THE FIRE DEPARTMENT.
- FOR FIRE DEPARTMENT INSPECTIONS, CALL (714) 536-5411 AT LEAST 3 DAYS IN ADVANCE TO SCHEDULE INSPECTIONS.

LANDSCAPING

CONSULTANTS

ARCHITECT:

The Louie Group
19092 Calloway Circle, Huntington Beach,
CA - 92648

STRUCTURAL ENGINEER:

Christina R. Silva, P.E.
7652 Ontario Drive, Huntington Beach,
CA - 92648
Phone: (714) 307-7101
Email: crsconsulting@aol.com

MISCELLANEOUS NOTES

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5 CRC)
- FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT THE TIME OF FRAMING INSPECTION.
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- AUTOMATIC GARAGE DOOR OPENER BY "LIFTMASTER" NO. 3585, UL325 LISTED.
- CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCHILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUB-FLOOR. (R109.1.1.)
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION.
- FOR 3 STORY HOMES, A WATER DEPARTMENT APPROVED BACKFLOW PREVENTER MUST BE INSTALLED; COORDINATE WITH THE WATER DEPARTMENT PRIOR TO SUBMITTING SPRINKLER PLANS FOR REVIEW.
- ALL FENCES, WALLS, AND OTHER DETACHED OR ATTACHED STRUCTURES EXCEEDING 36 INCHES IN HEIGHT REQUIRE SEPARATE PERMITS AND REVIEW. THIS INCLUDES PATIO COVERS, SWIMMING POOLS, RETAINING WALLS, AND DEMOLITION.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
- EFFECTIVE JAN. 1, 2014, 68407 REQUIRES REPLACEMENT OF ALL NON COMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN. 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- ALL DOORS AND WINDOWS SHALL MEET HUNTINGTON BEACH SECURITY ORDINANCE - SEE A-6 FOR NOTES.
- WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE. LAVATORY FAUCETS SHALL HAVE A WATER FLOW NOT TO EXCEED 1.2 GALLONS PER MINUTE. FAUCETS KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE WATER FLOW NOT TO EXCEED 1.8/2.2 GALLONS PER MINUTE.
- MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ARE NOT REVIEWED AND ARE SUBJECT TO FIELD INSPECTION.

STRUCTURAL OBSERVATION

- ENGINEER OR ARCHITECT OF RECORD SHALL OBSERVE THAT ALL FOUNDATION HARDWARE PER PLAN IS IN PLACE PRIOR TO INSPECTION OTHER THAN HARDWARE THAT IS PLACED DURING POUR UNLESS OTHERWISE NOTED.
- ENGINEER OF RECORD SHALL OBSERVE THAT ALL SHEAR WALLS AND METAL HARDWARE ARE PER PLAN UNLESS OTHERWISE NOTED.
- THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR STRUCTURAL DESIGN TO PERFORM STRUCTURAL OBSERVATION PER SEC. 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THE SITE VISITS HAVE BEEN MADE AND IDENTIFIED ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.

MECHANICAL NOTES

- COVER RETURN AND SUPPLY OPENINGS WITH PLASTIC OR SHEET METAL.
- WRAP OR PROJECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION.
- IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.
- THE MOISTURE CONTENT OF CONSTRUCTION MATERIALS PRIOR TO APPROVAL TO ENCLOSE WALL AND FLOOR CAVITIES WITH DRYWALL OR OTHER SURFACES. (4.505.3 C685C).

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY THE PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

- FIRE SPRINKLER PLANS

SCOPE OF WORK

EXPANDED EXISTING GREAT ROOM, KITCHEN, MASTER BEDROOM, STUDY, BATH 4, AND ADD AN ELEVATOR.

