

GENERAL NOTES

- 1

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY AND THOROUGHLY EXAMINE THE PROJECT SITE, FIELD VERIFY ALL CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS OF THE VARIOUS FEATURES OF THE EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE BEGINNING WORK.
- 2

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND THOROUGHLY EXAMINE AND FAMILIARIZE THEMSELVES WITH ALL ELEMENTS AND CONDITIONS IN THE CONTRACT DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE WORK BEGINS.
- 3

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE ENFORCEMENT OF ALL REQUIREMENTS AND REGULATIONS AND SHALL PERFORM ALL WORK ON THIS PROJECT IN COMPLIANCE WITH O.S.H.A., THE INDUSTRIAL ACCIDENT COMMISSION AND ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. ALL CONSTRUCTION FABRICATION AND INSTALLATIONS SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE CURRENT CODES AND ANY OTHER FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES OF THE GOVERNING AGENCY HAVING JURISDICTION OVER THE PROJECT.
- 4

DUE TO THE REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATELY TO SCALE. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN AND IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE PLANS, SECTIONS, ELEVATIONS, OR DETAILS.
- 5

WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, FOR ANY ALTERNATE NONSTANDARD, OR UNTESTED METHOD(S) PROPOSED.
- 6

IT IS CONSIDERED ESSENTIAL THAT THE CONTRACTOR INSPECT THE PREMISES DURING THE COURSE OF BIDDING PRIOR TO THE START OF CONSTRUCTION TO BE FAMILIAR WITH FIELD CONDITIONS. SUCH CONDITIONS SHOULD BE REFLECTED AND QUALIFIED IN THE FINAL BID. ANY CONDITION OR CIRCUMSTANCE WHICH DOES NOT CONFORM TO THE INTENT INDICATED IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE ACCEPTANCE OF THE BID FOR THIS WORK. NO ADDITIONAL PAYMENTS WILL BE MADE TO COMPENSATE FOR ANY ADDITIONAL WORK REQUIRED FOR A PROFESSIONAL COMPLETION OF THE WORK, DUE TO LACK OF FIELD VERIFICATION BY CONTRACTOR.
- 7

SHOULD THERE BE ANY DISCREPANCY BETWEEN THE VARIOUS DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSTALLATION OF ANY SPECIAL EQUIPMENT NOT SHOWN IN THESE DRAWINGS.
- 8

THE CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH THE OWNER'S REPRESENTATIVE AND/OR EQUIPMENT MANUFACTURER FOR PROPER SIZE AND LOCATION OF FOUNDATION OR SLAB DEPRESSIONS, DRAINS, AND WARPS.
- 9

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY UNDERGROUND OR CONCEALED CONDUIT, PLUMBING, OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED.
- 10

NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE STANDARD NOTES ON THIS SHEET IN CASE OF CONFLICT.
- 11

THE CONTRACTOR SHALL COMPLY WITH SAFETY RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE CONSTRUCTION PROCESS.
- 12

RUBBISH AND DEBRIS RESULTING FROM THE WORK OF VARIOUS TRADES SHALL BE REGULARLY COLLECTED AND REMOVED FROM THE PROJECT SITE AND LEGALLY DISPOSED OF PRIOR TO DELIVERY OF MATERIALS TO THE CONSTRUCTION ZONE AND REMOVAL OF WASTE FROM THE SITE. THE CONTRACTOR SHALL CHECK WITH THE OWNER FOR AN ACCEPTABLE ACCESS ROUTE AND TIME. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR, HIS SUBCONTRACTORS, OR ANY OF THEIR EMPLOYEES USE ANY AREA OUTSIDE THE CONSTRUCTION ZONE WITHOUT PRIOR APPROVAL FROM THE OWNER.
- 13

ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING, REGARDLESS OF COST, TIME OR MATERIAL INCREASE.
- 14

ANY AND ALL REVISIONS TO THE SCOPE SHALL BE BY WRITTEN CHANGE ORDER, APPROVED BY OWNER.
- 15

PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING & NEW MATERIALS AND CONSTRUCTION PREVIOUS TO AND DURING CONSTRUCTION AND AFTER INSTALLATION. ALSO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST.
- 16

WELDING SHALL BE BY A CERTIFIED WELDER OR IN THE SHOP OF AN APPROVED FABRICATOR.
- 17

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT AND ALL OTHER ITEMS AS NECESSARY WHETHER OR NOT DETAILS HAVE BEEN PROVIDED.
- 18

GENERAL CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTION OF MATERIALS OR EQUIPMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER AND THE ARCHITECT.
- 19

