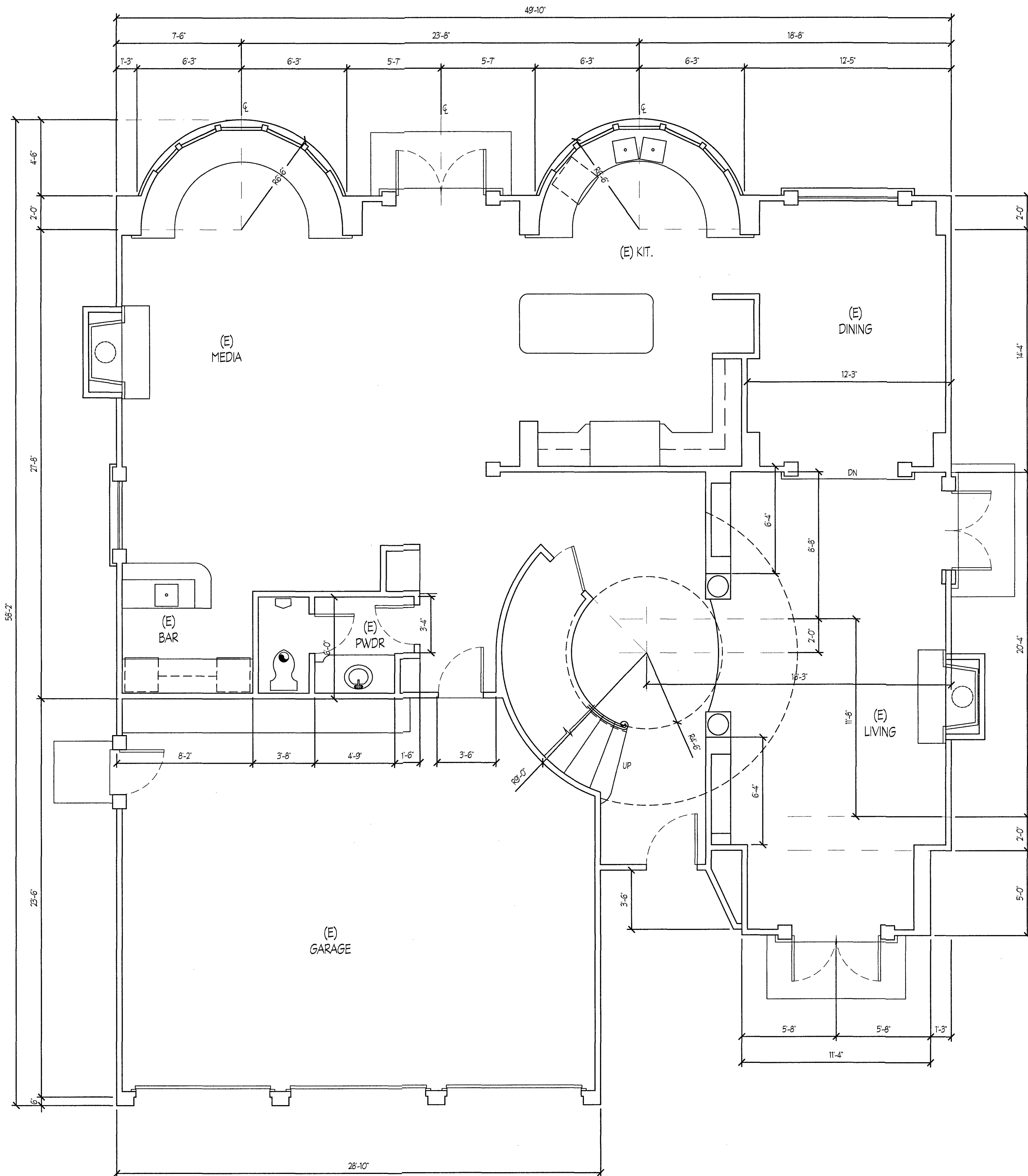




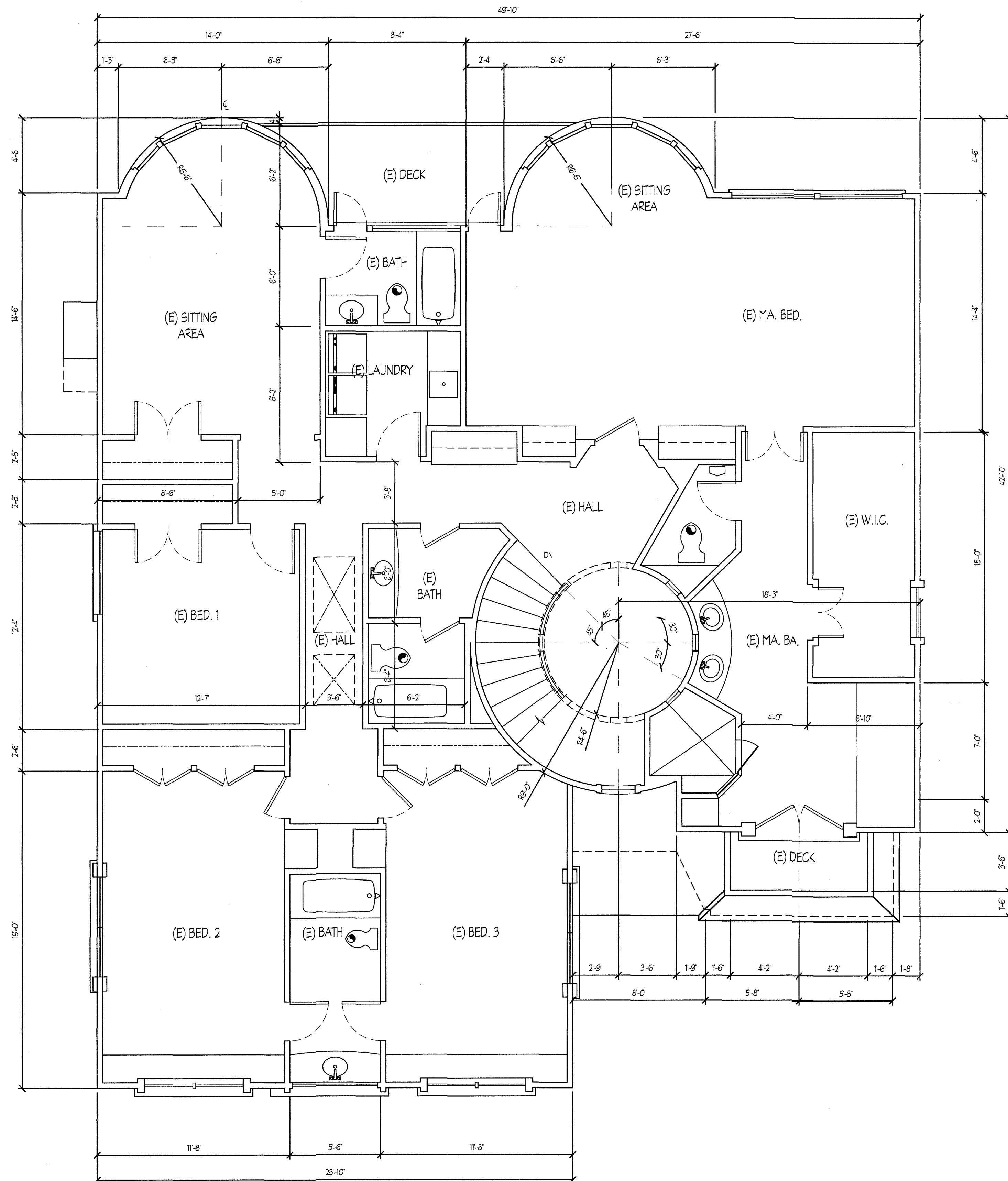
SITE PLAN
1/8" = 1'-0"

EXPANDED EXISTING GREAT ROOM, KITCHEN, MASTER BEDROOM, STUDY,
BATH 4, AND ADD AN ELEVATOR.

BETWEEN THE LOUIE GROUP - ARCHITECTS AND THE CLIENT. NO PROJECT DOCUMENTS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE LOUIE GROUP - ARCHITECTS.



EXISTING FIRST FLOOR PLAN
 SC: 1/8"=1'-0"



EXISTING SECOND FLOOR PLAN
 SC: 1/8"=1'-0"

