

16205 WAYFARER LANE, HUNTINGTON BEACH, CA 92649

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JOB CAPTAIN

SENIOR ASSC

ASSOCIATES:

PROJECT NUMBER:

PROJECT CAD FILE

SHEET TITLE:

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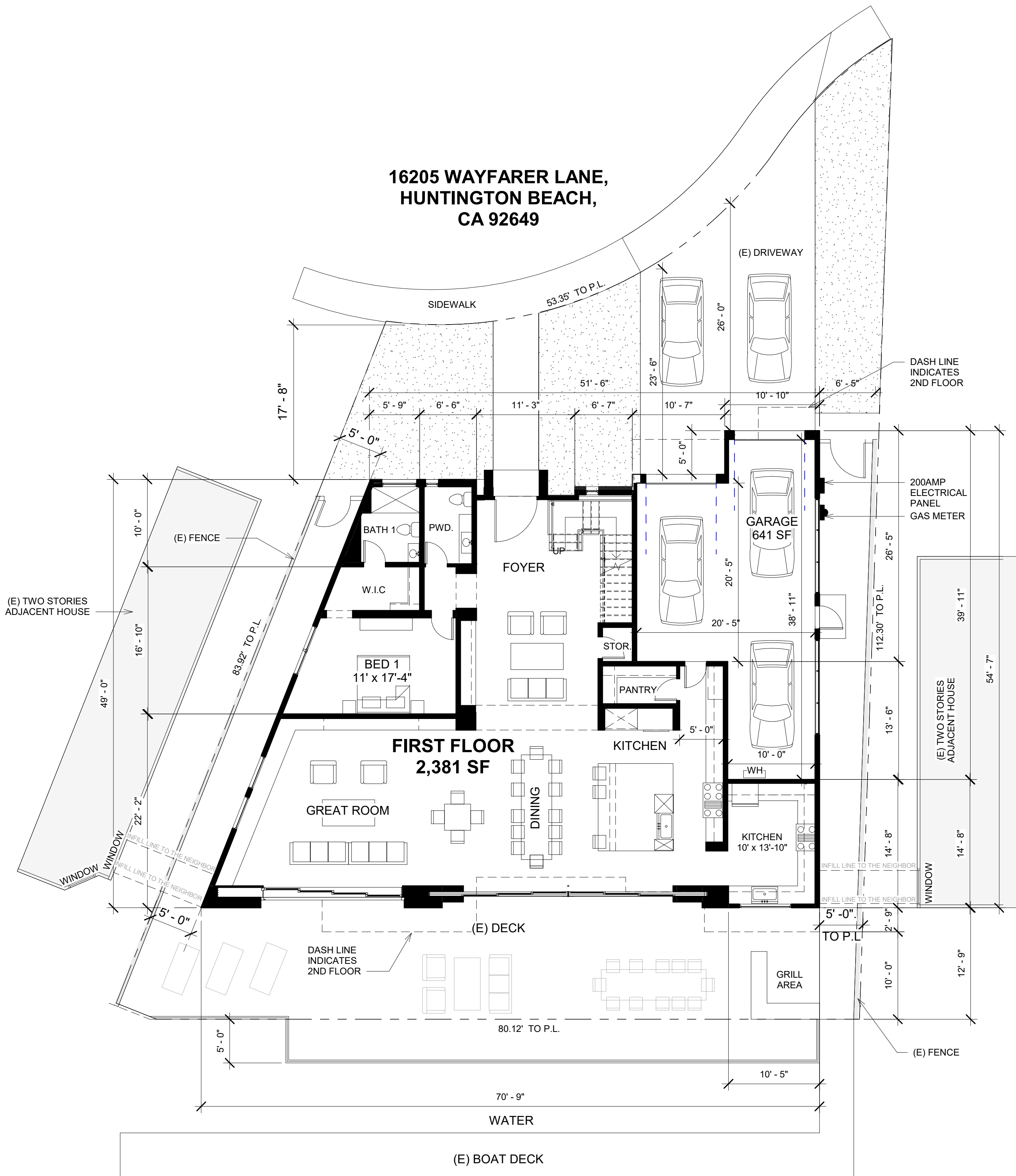
CV1