THE SPECIFICATIONS SHALL BE PART OF THE CONTRACT DOCUMENTS.
- 20

BEFORE ACCEPTANCE BY THE OWNER, THE COMPLETED CONSTRUCTION SHALL BE CLEANED, LABELS REMOVED, AND ALL OTHER TOUCHUP COMPLETED TO THE SATISFACTION OF THE OWNER.
- 22

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CODES LISTED UNDER THIS GENERAL NOTES HEADING ON THIS SHEET. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE, AS REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. WHERE ANY CONFLICTS OCCUR BETWEEN FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- 23

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT CODE REQUIREMENTS
- 24

THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE, UNTIL THE STRUCTURE ITSELF (INCLUDING ROOF DIAPHRAGM) IS COMPLETE ENOUGH TO SUPPORT ITSELF. THE DESIGN ADEQUACY, SAFETY, AND ERECTION OF BRACING, SHORING, SCAFFOLDING, AND TEMPORARY SUPPORTS AND RESTRAINTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 25

IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT MATCHING AND/OR ABUTTING EXISTING CONSTRUCTION IN A NEAT AND PROFESSIONAL MANNER.
- 26

THE FACILITY IS TO REMAIN OCCUPIED DURING THE CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WITH THE OWNER A SEQUENCE FOR THE WORK.
- 27

THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR SHUTDOWNS AT LEAST THREE DAYS PRIOR TO THE EVENT. WORK REQUIRING SHUTDOWNS WILL BE REQUIRED TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS.
- 28

THIS PROJECT REMODEL WORK ADJOINS AREAS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND THE CONTRACTOR AND SUBCONTRACTORS SHALL COOPERATE WITH THE OWNER TO MAINTAIN CONTINUOUS OPERATION. IF CONFLICTS OCCUR, THE INTERESTS OF THE OWNER SHALL GOVERN. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE THE IMPACT OF CONSTRUCTION ON THE OWNER'S OPERATIONS.
- 29

ALL REQUIRED EXITS FROM OCCUPIED PORTIONS OF THE PROJECT SHALL BE MAINTAINED AT ALL TIMES. CONTRACTOR SHALL ESTABLISH PROCEDURES TO MINIMIZE CIRCULATION OF CONSTRUCTION PERSONNEL AND MATERIALS THROUGH OCCUPIED PORTIONS OF THE PROJECT SITE. THE CONTRACTOR SHALL IMMEDIATELY CLEAN DEBRIS FROM OCCUPIED AREAS.
- 30

STORAGE OF ALL MATERIALS, EQUIPMENT AND SUPPLIES SHALL BE LIMITED TO SCHEDULED AREAS OF WORK IN PROGRESS, OR TO DESIGNATED LOCATIONS APPROVED AND ARRANGED WITH THE OWNER. THE CONTRACTOR SHALL THOROUGHLY CAULK, FLASH AND/OR SEAL AROUND ALL WALL AND/OR ROOF PENETRATIONS THAT ARE MADE AS A PART OF THE CONTRACT WORK TO CREATE A WATERTIGHT CONDITION.
- 31

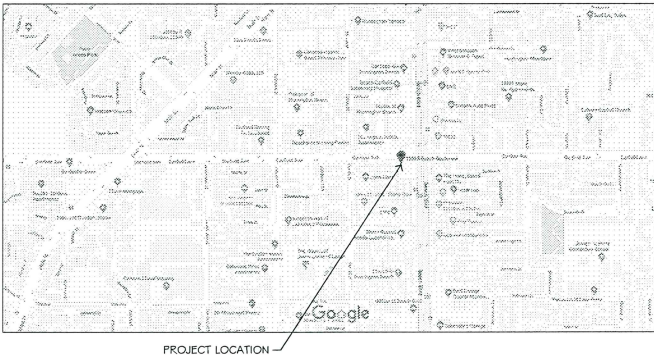
WHEN INSTALLING DRILLED IN ANCHORS OR POWER DRIVEN PINS INTO EXISTING REINFORCED CONCRETE OR REINFORCED CONCRETE MASONRY, CARE SHALL BE TAKEN TO AVOID CUTTING OR DAMAGING THE REINFORCING BARS.
- 32

WHERE PAVING, WALKS AND/OR LANDSCAPED AREAS ARE DISTURBED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS.
- 33

ALL STEEL COMPONENTS EXPOSED TO WEATHER SHALL BE GALVANIZED. ALL FINISH COMPONENTS, NOT PRE FINISHED, SHALL BE PAINTED.