REVISIONS	BY

ARCHITECTURE

PLANNING

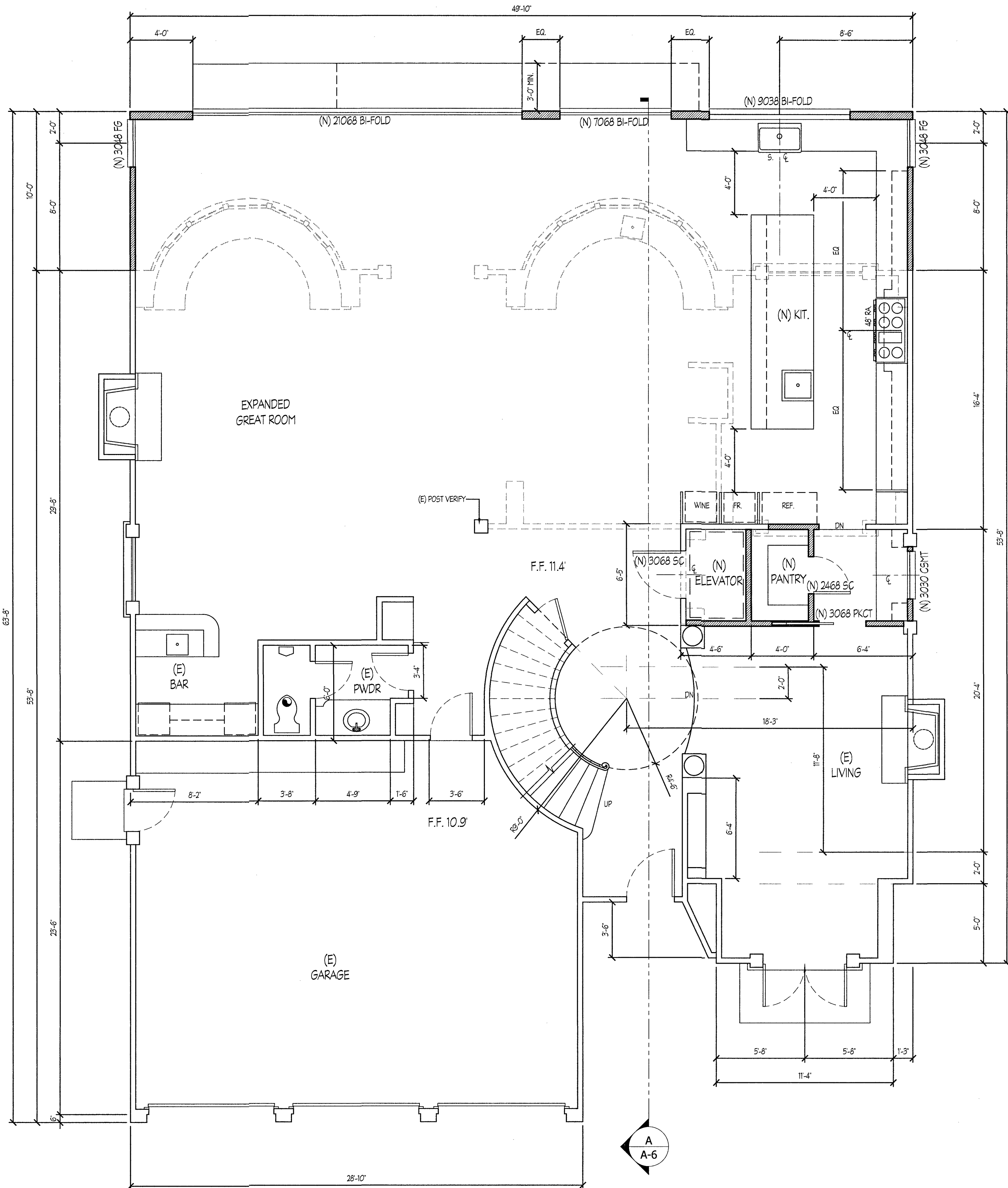
The Louie Group

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 19092 Coloway Circle - Huntington Beach, CA 92648
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PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue
 3571 Countryside Circle,
 Huntington Beach, CA 92649
 (714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
AE-1
OF SHEETS



PROPOSED FIRST FLOOR PLAN

SC: X=1'-0"

FLOOR PLAN NOTES

- BUILT-IN CABINETS (VERIFY W/ OWNER)
- TWO COMPARTMENT SINK (C.I.) W/ GARBAGE DISPOSAL
- DISHWASHER
- 48" RANGE
- TRASH COMPACTOR (OPTIONAL)
- 48" RANGE
- ALL EXHAUST FANS W/ 5 MIN AIR CHANGES PER HOUR TYP.
- REFRIGERATOR - VERIFY
- PANTRY W/ BUILT-IN SHELVES
- KITCHEN HOOD EXHAUST FAN DUCTED TO THE OUTSIDE W/ MIN. VENTILATION RATE OF 100cfm. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1
- FREEZER - VERIFY
- TEMP = TEMPERED GLASS W/ VISIBLE ETCH TYPE
- TYP 36" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- UPPER CABINETS
- ARCH
- WATER CLOSET-30" MIN. WIDTH, 24" CLEAR IN FRONT OF TOILET
- 30" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- BATHROOM MIRROR
- BUILT-IN MEDICINE CABINET
- SHOWER W/ NON-ABSORBENT WALLS AT 72" MIN. ABOVE DRAIN TYP.
- LINE OF SOFFIT
- VERIFY ALL ELECTRIC LIGHTING LOCATIONS W/ OWNER TYP
- E-EGRESS WINDOW OR DOOR TYP.
- OVERSIZED WHIRLPOOL TUB W/ SPLASH (OPTIONAL WHIRLPOOL)
- LINEN CABINET W/ SHELVES
- WINDOWS AND EXTERIOR DOORS SHALL BE VINYL
- FAU IN ATTIC W/ GAS ELECTRICITY AND LIGHT W/ SWITCH AND MIN 36" WIDE PLYWOOD PATH TO FAU W/ 36" MIN SPACE IN FRONT OF FAU
- 42" HIGH GUARDRAIL (MAX. 3 7/8" OPENING)
- WASHER OVERFLOW PAN W/ DRAIN (OPTIONAL)
- NICHE
- DIRECT VENT SEALED-COMBUSTION GAS APPLIANCE "HEAT & CO." CO-1042 UL3078. CLOSABLE METAL OR GLASS COVERING OVER THE ENTIRE OPENING OF THE FIRE BOX. COMBUSTION AIR INTAKE FROM OUTSIDE OF BUILDING DIRECTLY INTO FIREBOX OF AT LEAST 6" SQ. AND HAS AN ACCESSIBLE, OPERABLE AND TIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. A FIVE DAMPER WITH A READILY ACCESSIBLE CONTROL
- CLOTHES DRYER MOISTURE EXHAUST DUCT TO BE MIN. 4" DIA., TO THE OUTSIDE AND EQUIP W/ A BACK-DRAFT DAMPER. EXHAUSTER DUCT LENGTH IS LIMITED TO 10' MAX. W/ 2 ELBOWS. CFC 501.4.2
- 5/8" TYPE "X" GYP BOARD OR EQUAL (1-HOUR) AT WALLS, CEILINGS, POST & BEAMS TYP.
- SHELF AND POLE (VERIFY DOUBLE SHELF & POLE LOCATIONS W/ OWNER)
- SHOWER SEAT
- ALL BATHROOM WINDOWS SHALL BE TRANSLUCENT OR OBSCURE
- SHELVES
- LINE OF FLOOR ABOVE
- ALL NEW DOORS/WINDOW MUST COMPLY W/ BLDG. SEC. EA-1427 STD ORDINANCE #7-79
- MAXIMUM SILL HEIGHT OF 44"
- DECKING BY POLYCOAT, ICC-701 NO. 2785 BLOCK ALL EDGES OF PLYWOOD. (MIN. 1/4"-1/2" SLOPE) ICC-ESR 2785
- PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM, IN EACH CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA, BATTERY OR (SEE PLAN)
- STUCCO SOFFIT
- SHOCK DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DRAWING UNIT IN WHICH THEY ARE LOCATED
- WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYP W/ 1/28 GALLONS MAX. PER FLUSH (402, 3 U.P.C.). CONTROL VALVE FOR SHOWER/TUB SHOWER SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE AND NON-SCALDING AND PER CPC
- COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF FIREPLACE OPENING, NO SUCH MATERIAL WITHIN 12" OF FP OPENING SHALL PROJECT MORE THAN 1/8" FROM EACH 1" CLEARANCE FROM SUCH OPENING
- VERIFY ALL UTILITY LOCATIONS W/ OWNER TYP
- WINDOWS AND DOORS TO BE RECESSED WITHIN 2X8 STUD WALL
- F.P. VENT BLOCK OUT (TYPICAL) VENT TO OUTSIDE OR ABOVE ROOF
- NO SLIP JOINTS ALLOWED FOR TUB DRAIN AND OVERFLOW
- SHOWER, DRAIN W/ OPTIONAL APPROACH INTEGRATED SHOWER PAN
- TUB ACCESS OR SHOWER ACCESS SEE PLAN TYP.
- (1-HOUR) CONSTRUCTION AT ROOF EAVE/OVERHANG LESS THAN 3' FROM PROPERTY LINES TYP.
- THIS ROOM WILL NOT BE USED AS A SLEEPING ROOM
- 1" MAX. STEP
- ALL BEDROOM RECEPTACLES TO BE A F.I.C. PROTECTED PER NEC 210-12 OR SEC. TYP.
- LANDING IN FRONT OF THE DOOR-RECESSED DOOR AS REQUIRED
- ALL 6 F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUITS TYP.
- 30" SQ. ATTIC ACCESS, WEATHER STRIPED OR SEALED WITH 30" MIN. HEADROOM
- CONC. LANDING OR HARDSCAPE TYP.
- RECESSED H.B. W/ ANTI-SIPHON DEVICE TYP.
- VERIFY ALL LIGHTING LOCATIONS W/ OWNER TYP.
- 5/8" TYPE "X" GB. AT USABLE SPACE UNDER STAIR (1-HOUR) TYP.
- CONT. HANDRAIL
- ALL LIGHTING SHALL BE PER NEC, AND 2019 CEC, AND 2019 ENERGY CODE ARE SUBJECT TO FIELD INSPECTION AND APPROVAL BY FIELD INSPECTOR TYP.
- PROVIDE MIN. OF 40 WATTS OR LUMENS OR GREATER FOR KITCHEN LIGHTING TYP. - SEE T24
- CONC. LANDING OR - HARDSCAPE TYP. SLOPE AWAY FROM BUILDING W/ MIN. 1/4" / 12"
- CONT. HANDRAIL
- PROVIDE FOR FUTURE FOUNTAIN: WATER, ELECT. AND DRAIN
- V.T.O. W/ BACK DRAFT DAMPER AT LAUNDRY
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING AT QUICK ACTING VALVES FROM THE WASHER, DISHWASHER ETC. (609, 10 U.P.C. OR 2019 C.P.C.) TYP.
- 4" DIA. STL. PIPE CONC. FILLED AND SET IN 1'-0" SQ CONC. FTG (2'-0") MIN. HGT.
- 2-LAYERS AT CEILING 5/8" TYPE "X" GB. @ WALLS, CLG. POSTS, BRNS. (1-HOUR) @ TRUSSES
- SUSPENDED FAU AT CLG PROVIDE ELEC GAS MIN. 7'-0" HEAD HGT. UNDER W/ 32" CLEAR AREA IN FRONT OF FAU (VERIFY)
- ALL 6 F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUIT TYP.
- COLD SHOWER
- CERAMIC TILE @ CEMENT PLASTER TO +12" ABOVE DRAIN (TYP.), OR EQUAL AND 30" DIA. CLR. MIN. AND 1024 SQ. IN. MIN. TYP.
- TEMP. GLASS ENCLOSURE AND 22" MIN. WIDTH DOOR
- 24" CLR. IN FRONT (TYPICAL)
- ALL BORN RECEPTACLES TO BE AFCI PROTECTED PER C.E.C. 2019 AND 2019 ENERGY CODE SEE 210-12
- MAX. 7.5' THRESHOLD AT FRONT DOOR
- 4'-24" H. FIREBOX (VERIFY) HOR. AT 49'-6" PROVIDE 3/8" PLYWD OR 5/8" TYPE "X" GYP BD DRAFT STOP: F.P. FLUEWELL-MAX. 10'-0" OC. 42" H' GUARDRAIL W/ 3 7/8" MAX. OPENING HANDRAIL SHALL BE CONT.

