HOUSE REF

PROJEC	ARCHITEC		
ADDRESS: 16586 ENSIGN CIRCLE, HUNTINGTON BEACH, CAS COUNTY NAME : COUNTY OF ORANGE ASSESSOR PARCEL NUMBER: 178-053-69 ZONE: R1-CZ LOT SIZE: 5,600 SF BUILDING CLASSIFICATION: SINGLE FAMILY RESIDENTIAL OCCUPANCY GROUPS: V-B NUMBER OF STORIES: 2 STORY PLUS TOP ROOF DECK TYPE OF CONSTRUCTION: TYPE V-B FIRE SPRINKLER : "YES" FIRE SPRINKLER PER CRC R313.3 CODES COMPLY: 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA RECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING MUNICIPAL CODE OF HUNTINGTON BEACH CITY	92649		X SECTION: X DETAIL: DETAIL: DETAIL: DETAIL NUMBER X DOOR NUMBER X DOOR NUMBER X WINDOW TYPE X SHEET LAYOUT DESIGNA Y Y Y COLUMN GRID C CENTER LINE PROPERTY LINE
GENERAL I	NFORM	ATION	SCOP
PROPOSED: REMODELING &	PROPOSED: REMOD		
LOT SIZE: 5,465 SF EXISTING ZONE: R1-CZ	DEFERR		
TYPE OF CONSTRUCTION: V-B APN: 178 053 69			1. TRUSSES WILL BE A
FRONT SET BACK REAR SET BACK SIDE SET BACK HEIGHT LIMIT LOT COVERAGE (2,298 SF) EXISTING 1ST FLOOR LIVING AREA EXISTING 2ND FLOOR LIVING AREA TOTAL (E) LIVING AREA (E) GARAGE (2 CAR GARAGE) BEDROOM BATHROOM BALCONY STAIR-CASE TOP ROOF DECK NEW AREA ADDED ON 1ST FLOOR TOTAL AREA AFTER ADDED ON 1ST FLOOR TOTAL AREA AFTER ADDED ON 2ND FLOOR TOTAL AREA AFTER ADDED ON 2ND FLOOR	REQUIRED 15' 30' MAX. 50%	PROVIDED 15' 12' 5' 26'-8" 41.00% 1,843 SF 2,099 SF 3,942 SF 438 SF 4 4 BATHS + 2 POWDERS 400 SF 214 SF 1,398 SF 512 SF 2,293 SF 362 SF 2,648 SF 5,003 SF 49,85 %	 NEW AUTOMATIC FIR DEFERRED SUBMITT SYSTEM IS REQUIRE R313.3 OR NFPA 13D EXISTING STRUCTUR AUTOMATIC SPRINK REQUIRED AS NOTE ALL WALLS AND FER APPROVED BY SEPA

PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID. SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS IF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY DECORD CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA LOWBING CODE, CALIFORNIA FIRE CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA LOWBING CODE, CALIFORNIA FIRE CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNI 100% OF THE ORIGINAL PERMIT FEE. (R105.5 CRC) . FIRE SPRINKLER PLANS STAMPED AND APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF

FRAMING INSPECTION.). WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH, 1.28 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)

E. URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.0 GALLONS OF WATER PER FLUSH, 0.5 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)

. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. (402.1.1 CPC)

. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (402.1.2 CPC)

RIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH Sec. 604.1 OF THE CALIFORNIA PLUMBING CODE. Pex, CPVC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF Sec. 604 OF THE CPC, ARDS OF APPENDIX 1 OF THE CPC AND THE MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER CERTIFICATION OF COMPLIANCE AS SPECIFIED IN Sec. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2019 CALIFORNIA ENERGY CODE. 1. THE ENGINEER OF RECORD SHALL INSPECT THE SLAB AND FOUNDATION SYSTEM INSTALLATION JUST PRIOR TO CONCRETE POUR TO VERIFY THAT THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE FOUNDATION INSPECTION AND APPROVAL TO POUR CONCRETE WILL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.

CTURAL SYMBOLS	DIRECTORY	NOTES		NGTON BEACH, CA 9264 DRAWING INDEX			
EXTERIOR ELEVATION: ELEVATION LETTER	DARREN NGUYEN 16586 ENSIGN CIRCLE			ARCHITECTURAL	STRUCTUR	AL	
X SHEET NUMBER	HUNTINGTON BEACH, CA 92649 (714) 791 2538		SHEET CV.1	DESCRIPTION COVER SHEET	SHEET DESCRIPT	ION	
X X X SHEET NUMBER ELEVATION LETTER EQUIPMENT NUMBER ELEVATION TAG	DESIGNER - ANHA studio 12862 JOY STREET, SUITE A GARDEN GROVE, CA 92840 (714) 200 4122		A0.1 A0.2 A0.3 A0.4	EXISTING FLOOR PLANS PROPOSED NEW SITE PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN			
ION ION ION IO2.5' SPOT ELEVATION REVISION NORTH DESIGNATION	STRUCTURAL ENGINEERING: ND-ENGINEERING TRUONG DONG 15751 BROOKHURST STREET, SUITE 225 WESTMINSTER, CA 92683 (714) 204 2874		A0.4 A0.5 A0.6 A1.1 A1.2	SECOND FLOOR PLAN TOP ROOF DECK - THIRD FLOOR PLAN ROOF PLAN ELEVATIONS ELEVATIONS			
12 6 ROOF SLOPE INDICATION 1" DN. CHANGE IN ELEVATION GRAPHIC SCALE			A1.2	ELEVATIONS			
E OF WORK		MAP					
ED SUBMITTAL DEFERRED SUBMITTAL ES SPRINKLER SYSTEM TO BE A. AUTOMATIC SPRINKLER D PER R313 AND INSTALL PER ALTERATIONS OR ADDITIONS TO EWITHOUT AN EXISTING D ELOW. CING SHALL BE REVIEWED AND RATE BUILDING PERMITS.							
	HUNTINGTON BEA	ACH, CA 92049					



2. THE ENGINEER OF RECORD SHALL ALSO INSPECT THE COMPLETED FRAMING SYSTEM OF THE HOME AFTER THE INSTALLATION OF THE ROUGH PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS AND THE EXTERIOR OF THE HOMES HAS BEEN WEATHER WRAPPED. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THAT TEH FRAMING SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ROUGH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND EXTERIOR WEATHER BARRIER INSPECTION SHALL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON RECORD BUILDING DIVISION

- BE SCHEDULED THROUGH THE BUILDING DIVISION FRONT COUNTER AT (714) 374-1547.
- L. ALL DOORS AND WINDOWS SHALL MEET CITY OF HUNTINGTON BEACH SECURITY ORDINANCE.
- M. PROVIDE FOR MAINTENANCE, REPAIR, AND REPLACEMENT BY A HOMEOWNERS ASSOCIATION (HOA) FOR ALL COMMON AREA LANDSCAPE, IRRIGATION, DRAINAGE FACILITIES, WATER QUALITY BMP'S, WATER SYSTEM LINES, FIRE SYSTEM LINES, SEWER SYSTEM LINES, AND PRIVATE SERVICE UTILITIES.
- REQUIRED BY SECTION 1705 OF THE CBC.

