

16586 ENSIGN CIRCLE, HUNTINGTON BEACH, CA 92649

ANHA studio Email: aha@anha-studio.com

16586 Ensign Circle
Huntington Beach, CA 92649

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Huntington Beach, CA 92649
Tel: (714) 791 2538

REVISIONS

PROJECT CAD FILE:

COVER SHEET

CV.1

PLOT REFERENCE DATE: 06/12/2020

AGENCY REQUIREMENTS

P. THE PLANS SHALL PROVIDE STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL INSPECTIONS SHALL BE AS



12862 Joy Street, Suite A
Garden Grove
CA 92840
Tel: (714) 200 4122
Email: aha@anha-studio.com

ANHA studio

HOUSE REMODELING & ROOM ADDITION

16586 Ensign Circle
Huntington Beach, CA 92649

DARREN NGUYEN

16586 Ensign Circle
Huntington Beach, CA 92649
Tel: (714) 791 2538

BUILDING DEPARTMENT SUBMITTAL:

REVISIONS:

PROJECT DIRECTOR:
JOB CAPTAIN:
SENIOR ASSOCIATE:
ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:
**EXISTING
FLOOR PLANS**

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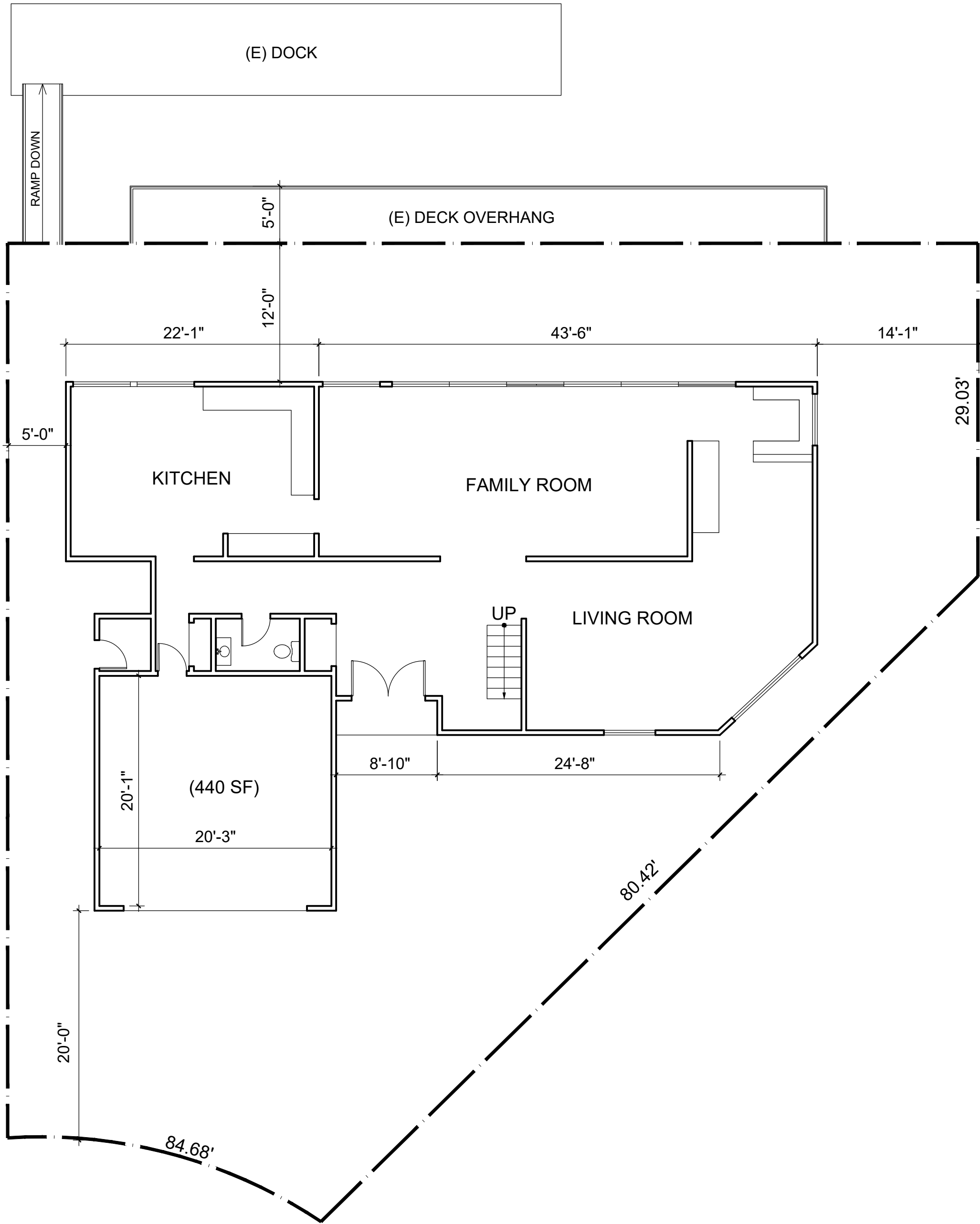
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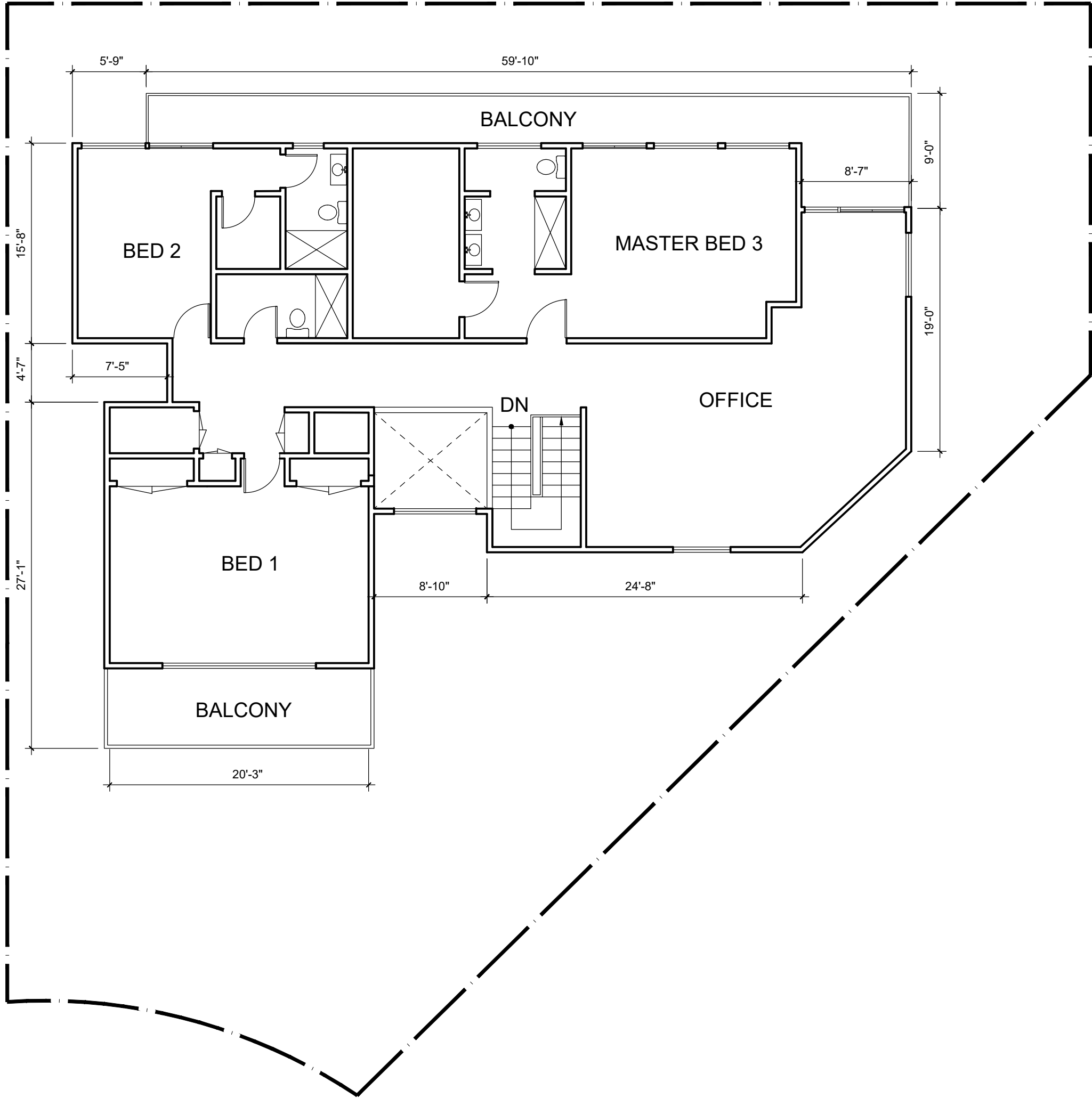
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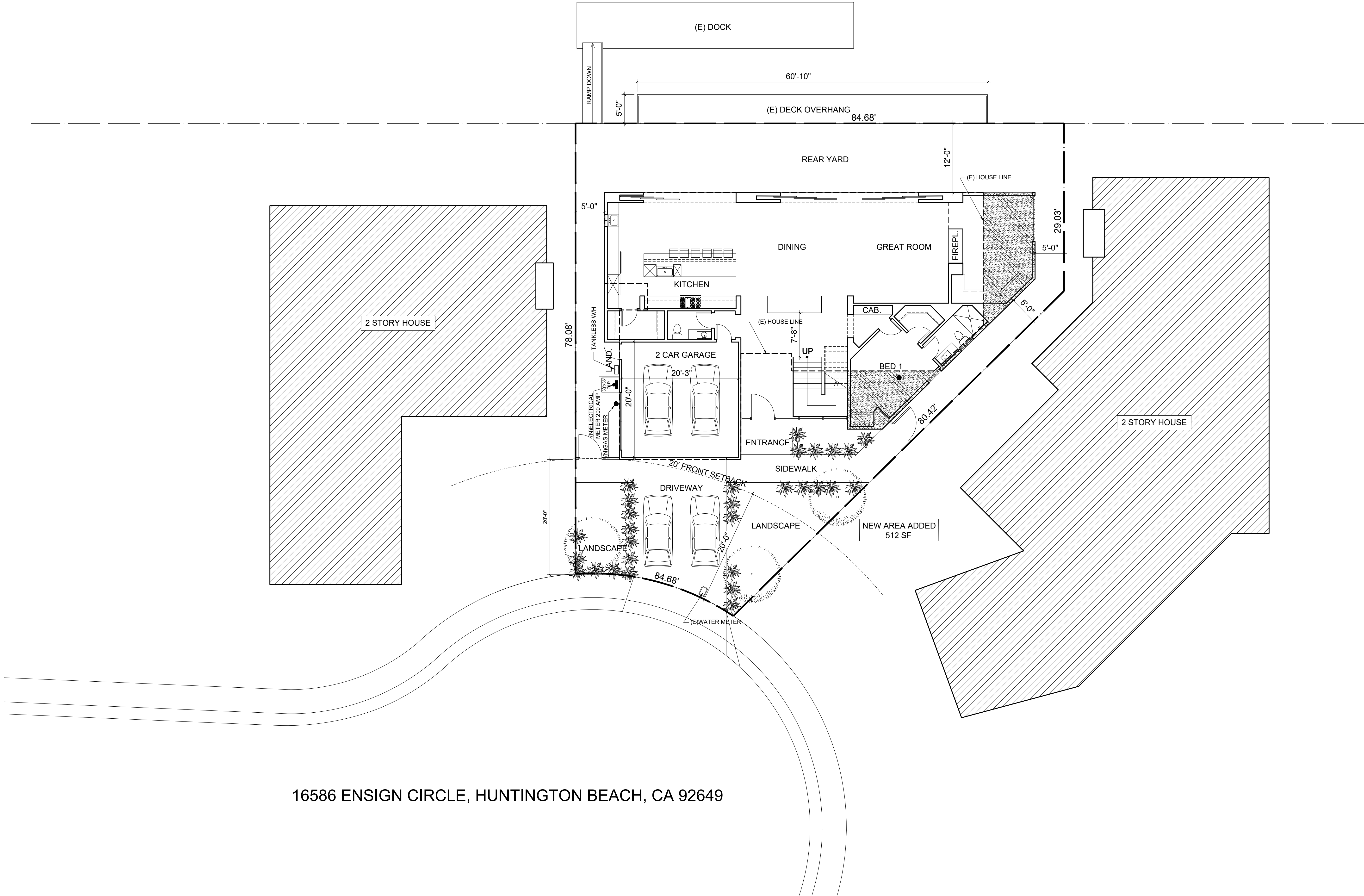
EXISTING FIRST FLOOR PLAN
SCALE: $\frac{1}{8}" = 1' - 0"$



