HOUSE REMODELING AND ROOM ADDITION 16205 WAYFARER LANE, HUNTINGTON BEACH, CA 92649

GENERAL INFORMATION				PROJECT DAT			
ADDRESS: 16205 WAYFARER LANE, HUNTINGTON BEACH, CA 92649 COUNTY NAME : ORANGE COUNTY ASSESSOR PARCEL NUMBER: 178-034-55 ZONE: R1-CZ OCCUPANCY GROUPS LOT SIZE: 6,245 S.F			ADDRESS: 16205 WAYFARER LANE, HUNTINGTON BEACH, CA 926 EXISTING ZONE TYPE APN				
NUMBER OF STORY: 2-STORY			LOT SIZE				
BUILDING CLASSIFICATION: SINGLE FAMILY RESIDENTIAL TYPE OF CONSTRUCTION: V-B FIRE SPRINKLER: "YES" FIRE SPRINKLER			FRONT SET BACK				
PER CRC R313.3	L .		REAR SET	SET BACK			
CODE COMPLY:			SITE GRO	UND UNIT SET BACK			
2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE			SITE 2ND FLOOR UNIT SET BACK HEIGHT LIMIT				
2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE			HOUSE REMODELING				
2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE			SINGLE FAMILY 4 BEDROOM				
2019 CALIFORNIA GREEN BUILDING MUNICIPAL CODE OF HUNTINGTON BEA	CH CITY					_	STING
				R LIVING AREA			23 SF
DIREC	<u>FORY</u>						93 SF 16 SF
OWNER:			TOTAL LIV	ING AREA			
16205 WAYFA HUNTINGTON (714) 791 2538		NBEACH, CA 92649	TOP ROOI	STAIR SH	AFT		04 SF
DESIGNER:		REET, SUITE A DVE, CA 92840	(E) LOT COVERAGE (2,227 SF), (2,227 SF/ 6,245 S LOT COVERAGE (3,022 SF), (3,022 SF/ 6,245 SF))	
STRUCTURAL ENGINEERING:	ND-ENGINEEF TRUONG DON 15751 BROOK WESTMINSTE (714) 204 2874	NG (HURST ST, #225 ER, CA 92683					
ARCHITECTURAL SYMBOL			ABBREVIATION				
X SECTION:	12		& @	AND AT	EXT.	EXTERIC)R
X SECTION LETTER	6	ROOF SLOPE INDICATION	@ #	POUND OR NUMBER	FLR. F.D.	FLOOR FLOOR [
		NORTH DESIGNATION	A/C ACOUS.	AIR CONDITIONING ACOUSTICAL ADJACENT ADJUSTABLE ABOVE	FDN. FTG. FURR.	FOUNDA FOOTING FURRING	G
X DETAIL:				FINISH FLOOR	G.M. GYPM.		
DETAIL NUMBER SHEET NUMBER	X	EXTERIOR ELEVATION: ELEVATION LETTER	ALUM. APPROX.	ALUMINUM APPROXIMATE		GYPSUM	
		SHEET NUMBER	ARCH. BD.	ARCHITECTURAL	H.B. HDR. HDWD.	HOSE BI HEADER HARDW(R
	x-x x	INTERIOR ELEVATION: SHEET NUMBER	BLDG. BLK. BLKG. BLW	BUILDING . BLOCK	HORIZ.	HORIZON	
SHEET LAYOUT DESIGNATION	×	ELEVATION LETTER	BM. BOT.	BLOCKING BELOW BEAM	INFO. INSUL.	INFORM/ INSULAT	
VIEW NUMBER SHEET NUMBER	X	EQUIPMENT NUMBER		BOTTOM	LT. LAM.	LIGHT	r-
			CAB. C.H. ¢ CL	CABINET CEILING HEIGHT CENTER LINE	MTD.	LAMINAT	
	- • 102.5	ELEVATION TAG	CLG. COL. CONC.	CEILING COLUMN	MTL. MUL.	METAL MULLION	٧
	+		CONST.	CONCRETE CONSTRUCTION	(N) N.I.C. N.T.S.	NEW NOT IN C	
	#	REVISION	DBL.	DOUBLE		NOT TO	SCALE
P L			DET. DN. DR.	DETAIL DOWN DOOR	O.C. OPP.	ON CEN	
PROPERTY LINE	VATION		EA. ELEV. EQ. EQUIP.	EACH ELEVATION	P.L. PLAM. PLBG. PLYWD.	PROPER PLASTIC PLUMBIN PLYWOC	: Lamina Ng
			EXH. (E) EXP.	EQUIPMENT EXHAUST EXISTING EXPANSION	R.D. REF. REQ'D RM. RWD.	ROOF DE REFERE REFRIGE REQUIRE	NCE ERATOR
	GRAPHIC SCAL	E				ROOM REDWOO	
A. APPLICATIONS FOR WHICH NO PERM	IIT IS ISSUED WITHI	N 180 DAYS FOLLOWING THE	DATE OF APP	PLICATION SHALL AUTOM	ATICALLY	I.	TWO
EXPIRE. (R105.3.2 CRC) B. FIRE SPRINKLER PLANS STAMPED AN	ND APPROVED BY T	THE CITY OF HUNTINGTON BE	ACH FIRE DE	PARTMENT SHALL BE PR	OVIDED AT TH	E	(109.3.8 CALIFC
SITE AT TIME OF FRAMING INSPECTION C. WATER CLOSETS SHALL HAVE AN AV GALLONS PER FLUSH AFTER JULY 1,	ON. /ERAGE WATER CO					_	1.THE I VERIFY SHALL DESIGI CERTIF
D. URINALS SHALL HAVE AN AVERAGE V FLUSH AFTER JULY 1, 2011. (402.2 CP		ION OF NOT MORE THAN 1.0	GALLONS OF	WATER PER FLUSH, 0.5 G	GALLONS PER		BUILDI
E. SHOWER HEADS SHALL HAVE A WAT		EXCEED 1.8 GALLONS PER MI	NUTE. (402.1.)	1 CPC)			2. THE ROUGI
 F. FAUCETS IN KITCHENS, WET BARS, L MINUTE. (402.1.2 CPC) G. WATER PIPING MATERIALS WITHIN A 							ENGIN WITH T BARRII RECEI
G. WATER PIPING MATERIALS WITHIN A CPVC AND OTHER PLASTIC WATER P CPC, INSTALLATION STANDARDS OF CPVC WATER PIPING REQUIRES A CE	PIPING SYSTEMS SH APPENDIX 1 OF THE	ALL BE INSTALLED IN ACCOR	RDANCE WITH RERS RECOM	THE REQUIREMENTS OF	Sec. 604 OF T STANDARDS.	•	A PRE- AT THE CONTF CONTF
H. ALL CONSTRUCTION SHALL COMPLY CALIFORNIA ELECTRICAL CODE, CAL CALIFORNIA ENERGY CODE.							REPRE REQUI CHANC ANY O SCHED

