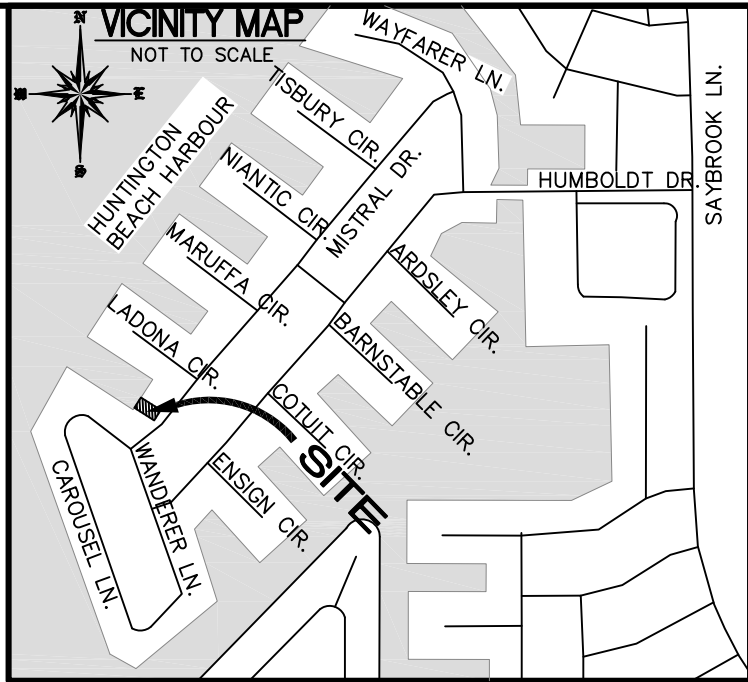
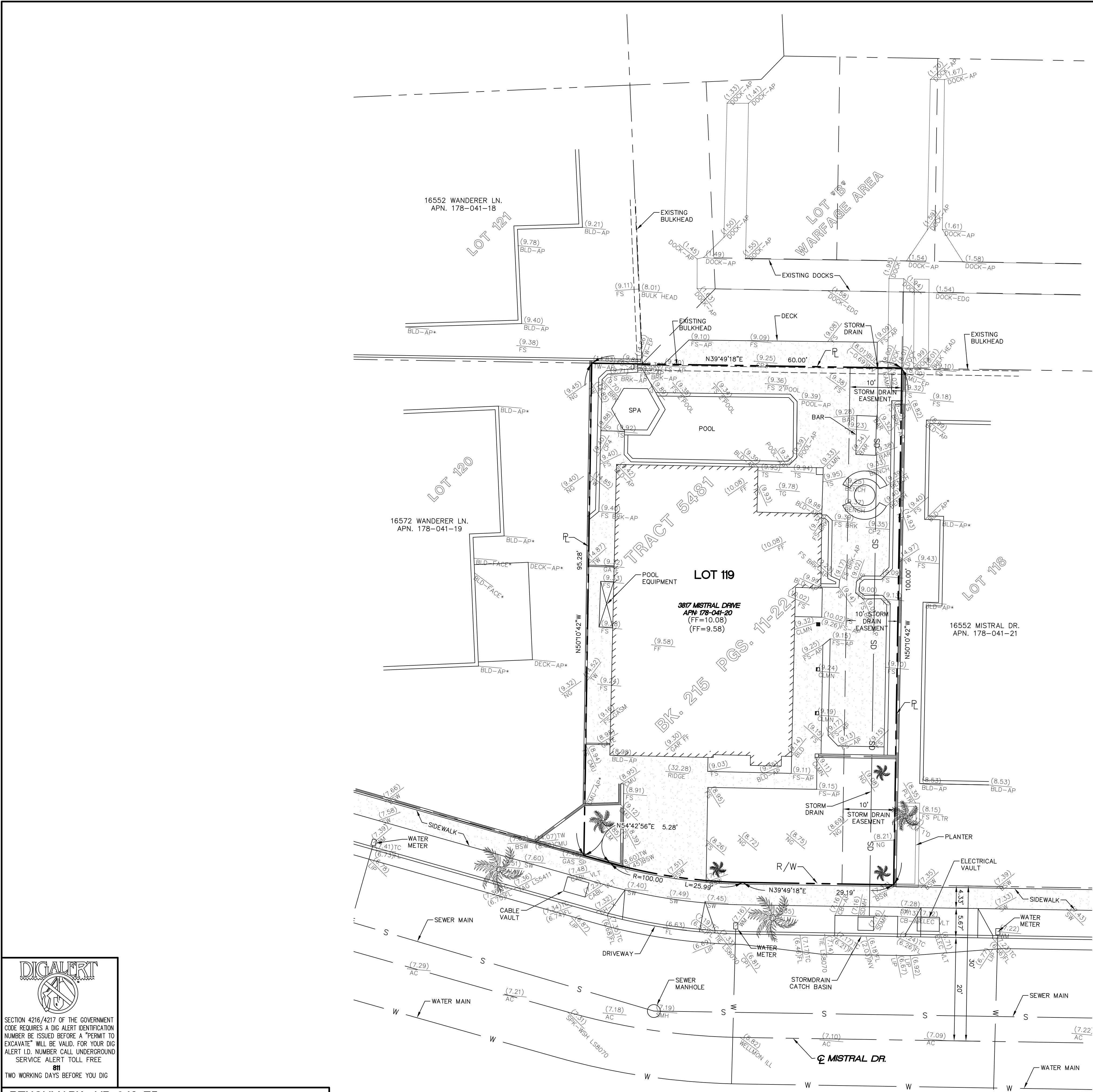




