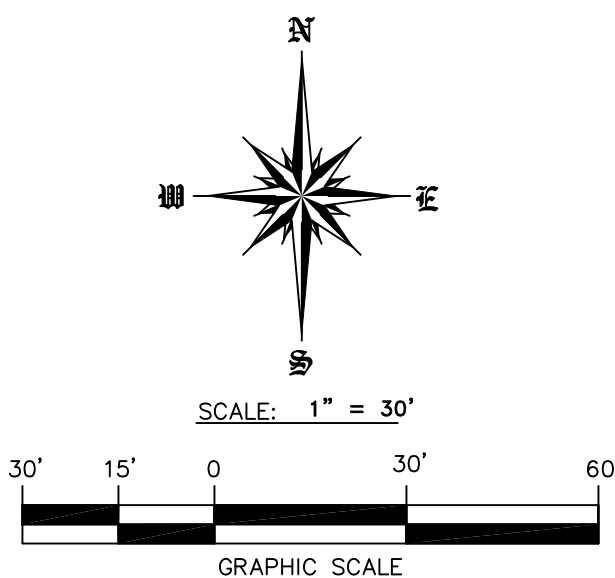


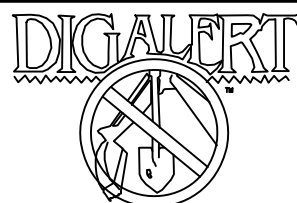
TENTATIVE TRACT MAP NO. 18079

IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
FOR CONDOMINIUM PURPOSES



GENERAL NOTES:

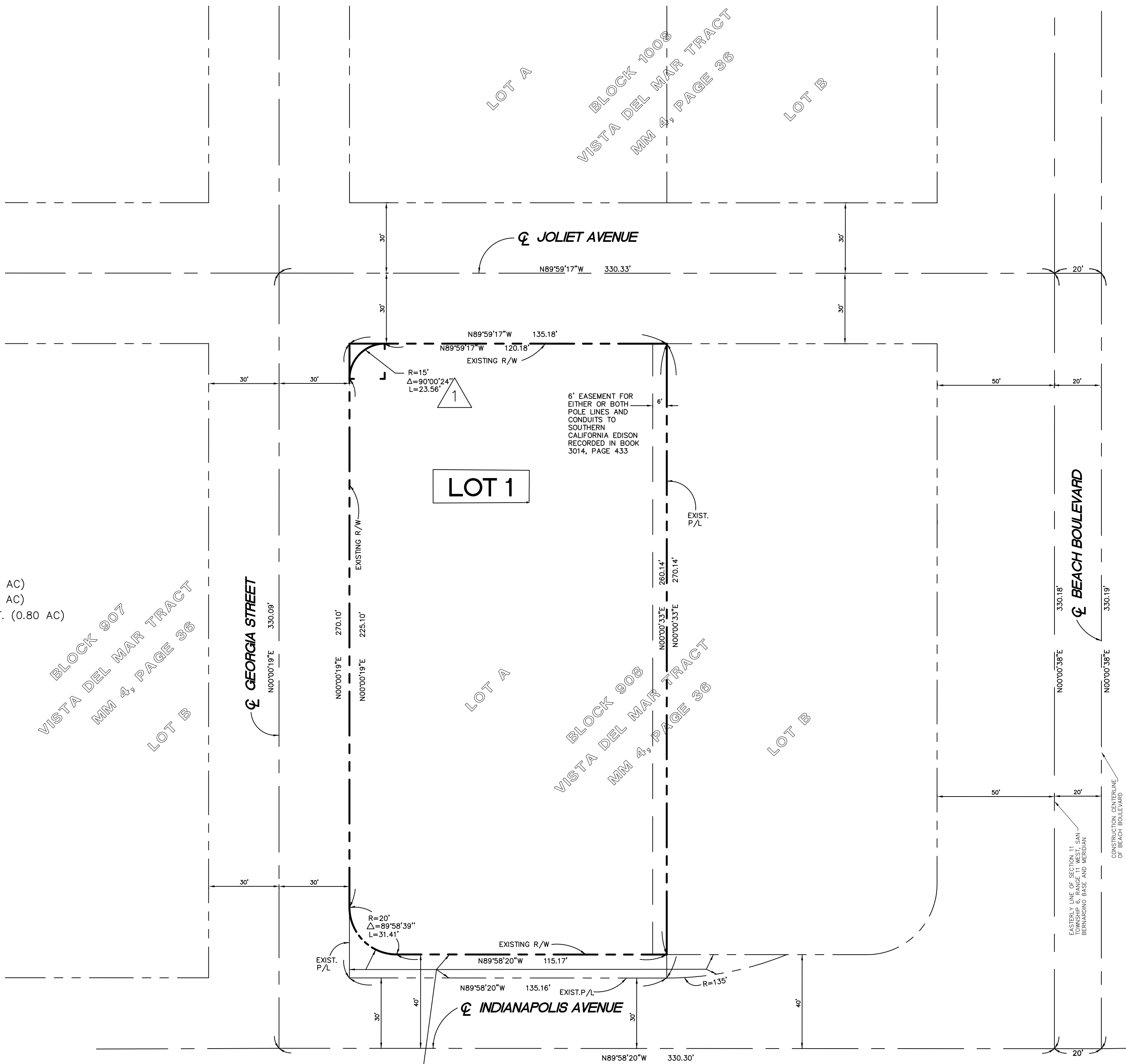
1. DATE OF PREPARATION: OCTOBER 21, 2019
2. GROSS ACREAGE: TO EXIST P/L 36,512 SQ. FT. (0.84 AC)
NET ACREAGE: TO EXIST R/W 35,075 SQ. FT. (0.81 AC)
NET ACREAGE: AFTER 15'R DEDICATION 35,026 SQ. FT. (0.80 AC)
3. EXISTING ZONING: RMH
4. GENERAL PLAN DESIGNATION:
LOW MEDIUM DENSITY RESIDENTIAL
5. SITE IS CURRENTLY RESIDENTIAL
6. CONTOUR INTERVAL IS 1 FOOT
7. ALL DIMENSIONS ARE APPROXIMATE.
8. ALL IMPROVEMENTS REQUIRED BY THE CITY OF HUNTINGTON BEACH SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
9. ALL DRAINAGE SHALL BE SURFACE FLOW ONTO PUBLIC STREETS TO THE PUBLIC STORM DRAIN SYSTEM.
10. SANITARY SEWER SYSTEM SHALL BE PUBLIC.
11. WATER SYSTEM SHALL BE PUBLIC.