PROJECT ANALYSIS

ZONE :	RL
OCCUPANCY GROUP :	R-3/U
TYPE OF CONSTRUCTION :	V-B - NON-SPRINKLERED
LOT SIZE :	6,651 SQ. FT.
EXISTING LOT COVERAGE :	2,576 SQ. FT. (38%)
PROPOSED LOT COVERAGE :	384 SQ. FT. (5%)
LOT COVERAGE :	2,960 SQ. FT. (44%)
FLOOR BREAKDOWN	
(E) FIRST FLOOR :	1,779 SQ. FT.
(E) SECOND FLOOR :	2,233 SQ. FT.
(E) TOTAL FLOOR AREA :	4,012 SQ. FT.
(N) FIRST FLOOR :	422 SQ. FT.
(N) SECOND FLOOR :	387 SQ. FT.
(N) TOTAL FLOOR AREA :	809 SQ. FT.
RESIDENTIAL FLOOR TOTAL :	4,821 SQ. FT.
(N) OPEN DECK :	30 SQ. FT.
(E) GARAGE :	670 SQ. FT.
(E) DECK :	29 SQ. FT.
NO. OF (E) BEDROOMS :	5
NO. OF (N) BEDROOMS :	0
TOTAL NO. OF BEDROOMS :	5
NO. OF (E) BATHROOMS :	5
NO. OF (N) BATHROOMS :	0
TOTAL NO. OF BATHROOMS :	5
LEGAL:	
LOT :	63
TRACT :	8040
APN :	178 - 652 - 21

INDEX OF DRAWINGS

T-1	TITLE SHEET
AE-1	EXISTING FIRST & SECOND FLOOR PLANS
A-1	PROPOSED FIRST FLOOR PLAN
A-2	PROPOSED SECOND FLOOR PLAN
A-3	PROPOSED ROOF PLAN
A-4	EXTERIOR ELEVATION
A-5	EXTERIOR ELEVATIONS
A-6	SECTIONS A
A-7	MISCELLANEOUS NOTES
RE-1	ELEVATOR SPECS. / DETAILS (FOR REFERENCE ONLY)
T-24.1	T-24
T-24.2	T-24
T-24.3	T-24
GR-1	CALIFORNIA GREEN CODE
GR-2	CALIFORNIA GREEN CODE
GR-3	CALIFORNIA GREEN CODE
AD-1	ARCHITECTURAL DETAILS
S-1	FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	STRUCTURAL DETAILS & NOTES
SD-2	STRUCTURAL DETAILS
HPX1	HARDY FRAME DETAILS
HPX2	HARDY FRAME DETAILS