- 42" HIGH SOLID GUARDRAIL
- 42" HIGH GUARDRAIL W/ 3 7/8" MAX. OPENINGS -3'-6" H. MIN.
- PROVIDE ELEC. AND CABLE -40" FOR TV (VERIFY W/ OWNER)
- NEW SMOKE DETECTORS SHALL BE (HARDWIRED) 110V AND W/BATTERY POWER TYPICAL
- OBSCURE GLASS
- PROVIDE DECK DRAIN AND OVERFLOW DRAIN, 3" MIN. AND 2" MIN. VERTICAL
- CANT STRIPS TO DECK DRAIN AND OVERFLOW
- ALL NEW LIGHTING FIXTURES AND SWITCHING PER 2019 ENERGY CODE TYP.
- TIME CLOCK OR FLUR. SENSOR TYP.
- PROVIDE DD AND OD 3" MIN. HORIZ. AND 2" MIN VERTICAL TYP.
- (D.D.) DECK DRAIN, OD=OVERFLOW DRAIN
- DECK SQUIPPER
- CANTS TYP.
- PROVIDE R-19 BAT INSULATION IN RAISED FLOORS TYP.
- ELECTRICAL PANEL 200amp MIN. (VERIFY LOCATION)
- A WARMY AIR FURNACE IN AN ATTIC SHALL COMPLY WITH THE FOLLOWING PER CMC 3050:
1. THE FURNACE LOCATED NOT GREATER THAN 20 FEET FROM THE ATTIC ACCESS.
2. A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE
3. A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHOULD BE PROVIDED AT OR NEAR THE FURNACE
4. AIR-COOLING COILS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATERTIGHT PAN INSTALLED BENEATH THEM PER CMC 101610 13th 5th & 1106.12
- TANKLESS WATER HEATER - VTO.
- INTERIOR HANDRAILS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND APPROVED STRUCTURALLY BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF STAIR. BALCONY BALUSTRADES SHALL HAVE A CLEAR SPACING OF 3 7/8" MAXIMUM. EXTEND HANDRAIL 6" BEYOND TOP AND BOTTOM TREAD, MAXIMUM STAIR RISE SHALL BE 7 3/8". MINIMUM STAIR RUN SHALL 10", STAIR HEADROOM SHALL BE MINIMUM 6'-8"
- ELEVATOR INTERIOR WALLS AND CLG. SHALL BE LINED W/ 5/8" TYPE "X" GYP. BRD. (ENTIRE SHAF) (1-HOUR) PER CBC, 2019 IF APPLICABLE
- FIREPLACE LESS THAN 36" FROM PROP. LINE SHALL BE LINED W/ 5/8" TYPE "X" GYP BRD. (1-HOUR) AT INTERIOR OF FP AND MIN 7/8" THICK EXTERIOR STUCCO AT EXTERIOR
- AIR AND HEAT SUPPLY REGISTER AND LOCATION TYP.
- RETURN AIR
- EAVES OVER REQUIRED WINDOWS FOR 3'-0" SIDE YARD MAY EXTEND 6" INTO SIDE YARD W/ (1-HOUR) PROTECTION AND 30" CLEAR PROP. LINE. EAVES LESS THAN 5'-0" FROM PROP LINE TO BE (1-HOUR) CONSTRUCTION TYP.
- ALL BATHROOM FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDISTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80%. CBC 4.506.
- ICE MAKER
- WARNING DRAWER
- MICROWAVE OVEN
- 2" HIGH WINDOW SEAT
- 1 3/8" THK. SC. SELF-CLOSING, TIGHT FITTING, SELF LATCHING SOLID WOOD DOOR
- FAU PROVIDE ELECTRICAL/GAS PER MANUFACTURER SPECIFICATIONS
- SHOCK DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- SHOCK DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP
- CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- CARBON MONOXIDE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP
- HIGH EFFICACY LUMINAIRES MUST BE TYPICAL
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)-REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST OUTLETS
- BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT
- NOTE:
- WHOLE BUILDING VENTILATION EQUATION:
+ 7.5(4) = 58.55 CFM
NITRONE OVERFLOW = 80 CFM SONES 0.3 PROVIDE NOTE LABEL @ SWITCH THAT READS: KEEP ON EXCEPT WHEN GONE OVER 7 DAYS
COVERS FOR FAN SHALL HAVE MIN. INSULATION OF 8-4.2
DOORS SHALL HAVE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDED IN DOOR
- DRIVEN GROUNDING ELECTRODES SHALL BE STAINLESS STEEL, A MINIMUM OF 5/8" DIA. AND A MINIMUM OF 6" LONG INTO THE SOIL (H.B.M.C.). THE GROUNDING ELECTRODE CONDUCTOR CONNECTOR TO A DRIVEN ELECTRODE SHALL BE LISTED FOR THIS PURPOSE. (250, 70 CEC)
- ALL RECEPTACLES IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN, LAUNDRY, UTILITY, WET BARS SINKS (WITHIN 6' OF EDGE OF SINK) SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION. (2018 CEC)
- LOCATION OF FUTURE EV CHARGER AND LISTED RACEWAY PROVIDED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. RACEWAY SHALL BE MINIMUM TRADE SIZE 1" AND SHALL ORIGINATE AT MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET IN CLOSE PROXIMITY TO THE PROPOSED EV CHARGER. C685C 4.106.4.1
- THE SERVICE PANEL SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE". C685 4.106.4.1.1
- ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC-408.12
- FOR EXTERIOR LIGHTING, SPECIFY LUMINAIRES TO BE EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS: AS APPLICABLE PER CEC 150.0(V)(3):
a. CONTROLLED BY A MANUAL "ON" AND "OFF" SWITCH THAT DOES NOT OVERRIDE TO "ON" THE AUTOMATIC ACTIONS OF ITEMS b) OR c) BELOW; AND
b. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
c. CONTROLLED BY ONE OF THE FOLLOWINGS:
- PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK
- ENERGY MANAGEMENT CONTROL SYSTEM
- PROVIDE A DEDICATED GAS LINE FROM THE GAS METER TO THE WATER HEATER. REFER TO CPC 1216.3 OR MANUFACTURERS INSTALLATION MANUAL FOR A MINIMUM GAS PIPE SIZING
- HSC 1921: ALL NEW WATER HEATER, AND ALL EXISTING RESIDENTIAL WATER HEATERS, SHALL BE BRACED/ANCHORED OR STRAPPED TO RESIST FALLING OR HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. AT A MINIMUM, ANY WATER HEATER SHALL BE SECURED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, OR MODIFICATIONS MADE THERETO BY A CITY, COUNTY, OR CITY AND COUNTY PURSUANT TO SECTION 17959.5.

GENERAL NOTES:

- GLAZING IN WINDOWS AND DOORS SHALL HAVE A U FACTOR OF 0.32 AND SHGC OR 0.25 UNLESS OTHERWISE NOTED.
- ANY EXTERIOR BUILDING CHANGES (DESIGN), MATERIALS, COLORS, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO COMMENCING WORK IN THESE AREAS.
- V5 = VACANCY SENSOR.
- TOTAL LOAD OF NEW SERVICE PANEL IS LESS THAN 200amp. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL, UNLESS AN ENGINEERING ANALYSES AND CONSTRUCTION DETAILS PROVIDED.
- IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCES W/ MOTOR OF 1/4HP OR LARGER SHALL BE ON A SEPARATE 20amp BRANCH CIRCUIT. (ORD 2016-1026, ARTICLE 422.10 CEC).
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREAS, WET BAR SINKS (WITHIN 6' OF EDGE OF SINK), BATHHOUSES, BATHTUB AND SHOWER STALLS (RECEPTACLES WITHIN 6' OF THE OUTSIDE EDGE OF TUB OR SHOWER STALL) SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI).
- ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (ART CLE 210.12(A) CEC).
- AS OF JANUARY 1, 2017, SENATE BILL 407 REQUIRES ALL NON-COMPLAINT PLUMBING FIXTURES IN SINGLE FAMILY RESIDENTIAL REAL PROPERTY TO BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES, REGARDLESS OF WHETHER PROPERTY UNDERGOES ALTERATIONS OR IMPROVEMENTS. (CIVIL SECTION 101.4, SB407).
- NON-ABESTOS FIBER-CEMENT BACKER BOARDS, NON-ABESTOS FIBER-PAV REINFORCED CERAMIC TILE BACKER UNITS, GLASS MAT GYPSUM BACKING PANELS SHALL BE USED AS A BACKER FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R202.4.2).
- PERMANENT INSTALLED LUMINAIRES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSORS. ALSO KNOWN AS VACANCY SENSORS. AUTOMATICALLY TURN LIGHTS OFF IF AN OCCUPANT FORGETS TO TURN THEM OFF WHEN A ROOM IS UNOCCUPIED. ADDITIONALLY, THESE SENSORS ARE REQUIRED TO PROVIDE THE OCCUPANT WITH THE ABILITY TO MANUALLY TURN THE LIGHTS:
 - OFF UPON LEAVING THE ROOM.
 - OFF WHILE STILL OCCUPYING A ROOM.ON UPON ENTERING THE ROOM.
- APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG BETWEEN FLOOR AND SEPARATION WALL.
- ALL PENETRATIONS INTO SOUND-RATED PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.
- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLICED, MOUTHS OR MIN. 1/4" THICK APPROVED RESILIENT MATERIAL.
- METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED.
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT, WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY WITHIN A WALL.
- ALL WINDOWS AND DOORS ARE EXISTING UNLESS NOTED (N) FOR NEW.