DEMOLITION NOTE THE DEMOLITION PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE SPECIFIC R1-CZ SCOPE OF DEMOLITION WORK REQUIRED FOR THIS PROJECT. SINGLE FAMILY . BEFORE BEGINNING WORK AT THE SITE AND THROUGH OUT THE COURSE OF THE WORK. CONTRACTOR SHALL FIELD VERIFY AND INSPECT THE LOCATIONS AND CONDITIONS OF EVERY ITEM AFFECTED BY THE WORK, AND NOTIFY THE ARCHITECT OR OWNER OF ANY DISCREPANCIES IN 178-034-55 ORDER TO OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. 6,245 SF . THE GENERAL CONTRACTOR SHALL INCLUDE IN THEIR [PRICING/BID], AN AMOUNT SUFFICIENT TO COVER THE COST OF REMOVING ALL REQUIRED PROVIDED EXISTING ELEMENTS OBSTRUCTING OR INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER OR NOT THE EXISTING CONDITION IS INDICATED ARCHITECTS DRAWINGS. 17' - 8" 15' 10' 12' - 9" - 10' THE GENERAL CONTRACTOR SHALL COORDINATE THE DEMOLITION AND TAKE ALL PRECAUTIONS REQUIRED TO MINIMIZE DISTURBANCE OF BUILDING OCCUPANTS. 5' 5' - 2" . THE GENERAL CONTRACTOR SHALL REMOVE DEBRIS FROM THE PREMISES DAILY, KEEP OCCUPIED AREAS ADJACENT TO DEMOLITION 5' 5' BROOM CLEAN AND FREE OF DEBRIS, AND PREVENT DUST AND DEBRIS FROM MIGRATING OUT OF THE DEMOLITION AREA. 5' 5' THE GENERAL CONTRACTOR SHALL PROTECT FROM DAMAGE ALL MATERIALS, CONSTRUCTION, UTILITIES AND OTHER ITEMS AND 30' 30' APPURTENANCES NOT SCHEDULED FOR DEMOLITION WITHIN OR OUTSIDE THE BUILDING. DAMAGED ITEMS SCHEDULED TO REMAIN AND/OR BE REUSED SHALL REPAIRED TO MATCH ORIGINAL FINISH AT NO ADDITIONAL. COST TO OWNER. THE FOLLOWING ITEMS ARE TO BE REMOVED CAREFULLY TO AVOID DAMAGE. LEANED IF NECESSARY AND REUSED DURING CONSTRUCTION OF THIS PROJECT: IS AND 5 BATHROOMS A. ALL LIGHT FIXTURES AND CEILING MECHANICAL FIXTURES. B. ALL PLUMBING FIXTURES AND ACCESSORIES ADDITION TOTAL C. DOORS AND WINDOWS. 758 SF 2,381 SF D. FURNITURE 541 SF 2,734 SF REMOVE ALL OBSOLETE AND INACTIVE EXPOSED CONDUITS, JUNCTION BOXES, PIPES, DUCTS, SUSPENSION WIRES, TELEPHONE, DATA AND OTHER MISCELLANEOUS CABLE AND CAP. 1,299 SF 5,115 SF 5,086 SF 1,214 SF **SCOPE OF WORK** 159 SF 37 SF 641 SF 35.6% < 50% HOUSE REMODELING AND ROOM ADDITIONAL 48.39% < 50% DEFERRED SUBMITTAL 1. TRUSSES WILL BE A DEFERRED SUBMITTAL 2. BUILDING WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLERS: PROJECTIONS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 2 FEET TO 5 FEET SHALL BE PROTECTED 1 HOUR ON THE UNDERSIDE. NEW AUTOMATIC FIRE SPRINKLER SYSTEM TO BE DEFERRED SUBMITTAL. AUTOMATIC SPRINKLER SYSTEM IS REQUIRED PER R313 AND INSTALL PER R313.3 OR NFPA 13D. ALTERATIONS OR ADDITIONS TO EXISTING STRUCTURE WITHOUT AN EXISTING AUTOMATIC SPRINKLER SYSTEM IS EXEMPT UNLESS REQUIRED AS NOTED BELOW. 3. ALL WALLS AND FENCING SHALL BE REVIEWED AND APPROVED BY SEPARATE BUILDING PERMITS **VICINITY MAP** SUPPLY AIR S.A. SHT. SHEET SHTG. SHEETING SPEC. SPECIFCATION S.S. SL. STAINLESS STEEL DR. SLIDING DOOR SKYLT. SKYLIGHT SMOKE DETECTOR S.D. TREAD T.A. T.B. TREE AREA T.C. T.O. TOWEL BAR ΤV TOP OF CONCRETE TYP. TOP OF Aruba Cir TELEVISION TYPICAL U.N.O. UNLESS NOTED U.O.N. OTHERWISE UNLESS **OTHERWISE NOTED** Whitecap Ln V.C.T. VINYL COMPOSITIO 16205 Wayfarer Lane VERT. TILE VERTICAL V.I.F. VERIFY IN FIELD W/W.C. WITH Faire Marin Homeowners WD. WATER CLOSE1 W.P. WOOD **CT** StrongStraw WATERPROOF WT. WEATHERPROOF WEIGHT Humbold Monterey L Beach Park Tiny beach & paddle sports Humboldt D launch site Racquet Club Dr 16205 WAYFARER LANE, HUNTINGTON BEACH, CA 92649

AGENCY REQUIREMENTS

SEPARATE SITE VISITS AND REPORTS PREPARED BY THE ENGINEER OF RECORD FOR THE NEW HOME DESIGN ARE REQUIRED; 8 CBC) ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2020 ORNIA ENERGY CODE.