K. A PRE-CONSTRUCTION MEETING IS REQUIRED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THIS MEETING SHALL TAKE PLACE AT THE SITE OF THE NEW HOME. THE MEETING MUST INCLUDE A REPRESENTATIVE OF THE BUILDING DIVISION, THE GENERAL CONTRACTOR, A REPRESENTATIVE OF EACH OF THE SUBCONTRACTORS (ELECTRICAL, PLUMBING, MECHANICAL, GRADING, OFF-SITE CONTRACTOR, ETC.) DEPENDANT UPON WHAT SUB-CONTRACTORS ARE TO BE INVOLVED IN THE NEW CONSTRUCTION AND A REPRESENTATIVE OF THE OWNER MAY BE PRESENT. THE MEETING WILL REVIEW REQUIRED PERMITS, TEMPORARY POWER REQUIREMENTS, DOCUMENTS REQUIRED TO BE ON THE SITE, INSPECTION REQUIREMENTS, FIELD CORRECTION NOTICE PROCEDURE, CHANGES IN THE FIELD, FINAL INSPECTIONS AND GAS AND POWER RELEASES, QUESTIONS FROM THE CONTRACTORS OR OWNER AND ANY OTHER SPECIAL PROCEDURES OR CONDITIONS FOR THAT PARTICULAR NEW HOME. THE PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH THE BUILDING DIVISION ERONT COUNTER AT (714) 374-1547

N. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)

P. THE PLANS SHALL PROVIDE STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL INSPECTIONS SHALL BE AS

STAMP:



12862 Joy Street, Suite A Garden Grove CA 92840 Tel: (714) 200 4122 ANHA studio Email: aha@anha-studio.com

HOUSE REMODELING & ROOM ADDITION

16586 Ensign Circle Huntington Beach, CA 92649

DARREN NGUYEN

16586 Ensign Circle Huntington Beach, CA 92649 Tel: (714) 791 2538

BUILDING DEPARTMENT SUBMITTAL

REVISIONS:

PROJECT DIRECTOR: JOB CAPTAIN: SENIOR ASSOCIATE: ASSOCIATES: PROJECT NUMBER: PROJECT CAD FILE:

SHEET TITLE: **COVER SHEET**

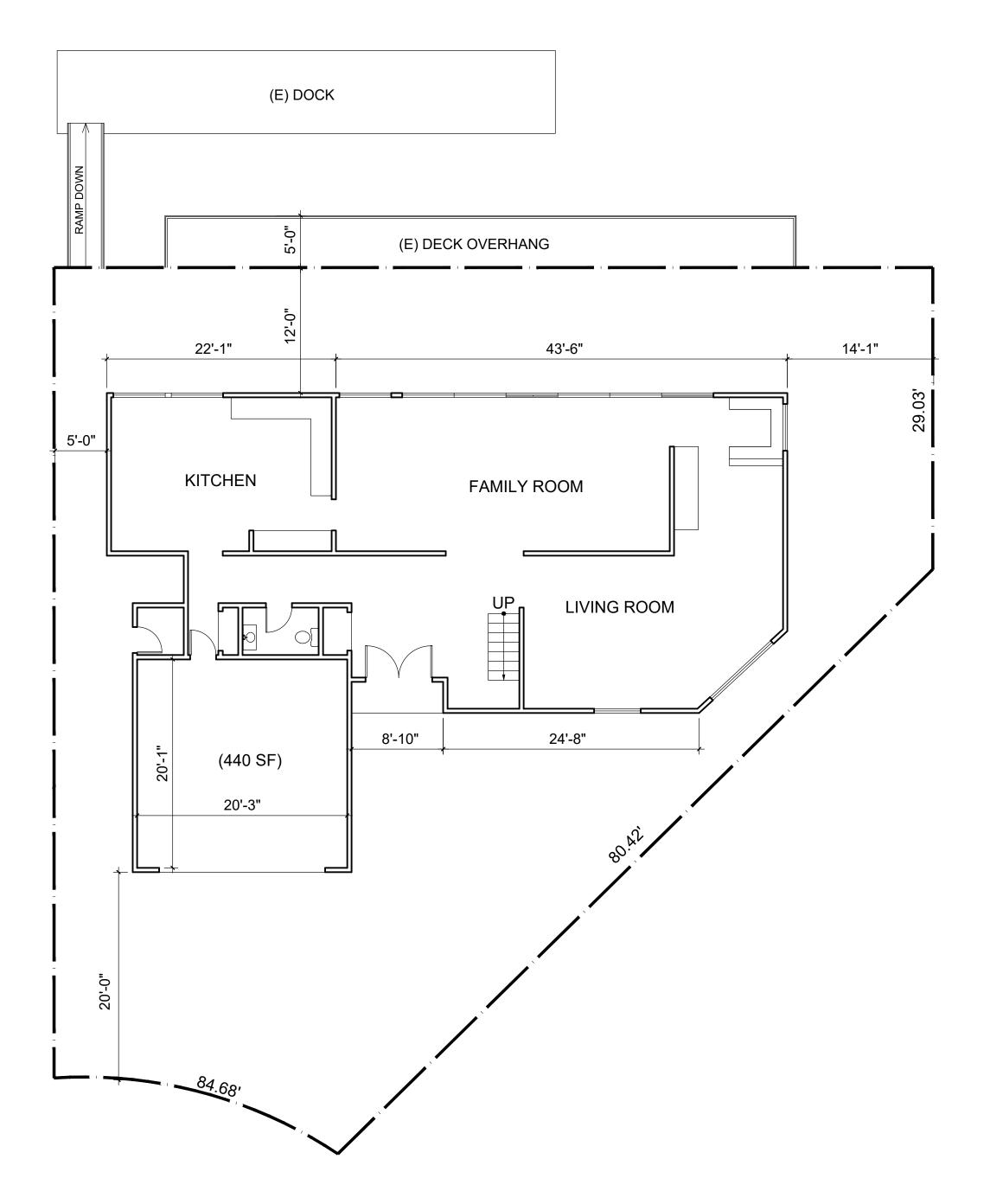
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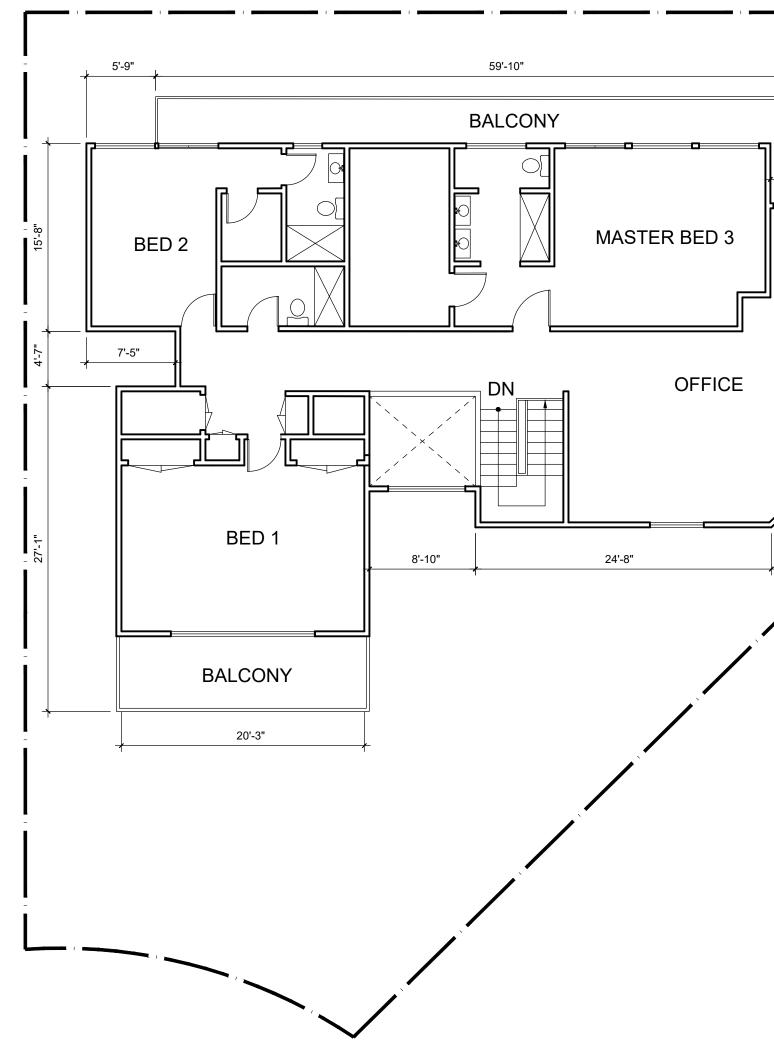
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udi