LEGEND	
XXX.XX	PROPOSED ELEVATIONS
---	EXISTING ELEVATIONS
---	PROPERTY LINE
E	ELECTRICAL LINE
X	CHAIN LINK FENCE
□	WOODEN FENCE
S	SEWER LINE
T	TELEPHONE LINE
W	WATER LINE
---	BLOCK WALL
	BUILDING
	CONCRETE
AC	ASPHALTIC CONCRETE
BLDG	BUILDING
BSW	BACK OF SIDEWALK
CL	CENTERLINE
CLF	CHAIN LINK FENCE
ED VLT	EDISON VAULT
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GH SPK	GEARHEAD SPIKE
GTE VLT	GTE VAULT
L.F.	LINEAR FEET
L+T	LEAD AND TAG
LS	LANDSCAPING AREA
NG	NATURAL GRADE
PLNTR	PLANTER
PP	POWER POLE
S.F.	SQUARE FEET
SMH	SEWER MANHOLE
SW	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF STEP
WM	WATER METER
WDFNC	WOOD FENCE
WV	WATER VALVE
WTR	WATER SERVICE

LEGAL DESCRIPTION:

PARCEL 1:
LOT 119 OF TRACT NO. 5481, AS SHOWN ON A MAP RECORDED IN BOOK 215, PAGES 11 THROUGH 22 INCLUSIVE OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM ALL OIL, GAS, PETROLEUM AND OTHER HYDROCARBONS SUBSTANCES AND ALL OTHER MINERALS OF EVERY KIND AND CHARACTER (EXCEPT WATER AND RIGHTS TO APPROPRIATE OR DIVERT WATER, WHETHER SUCH RIGHTS BE VESTED OR CONTINGENT) IN, UNDER OR RECOVERABLE FROM SAID LAND, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OR SUBSURFACE OF SAID LAND ABOVE 500 FEET BELOW THE PRESENT NATURAL LEVEL OF THE SURFACE OF SAID LAND, AS RESERVED IN VARIOUS DEEDS TO JASAM INC., A CORPORATION, RECORDED OCTOBER 11, 1960 IN BOOK 5456, PAGE 410 AND FOLLOWING OF OFFICIAL RECORDS.

ALSO EXCEPTING ALL UNDERGROUND WATERS IN AND TO ALL OF SAID TRACT, BUT WITHOUT ANY RIGHT OF ENTRY TO THE SURFACE OR TO THE SUBSURFACE ABOVE A DEPTH OF 500 FEET, AS DEDICATED TO THE CITY OF HUNTINGTON BEACH ON THE MAP OF SAID TRACT.