REVISIONS	BY

PLANNING

THE LOUIE GROUP

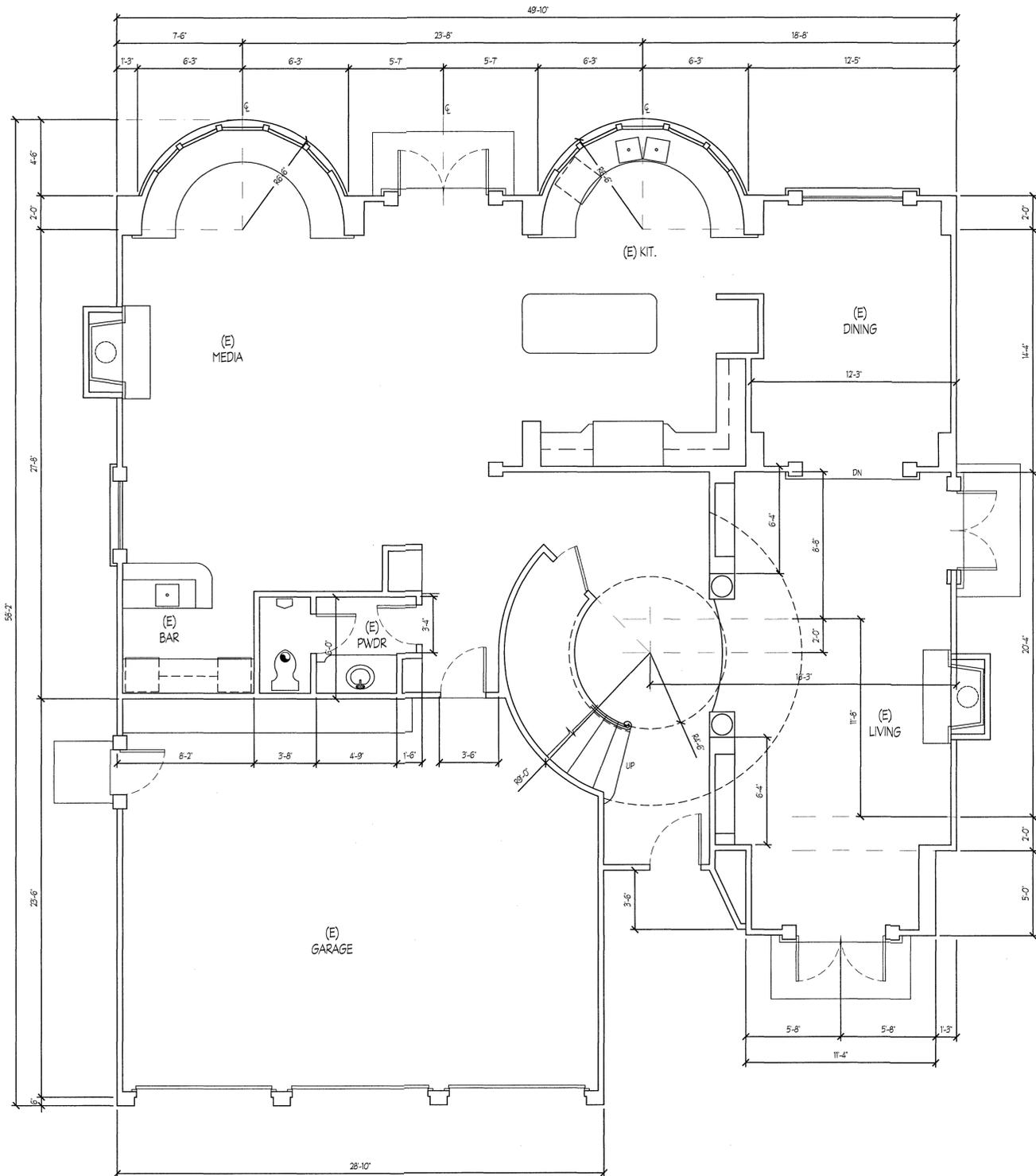
ARCHITECTURE

19092 Calloway Circle - Huntington Beach, CA 92648
Phone (714) 374-7034
E-mail: loaiegroup@aol.com

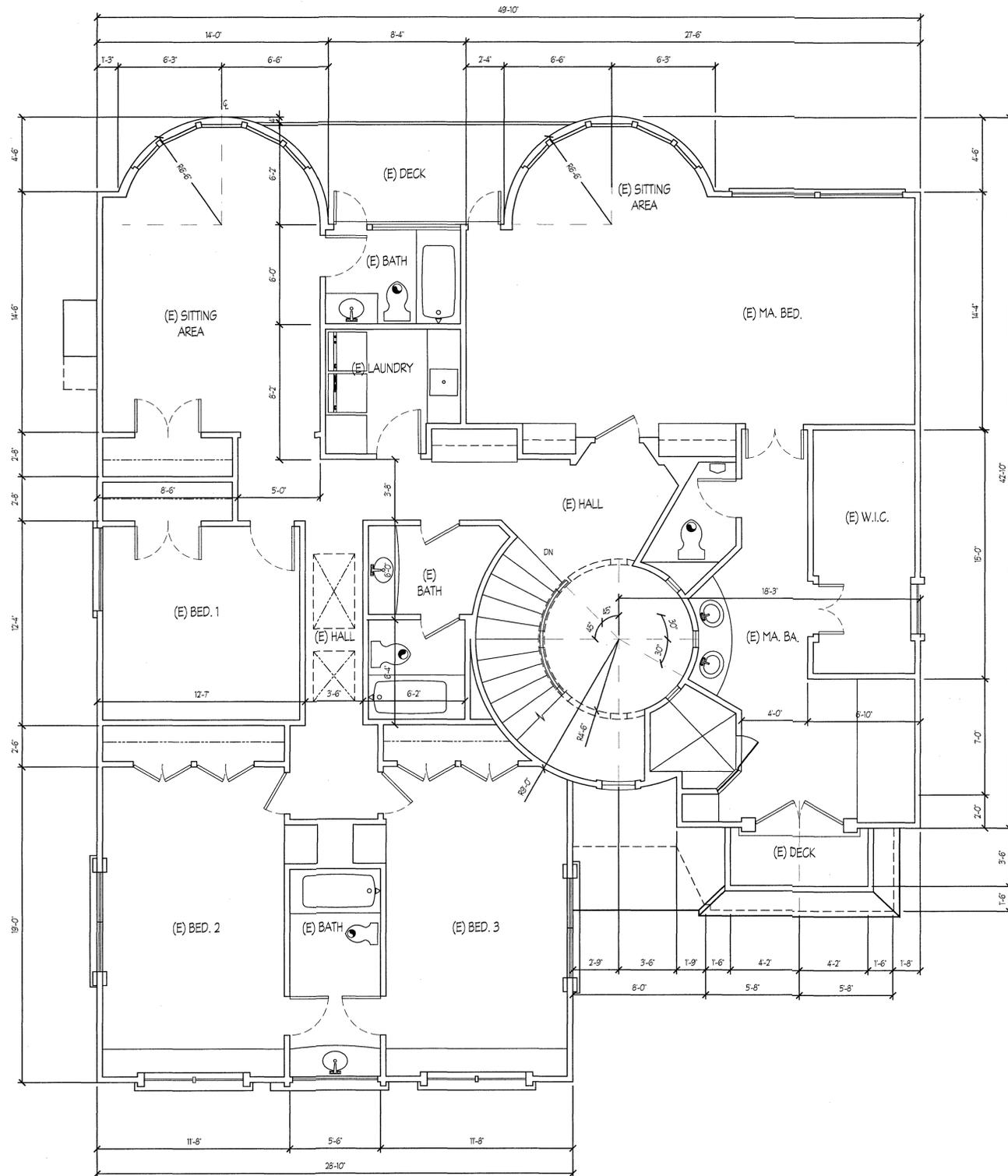
PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue
3571 Countryside Circle,
Huntington Beach, CA 92649
(714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
T-1
OF
SHEETS