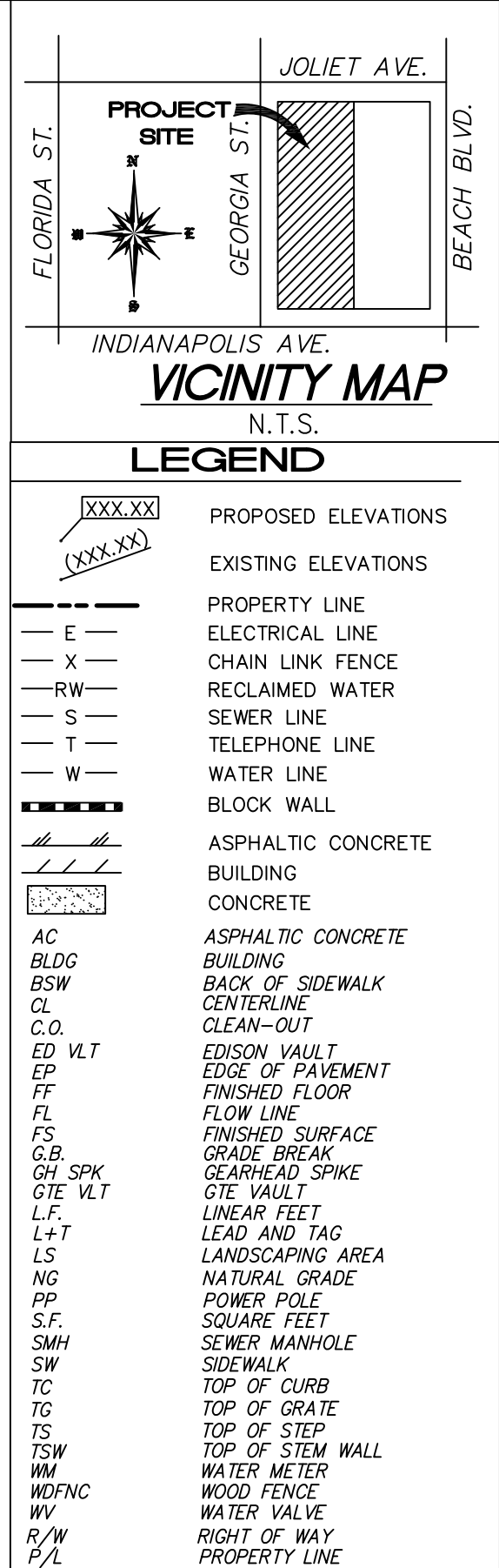
SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE
1-800-422-4033
TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK: HB-197-71

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-197-71" SET IN THE SOUTHWEST CORNER OF A 5 FT. BY 5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF SEVEN SEAS LANE AND INDIANAPOLIS AVENUE, 70 FT. EASTERLY OF THE CENTERLINE OF SEVEN SEAS LANE AND 33 FT. NORTHERLY OF THE CENTERLINE OF INDIANAPOLIS AVENUE. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEV. 5.890', NAVD 88, YEAR LEVELED 2005



EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES TO THE CITY OF HUNTINGTON BEACH RECORDED AS INST. NO. 19341 IN BOOK 6686, PAGE 393.