ENGINEER OF RECORD SHALL INSPECT THE SLAB AND FOUNDATION SYSTEM INSTALLATION JUST PRIOR TO CONCRETE POUR TO Y THAT THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ENGINEER OF RECORD THEN PREPARE A REPORT STATING THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND 3N. THE FOUNDATION INSPECTION AND APPROVAL TO POUR CONCRETE WILL NOT BE APPROVED UNTIL THE INSPECTION FICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH ING DIVISION.

ENGINEER OF RECORD SHALL ALSO INSPECT THE COMPLETED FRAMING SYSTEM OF THE HOME AFTER THE INSTALLATION OF THE H PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS AND THE EXTERIOR OF THE HOMES HAS BEEN WEATHER WRAPPED. THE EER OF RECORD SHALL THEN PREPARE A REPORT STATING THAT THE FRAMING SYSTEM HAS BEEN INSTALLED IN ACCORDANCE THE APPROVED PLANS AND DESIGN. THE ROUGH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND EXTERIOR WEATHER ER INSPECTION SHALL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN VED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.

-CONSTRUCTION MEETING IS REQUIRED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THIS MEETING SHALL TAKE PLACE E SITE OF THE NEW HOME. THE MEETING MUST INCLUDE A REPRESENTATIVE OF THE BUILDING DIVISION, THE GENERAL RACTOR, A REPRESENTATIVE OF EACH OF THE SUBCONTRACTORS (ELECTRICAL, PLUMBING, MECHANICAL, GRADING, OFF-SITE RACTOR, ETC.) DEPENDANT UPON WHAT SUB-CONTRACTORS ARE TO BE INVOLVED IN THE NEW CONSTRUCTION AND A ESENTATIVE OF THE OWNER MAY BE PRESENT. THE MEETING WILL REVIEW REQUIRED PERMITS. TEMPORARY POWER REMENTS, DOCUMENTS REQUIRED TO BE ON THE SITE, INSPECTION REQUIREMENTS, FIELD CORRECTION NOTICE PROCEDURE, GES IN THE FIELD. FINAL INSPECTIONS AND GAS AND POWER RELEASES, QUESTIONS FROM THE CONTRACTORS OR OWNER AND THER SPECIAL PROCEDURES OR CONDITIONS FOR THAT PARTICULAR NEW HOME. THE PRE-CONSTRUCTION MEETING SHALL BE DULED THROUGH THE BUILDING DIVISION FRONT COUNTER AT 714-229-6730.

- K. ALL DOORS AND WINDOWS SHALL MEET CITY OF HUNTINGTON BEACH SECURITY ORDINANCE. SERVICE UTILITIES.

- Ο. INSPECTIONS SHALL BE AS REQUIRED BY SECTION 1705 BOF THE CBC.



DRAWING INDEX

ARCHITECTURAL		STRUCTURAL		
SHEET	DESCRIPTION		DESCRIPTION	
CV1	GENERAL NOTES			
A1.0	SITE PLAN AND TOP ROOF DECK PLAN			
A2.0	EXISTING AND DEMO FLOOR PLAN			
A3.2	1ST FLOOR AND 2ND FLOOR PLAN			
A4.0	ELEVATIONS			
A5.0	SECTIONS			

PROVIDE FOR MAINTENANCE, REPAIR, AND REPLACEMENT BY A HOMEOWNERS ASSOCIATION (HOA) FOR ALL COMMON AREA LANDSCAPE, IRRIGATION, DRAINAGE FACILITIES, WATER QUALITY BMP'S, WATER SYSTEM LINES, FIRE SYSTEM LINES, SEWER SYSTEM LINES, AND PRIVATE

M. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)

N. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS, AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.12)

THE PLANS SHALL PROVIDE STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL

STAMP:



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HOUSE REMODELING & ROOM ADDITION

16205 Wayfarer Lane Huntington Beach, CA 92649

DARREN NGUYEN

16205 Wayfarer Ln Huntington Beach, CA 92649 Email: dnguyen@adkbancorpinc.com Tel: (714) 791 2538

BUILDING DEPARTMENT SUBMITTAL

REVISIONS:

PROJECT DIRECTOR: JOB CAPTAIN: SENIOR ASSOCIATE: ASSOCIATES: **PROJECT NUMBER** PROJECT CAD FILE:

SHEET TITLE:

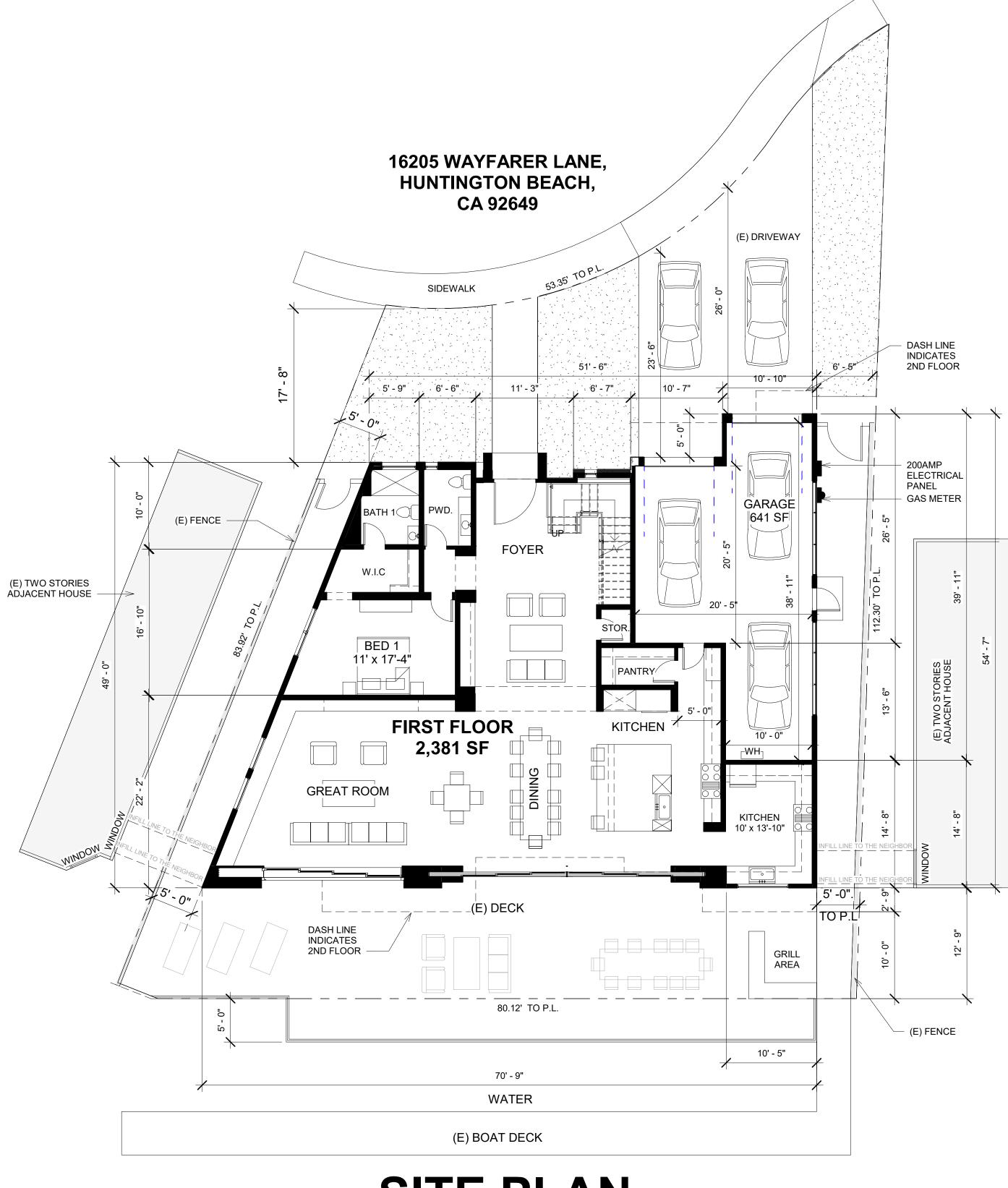
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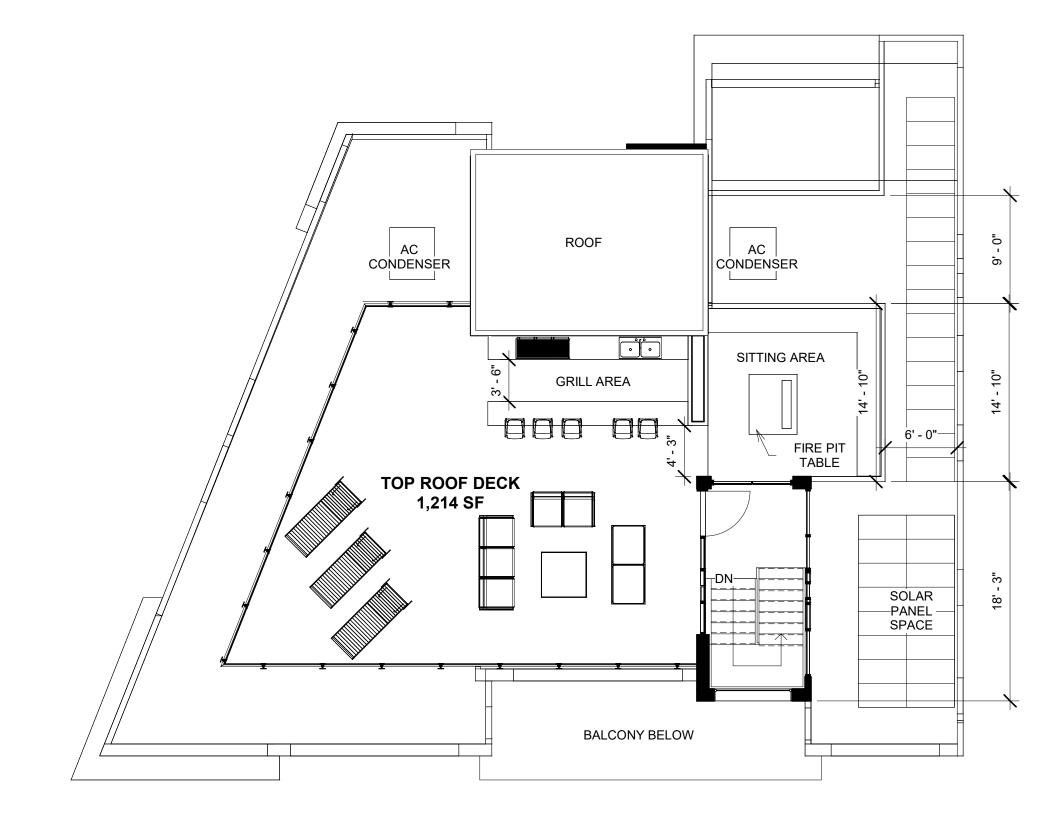
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TOP ROOF DECK (THIRD FLOOR PLAN) SCALE: 1/8" = 1' - 0"



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 $\frac{\text{REVISIONS:}}{\triangle}$

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SHEET TITLE:

SITE PLAN AND TOP ROOF DECK PLAN

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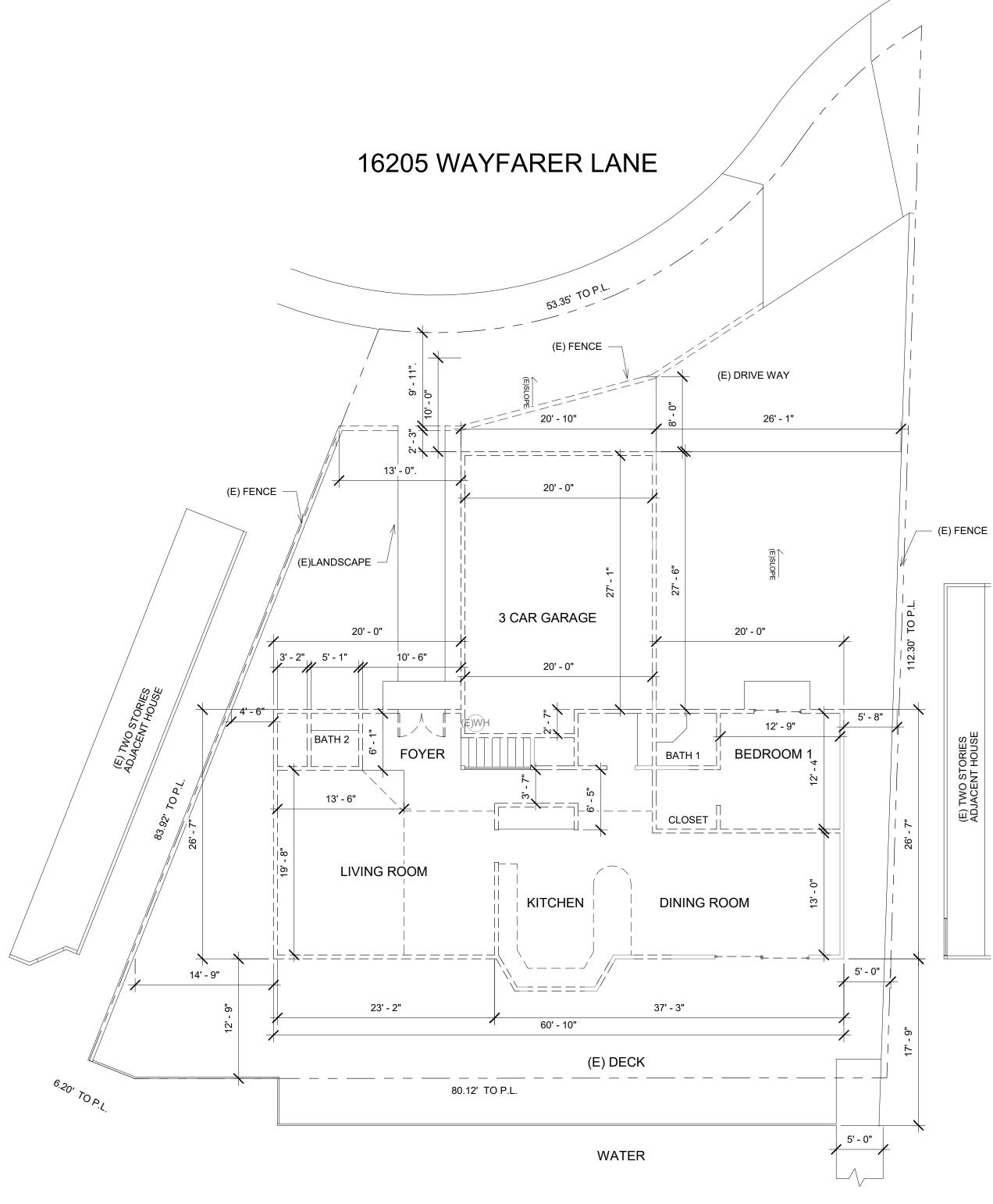
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PLOT REFERENCE DATE:

02/21/20

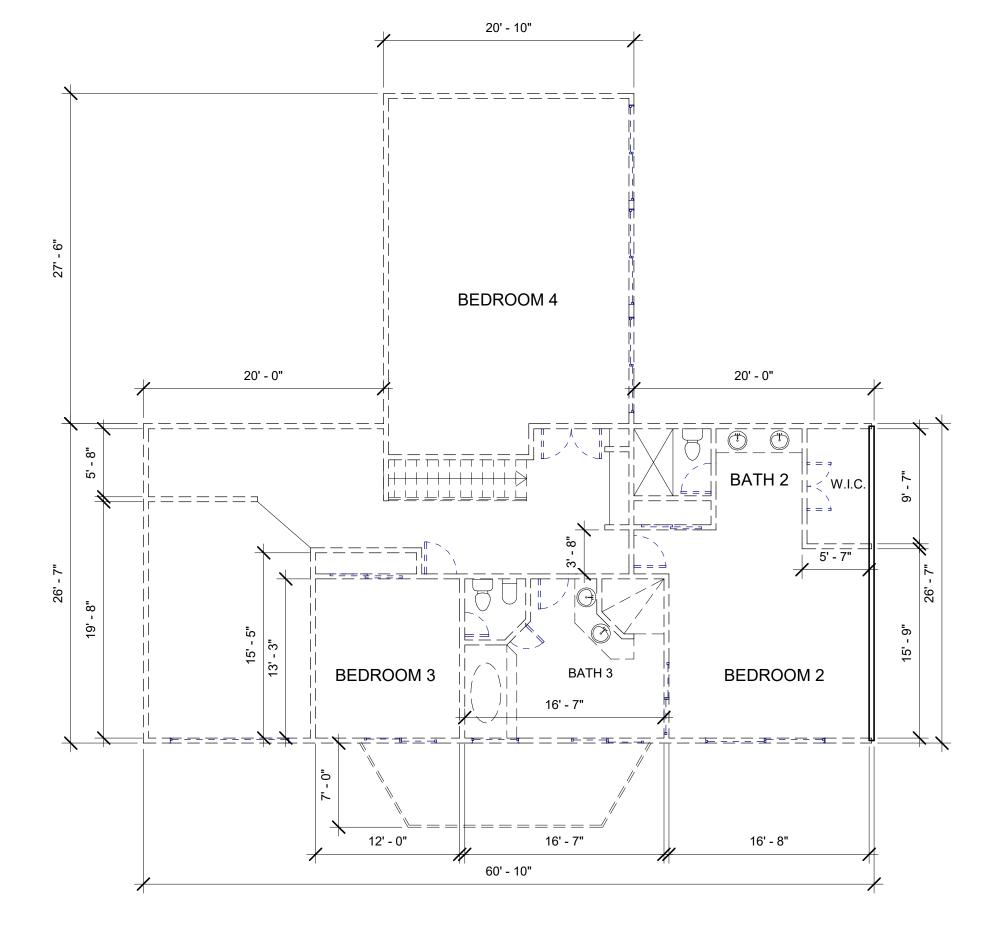
SCALE: 1/8" = 1' - 0"