EXISTING SECOND FLOOR PLAN
SCALE: $\frac{1}{8}" = 1' - 0"$

GENERAL INFORMATION

ADDRESS: 16586 ENSIGN CIRCLE, HUNTINGTON BEACH, CA 92649
LOT : 5,601 SF
(E) LIVING AREA: 3,942 SF
(E) BEDROOM: 3
(E) BATHROOM: 3.5
(E) LOT COVERAGE (2,298): 41%



16586 ENSIGN CIRCLE, HUNTINGTON BEACH, CA 92649

PROPOSED NEW SITE PLAN
SCALE: $\frac{1}{8}$ " = 1' - 0"

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PROPOSED NEW
SITE PLAN

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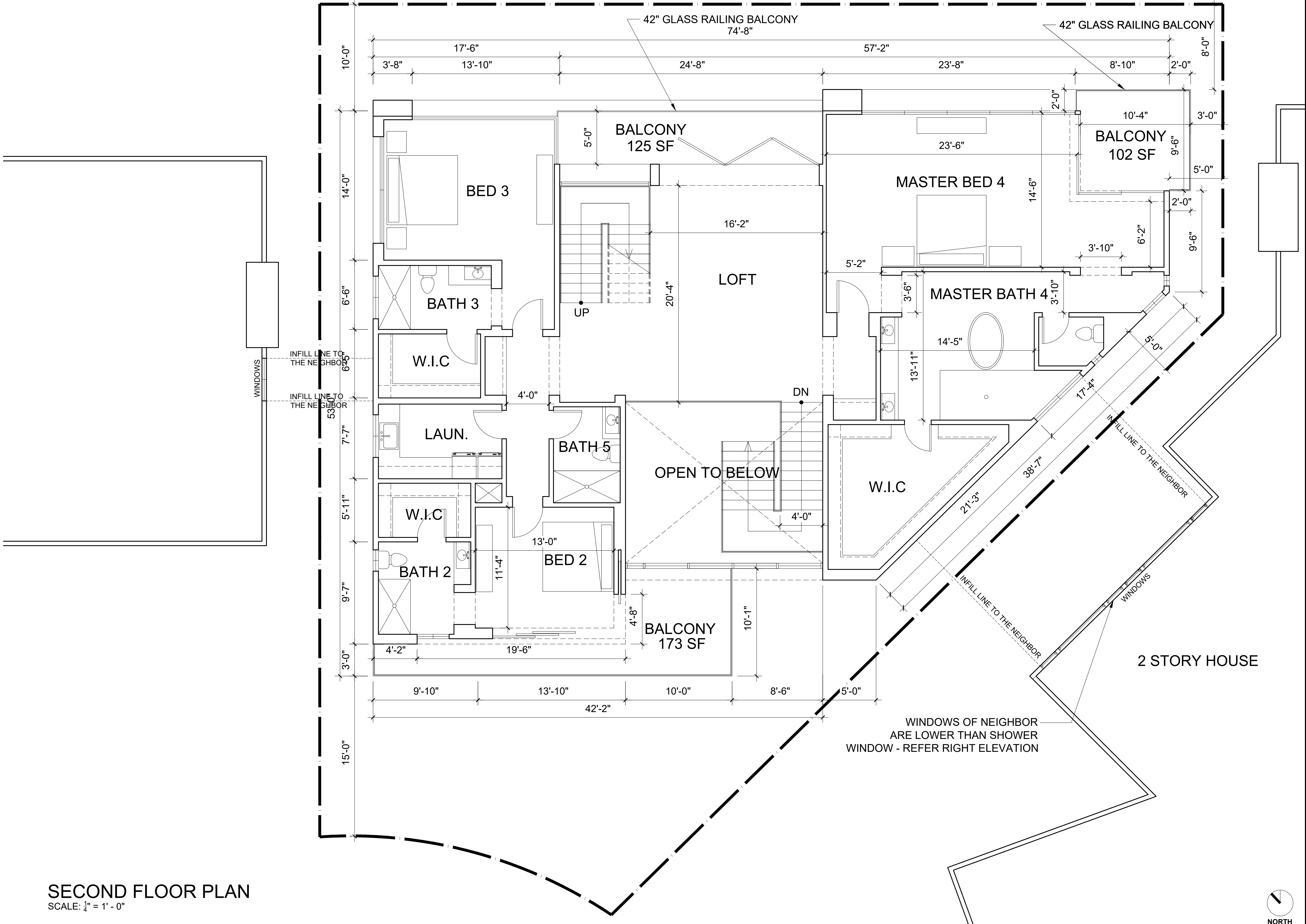
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PLOT REFERENCE DATE: 06/12/2020