LEGEND

	PROPOSED ELEVATIONS
	EXISTING ELEVATIONS
	PROPERTY LINE
	ELECTRICAL LINE
	CHAIN LINK FENCE
	RECLAIMED WATER
	SEWER LINE
	TELEPHONE LINE
	WATER LINE
	BLOCK WALL
	ASPHALTIC CONCRETE BUILDING
	CONCRETE BUILDING
	ASPHALTIC CONCRETE BUILDING BACK OF SIDEWALK
	CENTERLINE
	CLEAN-OUT
	EDISON VAULT
	EDGE OF PAVEMENT
	FINISHED FLOOR
	FLOW LINE
	FINISHED SURFACE
	GRADE BREAK
	GRADE BREAK GTE. VAULT
	LINEAR FEET
	LEAD AND TAG
	LANDSCAPING AREA
	NATURAL GRADE
	POWER POLE
	SQUARE FEET
	SEWER MANHOLE
	SIDEWALK
	TOP OF CURB
	TOP OF GRATE
	TOP OF STEP
	TOP OF STEM WALL
	WATER METER
	WOOD FENCE
	WATER VALVE
	RIGHT OF WAY
	PROPERTY LINE

LEGAL DESCRIPTION :

LOT 1 IN BLOCK 908 OF VISTA DEL MAR TRACT SECTION 7, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 4, PAGE(S) 36, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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ALSO EXCEPT THE WEST 30 FEET OF LOT 1 AS DESCRIBED IN A DEED RECORDED IN BOOK 2956, PAGE 597, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM AN UNDIVIDED 50% OF ALL OIL, GAS AND MINERAL RIGHTS IN AND TO SAID PROPERTY SUBJECT TO BUYERS 100% AUTHORITY (DISCRETION) TO DEVELOP SUCH RIGHTS, AS RESERVED IN DEED RECORDED JANUARY 31, 2003 AS INSTRUMENT NO. 2003-117614 OF OFFICIAL RECORDS.

ASSESSORS PARCEL NOS.:

APN: 025-172-06

FLOOD ZONE :

PER FLOOD MAP NUMBER 06059C0231J
EFFECTIVE 12/03/09
FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD

AREAS:

GROSS: (TO EXISTING P/L) = 36,512 SQ. FT. (0.84 AC.)
NET: (TO EXISTING R/W) = 35,075 SQ. FT. (0.81 AC.)
NET: (TO PROPOSED R/W AFTER 15'R DEDICATION) = 35,026 SQ. FT. (0.80 AC.)

OWNER / DEVELOPER

NABIL & AGARID JARJOUR
HILLTOP MARKETS AND PROPERTIES
809 INDIANAPOLIS AVE
HUNTINGTON BEACH, CA 92648
CONTACT: JUSTIN JARJOUR
CELL: (714) 624-7625
EMAIL: JKJARJOUR@GMAIL.COM

ENGINEER:

JONES, CAHL & ASSOCIATES, INC.
18090 BEACH BLVD., SUITE 12
HUNTINGTON BEACH, CA 92648
R.H. CAHL P.E.
CELL: (714) 624-7625
email: jca@jonescahl.com

SURVEY DATED: 12/17/2015



DESIGNED: C.H.	SCALE: 1" = 20'
DRAWN: C.H.	DATE: 10-21-19
CHECKED: RHC	JOB NO. 18-2288
PREPARED UNDER THE DIRECTION OF:	
RICHARD H. CAHL R.C.E. 21005	
5/5/2020	DATE