σ C 4 Z PLOT REFERENCE DATE:



EXISTING FIRST FLOOR PLAN SCALE: $\frac{1}{8}$ " = 1' - 0"



EXISTING SECOND FLOOR PLAN SCALE: ¹/₈" = 1' - 0"

GENERAL INFORMATION

ADDRESS: 16586 ENSIGN CIRCLE, HUNTINGTON BEACH, CA 92649 LOT : 5,601 SF (E) LIVING AREA: 3,942 SF (E) BEDROOM: 3 (E) BATHROOM: 3.5

- (E) LOT COVERAGE (2,298): 41%





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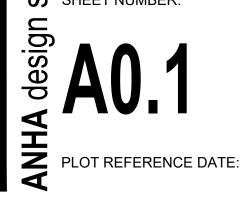
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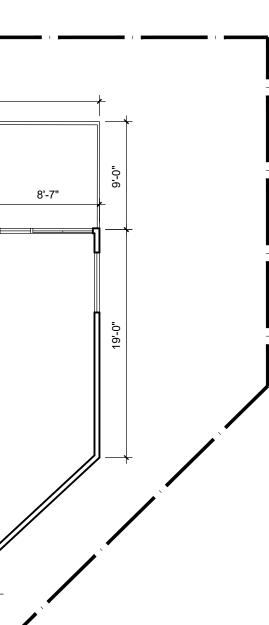
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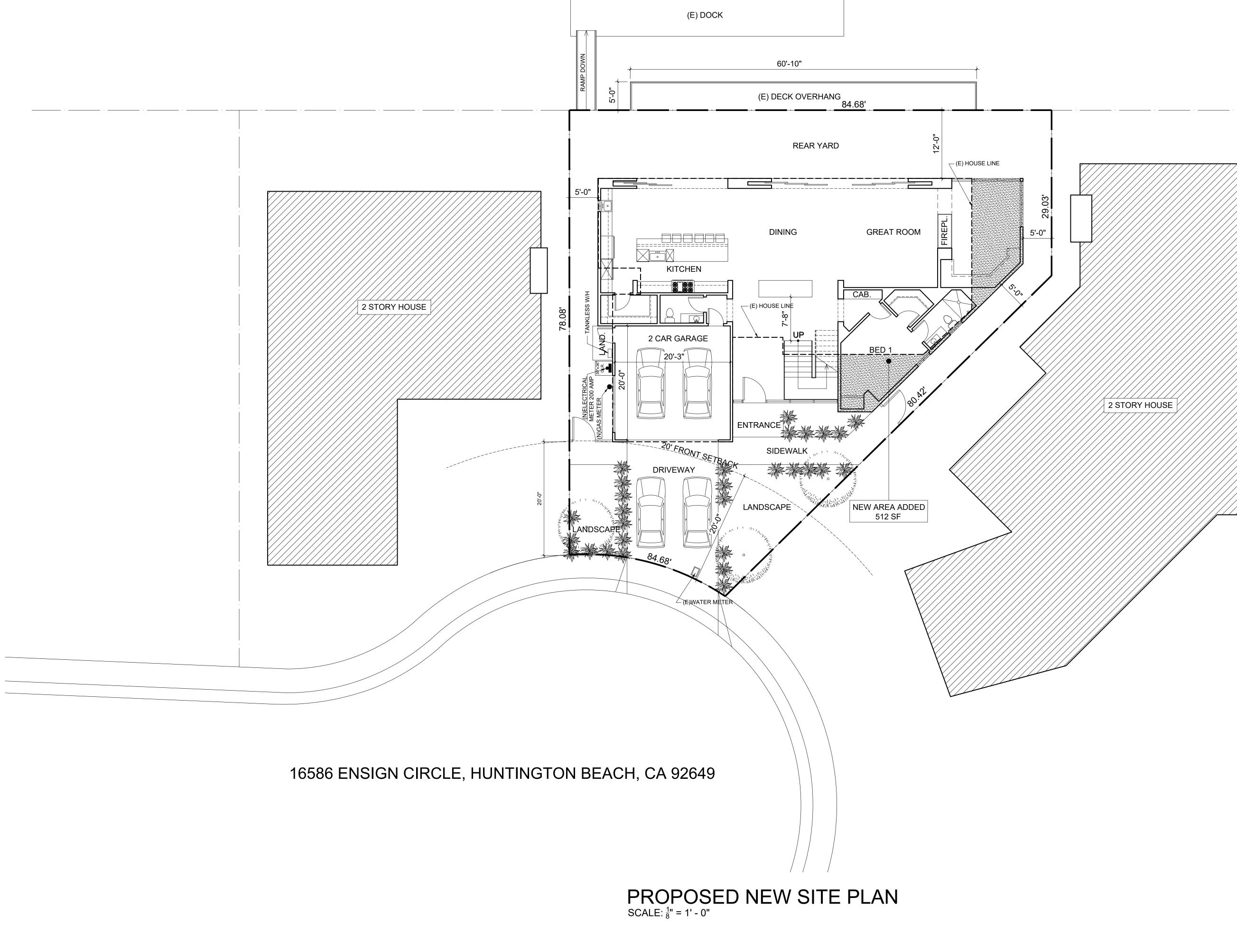
EXISTING FLOOR PLANS

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SHEET TITLE:

PROPOSED NEW SITE PLAN

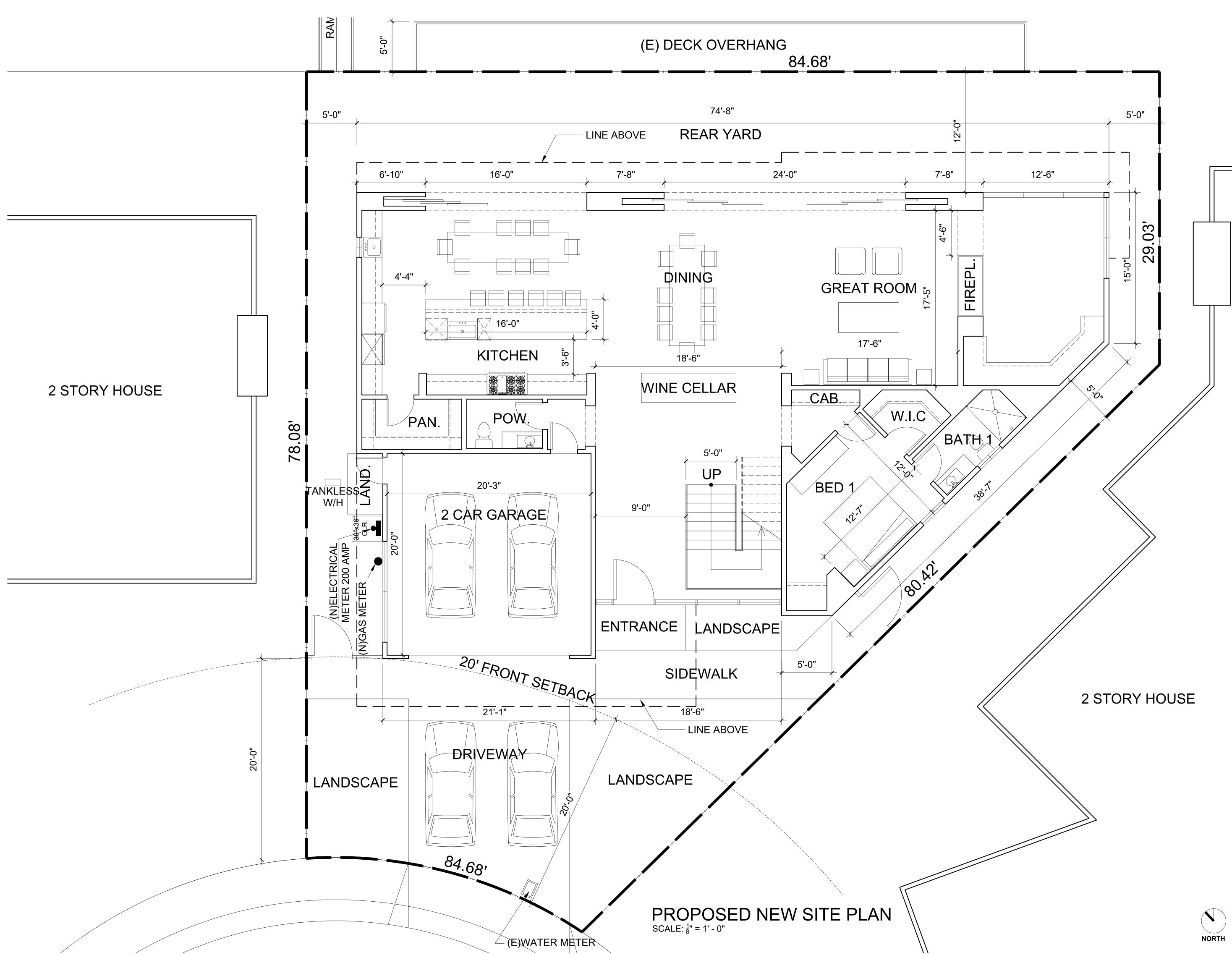
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PLOT REFERENCE DATE:

06/12/2020

2 STORY HOUSE







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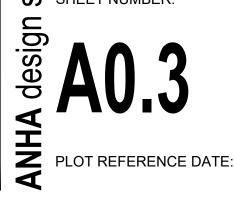
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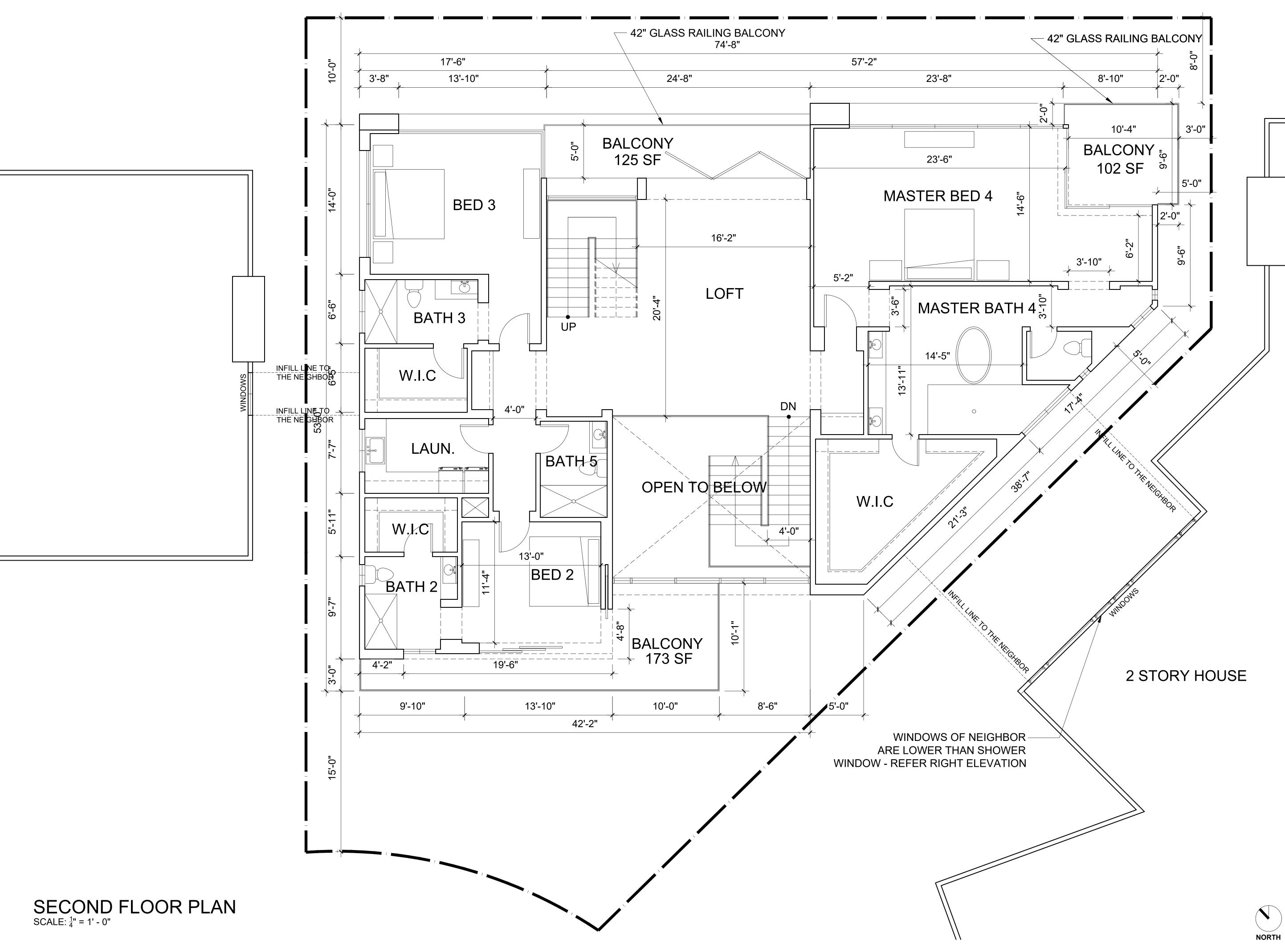
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SHEET TITLE: FIRST FLOOR PLAN