WALL LEGEND:

- (E) WALL
(N) WALL
WALL TO BE DEMOLISHED

SYMBOLS

SYMBOL	DESCRIPTION
⊕	110 VOLT DOUBLE OUTLET
⊕	220 VOLT DOUBLE OUTLET
⊕	110 VOLT DOUBLE OUTLET WEATHER PROOF
⊕	110 VOLT DOUBLE OUTLET DEDICATED
⊕	INCANDESCENT LIGHT FIXTURE
⊕	FLUSH LIGHT FIXTURE
⊕	FLUORESCENT LIGHT FIXTURE
⊕	BRACKET LIGHT FIXTURE
⊕	FLUSH LIGHT FIXT. WATERPROOF
⊕	HEAT-LIGHT FAN COMBINATION FIXTURE
⊕	ONE AIR CHANGER PER 5 MINUTES
⊕	VENT FAN 500 ONE AIR CHANGE PER 5 MINUTES
⊕	SINGLE POLE SWITCH - SILENT TYPE
⊕	3-WAY POLE SWITCH - SILENT TYPE
⊕	4-WAY POLE SWITCH - SILENT TYPE
⊕	110 VOLT OUTLET ("J" BOX)
⊕	220 VOLT OUTLET ("J" BOX)
⊕	DOUBLE EAVES FLOOD LIGHT
⊕	PHONE OUTLET
⊕	INTERCOM SPEAKER
⊕	INTERCOM MASTER PANEL
⊕	CABLE OUTLET
⊕	THERMOSTAT
⊕	FLOOR REGISTER (6" X 14")
⊕	CEILING REGISTER (6" X 14")
⊕	WALL REGISTER HI. TYPE (6" X 14")
⊕	FUEL GAS OUTLET
⊕	LOOSE KEY VALVE
⊕	HOSE BIBB
⊕	WATER OUTLET FOR REFRS. OR ICE MAKER
⊕	ROOF DRAIN W/ OVERFLOW
⊕	FLOOR DRAIN
⊕	DOOR BELL
⊕	DOOR BELL CHIME
⊕	CARBON MONOXIDE DETECTOR
⊕	SMOKE DETECTOR
⊕	SPEAKER
⊕	ELECTRIC VEHICLE EQUIPMENT
⊕	BUILDING SECTION
⊕	DETAIL REFERENCE
⊕	PLAN REVISION

REVISIONS	BY

PLANNING
The Louie Group

ARCHITECTURE
The Louie Group

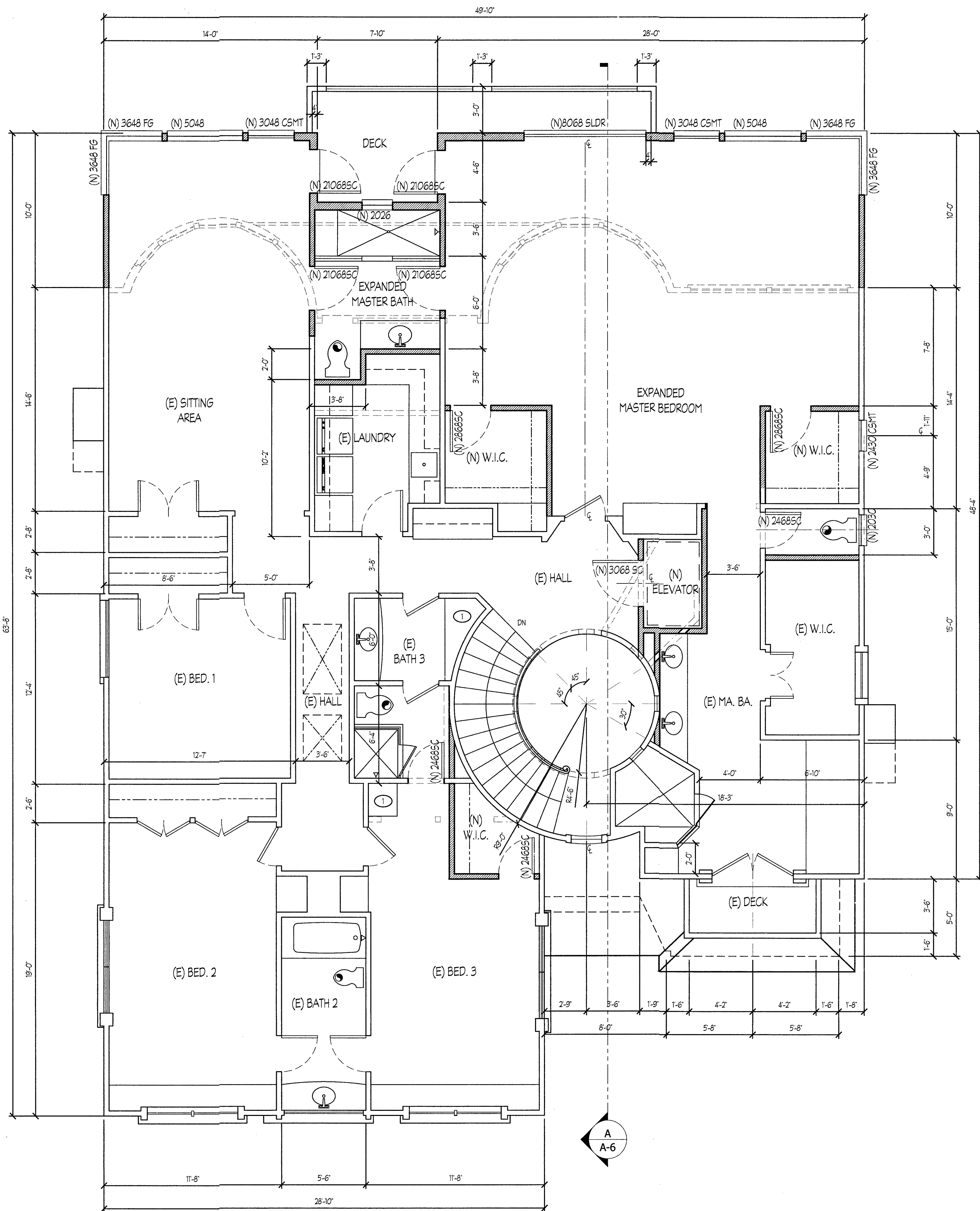
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PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue

3571 Couriside Circle,
Huntington Beach, CA 92649
(714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-1
OF SHEETS



PROPOSED SECOND FLOOR PLAN

SC: 1/8"=1'-0"