PLOT REFERENCE DATE

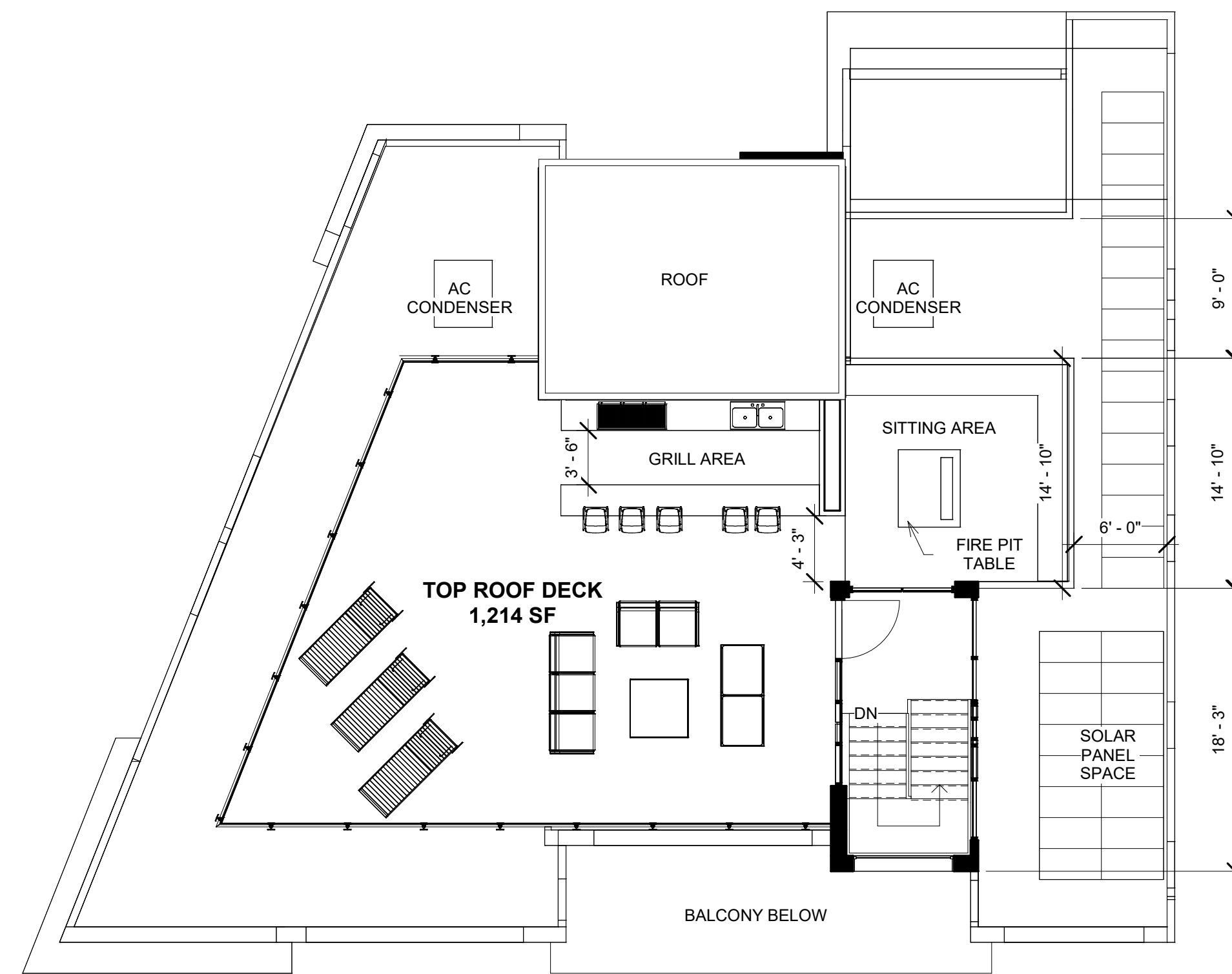
01/24/19

AGENCY REQUIREMENTS

- | | | |
|---|---|--|
| <p>A. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)</p> <p>B. FIRE SPRINKLER PLANS STAMPED AND APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.</p> <p>C. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH, 1.28 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)</p> <p>D. URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.0 GALLONS OF WATER PER FLUSH, 0.5 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)</p> <p>E. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE. (402.1.1 CPC)</p> <p>F. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (402.1.2 CPC)</p> <p>G. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH Sec. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF Sec. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND THE MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN Sec.604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.</p> <p>H. ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2020 CALIFORNIA ENERGY CODE.</p> | <p>I. TWO SEPARATE SITE VISITS AND REPORTS PREPARED BY THE ENGINEER OF RECORD FOR THE NEW HOME DESIGN ARE REQUIRED: (109.3.8 CBC) ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2020 CALIFORNIA ENERGY CODE.</p> <p>1. THE ENGINEER OF RECORD SHALL INSPECT THE SLAB AND FOUNDATION SYSTEM INSTALLATION JUST PRIOR TO CONCRETE POUR TO VERIFY THAT THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE FOUNDATION INSPECTION AND APPROVAL TO POUR CONCRETE WILL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.</p> <p>2. THE ENGINEER OF RECORD SHALL ALSO INSPECT THE COMPLETED FRAMING SYSTEM OF THE HOME AFTER THE INSTALLATION OF THE ROUGH PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS AND THE EXTERIOR OF THE HOMES HAS BEEN WEATHER WRAPPED. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THAT THE FRAMING SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ROUGH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND EXTERIOR WEATHER BARRIER INSPECTION SHALL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.