BEACH HUT DELI PATIO EXPANSION

VICINITY MAP



DEVELOPMENT INFORMATION

PROJECT DESCRIPTION:
A CONDITIONAL USE PERMIT FOR EXPANDING AN EXISTING DINING PATIO FOR AN EXISTING RESTAURANT. ALCOHOL WILL BE SERVED ON THE PATIO.

DEVELOPMENT INFORMATION

SITE ADDRESS	19025 BEACH BLVD.
ASSESSOR'S PARCEL NUMBER	159-161-25
LEGAL DESCRIPTION	COUNTY OF ORANGE, STATE OF CALIFORNIA
LOT SIZE	342,000 SF (7.85 ACRES)
ZONE	SPECIFIC PLAN 14
PREVIOUS OCCUPANCY	A-2, RESTAURANT
PROPOSED OCCUPANCY	A-2, RESTAURANT
CONSTRUCTION	V8, FULLY SPRINKLERED NO FIRE ALARMS
EXISTING PATIO AREA	447 SF
PROPOSED PATIO AREA	894 SF
PATIO PARKING REQUIREMENT:	6 SP / 1,000 SF = 5 SPACES SEE PARKING ANALYSIS ON SHEET A0

EXISTING CONDITIONAL USE PERMIT NUMBER
CUP: 13-001

FIRE DEPARTMENT NOTES

- EXIT SIGNS MUST BE INTERNALLY ILLUMINATED. (2016 CFC & CBC SEC. 1013.3)
- PROVIDE TWO SEPARATE SOURCES OF POWER FOR EXIT SIGNS CONFORMING TO 2016 CFC & CBC 1013.6.3
- THE MEANS OF EGRESS INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES. THE EGRESS ILLUMINATION LEVEL SHALL BE 1 FOOTCANDLE (MIN.) & THE MEANS OF ILLUMINATION SHALL BE PROVIDED WITH A 90 MINUTE EMERGENCY BACK-UP POWER SUPPLY SOURCE. (CBC 1008)
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDEM WITH THE NORMAL OPERATING LEVER. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH DOOR STOPS OR OTHERWISE PROPPED OPEN.
- HVAC UNITS EXCEEDING A 2,000 CFM CAPACITY SHALL BE PROVIDED WITH A DUCT SMOKE DETECTOR. THIS DETECTOR SHALL SHUT DOWN ONLY THE AFFECTED INDIVIDUAL HVAC UNIT UPON SMOKE DETECTION. THIS DETECTOR MUST ALSO BE INTERFACED TO AN EXISTING FIRE ALARM SYSTEM. THE DETECTOR SHALL ONLY PROVIDE A SUPERVISORY SIGNAL AT THE FIRE ALARM PANEL UPON SMOKE DETECTION.
- PROVIDE A MINIMUM OF ONE 2A10BC CLASSIFICATION FIRE EXTINGUISHER WITHIN 75 FEET TRAVEL DISTANCE FOR EACH 3,000 SQUARE FEET, OR PORTION THEREOF, ON EACH FLOOR. (CFC 906)
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2016 CFC CHAPTER 33 (FIRE SAFETY DURING CONSTRUCTION & DEMOLITION) & CHAPTER 35 (WELDING & OTHER HOT WORK)
- ADDRESSES SHALL BE PROVIDED FOR ALL NEW & EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (CFC 505.1, FHPS P-00-6). MINIMUM 6" HIGH AND VISIBLE FROM MISSION.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. (TITLE 19, SECTION 3.08, 3.21, CFC 804, 806, 807)
- OCEANSIDE FIRE DEPARTMENT REQUIRES A FIRE INSPECTION BEFORE ANY USE OF THE BUILDING IS OCCUPIED.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA GREEN BUILDING CODE (CGBSC)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE (CFC)

CONTACTS

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KATHERINE BAKER PHONE: (619) 261-5937	ROBERTA DEGENER PHONE: (650) 538-7500
TENANT: BEACH HUT DELI 19025 BEACH BLVD. HUNTINGTON BEACH, CA 92648	

SHEET INDEX

T1: PROJECT DATA / INFORMATION & VICINITY MAP
A0: SITE PLAN & PARKING ANALYSIS
A1: FLOOR PLAN SHOWING PATIO LOCATION & EXTERIOR ELEVATION