EXISTING FIRST FLOOR PLAN
 SC. 1/2"=1'-0"



EXISTING SECOND FLOOR PLAN
 SC. 1/2"=1'-0"

REVISIONS	BY

ARCHITECTURE

PLANNING

The Louie Group

19092 Coloway Circle - Huntington Beach, CA 92648
 Phone: (714) 374-7034
 E-mail: louiegroup@aol.com

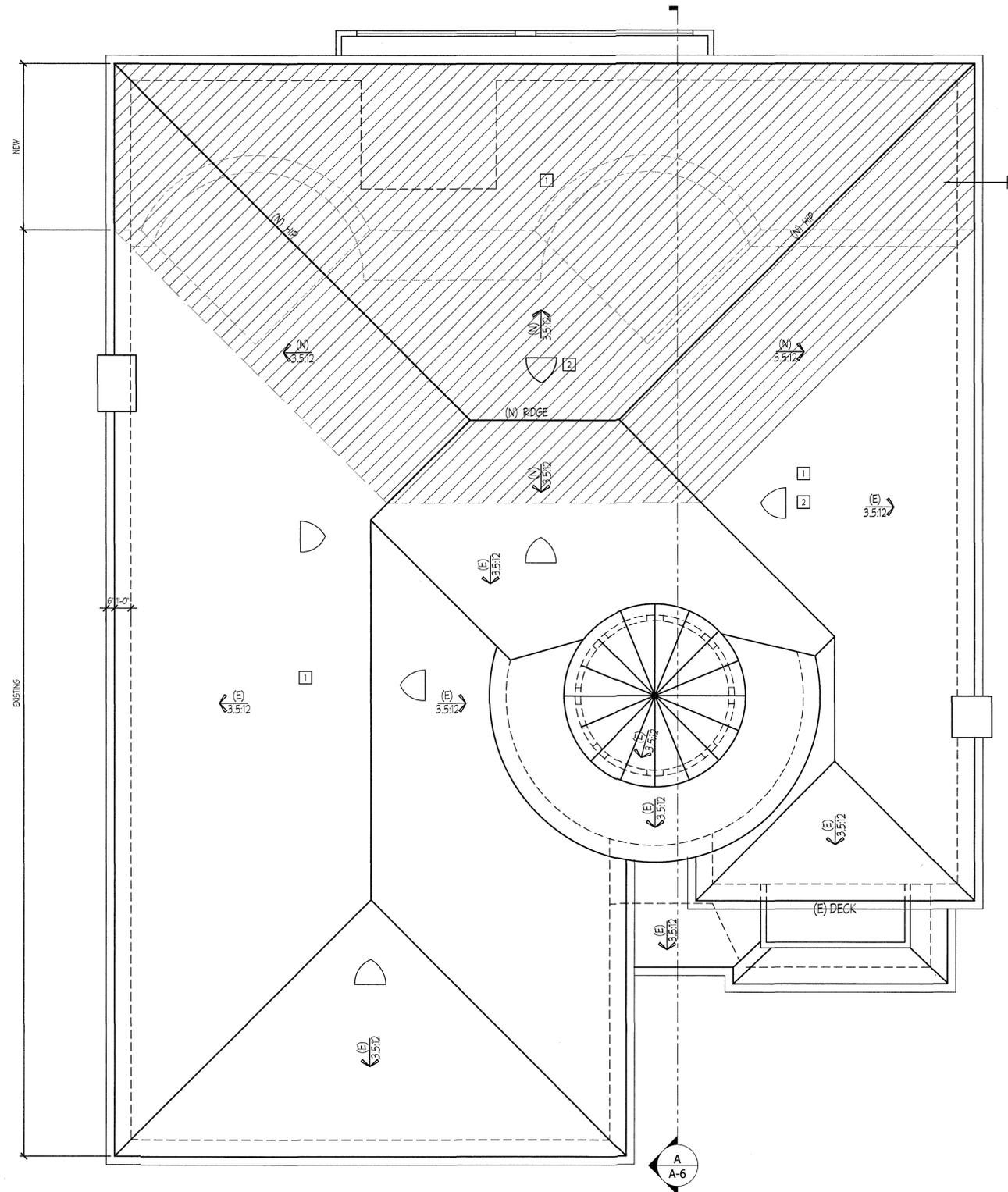
PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue
 3571 Courtyards Circle,
 Huntington Beach, CA 92649
 (714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
AE-1
OF SHEETS