HILLTOP MARKETS AND PROPERTIES

TENTATIVE TRACT NO. 18079
815 INDIANAPOLIS AVENUE

HUNTINGTON BEACH

CALIFORNIA

DWG. NO.
18-2288-1

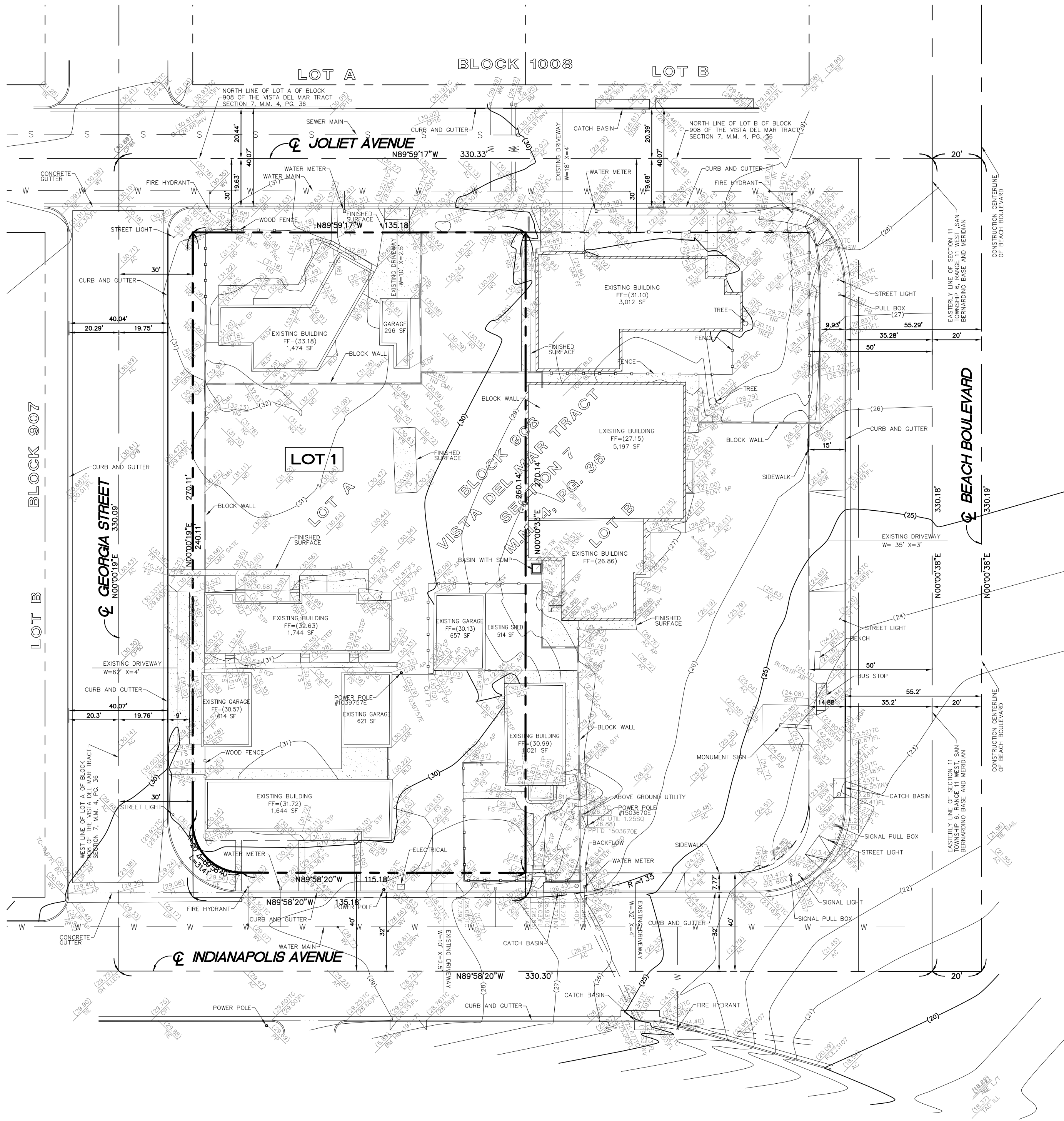
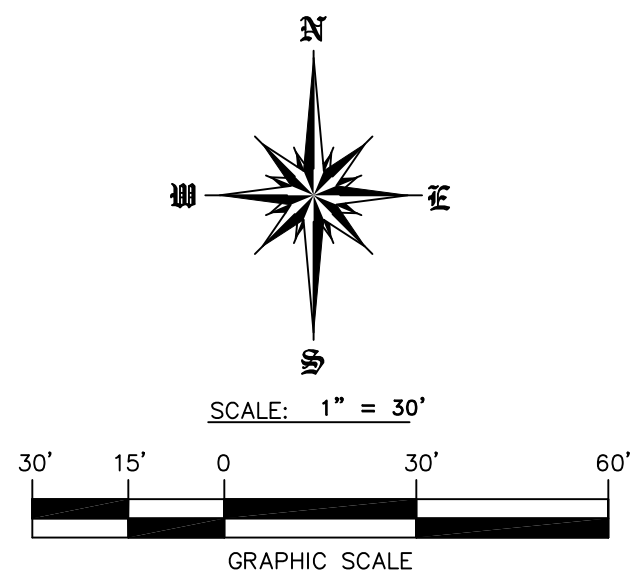
SHEET NO.
1 OF 3

REV.
1

1	5/6/20	RHC	ADDED 15' RADIUS AND ADJ. AREAS	
REVISION NUMBER	DATE	BY	DESCRIPTION	APPROVED BY



TENTATIVE TRACT MAP NO. 18079
IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
FOR CONDOMINIUM PURPOSES



VICINITY MAP
N.T.S.

LEGEND

XXX.XX	PROPOSED ELEVATIONS
---	EXISTING ELEVATIONS
---	PROPERTY LINE
---	ELECTRICAL LINE
---	CHAIN LINK FENCE
---	RECLAIMED WATER
---	SEWER LINE
---	TELEPHONE LINE
---	WATER LINE
---	BLOCK WALL
---	ASPHALTIC CONCRETE
---	CONCRETE
---	ASPHALTIC CONCRETE BUILDING
---	BACK OF SIDEWALK
---	CENTERLINE
---	CLEAN-OUT
---	EDISON VAULT
---	EDGE OF PAVEMENT
---	FINISHED FLOOR
---	FLOW LINE
---	FINISHED SURFACE
---	GRADE BREAK
---	GRADEHEAD SPIKE
---	GTE VAULT
---	LINEAR FEET
---	LEAD AND TAG
---	LANDSCAPING AREA
---	NATURAL GRADE
---	POWER POLE
---	SQUARE FEET
---	SEWER MANHOLE
---	SIDEWALK
---	TOP OF CURB
---	TOP OF GRATE
---	TOP OF STEP
---	TOP OF STEM WALL
---	WATER METER
---	WOOD FENCE
---	WATER VALVE