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SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

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SECOND FLOOR PLAN

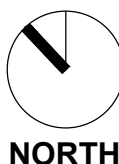
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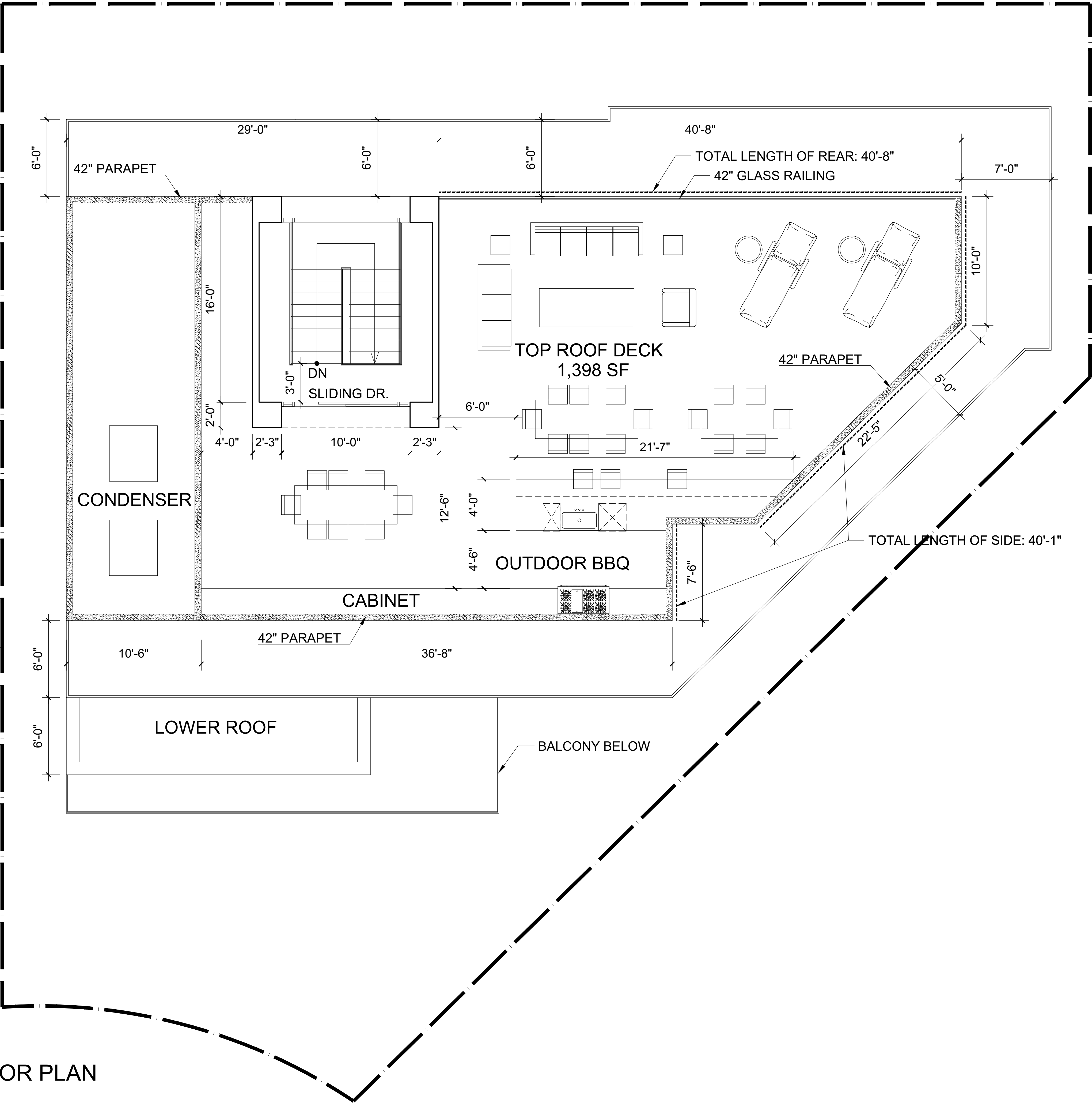
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ANHA design studio



TOP ROOF DECK - THIRD FLOOR PLAN

SCALE: 1/4" = 1' - 0"