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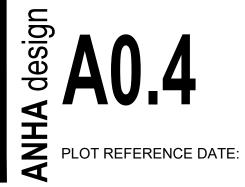
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PROJECT DIRECTOR: JOB CAPTAIN: SENIOR ASSOCIATE: ASSOCIATES: PROJECT NUMBER: PROJECT CAD FILE:

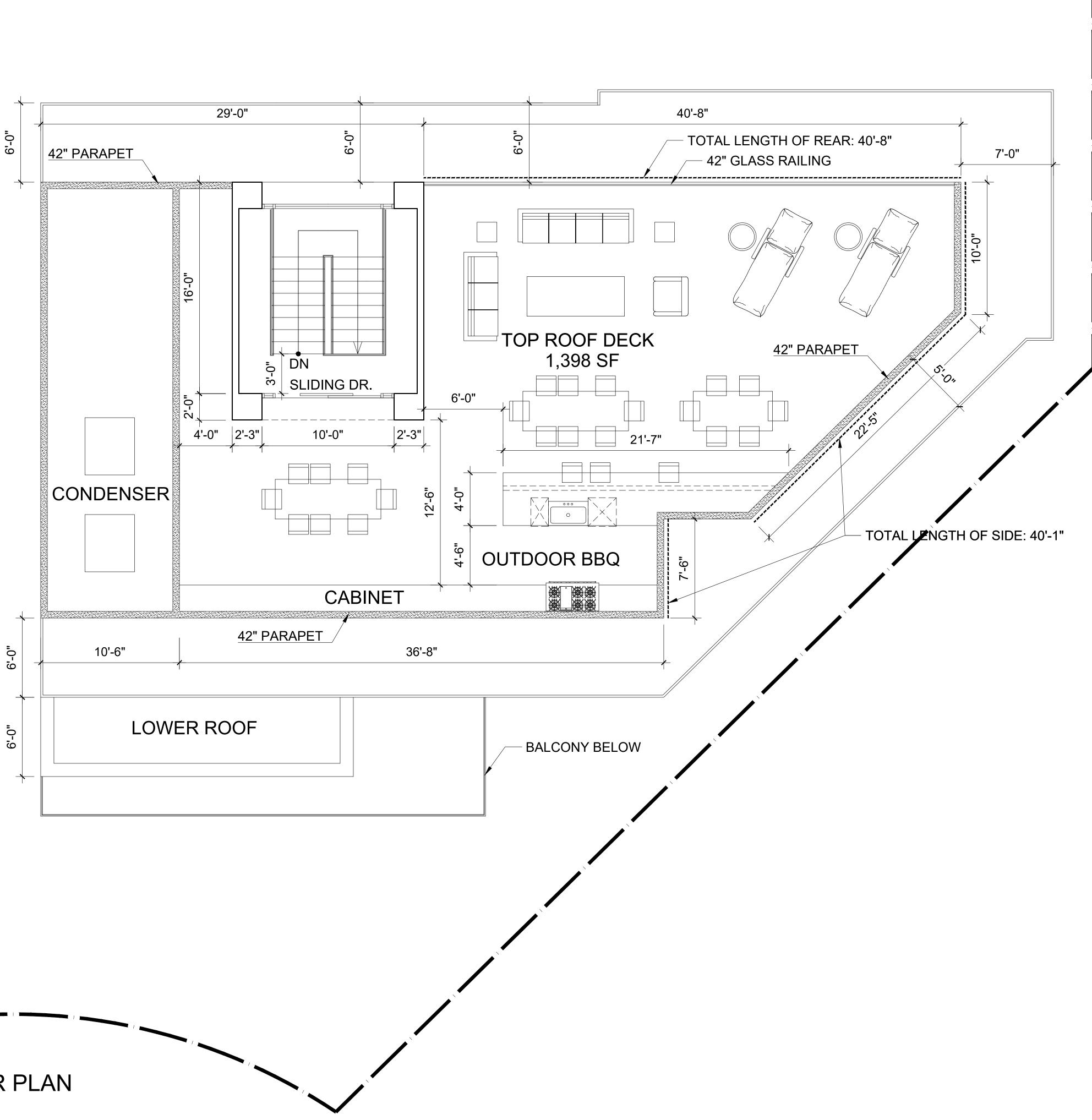
SHEET TITLE: SECOND FLOOR PLAN

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TOP ROOF DECK - THIRD FLOOR PLAN SCALE: ¹/₄" = 1' - 0"



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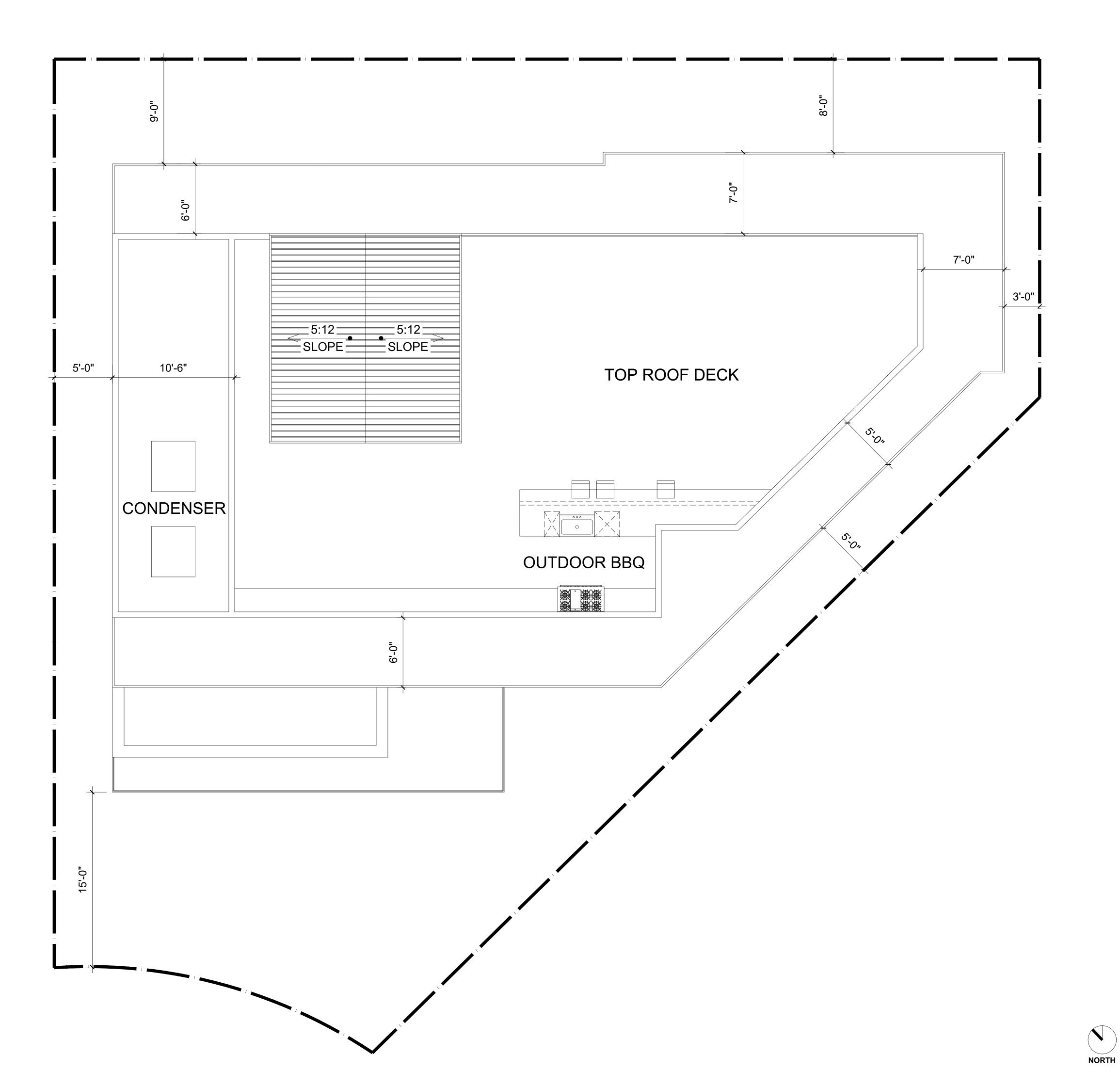
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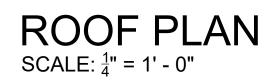