LEGAL DESCRIPTION:

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APN: 025-172-06

OWNER / SUBDIVIDER

NABIL & AGAPID JARJOUR
HILLTOP MARKETS AND PROPERTIES
809 INDIANAPOLIS AVE.
HUNTINGTON BEACH, CA 92648
CELL: (714) 624-7623
EMAIL: JARJOUR@GMAIL.COM



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4333 TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK: HB-197-71

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REVISION NUMBER	DATE	BY	DESCRIPTION	APPROVED BY



SURVEY DATED: 12/17/2015

JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard • Huntington Beach
California 92648 • (714) 848-0566

DESIGNED: C.H.	SCALE: 1" = 30'
DRAWN: C.H.	DATE: 10/21/19
CHECKED: D.R.	JOB NO. 18-2288

PREPARED UNDER THE DIRECTION OF:
RICHARD H. CAHL R.C.E. 21005 5/6/2020 DATE

HILLTOP MARKETS AND PROPERTIES

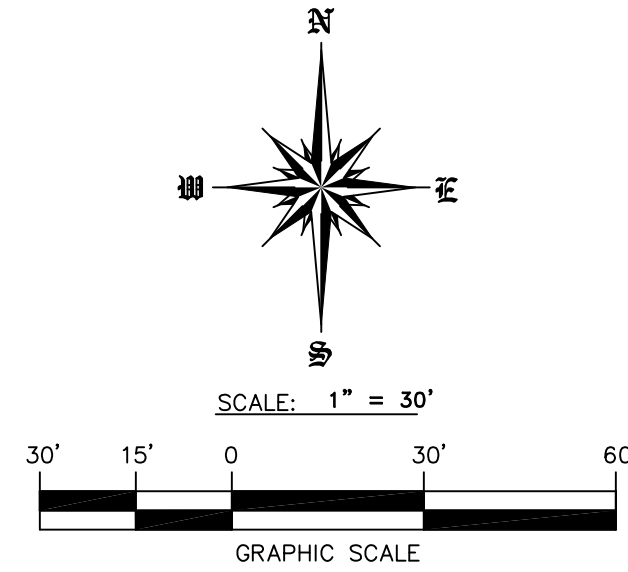
TRACT NO. 18079
EXISTING SITE AND
BOUNDARY PLAN
815 INDIANAPOLIS AVENUE
HUNTINGTON BEACH CALIFORNIA