FLOOR PLAN NOTES

- BUILT-IN CABINETS (VERIFY W/ OWNER)
- TWO COMPARTMENT SINK (C.I.) W/ GARBAGE DISPOSAL
- DISHWASHER
- 48" RANGE
- TRASH COMPACTOR (OPTIONAL)
- 48" RANGE
- ALL EXHAUST FANS W/ 5 MIN AIR CHANGES PER HOUR TYP.
- REFRIGERATOR - VERIFY
- PANTRY W/ BUILT-IN SHELVES
- KITCHEN HOOD EXHAUST FAN DUCTED TO THE OUTSIDE W/ MIN. VENTILATION RATE OF 100 CFM. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 1
- FREEZER - VERIFY
- TEMP. = TEMPERED GLASS VISIBLE ETC TYPE
- TYP 3/8" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- UPPER CABINETS
- ARCH
- WATER CLOSET-30" MIN. WIDTH, 24" CLEAR IN FRONT OF TOILET
- 30" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- BATHROOM MIRROR
- BUILT-IN MEDICINE CABINET
- SHOWER W/ NON-ABSORBENT WALLS AT 72" MIN. ABOVE DRAIN TYP.
- LINE OF SOFFIT
- VERIFY ALL ELECTRIC LIGHTING LOCATIONS W/ OWNER TYP
- EGRESS WINDOW OR DOOR TYP.
- OVERSIZED WHIRLPOOL TUB W/ SPLASH (OPTIONAL WHIRLPOOL)
- LINEN CABINET W/ SHELVES
- WINDOWS AND EXTERIOR DOORS SHALL BE VINYL
- FAU IN ATTIC W/ GAS ELECTRICITY AND LIGHT W/ SWITCH AND MIN 36" WIDE PLYWOOD PATH TO FAU W/ 3/8" MIN SPACE IN FRONT OF FAU
- 42" HIGH GUARDRAIL (MAX. 3 7/8" OPENING)
- WASHER OVERFLOW PAN W/ DRAIN (OPTIONAL)
- NICHE
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- CLOTHES DRYER MOISTURE EXHAUST DUCT TO BE MIN. 4" DIA., TO THE OUTSIDE AND EQUIP W/ A BACK-DRAFT DAMPER. EXHAUSTER DUCT LENGTH IS LIMITED TO 10 FT. W/ 2 ELBOWS. CPC 504.4.2
- 5/8" TYPE 'X' GYP BOARD OR EQUAL (1-HOUR) AT WALLS, CEILINGS, POST & BEAMS TYP.
- SHelf AND SOLE (VERIFY DOUBLE SHELF & POLE LOCATIONS W/ OWNER)
- SHOWER SEAT
- ALL BATHROOM WINDOWS SHALL BE TRANSLUCENT OR OBSCURE
- SHELVES
- LINE OF FLOOR ABOVE
- ALL NEW DOORS/WINDOW MUST COMPLY W/ BLDG. SEC. EA 1427 STD ORDINANCE #1-79
- MAXIMUM SILL HEIGHT OF 44"
- DECKING BY POLYCOAT, ICGT NO. 2785 BLOCK ALL EDGES OF PLYWOOD (MIN. 1/4" 1/2" SLOPE) ICC-ESR 2785
- PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM, IN EACH CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA, BATTERY OK (SEE PLAN)
- STUCCO SOFFIT
- SHOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DRAWING UNIT IN WHICH THEY ARE LOCATED
- WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH (402, 3 U.P.C.). CONTROL VALVE FOR SHOWER/TUB SHOWER SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE AND NON-SCALDING AND PER CPC
- COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF FIREPLACE OPENING, NO SUCH MATERIAL WITHIN 12" OF FP OPENING SHALL PROJECT MORE THAN 1/8" FROM EACH T CLEARANCE FROM SUCH OPENING
- VERIFY ALL UTILITY LOCATIONS W/ OWNER TYP
- WINDOWS AND DOORS TO BE RECESSED WITHIN 2X8 STUD WALL
- F.P. VENT BLOCK OUT (TYPICAL) VENT TO OUTSIDE OR ABOVE ROOF
- NO SLIP JOINTS ALLOWED FOR TUB DRAIN AND OVERFLOW
- SHOWER, DRAIN W/ OPTIONAL APPROACH INTEGRATED SHOWER PAN
- TUB ACCESS OR SHOWER ACCESS SEE PLAN TYP.
- (1-HOUR) CONSTRUCTION AT ROOF EAVE/OVERHANG LESS THAN 3' FROM PROPERTY LINES TYP.
- THIS ROOM WILL NOT BE USED AS A SLEEPING ROOM
- 1" MAX. STEP
- ALL BEDROOM RECEPTACLES TO BE A.F.I.C. PROTECTED PER NEC 210-12 OR SEC. TYP.
- LANDING IN FRONT OF THE DOOR-RECESS DOOR AS REQUIRED
- ALL 6 F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUITS TYP.
- 30" SQ. ATTIC ACCESS, WEATHER STRIPED OR SEALED WITH 30" MIN. HEADROOM
- CONC. LANDING OR HARDSCAPE TYP.
- RECESSED H.B. W/ ANTI-SHOCK DEVICE TYP.
- VERIFY ALL LIGHTNING LOCATIONS W/ OWNER TYP.
- 5/8" TYPE 'X' GB. AT USABLE SPACE UNDER STAIR (1-HOUR) TYP.
- CONT. HANDRAIL
- ALL LIGHTING SHALL BE PER NEC, AND 2019 CEC, AND 2019 ENERGY CODE ARE SUBJECT TO FIELD INSPECTION AND APPROVAL BY FIELD INSPECTOR TYP.
- PROVIDE MIN. OF 40 WATTS OR LUMENS OR GREATER FOR KITCHEN LIGHTING TYP. - SEE T24
- CONC. LANDING OR - HARDSCAPE TYP. SLOPE AWAY FROM BUILDING WITHIN 1/4" / 12"
- PROVIDE FOR FUTURE FOUNTAIN: WATER, ELECT. AND DRAIN
- V.T.O. W/ BACK DRAFT DAMPER AT LAUNDRY
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING AT QUICK ACTING VALVES FROM THE WASHER, DISHWASHER ETC. (609, 10 U.P.C. OR 2019 C.P.C.) TYP.
- 4" DIA. STL. PIPE CONC. FILLED AND SET IN 1'-0" SQ CONC. FTG (2'-0") MIN. HGT.
- 2-LAYERS AT CEILING 5/8" TYPE 'X' GB. @ WALLS, CLG, POSTS, BRNS. (1-HOUR) @ TRUSSES
- SUSPENDED FAU AT CLS PROVIDE ELECT GAS MIN. 7'-0" HEAD HGT. UNDER, W/ 32" CLEAR AREA IN FRONT OR SIDE OF FAU (VERIFY)
- ALL 6 F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUIT TYP.
- COLD SHOWER
- CERAMIC TILE @ CEMENT PLASTER TO +72" ABOVE DRAIN (TYP.), OR EQUAL AND 3/8" DIA. CLR MIN. AND 1024 SQ. IN. MIN. TYP.
- TEMP. GLASS ENCLOSURE AND 22" MIN. WIDTH DOOR
- 24" CLR. IN FRONT (TYPICAL)
- ALL BORN RECEPTACLES TO BE AFCI PROTECTED PER C.E.C. 2019 AND 2019 ENERGY CODE SEE 210-12
- MAX. 7/8" THRESHOLD AT FRONT DOOR
- 4'-24" H. FIREBOX (VERIFY) HDR. AT 4'-9'-6" PROVIDE 3/8" PLYWD OR 5/8" TYPE 'X' GYP BD DRAFT STOP. F.P. FLUEWELL-MAX. 10'-0" OC.
- 42" H. GUARDRAIL W/ 3 7/8" MAX. OPENING HANDRAIL SHALL BE CONT.

- 42" HIGH SOLID GUARDRAIL
- 42" HIGH GUARDRAIL W/ 3 7/8" MAX. OPENINGS +3'-6" H. MIN.
- PROVIDE ELECT. AND CABLE 4'-0" FOR TV (VERIFY W/ OWNER)
- NEW SMOKE DETECTORS SHALL BE (HARDWIRED) 110V AND W/BATTERY POWER TYPICAL
- OBSCURE GLASS
- PROVIDE DECK DRAIN AND OVERFLOW DRAIN, 3" MIN. AND 2" MIN. VERTICAL
- CANT STRIPS TO DECK DRAIN AND OVERFLOW
- ALL NEW LIGHTING FIXTURES AND SWITCHING PER 2019 ENERGY CODE TYP.
- TIME CLOCK OR FLUR. SENSOR TYP.
- PROVIDE DD AND 0.3' MIN. HORIZ. AND 2' MIN VERTICAL TYP. (D.D. DECK DRAIN, DD-OVERFLOW DRAIN)
- DECK SCUPPER
- CANTS TYP.
- PROVIDE R-19 BAT INSULATION IN RAISED FLOORS TYP.
- ELECTRICAL PANEL 200amp MIN. (VERIFY LOCATION)
- A WARM AIR FURNACE IN AN ATTIC SHALL COMPLY WITH THE FOLLOWING PER CHC 9080
1. THE FURNACE LOCATED NOT GREATER THAN 20 FEET FROM THE ATTIC ACCESS.
2. A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE.
3. A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHOULD BE PROVIDED AT OR NEAR THE FURNACE
4. AIR-COOLING COILS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATER TIGHT PAN INSTALLED BENEATH THEM PER CHC 1106.10 13th & 1106.12
- TANKLESS WATER HEATER - VTD
- INTERIOR HANDRAILS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND APPROVED STRUCTURALLY BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF STAIR, BALCONY
- BALUSTRADES SHALL HAVE A CLEAR SPACING OF 3 7/8" MAXIMUM, EXTEND HANDRAIL 6" BEYOND TOP AND BOTTOM TREAD, MAXIMUM STAIR RISE SHALL BE 7 3/8". MINIMUM STAIR RUN SHALL 10", STAIR HEADROOM SHALL BE MINIMUM 6'-8"
- ELEVATOR INTERIOR WALLS AND CLG. SHALL BE LINED W/ 5/8" TYPE 'X' GYP. BRD. (ENTIRE SHAFT) (1-HOUR) PER CBC. 2019 IF APPLICABLE
- FIREPLACE LESS THAN 36" FROM PROP. LINE SHALL BE LINED W/ 5/8" TYPE 'X' GYP BRD. (1-HOUR) AT INTERIOR OF FP AND MIN 1/8" THICK EXTERIOR STUCCO AT EXTERIOR
- AIR AND HEAT SUPPLY REGISTER AND LOCATION TYP.
- RETURN AIR
- EAVES OVER REQUIRED WINDOWS FOR 3'-0" SIDE YARD MAY EXTEND 6" INTO SIDE YARD W/ (1-HOUR) PROTECTION AND 30" CLEAR PROP. LINE. EAVES LESS THAN 5'-0" FROM PROP. LINE TO BE (1-HOUR) CONSTRUCTION TYP.
- ALL BATHROOM FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDISTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80%. CGSC 4.506
- ICE MAKER
- WARMING DRAWER
- WARMING OVEN
- 42" HIGH WINDOW SEAT
- 1 3/8" THK. SC. SELF-CLOSING, TIGHT FITTING, SELF LATCHING SOLID WOOD DOOR
- FAU PROVIDE ELECTRICAL/GAS PER MANUFACTURER SPECIFICATIONS
- SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL BE EQUIPPED WITH BATTERY BACK UP
- CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- CARBON MONOXIDE DETECTORS SHALL BE HARD WIRED AND SHALL BE EQUIPPED WITH BATTERY BACK UP
- HIGH EFFICACY LUMINARIES MUST BE TYPICAL
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN AFCI (CIRCUIT INTERRUPTER) REQUIREMENT 15 FOR ENTIRE CIRCUIT, NOT JUST OUTLETS
- BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT NOTE:
- WHOLE BUILDING VENTILATION EQUATION:
1.5(A) = 58.55 CPM
NUTONE (OVEN) 20 = 80 CPM SONES 0.3 PROVIDE NOTE LABEL @ SWITCH THAT READS: KEEP ON EXCEPT WHEN GONE OVER 7 DAYS COVERS FOR FAN SHALL HAVE MIN. INSULATION OF R-4.2 DOORS SHALL HAVE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDED IN DOOR
- DRIVEN GROUNDING ELECTRODES SHALL BE STAINLESS STEEL, A MINIMUM OF 5/8" DIA. AND A MINIMUM OF 8' DRIVEN INTO THE SOIL. (H.B.M.C.). THE GROUNDING ELECTRODE CONDUCTOR CONNECTOR TO A DRIVEN ELECTRODE SHALL BE LISTED FOR THIS PURPOSE. (250 TO CEC)
- ALL RECEPTACLES IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN, LAUNDRY, UTILITY, WET BARS SINKS (WITHIN 6' OF EDGE OF SINK) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION (2018 CEC)
- LOCATION OF FUTURE EV CHARGER AND LISTED RACEWAY PROVIDED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. RACEWAY SHALL BE MINIMUM TRADE SIZE 1 AND SHALL ORIGINATE AT MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET IN CLOSE PROXIMITY TO THE PROPOSED EV CHARGER. CGSC 4.106.4.
- THE SERVICE PANEL SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS 'EV CAPABLE'. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CAPABLE'. CGSS 4.106.4.11.
- ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER - RESISTANT RECEPTACLES PER CEC-406.12
- FOR EXTERIOR LIGHTING, SPECIFY LUMINAIRES TO BE EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CEC 150.0 (V)3:
a. CONTROLLED BY A MANUAL 'ON' AND 'OFF' SWITCH THAT DOES NOT OVERRIDE TO 'ON' THE AUTOMATIC ACTIONS OF ITEMS b) OR c) BELOW; AND
b. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO 'ON' SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
c. CONTROLLED BY ONE OF THE FOLLOWINGS:
- PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK
- ENERGY MANAGEMENT CONTROL SYSTEM
- PROVIDE A DEDICATED GAS LINE FROM THE GAS METER TO THE WATER HEATER. REFER TO CPC 1216.3 OR MANUFACTURER'S INSTALLATION MANUAL FOR A MINIMUM GAS PIPE SIZING
- HSC 1921: ALL NEW WATER HEATER, AND ALL EXISTING RESIDENTIAL WATER HEATERS, SHALL BE BRACED/ANCHORED OR STRAPPED TO RESIST FALLING OR HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. AT A MINIMUM, ANY WATER HEATER SHALL BE SECURED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, OR MODIFICATIONS MADE THERETO BY A CITY, COUNTY, OR CITY AND COUNTY PURSUANT TO SECTION 17988.5.