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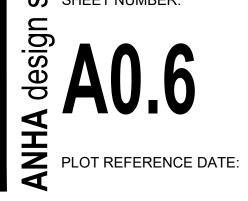
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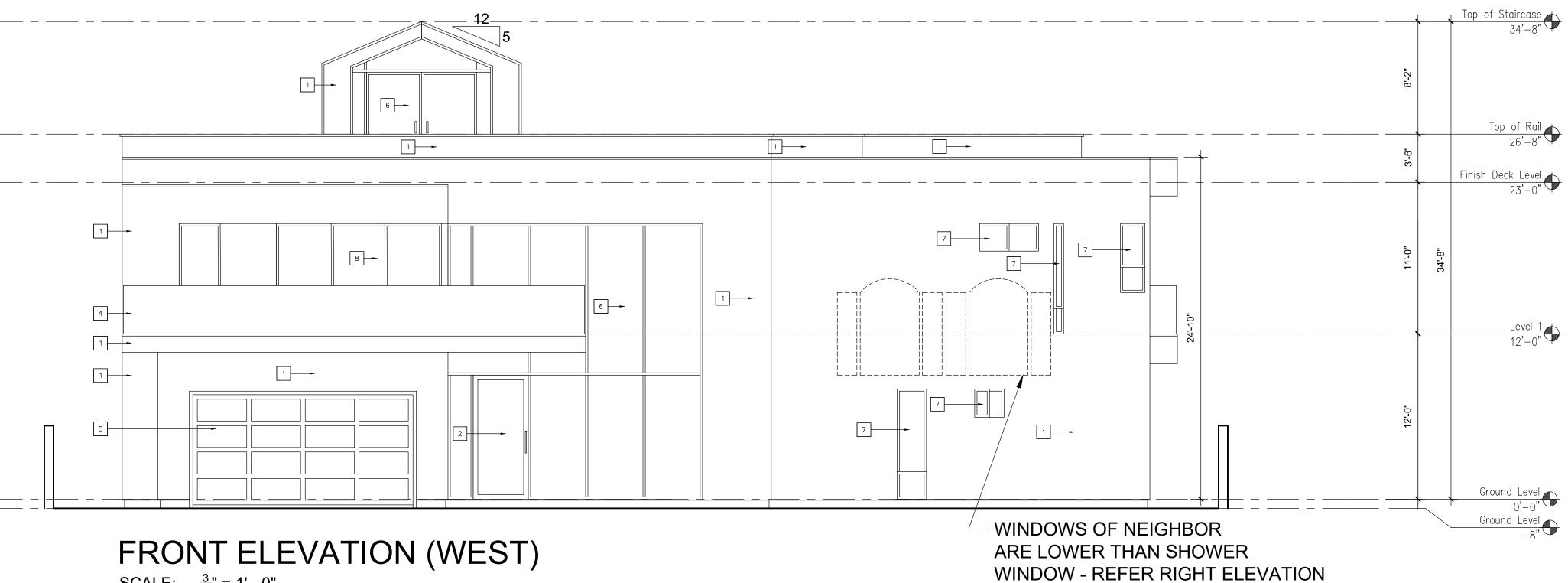
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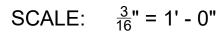
ROOF PLAN

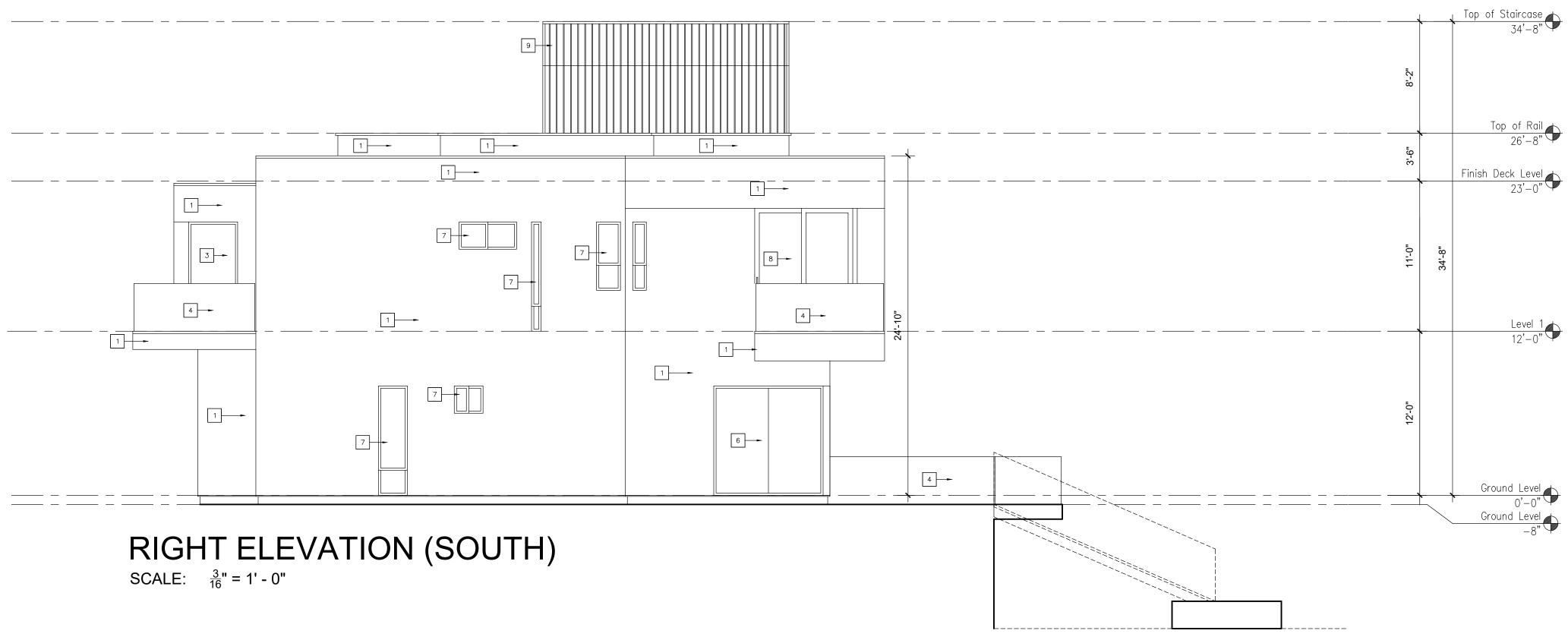
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EXTERIOR FINISHES