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THIRD FLOOR PLAN

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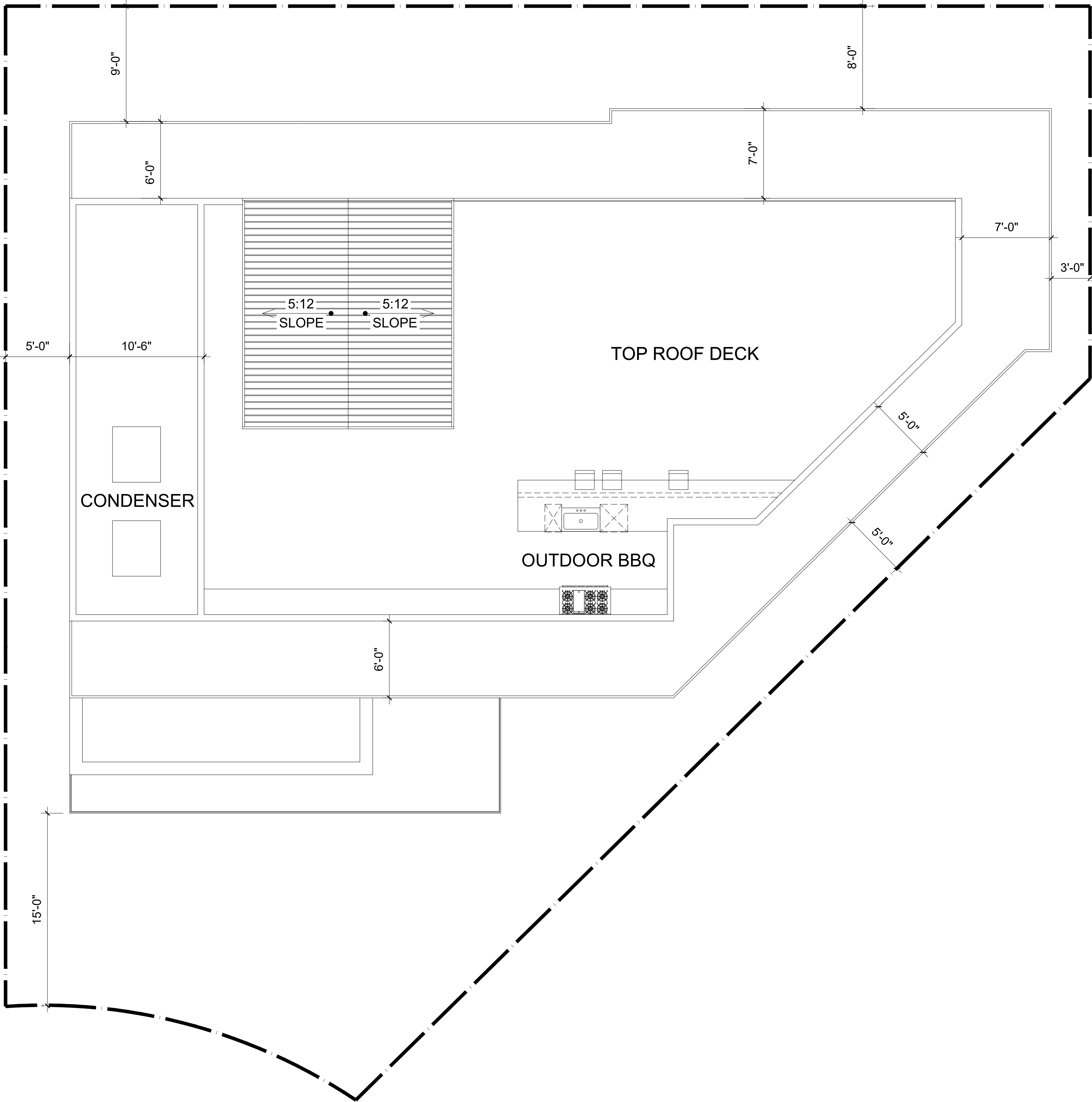
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ROOF PLAN

SCALE: 1/4" = 1' - 0"