PARCEL 2:
THE RIGHT TO CONSTRUCT DOCKS, WHARVES, SLIPS, RAMPS, FLOATS, AND OTHER MOORING STRUCTURES IN, ON, OVER, ACROSS, UPON AND THROUGH THAT PORTION OF LOT B OF TRACT NO. 5481, AS PER MAP RECORDED IN BOOK 215, PAGES 11 TO 22 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, WITHIN THE AREA ADJACENT TO PARCEL 1 ABOVE DESCRIBED, AND BOUNDED BY THE DOTTED LINES IN PROLONGATION OF THE SIDE LOT LINES OF SAID LOTS AND BY THE BULKHEAD LINE AND THE PIERHEAD LINE AS SAID AREA IS SHOWN ON THE MAP OF SAID TRACT 5481.

APN: 178-041-20

FLOOD ZONE:

ON SUBJECT PROPERTY
ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN HUNTINGTON HARBOR
ZONE: ZONE AE - ELEVATION 8.00 FEET

COMMUNITY PANEL NO: 065034 0231 K
MAP NO: 0605900231K
EFFECTIVE DATE: MARCH 21, 2019
DATUM: NAVD 1988



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK: HB-240-75

DESCRIBED BY OCS 2002 - FOUND 3'3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-240-75", SET IN THE TOP OF A 4 IN. BY 4 IN. CONCRETE MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF MONTEREY LANE AND EDINGER AVENUE, 52 FT. EASTERLY OF THE CENTERLINE OF MONTEREY LANE AND 48 FT. SOUTHERLY OF THE CENTERLINE OF EDINGER MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEV. 9.707' ; NAVD 88, YEAR LEVELED 2005

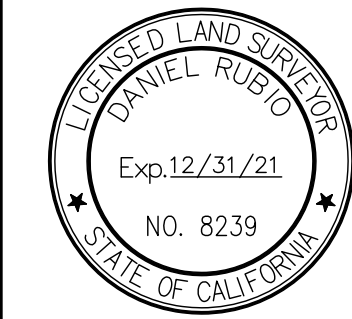
BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING NORTH 39°49'18" EAST ALONG THE CENTERLINE OF MISTRAL DRIVE PER MAP OF TRACT NO. 5481, BOOK 215 PAGES 11-22, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXISTING UTILITY NOTE:

LOCATION OF EXISTING UTILITIES WERE DETERMINED BY RECORD INFORMATION AND A VISUAL FIELD SEARCH EXACT LOCATION SHOULD BE DETERMINED BY A CONTRACTOR