</p> <p>J. A PRE-CONSTRUCTION MEETING IS REQUIRED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THIS MEETING SHALL TAKE PLACE AT THE SITE OF THE NEW HOME. THE MEETING MUST INCLUDE A REPRESENTATIVE OF THE BUILDING DIVISION, THE GENERAL CONTRACTOR, A REPRESENTATIVE OF EACH OF THE SUBCONTRACTORS (ELECTRICAL, PLUMBING, MECHANICAL, GRADING, OFF-SITE CONTRACTOR, ETC.) DEPENDANT UPON WHAT SUB-CONTRACTORS ARE TO BE INVOLVED IN THE NEW CONSTRUCTION AND A REPRESENTATIVE OF THE OWNER. THE MEETING WILL BE REQUIRED TO REVIEW REQUIREMENTS, FIELD CORRECTION NOTICE PROCEDURE, CHANGES IN THE FIELD, FINAL INSPECTIONS AND GAS AND POWER RELEASES, QUESTIONS FROM THE CONTRACTORS OR OWNER AND</p> | <p>K. ALL DOORS AND WINDOWS SHALL MEET CITY OF HUNTINGTON BEACH SECURITY ORDINANCE.</p> <p>L. PROVIDE FOR MAINTENANCE, REPAIR, AND REPLACEMENT BY A HOMEOWNERS ASSOCIATION (HOA) FOR ALL COMMON AREA LANDSCAPE, IRRIGATION, DRAINAGE FACILITIES, WATER QUALITY BMP'S, WATER SYSTEM LINES, FIRE SYSTEM LINES, SEWER SYSTEM LINES, AND PRIVATE SERVICE UTILITIES.</p> <p>M. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)</p> <p>N. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS, AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.12)</p> <p>O. THE PLANS SHALL PROVIDE STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL INSPECTIONS SHALL BE AS REQUIRED BY SECTION 1705 BOF THE CBC.</p> |
|---|---|--|



SITE PLAN
SCALE: 1/8" = 1' - 0"



**TOP ROOF DECK
(THIRD FLOOR PLAN)**
SCALE: 1/8" = 1' - 0"

STAMP:



12862 Joy Street, Suite A
Garden Grove
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Tel: (714) 200 4122

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HOUSE REMODELING & ROOM ADDITION

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DARREN NGUYEN

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BUILDING DEPARTMENT SUBMITTAL:

REVISIONS:

PROJECT DIRECTOR:

JOB CAPTAIN:

SENIOR ASSOCIATE:

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SITE PLAN AND TOP ROOF DECK PLAN

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SHEET NUMBER:

A1.0

PLOT REFERENCE DATE:

02/21/20

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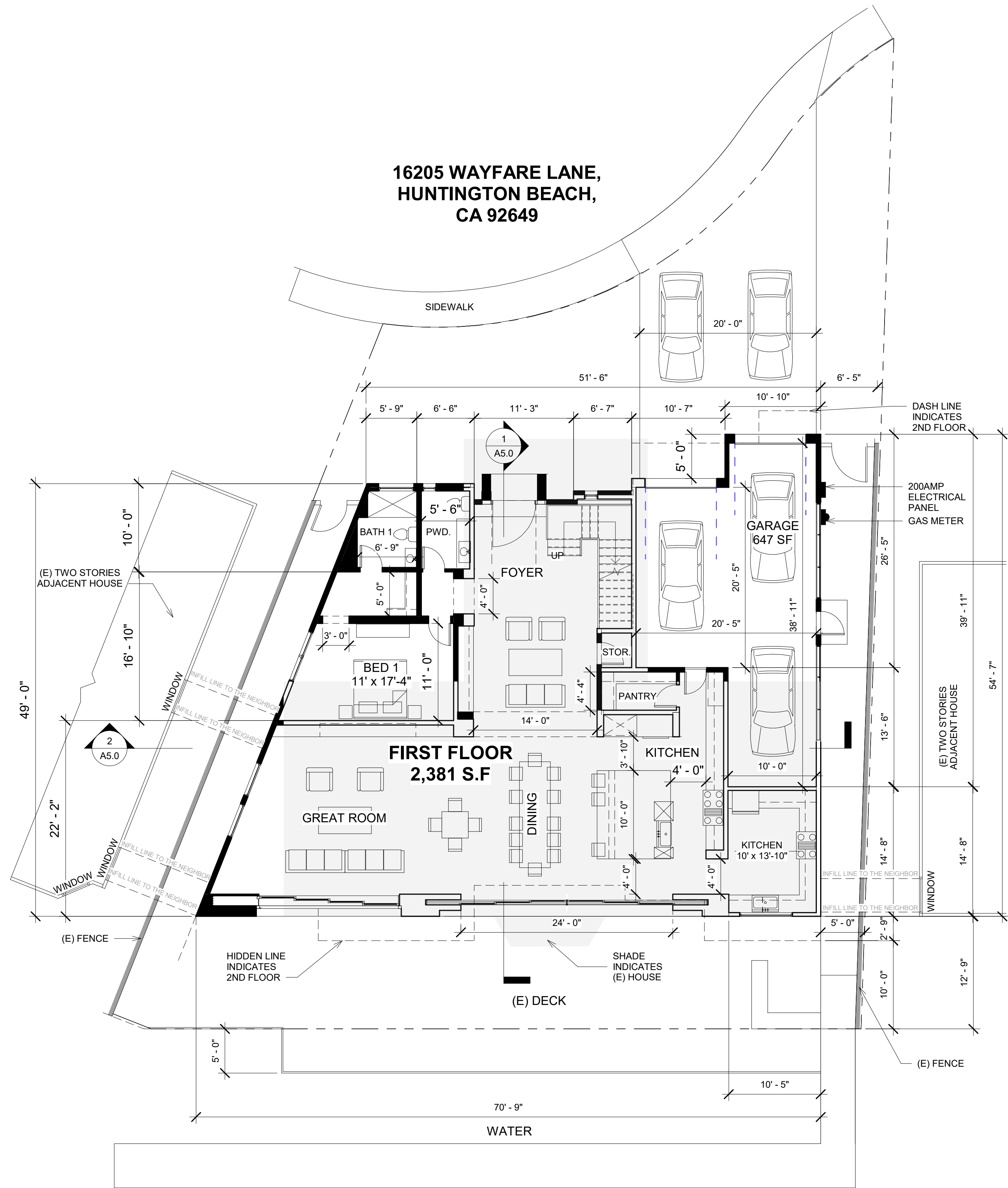
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A2.0