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ROOF PLAN

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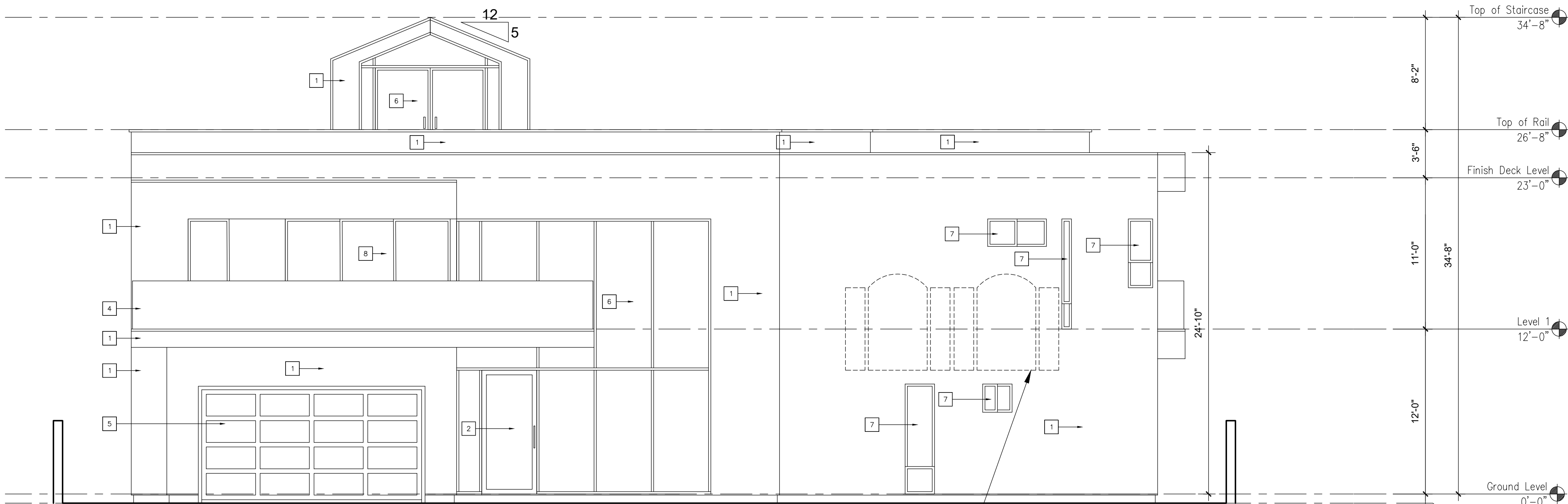
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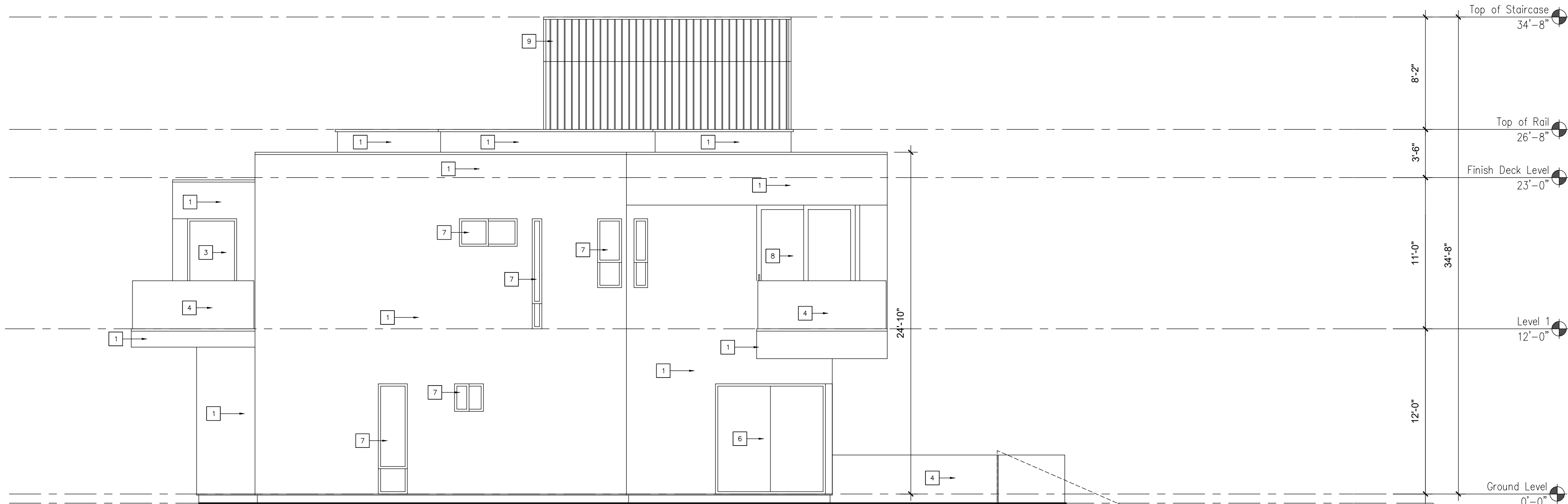
ANHA design studio



FRONT ELEVATION (WEST)

SCALE: $\frac{3}{16}'' = 1' - 0''$

WINDOWS OF NEIGHBOR
ARE LOWER THAN SHOWER
WINDOW - REFER RIGHT ELEVATION



RIGHT ELEVATION (SOUTH)

SCALE: $\frac{3}{16}'' = 1' - 0''$

EXTERIOR FINISHES

1. SMOOTH FINISHED STUCCO
2. ENTRY DOOR
3. POCKET GLASS DOORS
4. GLASS RAILING
5. GLASS FINISHED GARAGE DOOR
6. FIXED GLASS WINDOWS STOREFRONT
7. VINYL GLAZING WINDOWS
8. SLIDING DOORS
9. STANDING SEAM METAL ROOFING SLOPE 7:12

ROOF PLAN NOTES

- ▲ INDICATES 4:12 LOPE UNLESS NOTED POTHERWISE ON ROOF PLANS.
1. TYPICAL ROOFING TO BE : CONCRETE 'S' TILE (ELE. 'A') CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
 2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
 3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN.