GENERAL NOTES:

- GLAZING IN WINDOWS AND DOORS SHALL HAVE A 'U' FACTOR OF 0.32 AND SHGC OF 0.25 UNLESS OTHERWISE NOTED.
- ANY EXTERIOR BUILDING CHANGES (DESIGN), MATERIALS, COLORS, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO COMMENCING WORK IN THESE AREAS.
- V5 = VACANCY SENSOR.
- TOTAL LOAD OF NEW SERVICE PANEL IS LESS THAN 200amp. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL, UNLESS AN ENGINEERING ANALYSES AND CONSTRUCTION DETAILS PROVIDED.
- IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCES W/ MOTOR OF 1/4HP OR LARGER SHALL BE ON A SEPARATE 20amp BRANCH CIRCUIT. (ORD 2016-1026, ARTICLE 422.10 CEC).
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREAS, WET BAR SINKS (WITHIN 6' OF EDGE OF SINK), BATHROOMS, BATHTUB AND SHOWER STALLS (RECEPTACLES WITHIN 6' OF THE OUTSIDE EDGE OF TUB OR SHOWER STALL) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI).
- ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (ART CLE 210.12(A) CEC).
- AS OF JANUARY 1, 2017, SENATE BILL 407 REQUIRES ALL NON-COMPLAINT PLUMBING FIXTURES IN SINGLE FAMILY RESIDENTIAL REAL PROPERTY TO BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES, REGARDLESS OF WHETHER PROPERTY UNDERGOES ALTERATIONS OR IMPROVEMENTS. (CIVIL SECTION 101.4, SB407).
- NON-ABESTOS FIBER-CEMENT BACKER BOARDS, NON-ABESTOS FIBER-REINFORCED CEMENTOUS BACKER UNITS, GLASS MAT GYPSUM BACKING PANELS SHALL BE USED AS A BACKER FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R202.4.2).
- PERMANENT INSTALLED LUMINARIES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL MANUAL/ON-AUTOMATIC-OFF OCCUPANT SENSORS. ALSO KNOWN AS VACANCY SENSORS, AUTOMATICALLY TURN LIGHTS OFF IF AN OCCUPANT FORGETS TO TURN THEM OFF WHEN A ROOM IS UNOCCUPIED. ADDITIONALLY, THESE SENSORS ARE REQUIRED TO PROVIDE THE OCCUPANT WITH THE ABILITY TO MANUALLY TURN THE LIGHTS:
 - OFF UPON LEAVING THE ROOM.
 - OFF WHILE STILL OCCUPANCY A ROOM.
 - ON UPON ENTERING THE ROOM.
- APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG BETWEEN FLOOR AND SEPARATION WALL.
- ALL PENETRATIONS INTO SOUND-RATED PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.
- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUTHS OR MIN. 1/4" THICK APPROVED RESILIENT MATERIAL.
- METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED.
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PRE OR DUCT, WHATEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY WITHIN A WALL.
- ALL WINDOWS AND DOORS ARE EXISTING UNLESS NOTED (N) FOR NEW.

WALL LEGEND:

- (E) WALL
- (N) WALL
- WALL TO BE DEMOLISHED

SYMBOLS

SYMBOL	DESCRIPTION
	110 VOLT DOUBLE OUTLET
	220 VOLT DOUBLE OUTLET
	110 VOLT DOUBLE OUTLET WEATHER PROOF
	110 VOLT DOUBLE OUTLET DEDICATED
	INCANDESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	BRACKET LIGHT FIXTURE
	FLUSH LIGHT FXT. WATERPROOF
	HEAT-LIGHT FAN COMBINATION FIXTURE
	ONE AIR CHANGER PER 5 MINUTES
	VENT FAN 500 ONE AIR CHANGE PER 5 MINUTES
	SINGLE POLE SWITCH - SILENT TYPE
	3-WAY POLE SWITCH - SILENT TYPE
	4-WAY POLE SWITCH - SILENT TYPE
	110 VOLT OUTLET (J BOX)
	220 VOLT OUTLET (J BOX)
	DOUBLE EAVES FLUSH LIGHT
	PHONE OUTLET
	INTERCOM SPOKER
	INTERCOM MASTER PANEL
	CABLE OUTLET
	THERMOSTAT
	FLOOR REGISTER (6' X 14')
	CEILING REGISTER (6' X 14')
	WALL REGISTER HI. TYPE (6' X 14')
	FUEL GAS OUTLET
	LOOSE KEY VALVE
	HOSE BIBB
	WATER OUTLET FOR REFRIG. OR ICE MAKER
	ROOF DRAIN W/ OVERFLOW
	FLOOR DRAIN
	DOOR BELL
	DOOR BELL CHIME
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SPEAKER
	ELECTRIC VEHICLE EQUIPMENT
	BUILDING SECTION
	DETAIL REFERENCE
	PLAN REVISION

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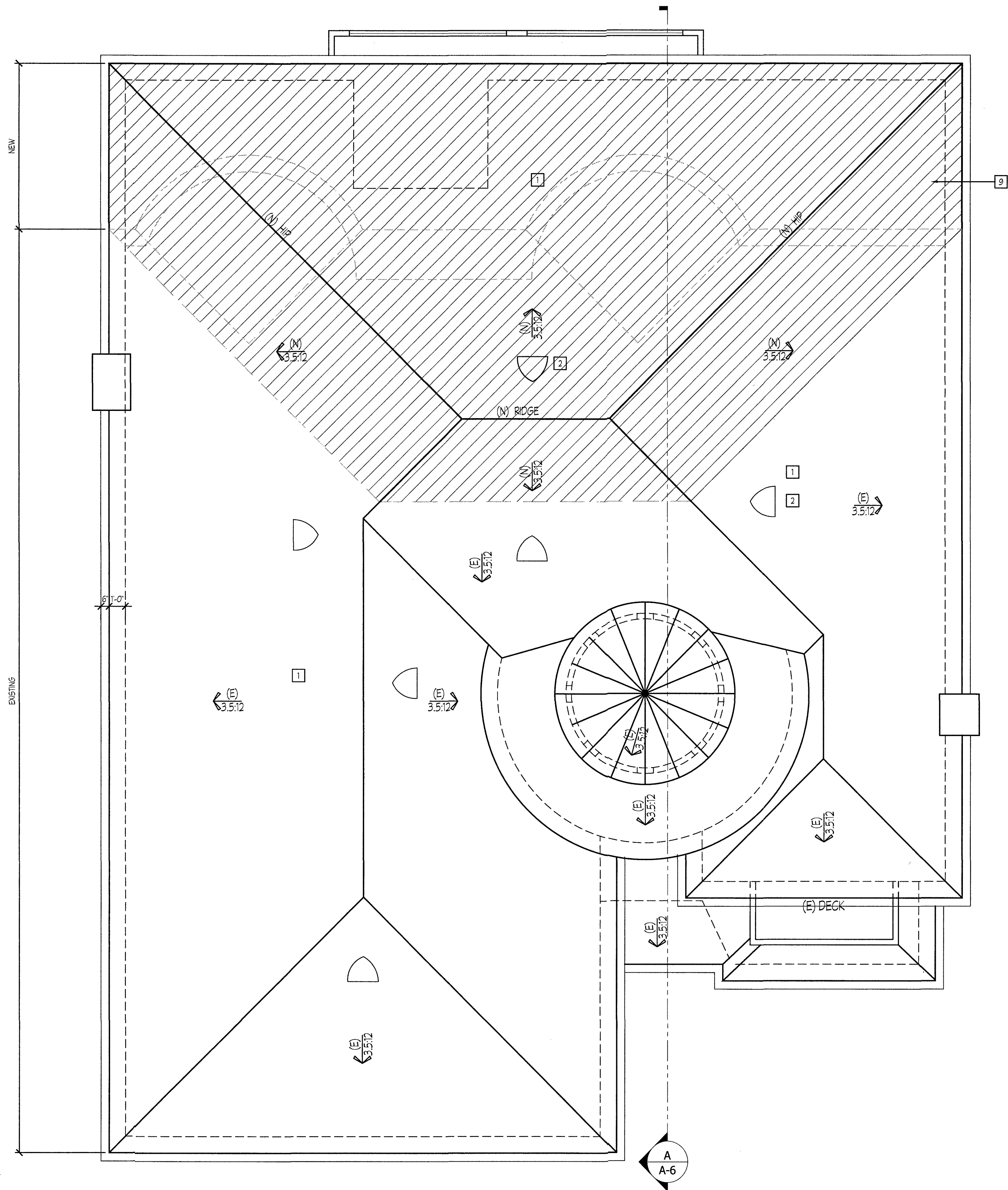
The Louie Group