BAKER
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REVISION	SCHEDULE	REV	DATE	BY	DESCRIPTION
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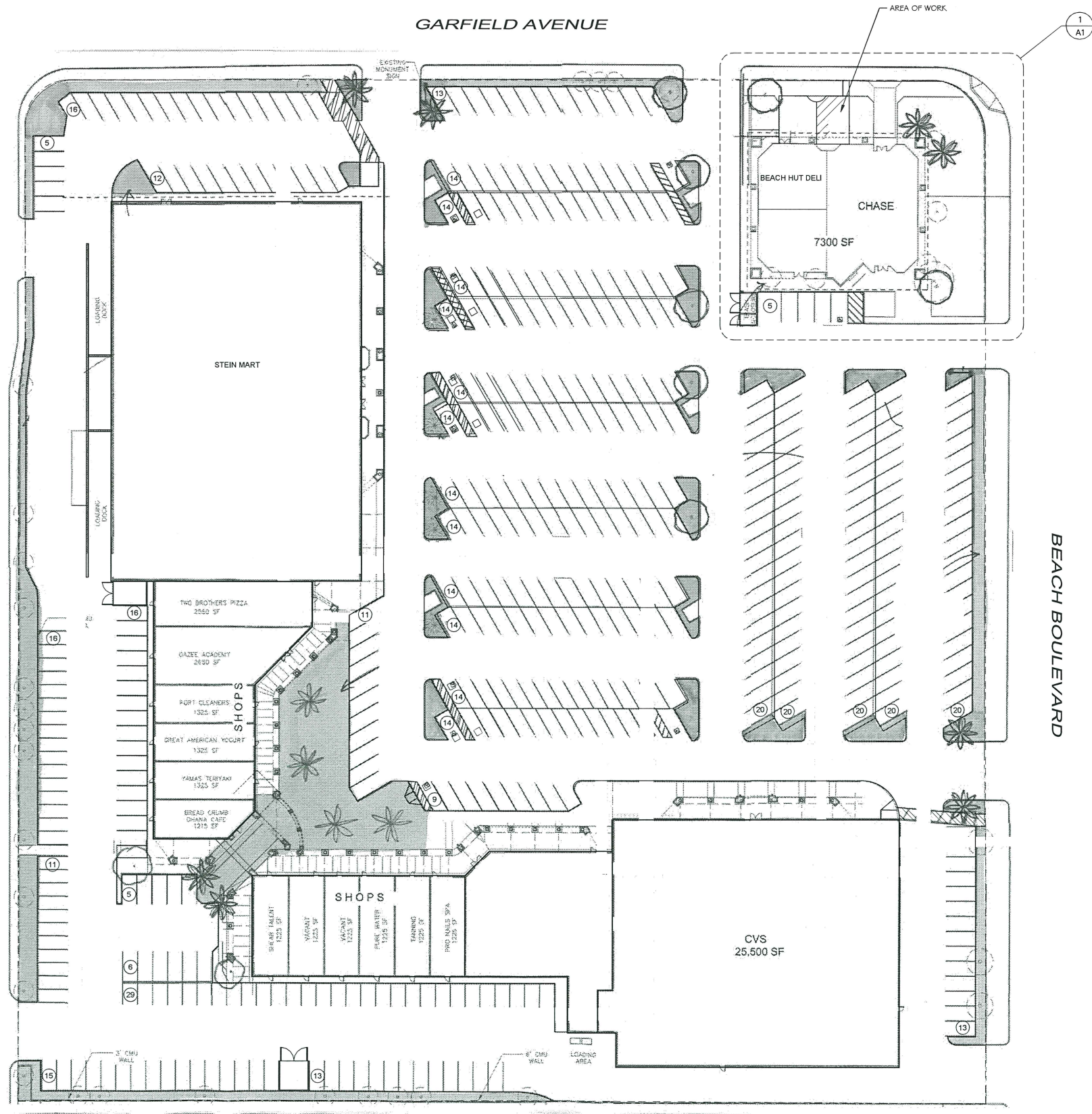
PROJECT # 20002