ELEVATION/ROOF NOTES

1. ESTATE EAGLE ROOFING TILE
2. 2X6 BARGE, SEE DETAIL
3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL. ALL RAFTER TAIL TO BE EQUALLY SPACED, FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. I-COAT STUCCO SYSTEM
7. EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT.
10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C. OVER EXTERIOR GRADE PLYWOOD OR M.D.D.O. BOARD.
11. EXPOSED HARDIE PLYWOOD OR M.D.D.O. BOARD.
12. EXTERIOR GRADE PLYWOOD GRAIN FINISH.
13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE
15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BUILT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
18. POTSHIELD, SEE DETAIL.
19. PROVIDE G.I. FLASHING AT ALL EXPOSED WOOD TRIM
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO WALL.
22. G.I. FLASHING AND SADDLE / CRICKET
23. APPROVED TERMINATION GAP WITH SPARK ARRESTER FROM FIRE-PLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
25. THIN-SET MASONRY VENEER.
26. LIGHTED ADDRESS SIGN
27. SHAPED FOAM CORBEL, SEE DETAIL.
28. SHARPE WOOD CORBEL, SEE DETAIL.
29. WOOD POST(S), SEE PLAN FOR SIZE.
30. EXPOSED WOOD BEAM.
31. MANUFACTURED COLUMN
32. PRE-CAST CONCRETE COMPONENT / TRIM, SEE DETAIL.
33. DECORATED
34. NEWEL POST FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
35. WOOD RAILING, SEE DETAIL.
36. DECORATIVE MATERIAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION, DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
39. G.I. SCREENED 'ROOF' AIR VENT, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR SIZE AND LOCATION.
41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
42. SYNTHETIC STONE VENEER BY EL DORADO, NER-601/ER-3568.
43. MASONRY VENEER, SEE SLAB INTERFACE PLAN (FOR EXTENT OF TOE FOOTING SEE SLAB INTERFACE PLAN).
44. LINE OF +2" WAINSCOT, SEE ELEVATION FOR HEIGHT.
45. LINE OF WAINSCOT FLOORING, SEE ELEVATION FOR HEIGHT, SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. G.I. REGLET FOR COLOR COAT CHANGE.
47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION, PAINT TO MATCH STUCCO COLOR.
48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
49. DECORATIVE TILE, SEE DETAIL.
50. EXPOSE CORBELS WOOD FINISH EXTERIOR

REQUIRED ATTIC VENTILATION

- ATTIC VENTILATION CALCULATIONS PER C.R.R. R806.2 AS FOLLOWS:
- (A) ATTIC AREA (SQUARE FEET)
- (B) DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES.
- BOTH HIGH AND LOW. (MUST PROVIDE VAPOR RETARDER HAVING TRANSMISSION RATE NOT EXCEEDING 1 PERM INSTALLED ON WARM SIDE OF INSULATION.)
- * DIVIDE (A) BY 150 AND MULTIPLY BY 144 CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH AND LOW.
- (C) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FREE AREA FOR EACH VENT)
- ▨ = GABLE END VENT
- ▣ = HIGH END
- (D) TOTAL SQUARE INCHES OF NET FREE VENTILATION AREA PROVIDED BY UNDER AIR VENTS. (95 SQ. IN. OF FREE AREA MIN. EACH VENT)
- ▨ = HIGH END
- ▣ = HIGH END
- (E) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS. (12 SQ. IN. OF FREE AREA MIN. EA.)
- ▣ = VENT BLOCK AT TRUSS BAY
- ▣ = VENT BLOCK AT RAFTER BAY
- (F) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.
- NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