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue

3571 Courtyard Circle,
Huntington Beach, CA 92649
(714) 350-1677

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JOB NO.
SHEET
A-2
OF SHEETS



PROPOSED ROOF PLAN

SC. 1/4"=1'-0"

ROOF PLAN NOTES:

- EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING 4500 LBS. ICC-ESR-475 - TYP.
- EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT. - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- 5/1 FLASHING - TYP.
- 5/1 ROOF EDGE - TYP.
- GUTTER AND DOWNSPOUTS PER OWNER
- CANT STRIPS TO ROOF DRAIN AND OVERFLOW DRAIN
- CANT STRIPS
- PROVIDE ROOF DRAIN AND OVERFLOW DRAIN, 3" MIN. HORIZ. AND 2" MIN. VERT.
- (N) ROOF

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PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:
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(714) 350-1677

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EXTERIOR ELEVATION NOTES

- EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING - 600 LBS. G.C. ESC-1475 - TYP. OR 30# FELT 0/1/2 PLYWD. SHTG. OR EQUAL, MIN. CLASS 'A'
- EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT. - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- SCREENED VENT HOLES W/ CORR. RESISTANT HTL MESH 1/8" DIA. E.W. TYP. @ VAULTED C.L.G. AREAS (VERIFY)
- G.I. ROOF EDGE - TYP.
- EXISTING FASCIA - NEW FASCIA TO MATCH EXISTING
- 7/8" SMOOTH STUCCO O/ MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- BELLYBAND - NEW BELLYBAND TO MATCH EXISTING
- G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED - A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- G.I. FLASHING - TYP.
- GLASS RAILING - MAXIMUM OPENING SHALL BE 3 7/8" .
- CAP - VERIFY TYPE.
- GUTTERS AND DOWNSPOUTS.
- EXISTING FASCIA / BELLY BAND - NEW TO MATCH EXISTING.

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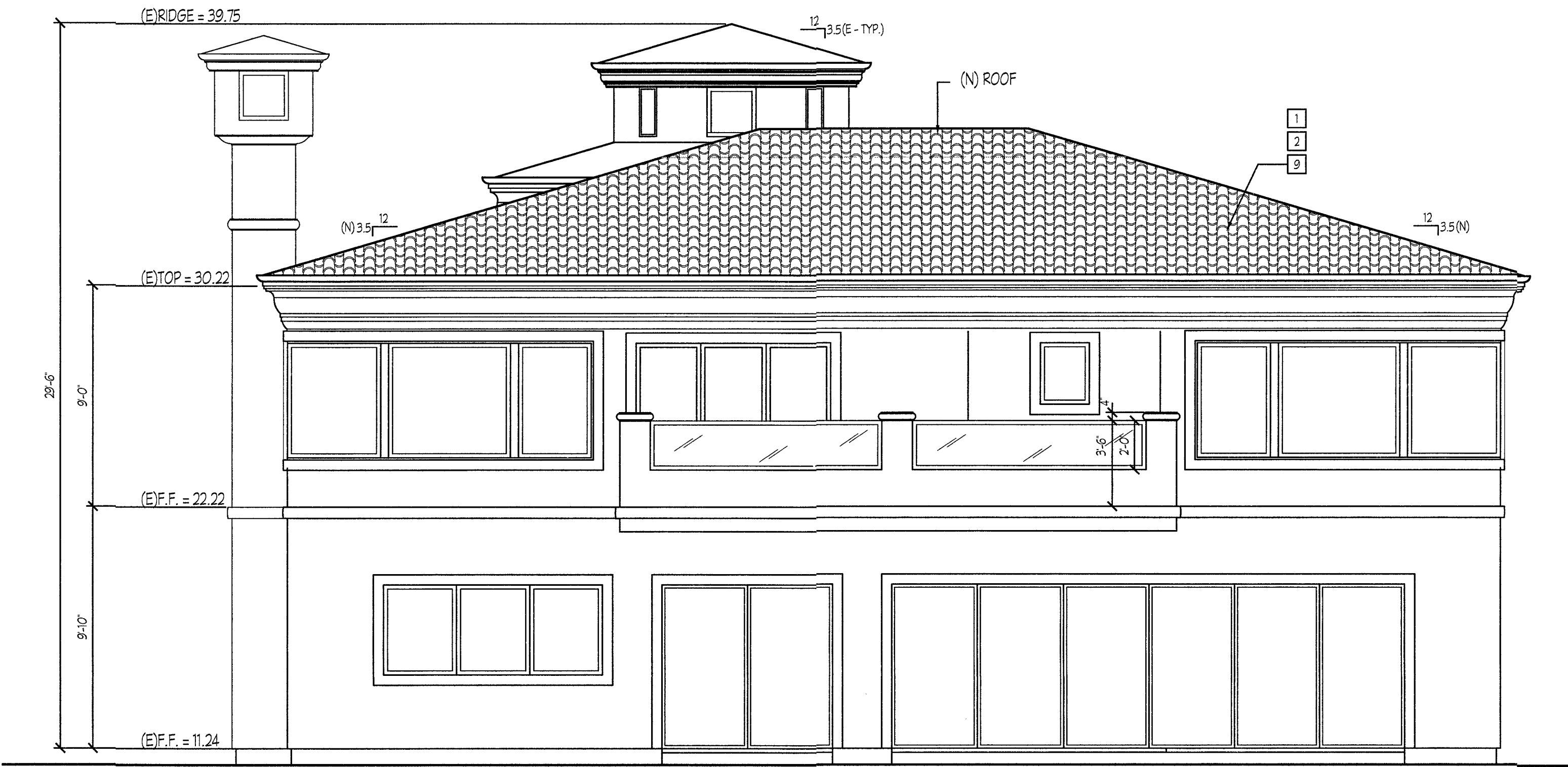
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Jack and Pam Domingue

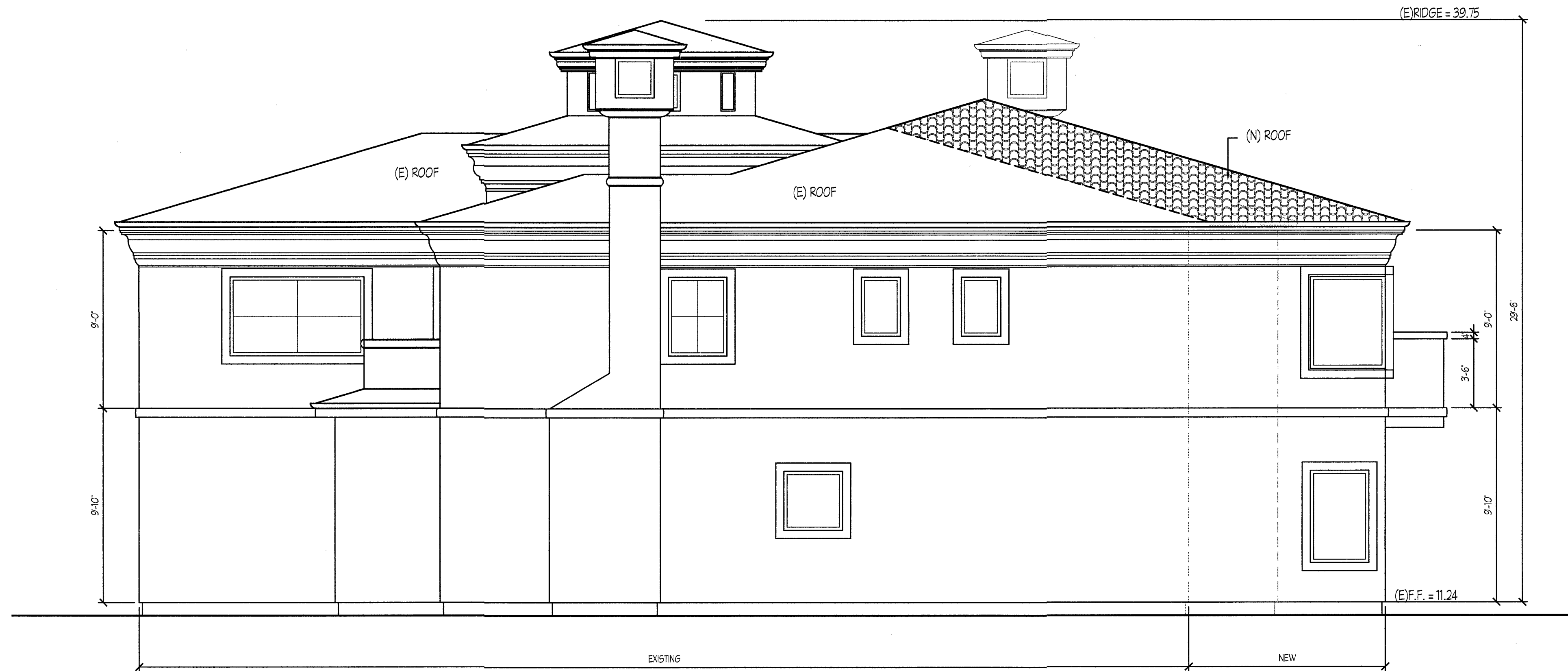
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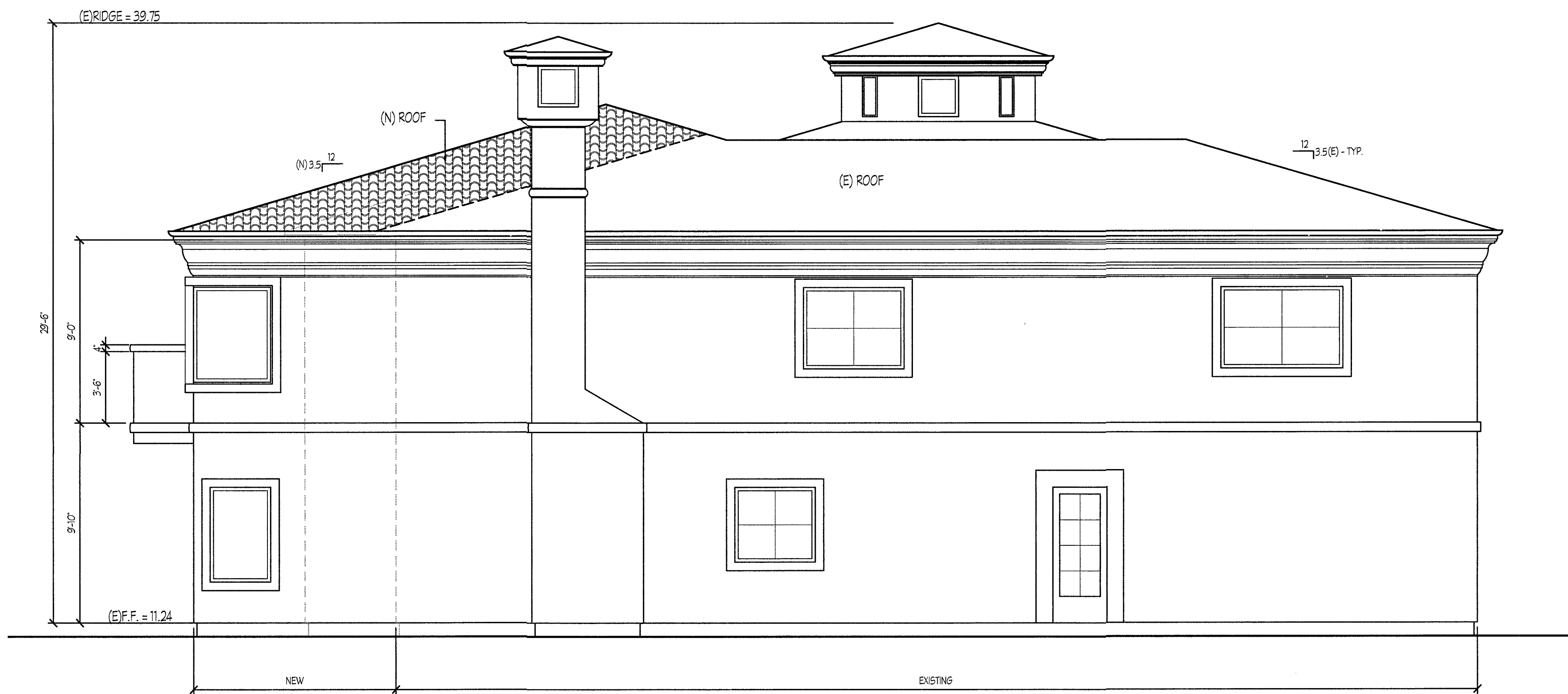
PROPOSED REAR ELEVATION