EXISTING AND DEMO FIRST FLOOR PLAN



EXISTING AND DEMO SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0"



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EXISTING AND DEMO FLOOR PLANS

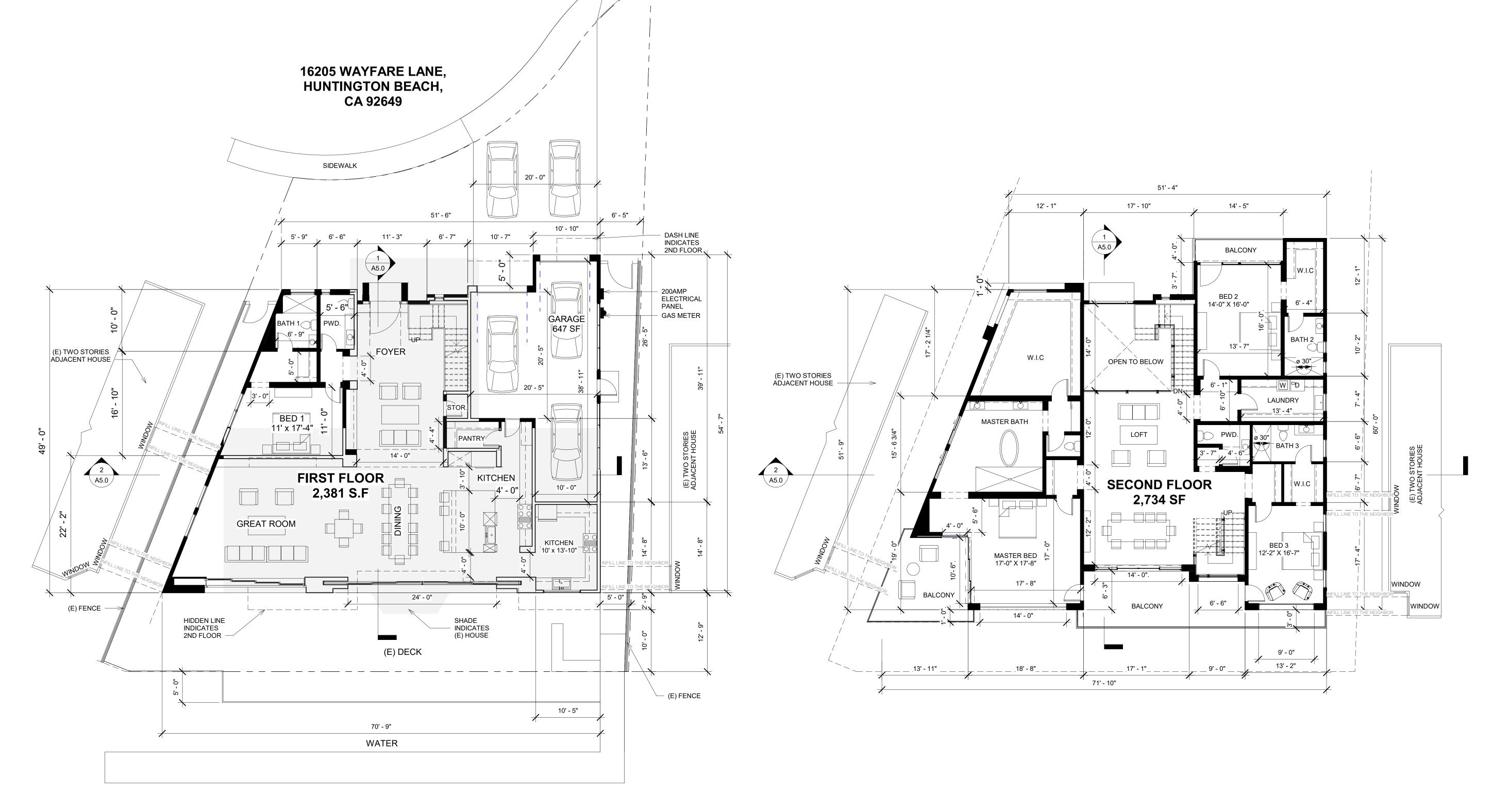
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desigi PLOT REFERENCE DATE:

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02/23/20



FIRST FLOOR PLAN SCALE: 1/8" = 1' - 0"

SECOND FLOOR PLAN SCALE: 1/8" = 1' - 0"

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1ST FLOOR PLAN & 2ND FLOOR PLAN