SURVEYED ON: 4/14/2020

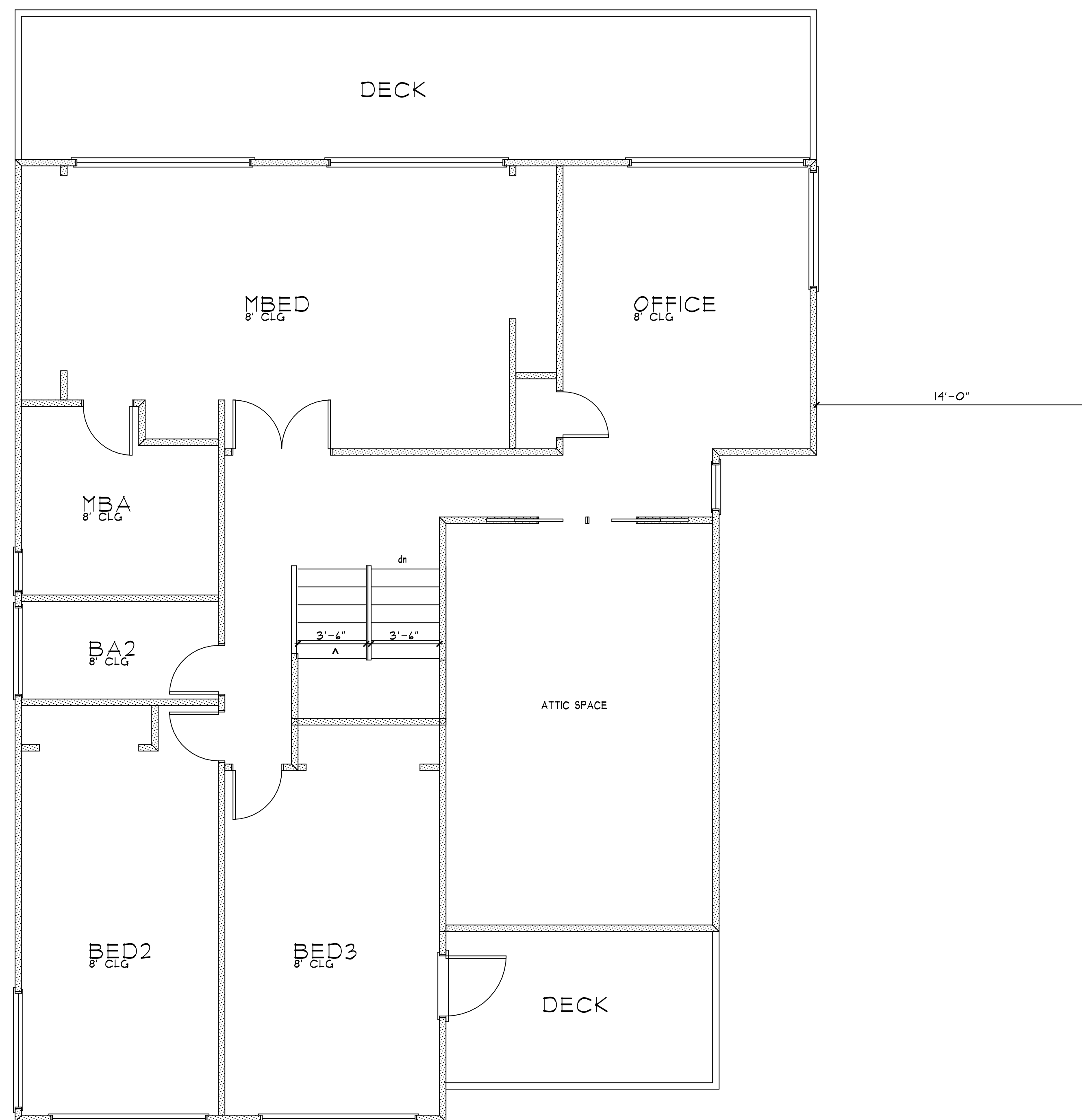




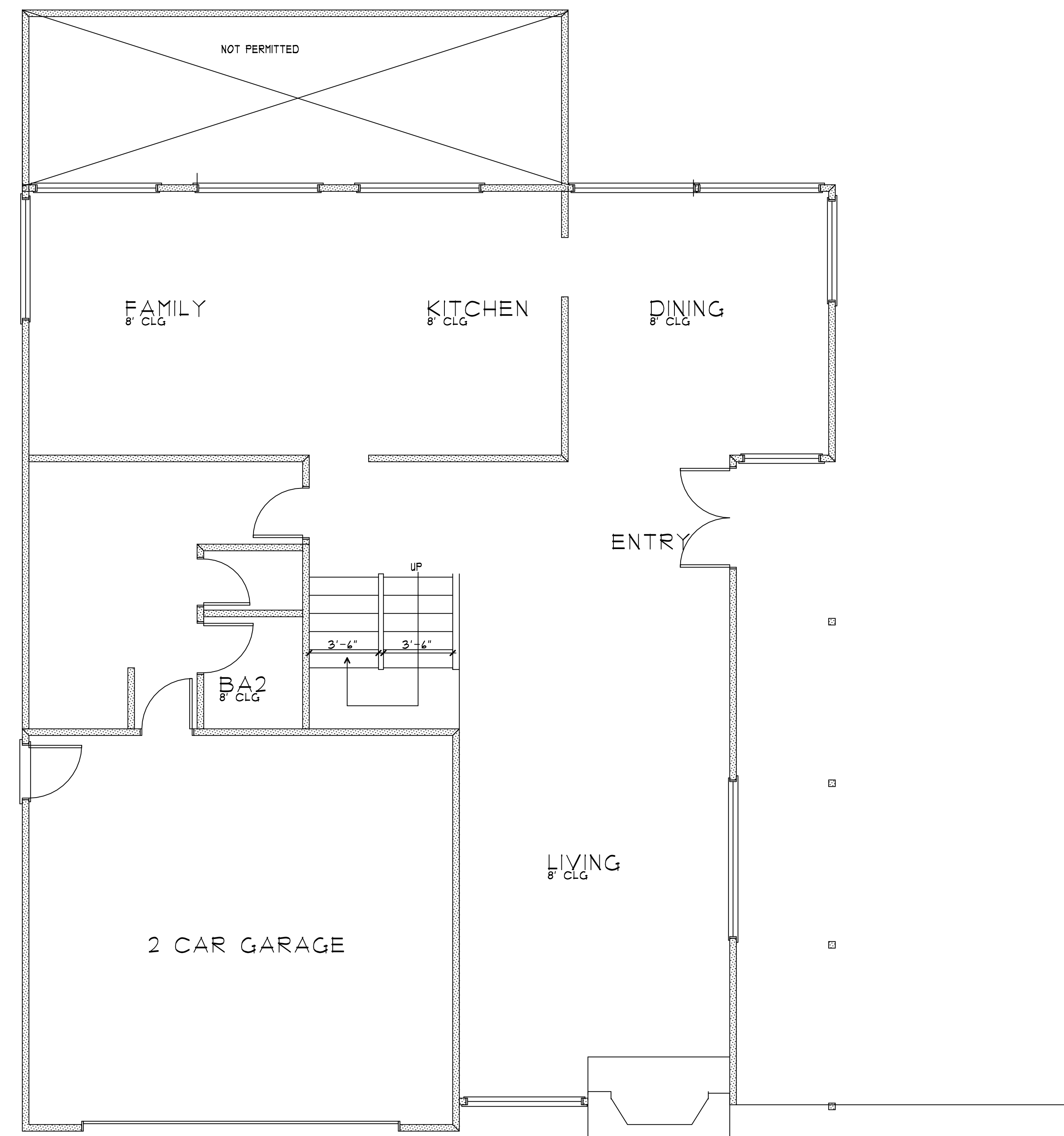
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566

DESIGNED: C.H.	SCALE: 1" = 10'
DRAWN: C.H.	DATE: 4/22/2020
CHECKED: D.R.	JOB NO. 20-2424
PREPARED UNDER THE DIRECTION OF:	
DANIEL RUBIO P.L.S. 8239 DATE	

AVO AND MARLENE ASDOURIAN	
EXISTING TOPOGRAPHY 3817 MISTRAL DR	
HUNTINGTON BEACH	CALIFORNIA
DWG. NO. 20-2424-EX	SHEET NO. 1 OF 1
REV.	0



(E)SECOND FLOOR PLAN



(E)FIRST FLOOR PLAN

AS-BUILT/EXISTING CONDITIONS

THIS PLAN ILLUSTRATES THE "AS-BUILT" OR "EXISTING" CONDITIONS. THIS PLAN IS FOR PLANNING PURPOSE-IT IS NOT FOR CONSTRUCTION. ALL FIELD CONDITIONS AND DIMENSIONS MUST BE VERIFIED AS THEY MAY DIFFER 2" TO 4" FROM THE ACTUAL DIMENSIONS. WHENEVER "AS-BUILT" OR "EXISTING" CONDITIONS ARE DRAWN THERE IS A PERCENTAGE OR ERROR. CONTACT ARCHITECT IF THERE ARE ANY AREAS THAT NEED TO MODIFIED OR CLARIFIED.