- . SMOOTH FINISHED STUCCO 2. ENTRY DOOR
- 3. POCKET GLASS DOORS 4. GLASS RAILING
- 5. GLASS FINISHED GARAGE DOOR 6. FIXED GLASS WINDOWS STOREFRONT
- 7. VINYL GLAZING WINDOWS
- 8. SLIDING DOORS 9. STANDING SEAM METAL ROOFING SLOPE 7:12

ROOF PLAN NOTES

INDICATES 4:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

- TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A'
- BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
- TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

- . ESTATE EAGLE ROOFING TILE
- 2. 2X6 BARGE, SEE DETAIL 3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL ALL RAFTER TAIL TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
- EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
- EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH. 6. I-COAT STUCCO SYSTEM
- . EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
- 8. EXTERIOR GRADE PLYWOOD SOFFIT. 9. TONGUE AND GROOVE SOFFIT.
- 10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C.OVER EXTERIOR GRADE PLYWOOD OR M.D.DO. BOARD.
- 11. EXPOSED HARDIE PLYWOOD OR M.D.O. BOARD.
- 12. EXTERIOR GRADE PLYWOOD GRAIN FINISH. 13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
- 14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE 15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
- 16. BIULT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
- 17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE... 18. POTSHELF, SEE DETAIL.
- 19. PROVIDE G.I. PLASHING AT ALL EXPOSED WOOD TRIM.
- 20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL. 21. G.I. FLASHING ROOF TO WALL.
- 22. G.I. FLASHING AND SADDLE / CRICKET.
- 23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIRE-PPLACE MANUFACTURER. 24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
- 25. THIN-SET MASONRY VENEER.
- 26. LIGHTED ADDRESS SIGN. 27. SHAPED FOAM CORBEL, SEE DETAIL
- 28. SHARPE WOOD CORBEL, SEE DETAIL.
- 29. WOOD POST(S). SEE PLAN FOR SIZE. 30. EXPOSED WOOD BEAM.
- 31. MANUFACTURED COLUMN
- 32. PRE-CAST CONCRETE COMPONENT / TRIM. SEE DETAIL. 33. DECORATED
- 34. NEWEL POST.FALSE TILE VENTS, SEE ELEVATION FOR LOCATION. 35. WOOD RAILING, SEE DETAIL.
- 36. DECORATIVE MATERIAL, SEE DETAIL. 37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION. DEPTH AND SIZE OF FINISHED OPENING.
- 38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION
- 39. G.I. SCREENED 'ROOF' AIR VENT. SEE REQUIRED ATTIC VENTILATION
- CHART FOR MORE INFORMATION. 40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR
- SIZE AND LOCATION. 41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT
- LOCATIONS TO BE FIELD VERIFIED.
- 2. SYNTHETIC STONE VENEER BY EL DORADO, NER-601/ER-3568. 43. MASONRY VENEER. SEE SLAB INTERFACE PLAN (FOR EXTENT OF
- TOE FOOTING SEE SLAB INTERFACE PLAN). 44. LINE OF +2" WAINSCOT. SEE ELEVATION FOR HEIGHT.
- 45. LINE OF WAINSCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB
- INTERFACE PLAN FOR MORE INFORMATION. 46. G.I.REGLET FOR COLOR COAT CHANGE.
- 47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
- 48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING. 49. DECORATIVE TILE, SEE DETAIL.
- 50. EXPOSE CORBELS WOOD FINISH EXTERIOR

REQUIRED ATTIC VENTILATION

ATTIC VENTILATION CACULATIONS PER C.R.R. R806.2 AS FOLLOWS:

- A) ATTIC AREA (SQUARE FEET) 3) DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. BOTH HIGH AND LOW. (MUST PROVIDE VAPOR RETARDER HAVING TRANSMISSION RATE NOT EXCEEDING I PERM INSTALLED ON WARM SIDE OF INSULATION.) * DIVIDE (A) BY 150 AND MULTIPLY BY 144 CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH
- AND LOW. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FREE AREA FOR EACH VENT) * = HIGH END
- **GABLE END VENT** TOTAL SQUARE INCHES OF NET FREE VENTILATION AREA PROVIDED BY UNDER AIR VENTS. (95 SQ. IN. OF FREE AREA MIN. EACH VENT)
- H = HIGH END L = HIGH END TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED
- BY UNDER EAVE VENT BLOCKS. (12 SQ. IN. OF FREE AREA MIN. EA.) 0000 = VENT BLOCK AT TRUSS BAY •••• = VENT BLOCK AT RAFTER BAY
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVED PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO
- STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS. NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.





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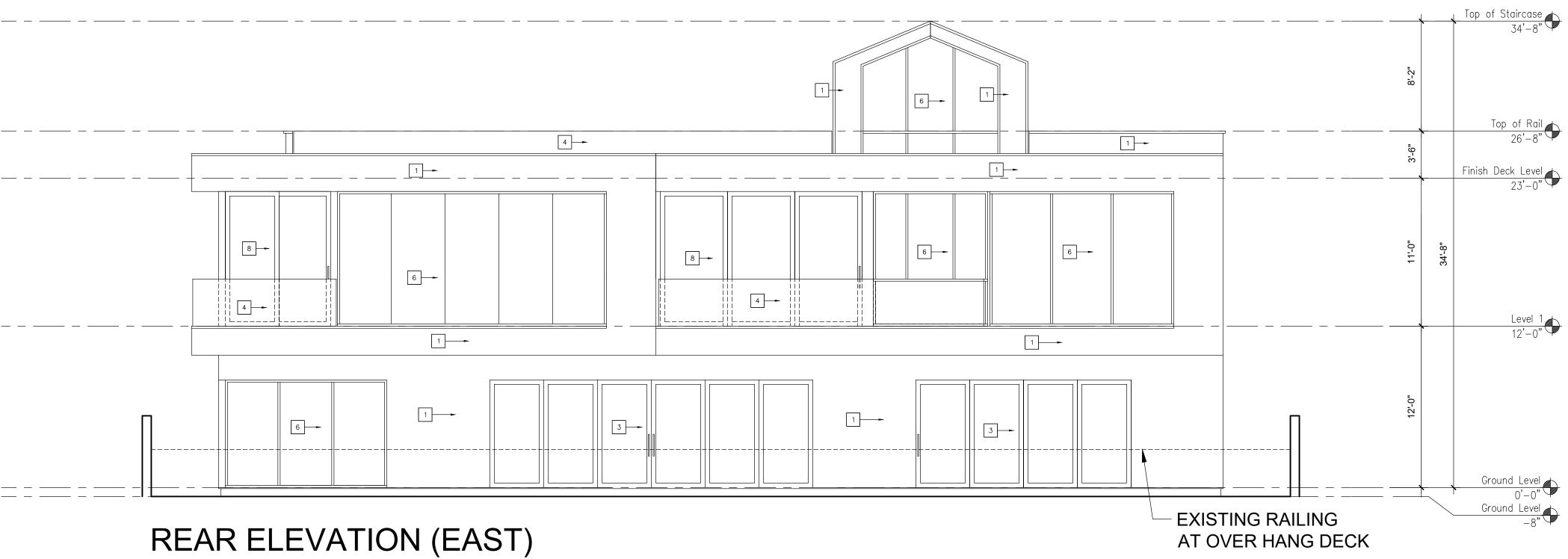
SHEET TITLE: ELEVATIONS