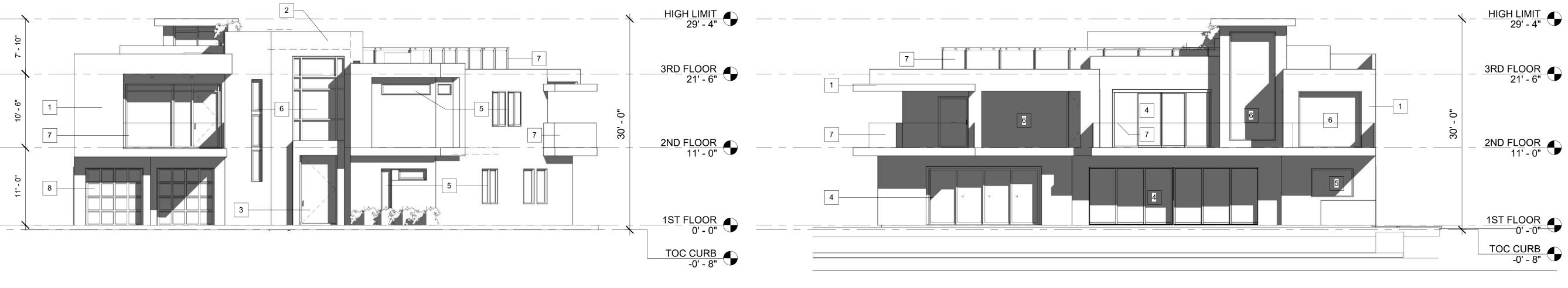
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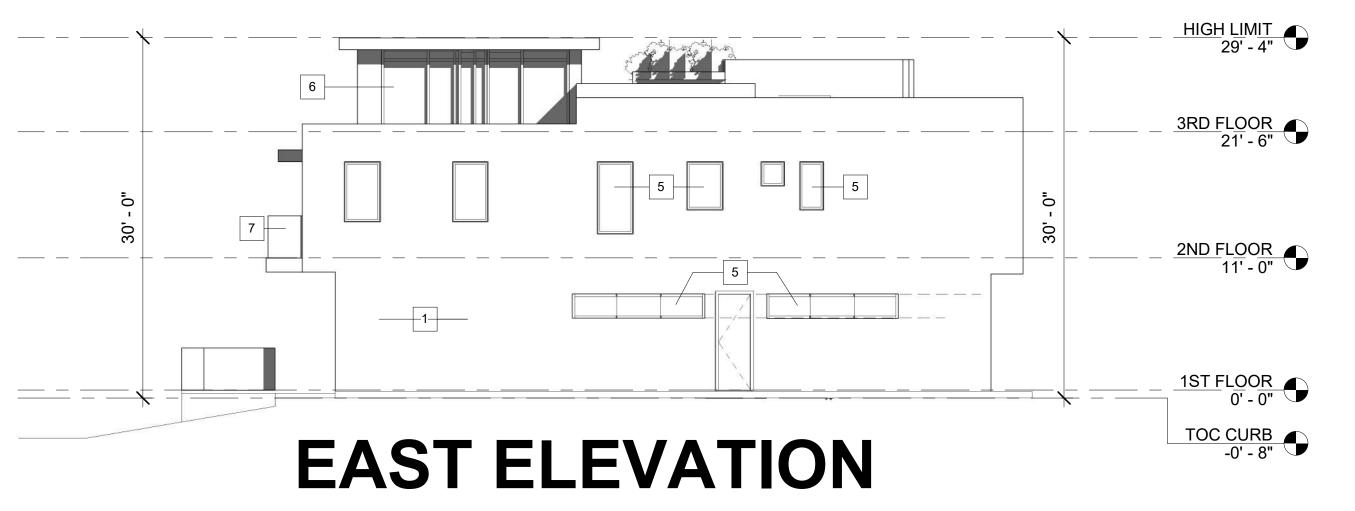
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PLOT REFERENCE DATE:

02/18/20



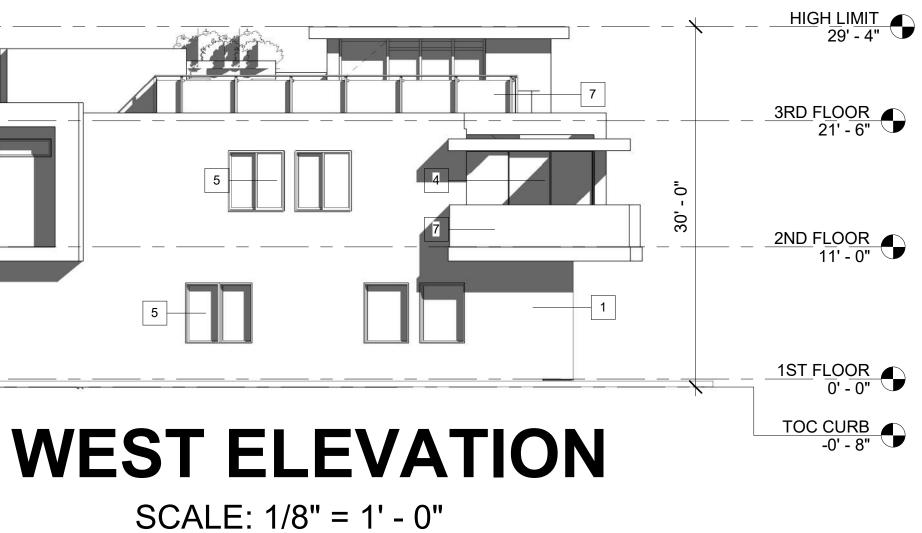
NORTH ELEVATION SCALE: 1/8" = 1' - 0"



SCALE: 1/8" = 1' - 0"

ELEVATION NOTE				
	1	STUCCO LIGHT SAND FINISH		
	2	EXTERIOR WOOD VENEER		
	3	WOOD DOOR		
	4	GLASS SLIDING DOOR		
	5	GLAZING WINDOW		
	6	GLAZING FIXED WINDOW		
	7	42" GLASS GUARD RAIL		
	8	SECTIONAL GARAGE DOOR		