SC: 1/8" = 1'-0"



PROPOSED SIDE ELEVATION

SC: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SC: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

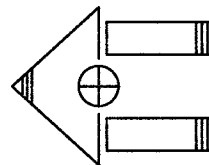
- EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING @ 600 LBS. CC-ESR-MTS - TYP. 0/30# FELT 0/1/2" PLYWD. SHTG. OR EQUAL, MIN. CLASS 'A'
- EXISTING 24" DIA. HALF ROUND DORMER COPPER VENT. - TYP. PROVIDE/RELOCATE, AS SHOWN DORMER COPPER VENT.
- SCREENED VENT HOLES W/ CORR. RESISTANT MTL MESH 1/8" DIA. E.W. TYP. @ VAULTED CLG. AREAS (VERIFY).
- G.I. ROOF EDGE - TYP.
- EXISTING FASCIA - NEW FASCIA TO MATCH EXISTING
- 7/8" SMOOTH STUCCO 0/ MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- BELLYBAND - NEW BELLYBAND TO MATCH EXISTING
- G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED - A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- G.I. FLASHING - TYP.
- GLASS RAILING - MAXIMUM OPENING SHALL BE 3 7/8".
- CAP - VERIFY TYPE.
- GUTTERS AND DOWNSPOUTS.
- EXISTING FASCIA / BELLY BAND - NEW TO MATCH EXISTING.

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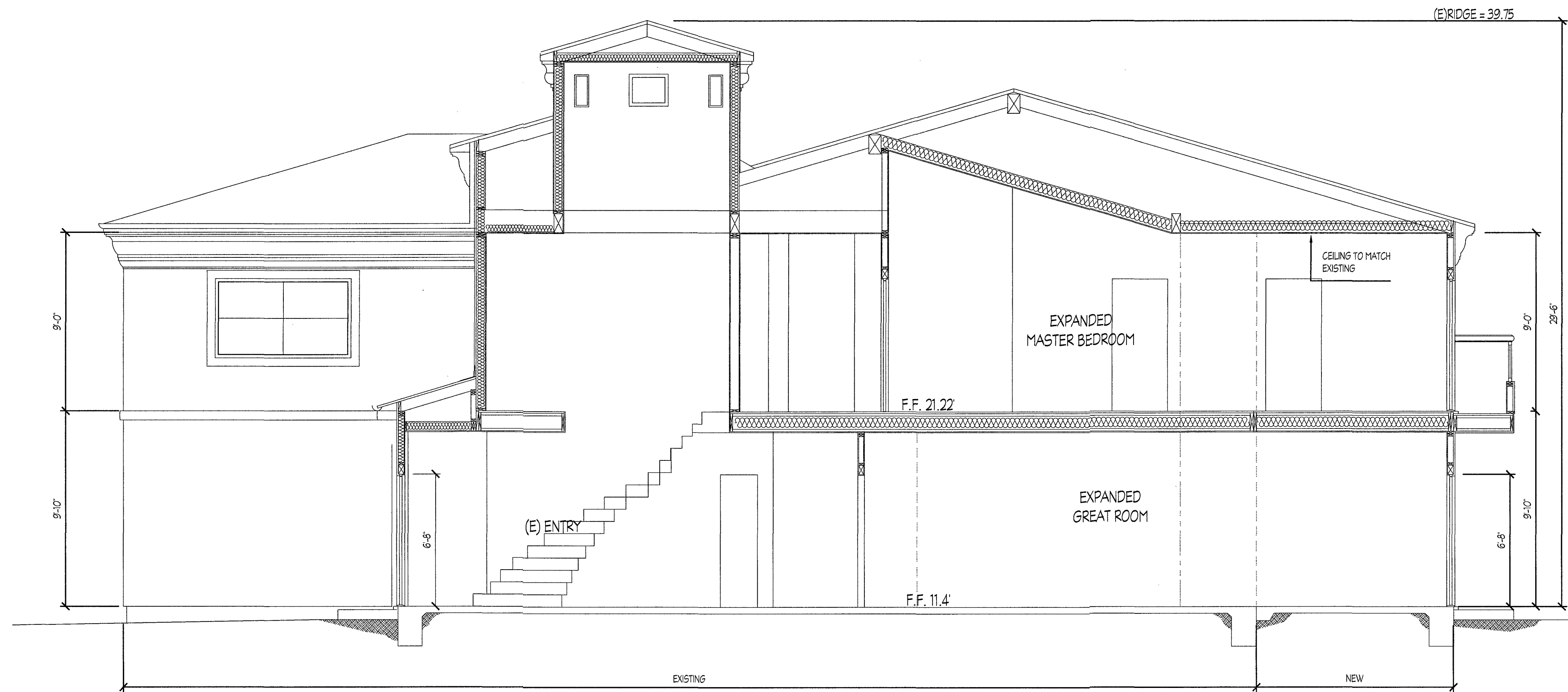
Phone (714) 374-7034
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E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue

3571 Courtyard Circle,
Huntington Beach, CA 92649
(714) 350-1677

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SHEETS



SECTION A

SECTIONS NOTES:

1. EXISTING TILE ROOFING - NEW ROOF TO MATCH EXISTING ROOFING .450 LBS. ICC-ES E-3475 - TYP.
2. 1/2" STUCCO (1/2" MIN. CLASS "D" PAPER - USE 2 - LAYERS OVER S.W. - TYP) - MATCH EXISTING.
3. 4" HIGH RAILING WITH MAX. 3 7/8" OPENINGS - TYP.
4. 6.1. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
5. 6.1. WEEP SCREED 26 GA. MIN. - TYP.
6. 6.1. FLASHING.
7. 6.1. ROOF EDGE - TYP.
8. 6.1. ROOF DRAIN, OVERFLOW DRAIN, GUTTER AND DOWNSPOUT.
9. STUCCO SOFFIT.
10. R-21 INSULATION
11. R-30 INSULATION
12. RADIANT BARRIER PLYWOOD ROOF SHEATHING (MIN. 1/2").
13. FRAMING - SEE STRUCTURAL.
14. FOUNDATION - SEE STRUCTURAL.
15. 1/2" GYP. BRD.
16. 5/8" GYP. BRD. (1-HOUR)
17. R-15 INSULATION
18. PLYWOOD SHEATHING - MATCH EXISTING.

REVISIONS	BY

ARCHITECTURE

PLANNING

The Louie Group

Phone (714) 374-7034
19092 Colleway Circle • Huntington Beach, CA 92648
E-mail: louiegroup@aol.com

PROPOSED RESIDENTIAL ADDITION AND REMODEL FOR:

Jack and Pam Domingue

3571 Courtyard Circle,
Huntington Beach, CA 92649
(714) 350-1677

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-6
OF SHEETS