ROOF PLAN NOTES:

- 1 EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING - 4500 LBS. UCC-ESR-4175 - TYP. 0' 30" FELT 0' 1/2" PLYWD. SHTG. OR EQUAL, MIN. CLASS 'A'
- 2 EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT. - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- 3 G.I. FLASHING - TYP.
- 4 G.I. ROOF EDGE - TYP.
- 5 GUTTER AND DOWNSPOUTS PER OWNER
- 6 CANT STRIPS TO ROOF DRAIN AND OVERFLOW DRAIN
- 7 CANT STRIPS
- 8 PROVIDE ROOF DRAIN AND OVERFLOW DRAIN, 3" MIN. HORIZ. AND 2" MIN. VERT.
- 9 (N) ROOF



PROPOSED ROOF PLAN

SC: 1/4" = 1'-0"

REVISIONS	BY



 ARCHITECTURE PLANNING

The Louie Group

Phone: (714) 374-7034
 19092 Coltonway Circle, Huntington Beach, CA 92648
 E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:
Jack and Pam Domingue
 3571 Courtyard Circle,
 Huntington Beach, CA 92649
 (714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-3
OF SHEETS

EXTERIOR ELEVATION NOTES

- 1 EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING - 400 LBS. CC-ESK-1475 - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT. - TYP.
- 2 EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT. - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- 3 SCREENED VENT HOLES W/ CORR. RESISTANT HTL MESH 1/8" DIA. E.W. TYP. @ VAULTED C.L.S. AREAS (VERIFY)
- 4 G.I. ROOF EDGE - TYP.
- 5 EXISTING FASCIA - NEW FASCIA TO MATCH EXISTING
- 6 7/8" SMOOTH STUCCO O/ MIN. CLASS 'D' PAPER - USE 2- LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- 7 BELLYBAND - NEW BELLYBAND TO MATCH EXISTING
- 8 G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 9 G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED - A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 10 G.I. FLASHING - TYP.
- 11 GLASS RAILING - MAXIMUM OPENING SHALL BE 3 7/8".
- 12 CAP - VERIFY TYPE.
- 13 GUTTERS AND DOWNSPOUTS.
- 14 EXISTING FASCIA / BELLY BAND - NEW TO MATCH EXISTING.