DWG. NO.	SHEET NO.	REV.
18-2288-2	2 OF 3	0

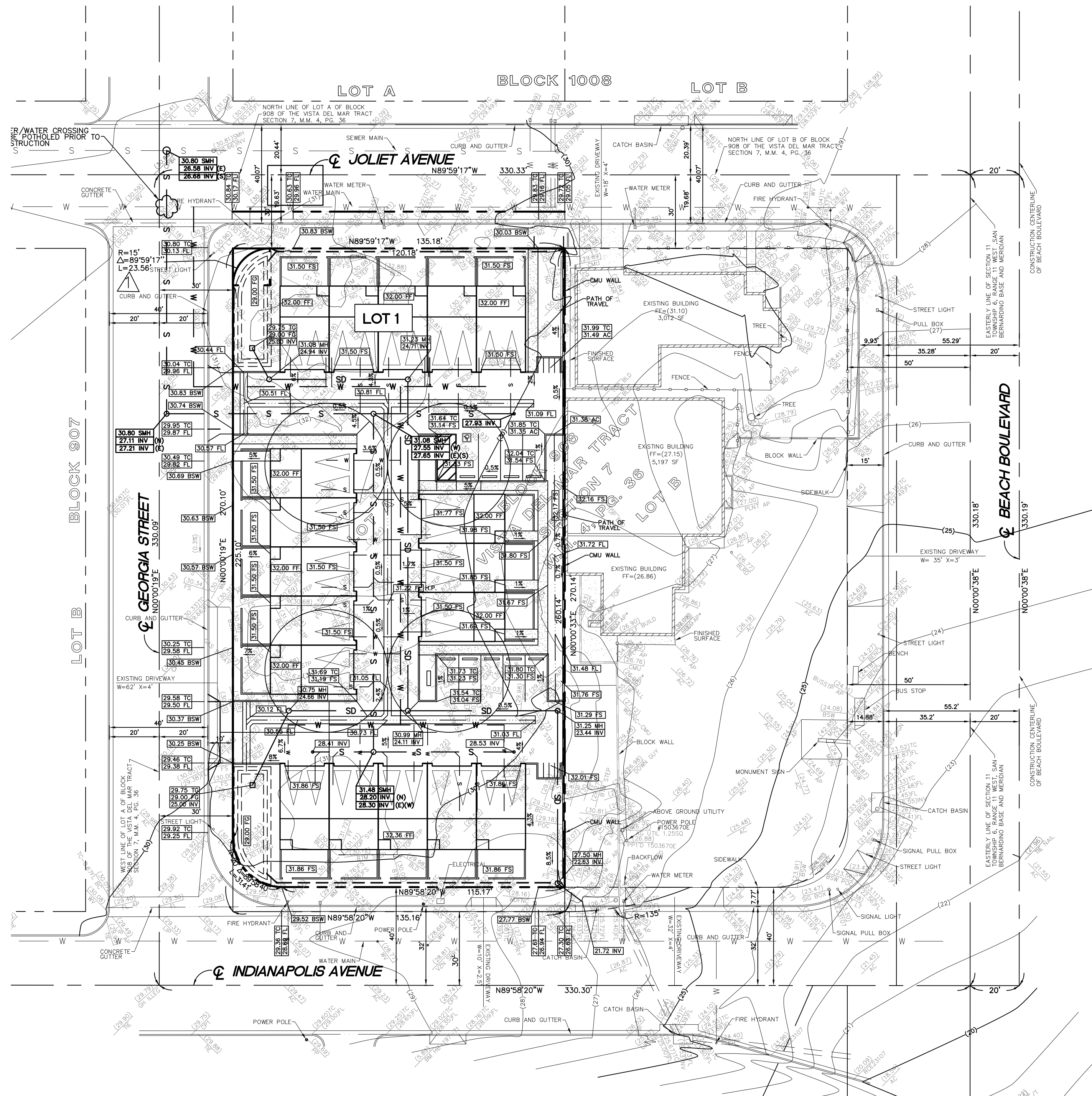
TENTATIVE TRACT MAP NO. 18079

IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

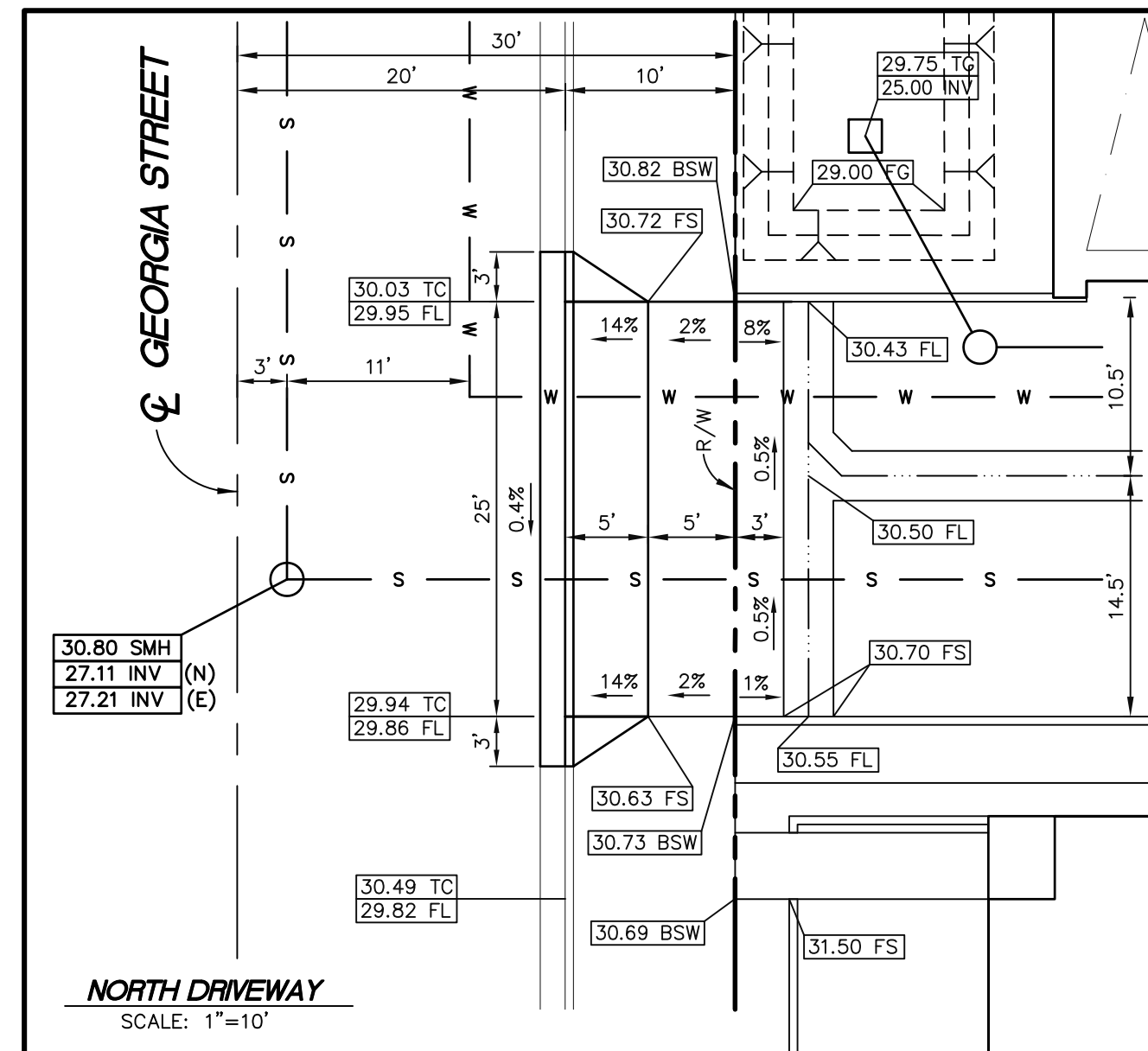


LEGEND	
	PROPOSED ELEVATIONS
	EXISTING ELEVATIONS
	PROPERTY LINE
	ELECTRICAL LINE
	CHAIN LINK FENCE
	RECLAIMED WATER