BEACH HUT DELI PATIO EXPANSION
19025 BEACH BLVD.
HUNTINGTON BEACH, CALIFORNIA 92648

DATE: 1/28/20

T1

FLORIDA STREET



1 SITE PLAN
SCALE: N.T.S.



PARKING ANALYSIS

PARKING ANALYSIS for Beach Garfield Shopping Center					
10-Jan-20					
Address #	Gross Square Footage	Occupant	Land Use Category	Applicable Parking Ratio	Required Parking Minimum
Parking Ratios per Specific Plan 14, 2.1.5 Neighborhood Center, 2.7 Parking Regulations					
19021	5,048	Chase Bank	Personal & Business Services	3/1000 min. 4/1000 max.	15.0
19025	1,780	Beach Hut Deli	Eating & Drinking Establishment	6/1000 min. 10/1000 max.	11.0
19025	894	Beach Hut Deli Patio	Eating & Drinking Establishment	6/1000 min. 10/1000 max.	5.0
19027	1,672	Vacant	Office - Professional	3/1000 min. 4/1000 max.	5.0
19041	33,823	Stein Mart	Retail Anchors	4/1000 min. 4/1000 max.	102.0
19069	2,713	Zoom Room	Personal & Business Services	3/1000 min. 4/1000 max.	8.0
19071	1,500	Norton's Port Cleaner	Personal & Business Services	3/1000 min. 4/1000 max.	5.0
19073	1,280	Vacant	Eating & Drinking Establishment	6/1000 min. 10/1000 max.	4.0
19079	1,298	Bread Crumb Ohana Café, Inc.	Eating & Drinking Establishment	6/1000 min. 10/1000 max.	8.0
19085	2,660	Zoom Room	Personal & Business Services	3/1000 min. 4/1000 max.	8.0
19091	1,279	Yamas Teriyaki	Eating & Drinking Establishment	6/1000 min. 10/1000 max.	8.0
19097	1,279	Shear Talent	Personal & Business Services	3/1000 min. 4/1000 max.	4.0
19099	1,279	Pure Waters	Convenience Uses	3/1000 min. 4/1000 max.	4.0
19101	1,279	Ucatan	Personal & Business Services	3/1000 min. 4/1000 max.	4.0
19105	1,284	Ucatan	Personal & Business Services	3/1000 min. 4/1000 max.	4.0
19111	7,496	Fitness 19	Personal & Business Services	3/1000 min. 4/1000 max.	23.0
19121	25,812	CVS	Retail Anchors	3/1000 min. 4/1000 max.	78.0
Total Parking Requirement				296.0	401
Total Parking Supplies on-site					458
Current Surplus (Deficit)				162.0	57

RECEIVED

FEB 03 2020

Dept. of Community Development

CONDITIONAL USE PERMIT SET

BEACH HUT DELI PATIO EXPANSION

19025 BEACH BLVD.

HUNTINGTON BEACH, CALIFORNIA 92648

DATE: 1/28/20

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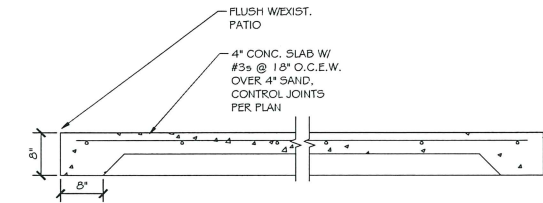


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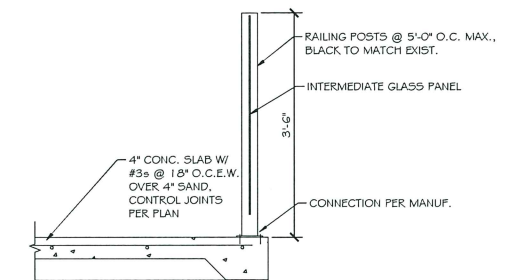
PROJECT # 20002



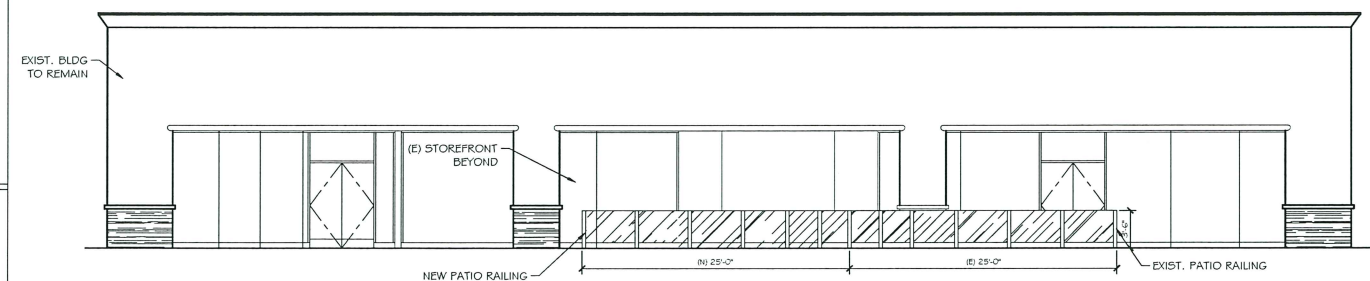
Dept. of Community Development



SCALE: 3/4"=1'-0"



SCALE: 3/4"=1'-0"



SCALE: 1/8"=1'-0"

CONDITIONAL USE PERMIT SET

BEACH HUT DELI PATIO EXPANSION
19025 BEACH BLVD.

HUNTINGTON BEACH, CALIFORNIA 92648

DATE: 1/28/20

A1

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
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