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ELEVATIONS

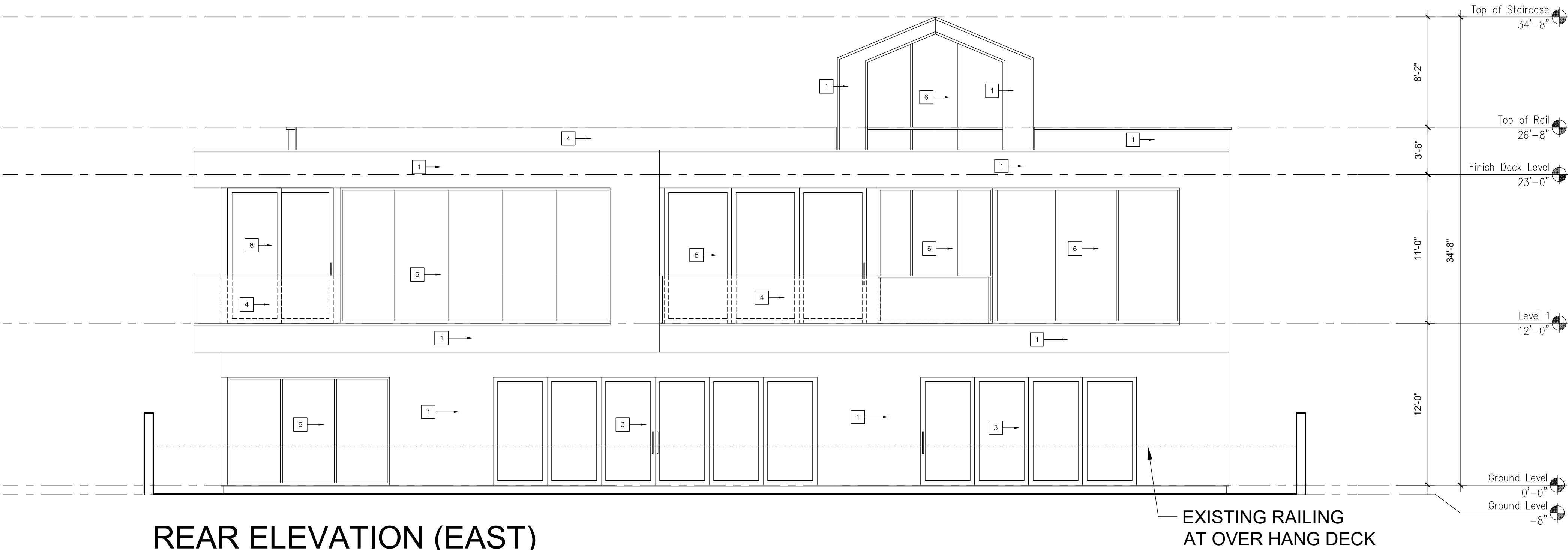
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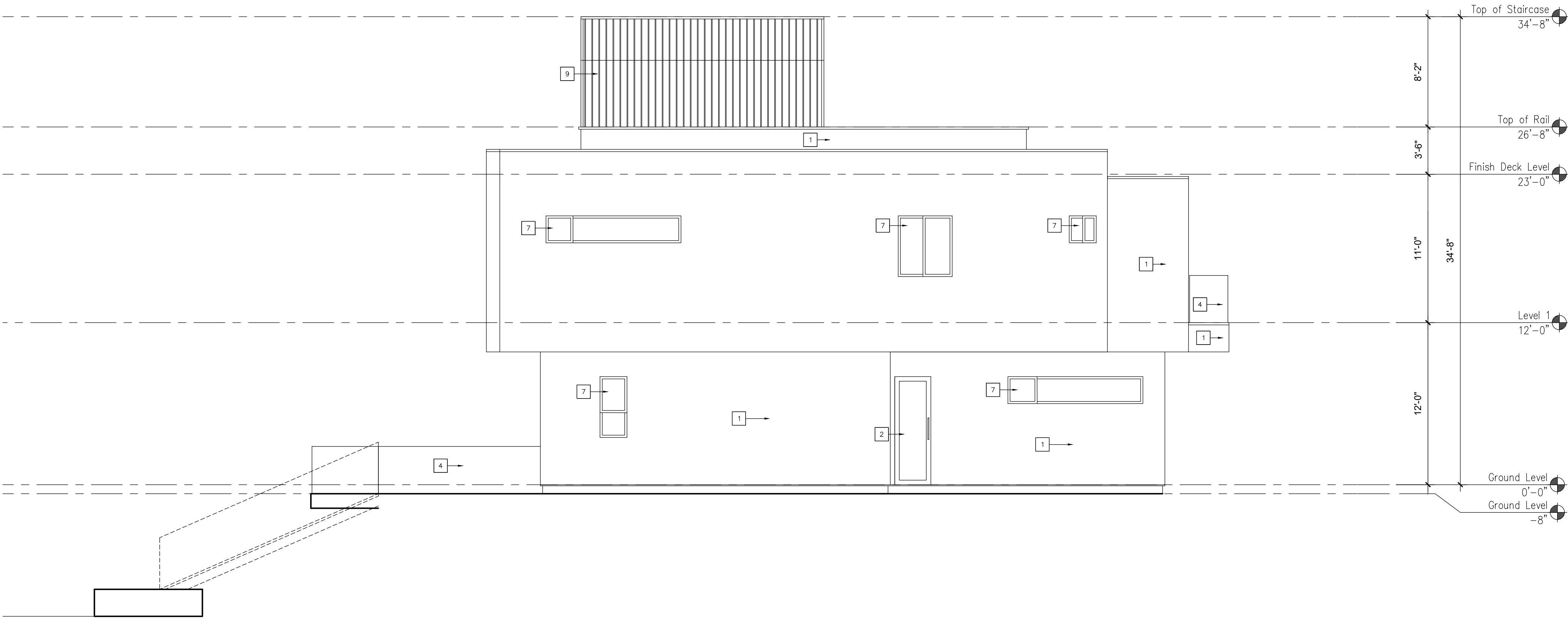
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REAR ELEVATION (EAST)

SCALE: 3/16" = 1' - 0"



LEFT ELEVATION (NORTH)

SCALE: 3/16" = 1' - 0"

EXTERIOR FINISHES

1. SMOOTH FINISHED STUCCO
2. ENTRY DOOR
3. POCKET GLASS DOORS
4. GLASS RAILING
5. GLASS FINISHED GARAGE DOOR
6. FIXED GLASS WINDOWS STOREFRONT
7. VINYL GLAZING WINDOWS
8. SLIDING DOORS
9. STANDING SEAM METAL ROOFING SLOPE 7:12

ROOF PLAN NOTES

- ▲ INDICATES 4:12 LOPE UNLESS NOTED PTERWISE ON ROOF PLANS.
1. TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A) CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
 2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
 3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

1. ESTATE EAGLE ROOFING TILE
2. 2X6 BARGE, SEE DETAIL
3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL. ALL RAFTER TAIL TO BE EQUALLY SPACED, FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. I-COAT STUCCO SYSTEM
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14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE
15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BUILT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE..
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19. PROVIDE G.I. FLASHING AT ALL EXPOSED WOOD TRIM
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- (A) ATTIC AREA (SQUARE FEET)
- (B) DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. BOTH HIGH AND LOW. (MUST PROVIDE VAPOR RETARDER HAVING TRANSMISSION RATE NOT EXCEEDING 1 PERM INSTALLED ON WARM SIDE OF INSULATION.)
- * DIVIDE (A) BY 150 AND MULTIPLY BY 144 CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH AND LOW.
- (C) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FREE AREA FOR EACH VENT)
- ▨ = GABLE END VENT ▣ = HIGH END
- (D) TOTAL SQUARE INCHES OF NET FREE VENTILATION AREA PROVIDED BY UNDER AIR VENTS. (95 SQ. IN. OF FREE AREA MIN. EACH VENT)
- ▨ = HIGH END ▣ = HIGH END
- (E) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS. (12 SQ. IN. OF FREE AREA MIN. EA.)
- ▣ = VENT BLOCK AT TRUSS BAY ▣ = VENT BLOCK AT RAFTER BAY
- (F) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVED PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.
- NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

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SHEET TITLE:

ELEVATIONS

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