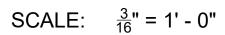
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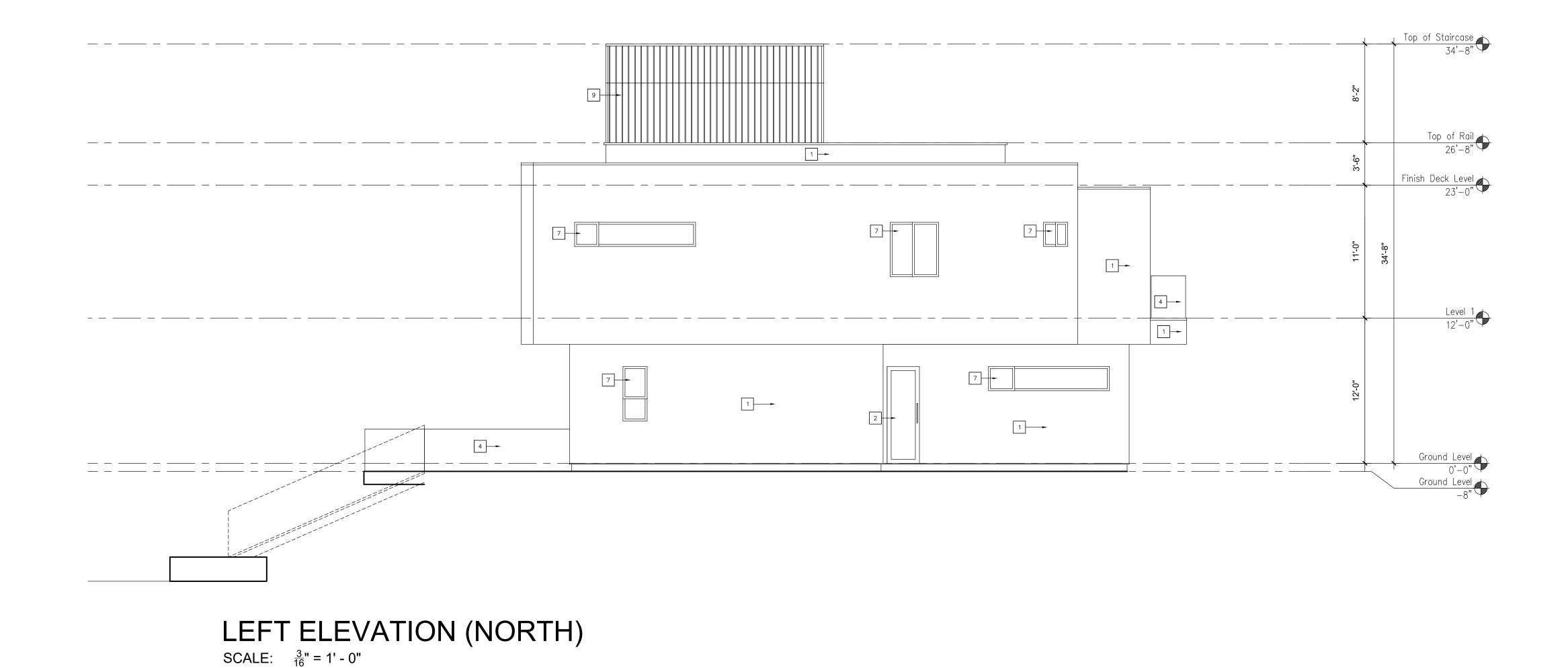
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PLOT REFERENCE DATE:







EXTERIOR FINISHES

- . SMOOTH FINISHED STUCCO 2. ENTRY DOOR
- 3. POCKET GLASS DOORS 4. GLASS RAILING
- 5. GLASS FINISHED GARAGE DOOR 6. FIXED GLASS WINDOWS STOREFRONT
- 7. VINYL GLAZING WINDOWS
- 8. SLIDING DOORS 9. STANDING SEAM METAL ROOFING SLOPE 7:12

ROOF PLAN NOTES

INDICATES 4:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

- TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A'
- BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
- TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

- . ESTATE EAGLE ROOFING TILE
- 2. 2X6 BARGE, SEE DETAIL 3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL ALL RAFTER TAIL TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
- EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
- EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH. 6. I-COAT STUCCO SYSTEM
- . EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
- 8. EXTERIOR GRADE PLYWOOD SOFFIT. 9. TONGUE AND GROOVE SOFFIT.
- 10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C.OVER EXTERIOR GRADE PLYWOOD OR M.D.DO. BOARD.
- 11. EXPOSED HARDIE PLYWOOD OR M.D.O. BOARD.
- 12. EXTERIOR GRADE PLYWOOD GRAIN FINISH. 13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
- 14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE 15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
- 16. BIULT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
- 17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE.. 18. POTSHELF, SEE DETAIL.
- 19. PROVIDE G.I. PLASHING AT ALL EXPOSED WOOD TRIM.
- 20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL. 21. G.I. FLASHING ROOF TO WALL.
- 22. G.I. FLASHING AND SADDLE / CRICKET.
- 23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIRE-PPLACE MANUFACTURER. 24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
- 25. THIN-SET MASONRY VENEER.
- 26. LIGHTED ADDRESS SIGN. 27. SHAPED FOAM CORBEL, SEE DETAIL
- 28. SHARPE WOOD CORBEL, SEE DETAIL.
- 29. WOOD POST(S). SEE PLAN FOR SIZE. 30. EXPOSED WOOD BEAM.
- 31. MANUFACTURED COLUMN
- 32. PRE-CAST CONCRETE COMPONENT / TRIM. SEE DETAIL. 33. DECORATED
- 34. NEWEL POST.FALSE TILE VENTS, SEE ELEVATION FOR LOCATION. 35. WOOD RAILING, SEE DETAIL.
- 36. DECORATIVE MATERIAL, SEE DETAIL. 37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION. DEPTH AND SIZE OF FINISHED OPENING.
- 38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION
- 39. G.I. SCREENED 'ROOF' AIR VENT. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
- 40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR
- SIZE AND LOCATION. 41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT
- LOCATIONS TO BE FIELD VERIFIED. 42. SYNTHETIC STONE VENEER BY EL DORADO, NER-601/ER-3568.
- 43. MASONRY VENEER. SEE SLAB INTERFACE PLAN (FOR EXTENT OF
- TOE FOOTING SEE SLAB INTERFACE PLAN). 44. LINE OF +2" WAINSCOT. SEE ELEVATION FOR HEIGHT.
- 45. LINE OF WAINSCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB
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