REVISIONS	BY

ARCHITECTURE



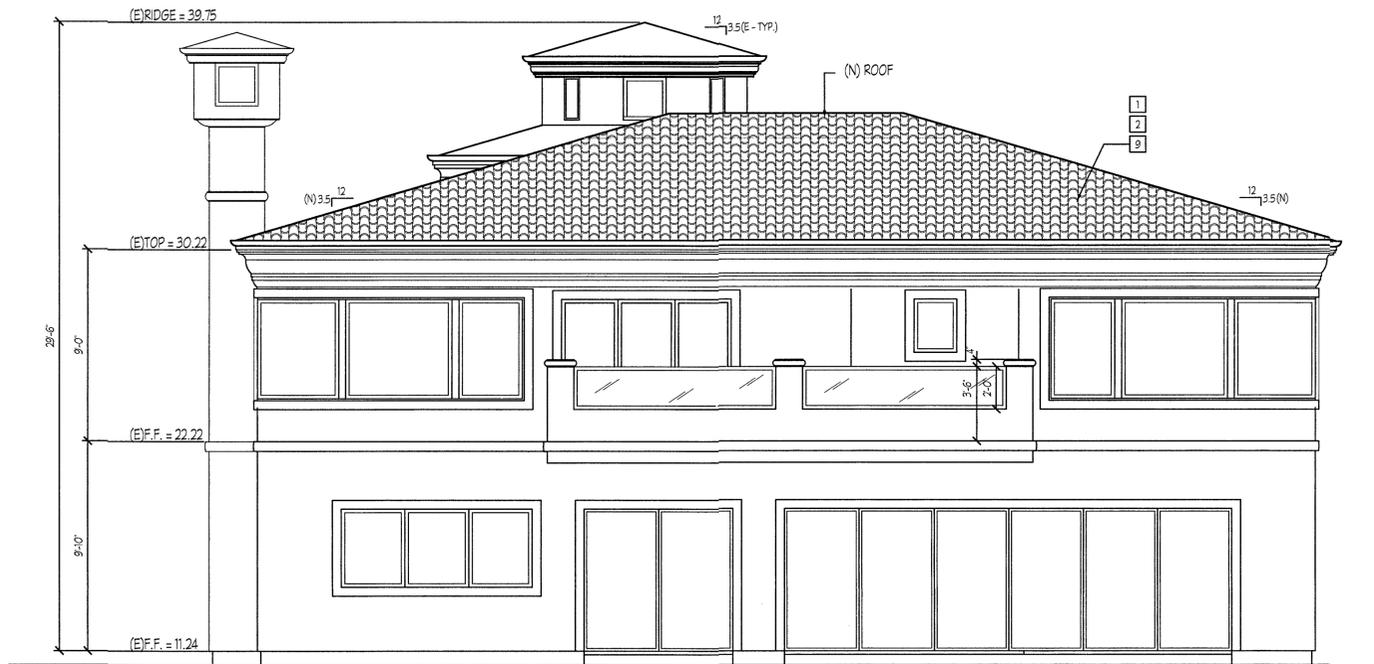
PLANNING
The Louie Group

Phone (714) 374-7034
19092 Calle Arroyo, Huntington Beach, CA 92648
E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