	SEWER LINE
	TELEPHONE LINE
	WATER LINE
	BLOCK WALL
	ASPHALTIC CONCRETE
	BUILDING CONCRETE
	PATH OF TRAVEL
	AC BLDG
	BSW
	CL
	C.O.
	ED VLT
	EP
	FT
	FG
	FL
	FS
	G.B.
	GH SPK
	GTE VLT
	INV
	L.F.
	L+T
	LS
	NG
	MH
	PP
	S.F.
	SMH
	SW
	TC
	TG
	TS
	TSW
	WM
	WOFNC
	WV



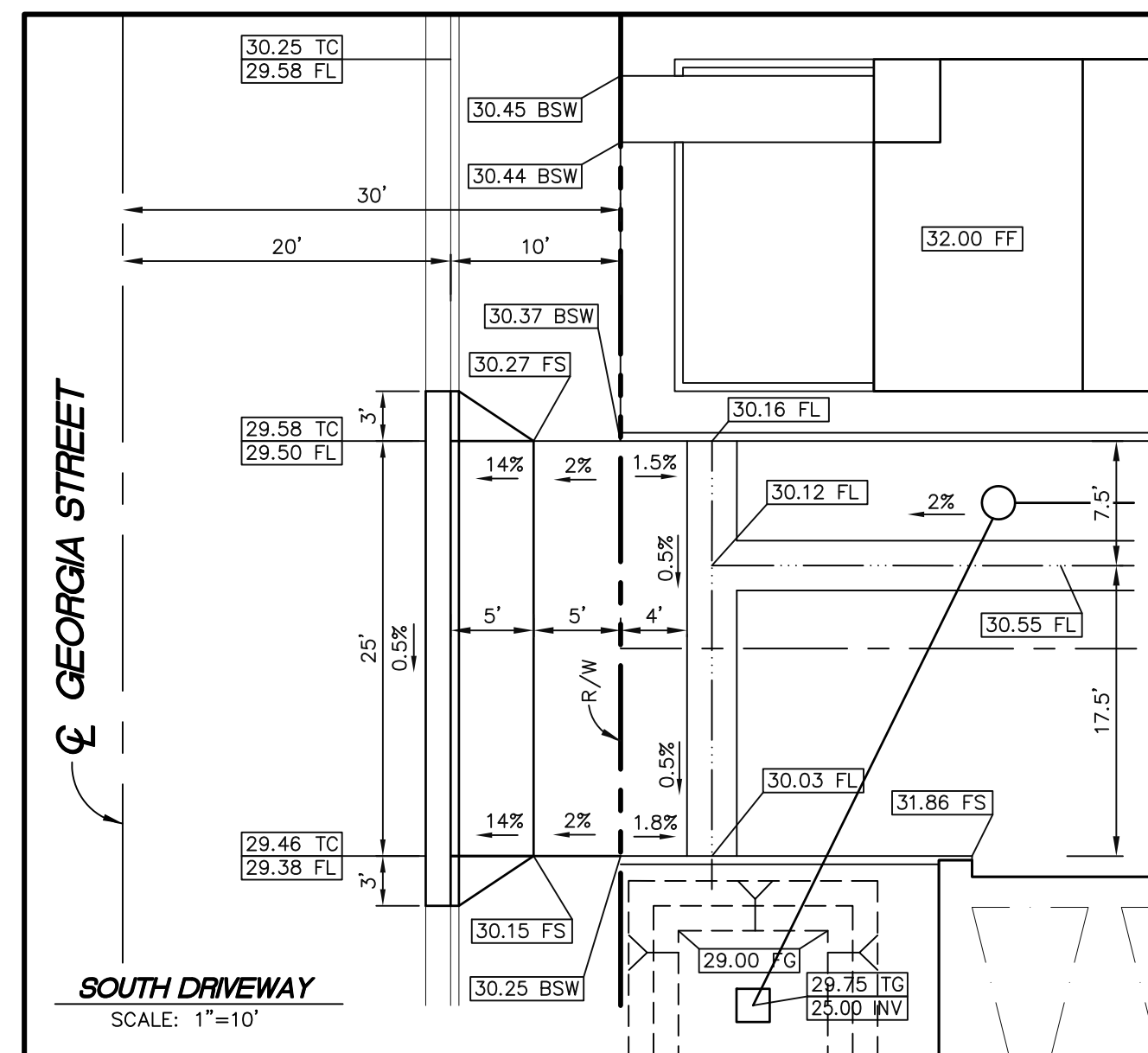
PLAN

1"=30'