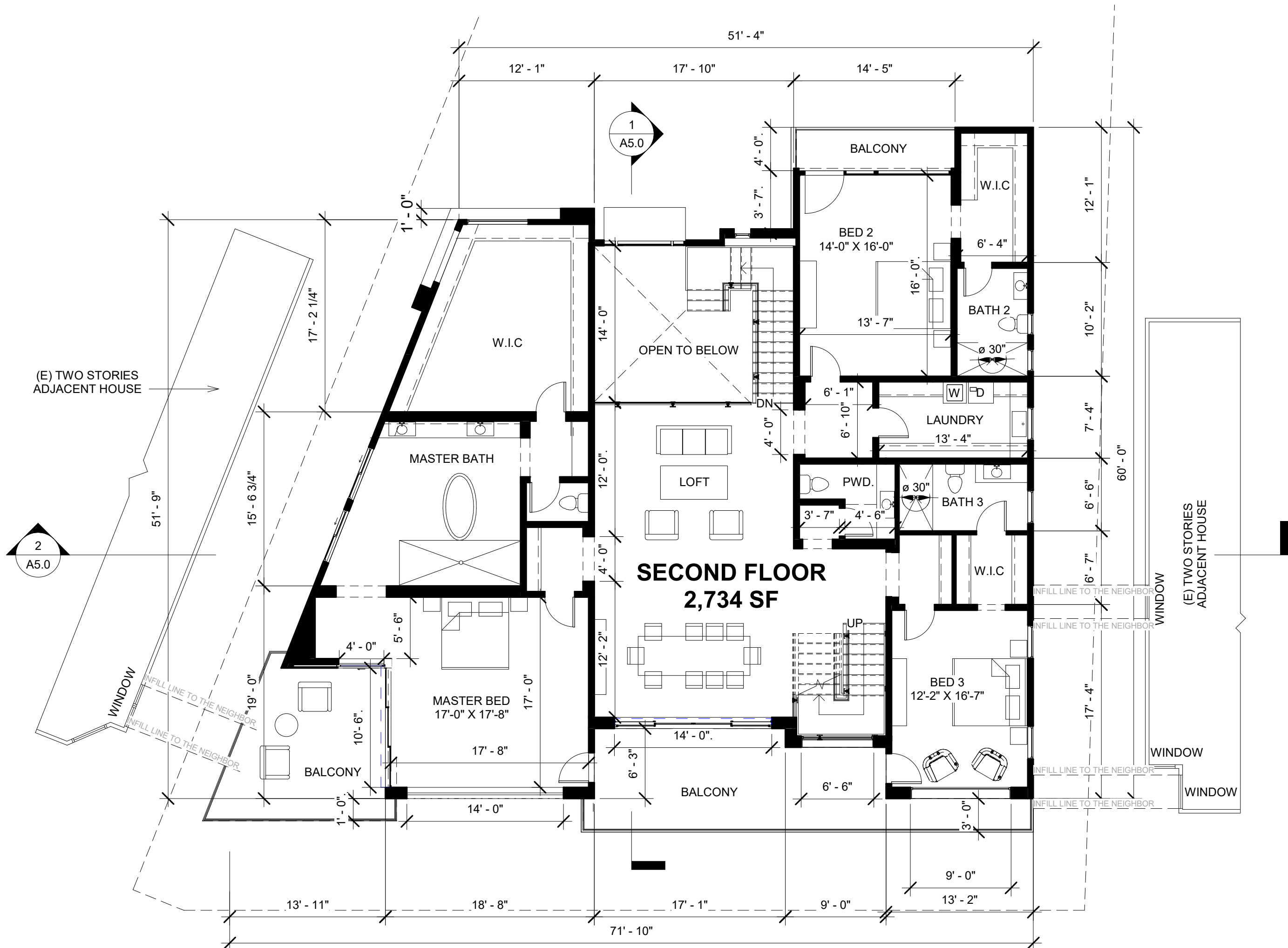
02/23/20





FIRST FLOOR PLAN

SCALE: 1/8" = 1' - 0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0"



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1ST FLOOR PLAN & 2ND FLOOR PLAN

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A3.0

PLOT REFERENCE DATE:

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Huntington Beach, CA 92649

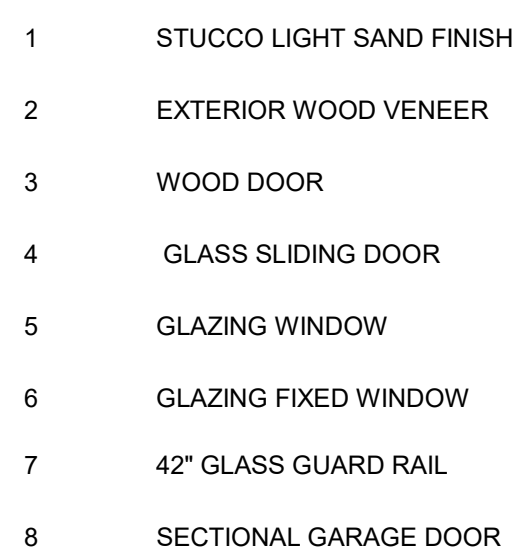
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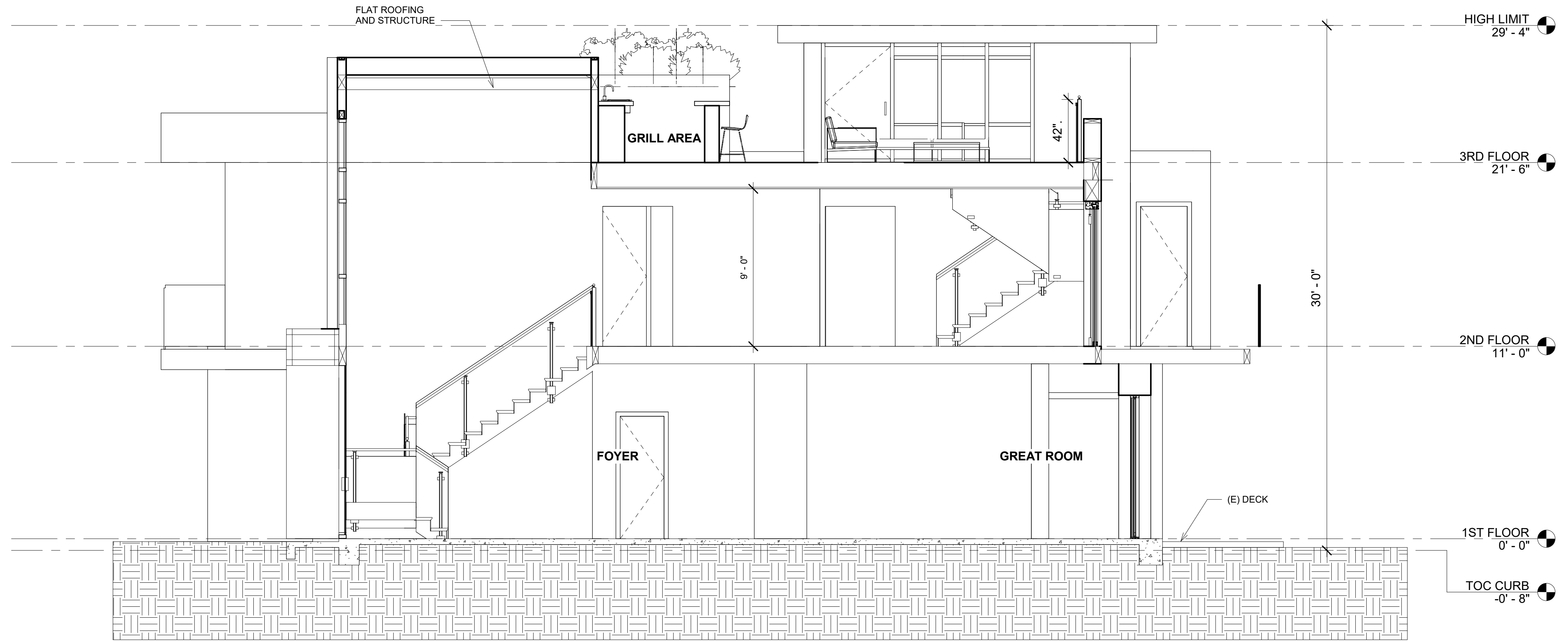
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ELEVATIONS

SHEET NUMBER:

PLOT REFERENCE DATE: 02/18/20





SECTION A

SCALE: 1/4" = 1' - 0"



SECTION B

SCALE: 1/4" = 1' - 0"

STAMP:



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SECTIONS

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02/22/20