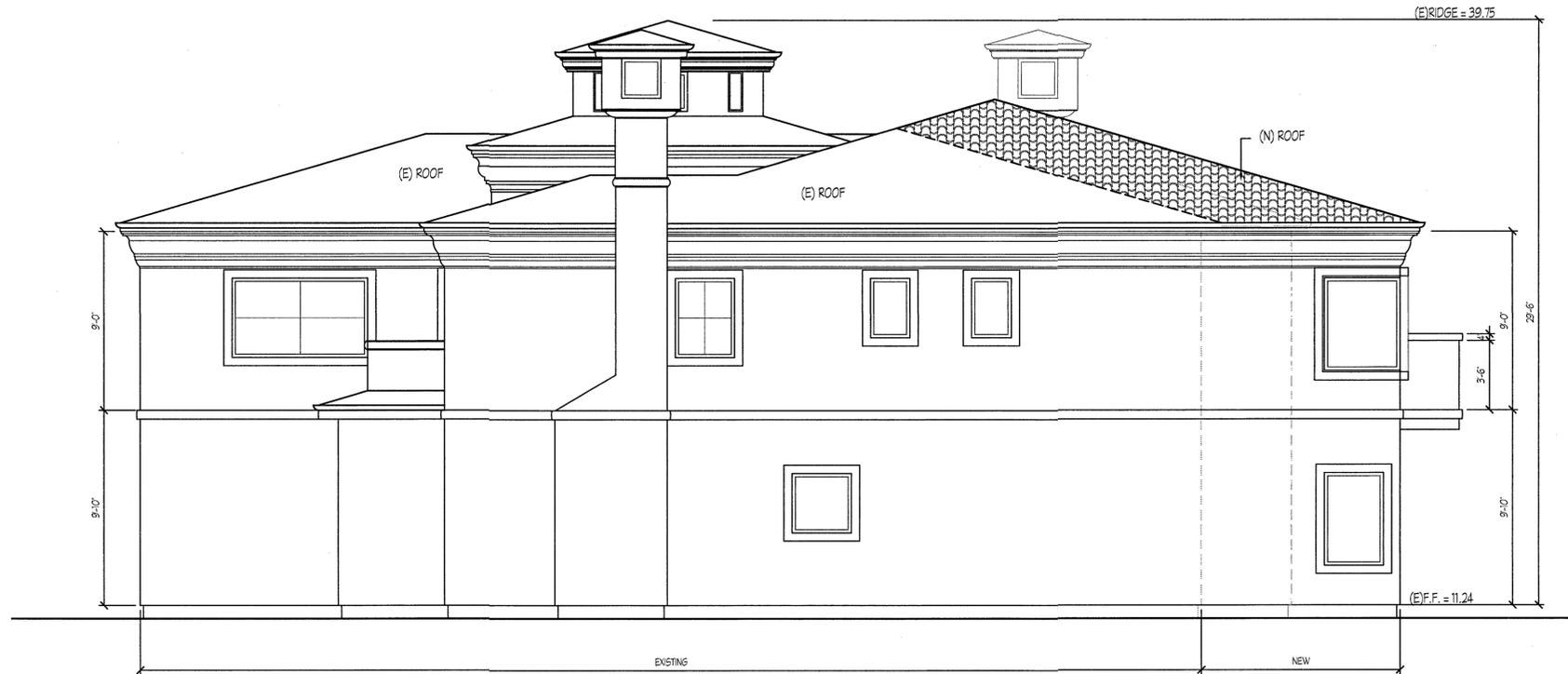
Jack and Pam Domingue

3571 Courtyard Circle,
Huntington Beach, CA 92649
(714) 350-1677



PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-4
OF SHEETS



PROPOSED SIDE ELEVATION
 SC: 1/4"=1'-0"



PROPOSED SIDE ELEVATION
 SC: 1/4"=1'-0"

EXTERIOR ELEVATION NOTES

- 1 EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING @800 LBS. CC-ESR-4175 - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT. 30# FELT @ 1/2" PLYWD. SHTG. OR EQUAL, MIN. CLASS 'A'
- 2 EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- 3 SCREENED VENT HOLES W/ CORR. RESISTANT HTL MESH 1/8" DIA. E.W. TYP @ VAULTED CLG. AREAS (VERIFY).
- 4 G.I. ROOF EDGE - TYP.
- 5 EXISTING FASCIA - NEW FASCIA TO MATCH EXISTING
- 6 7/8" SMOOTH STUCCO @ MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- 7 BELLYBAND - NEW BELLYBAND TO MATCH EXISTING
- 8 G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 9 G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED - A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 10 G.I. FLASHING - TYP.
- 11 GLASS RAILING - MAXIMUM OPENING SHALL BE 3 7/8"
- 12 CAP - VERIFY TYPE.
- 13 GUTTERS AND DOWNSPOUTS.
- 14 EXISTING FASCIA / BELLY BAND - NEW TO MATCH EXISTING.