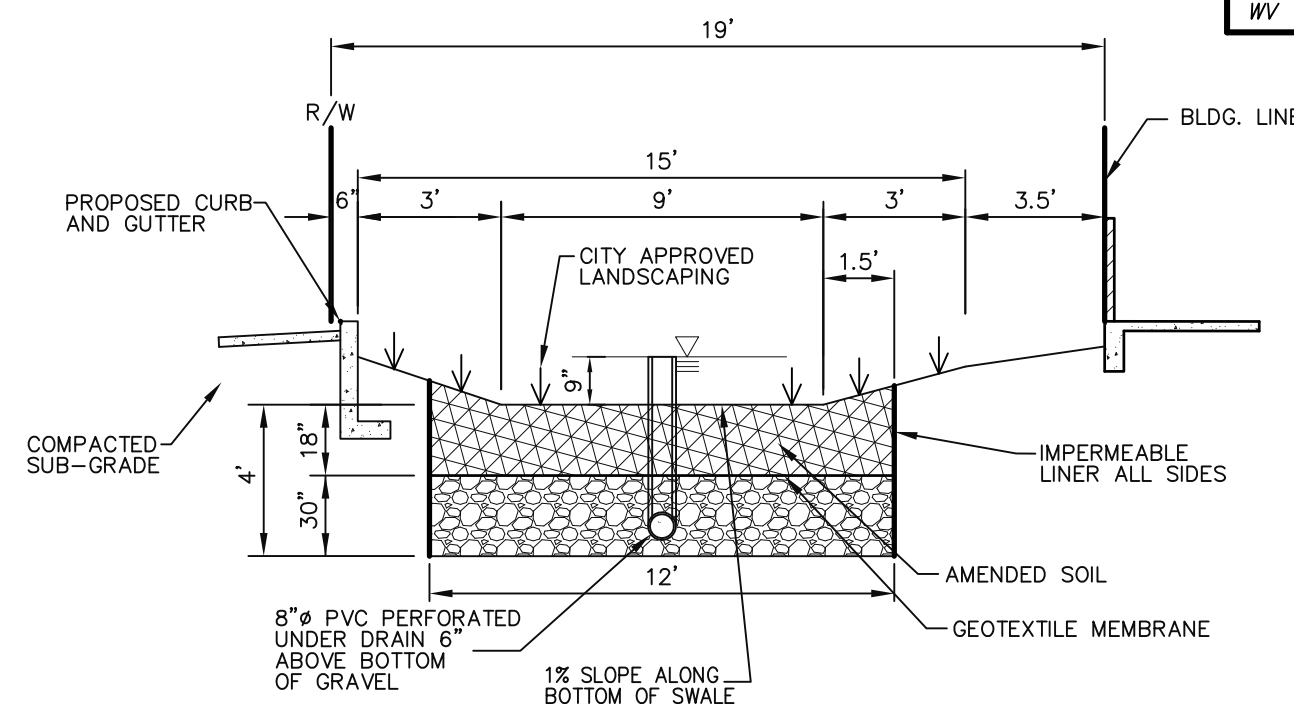
NORTH DRIVEWAY

SCALE: 1"=10'



SOUTH DRIVEWAY

SCALE: 1"=10'



TYPICAL BIO-RETENTION PLANTER

NOT TO SCALE

LEGAL DESCRIPTION:

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APN: 025-172-06

OWNER / SUBDIVIDER

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REVISION NUMBER	DATE	BY	DESCRIPTION	APPROVED BY
1	5/6/20	RHC	ADDED 15' RADIUS AND REVISED AREAS	



SURVEY DATED: 12/17/2015



DESIGNED: C.H.	SCALE: 1" = 30'
DRAWN: C.H.	DATE: 10/21/2019
CHECKED: D.R.	JOB NO. 18-2288
PREPARED UNDER THE DIRECTION OF: RICHARD H. CAHILL R.C.E. 21005 5/5/2020 DATE	

HILLTOP MARKETS AND PROPERTIES			
TRACT NO. 18079			
PRELIMINARY GRADING PLAN			
910 GEORGIA ST.			
HUNTINGTON BEACH		CALIFORNIA	
DWG. NO.	18-2288-3	SHEET NO.	3 OF 3
REV.			1