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SHEET TITLE: **ELEVATIONS**

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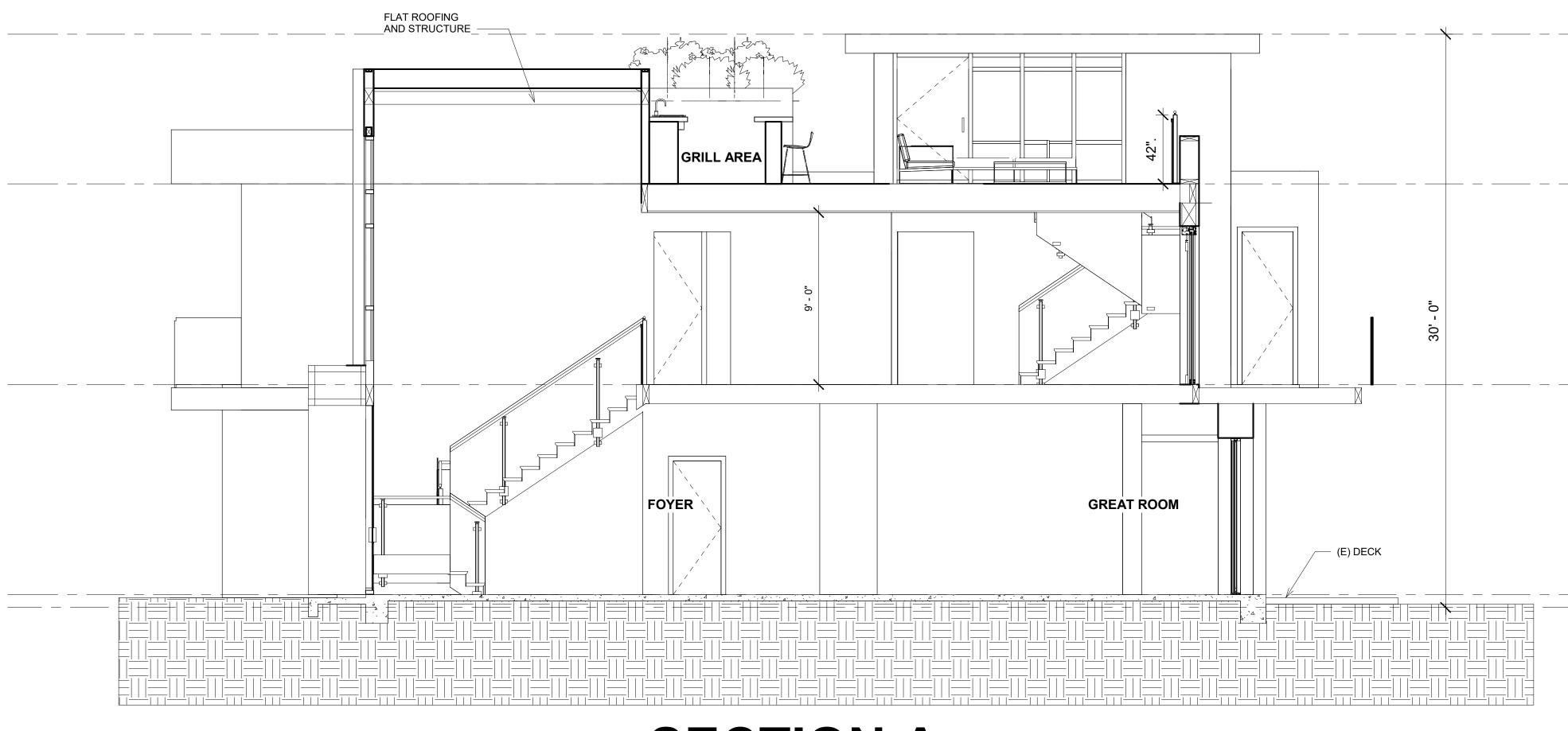
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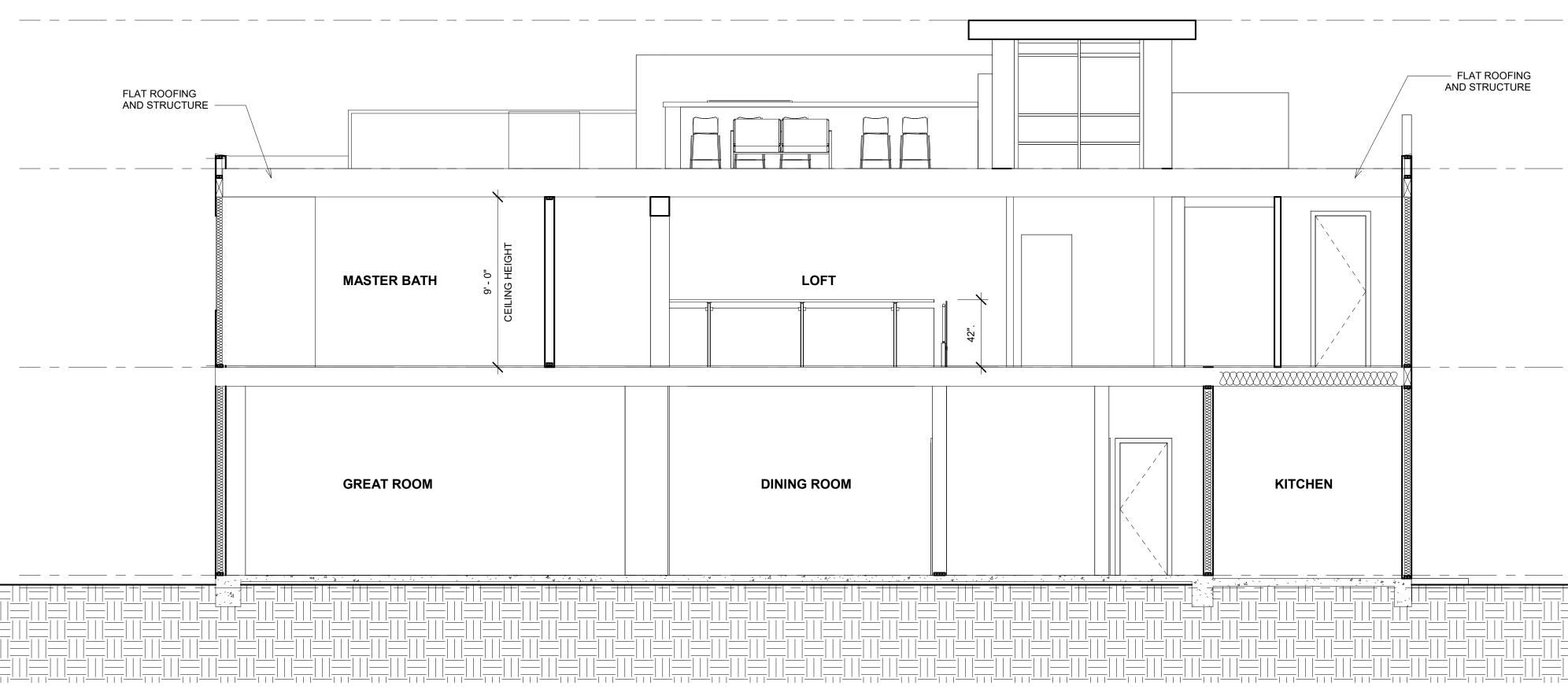
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SOUTH ELEVATION SCALE: 1/8" = 1' - 0"

PLOT REFERENCE DATE:

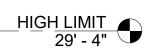
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SECTION A SCALE: 1/4" = 1' - 0"



3RD FLOOR 21' - 6"

2ND FLOOR 11' - 0"

<u>1ST FLOOR</u> 0' - 0" <u>TOC CURB</u> -0' - 8"

HIGH LIMIT 29' - 4"

<u>3RD FLOOR</u> 21' - 6"

<u>2ND FLOOR</u> 11' - 0"

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SECTIONS

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о SHEET NUMBER:

A5.0

PLOT REFERENCE DATE:

02/22/20