REVISIONS	BY

ARCHITECTURE

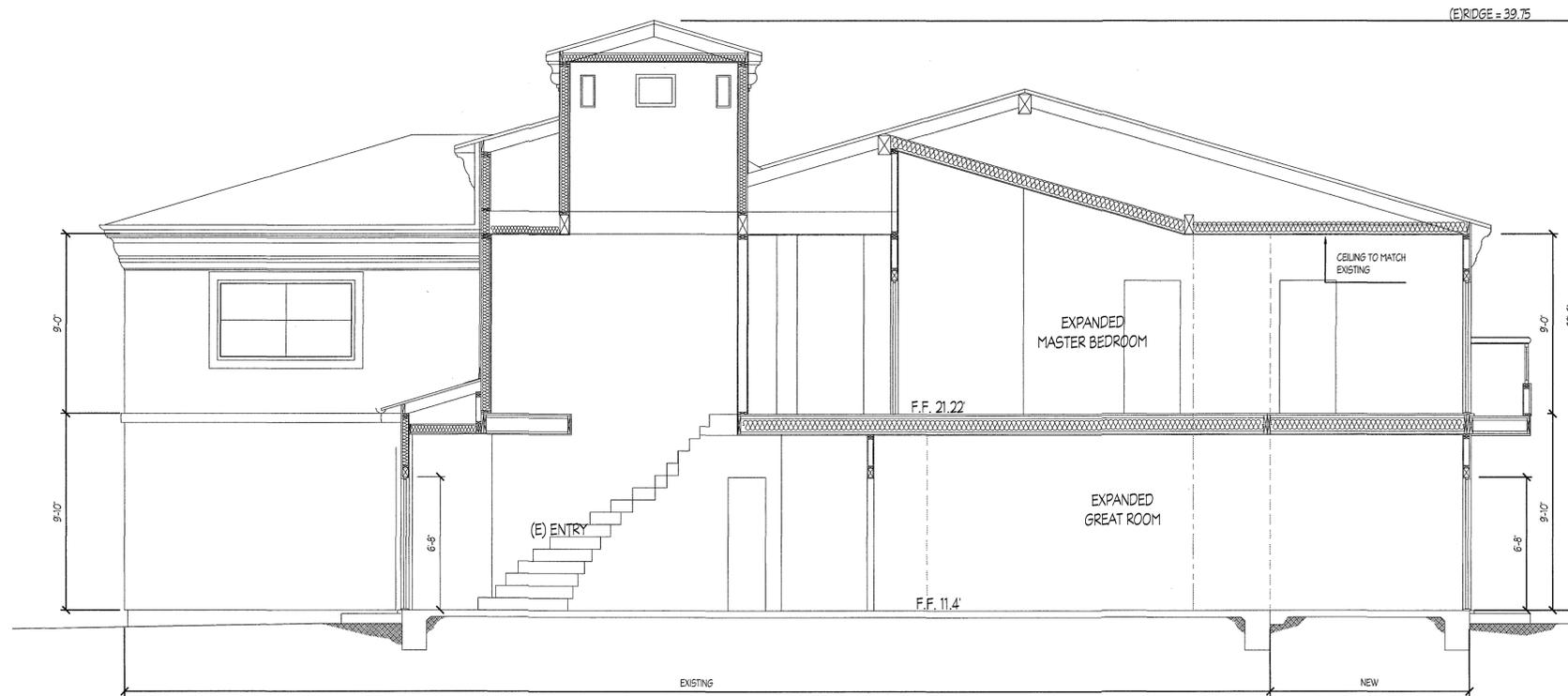
PLANNING
 The Louie Group

Phone: (714) 374-7034
 18092 Coltonway Circle • Huntington Beach, CA 92648
 E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue
 3571 Countryside Circle,
 Huntington Beach, CA 92649
 (714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-5
OF SHEETS



SECTION A

SECTIONS NOTES:

- 1 EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING - 4500 LBS. ICC-ES E-3475 - TYP.
- 2 3/8" FELT OR 1/2" PLYWD. SHTG. OR EQUAL, MIN. CLASS 'A'
- 3 7/8" STUCCO (2) MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. (TYP) - MATCH EXISTING.
- 4 4" HIGH RAILING WITH MAX. 3 7/8" OPENINGS - TYP.
- 5 6.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 6 6.I. WEEP SCREED 26 GA. MIN. - TYP.
- 7 6.I. FLASHING.
- 8 6.I. ROOF EDGE - TYP.
- 9 6.I. ROOF DRAIN, OVERFLOW DRAIN, GUTTER AND DOWNSPOUT.
- 10 STUCCO SOFFIT.
- 11 R-21 INSULATION
- 12 R-30 INSULATION
- 13 RADIANT BARRIER PLYWOOD ROOF SHEATHING (MIN. 1/2")
- 14 FRAMING - SEE STRUCTURAL.
- 15 FOUNDATION - SEE STRUCTURAL.
- 16 1/2" GYP. BRD.
- 17 5/8" GYP. BRD. (1-HOUR)
- 18 R-15 INSULATION
- 19 PLYWOOD SHEATHING - MATCH EXISTING.

REVISIONS	BY

ARCHITECTURE

PLANNING

The Louie Group

Phone: (714) 374-7034
 19092 Colleway Circle - Huntington Beach, CA 92648
 E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue
 3571 Countryside Circle,
 Huntington Beach, CA 92649
 (714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-6
OF SHEETS