LEGEND:

 2X4 EXISTING WALL

2468

3'-0" x 4'-8" SL
 3'-0" W x 4'-8" HI WDW
 SL=SLIDING
 SH=SINGLE HUNG
 DH=DOUBLE HUNG
 FH=FIXED

DATE
APRIL 24, 2020
SCALE

SHEET

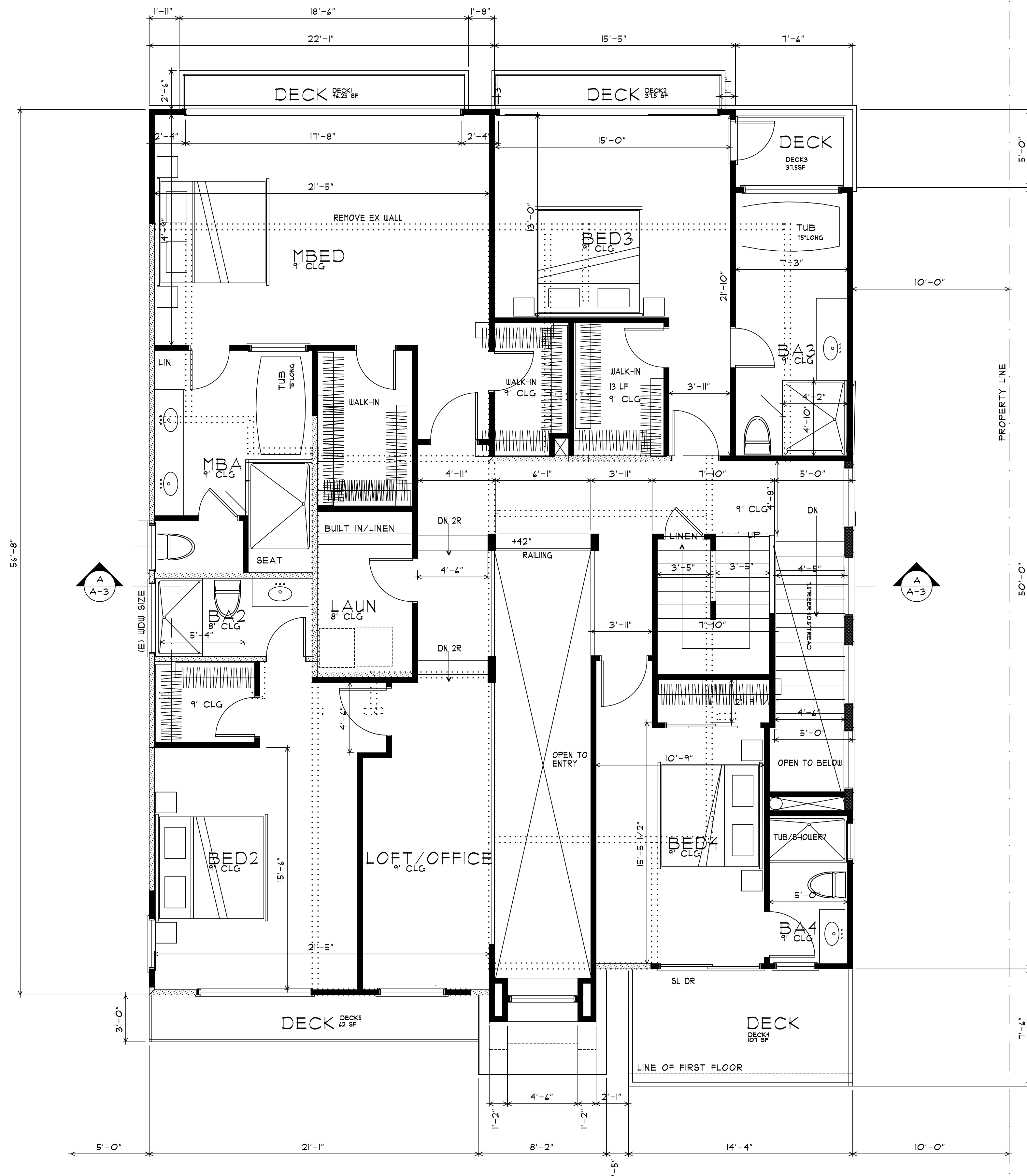
A-1

OWNER
ASDORIAN RESIDENCE
3811 MISTRAL
HUNTINGTON BEACH, CA
AVO ASDORIAN

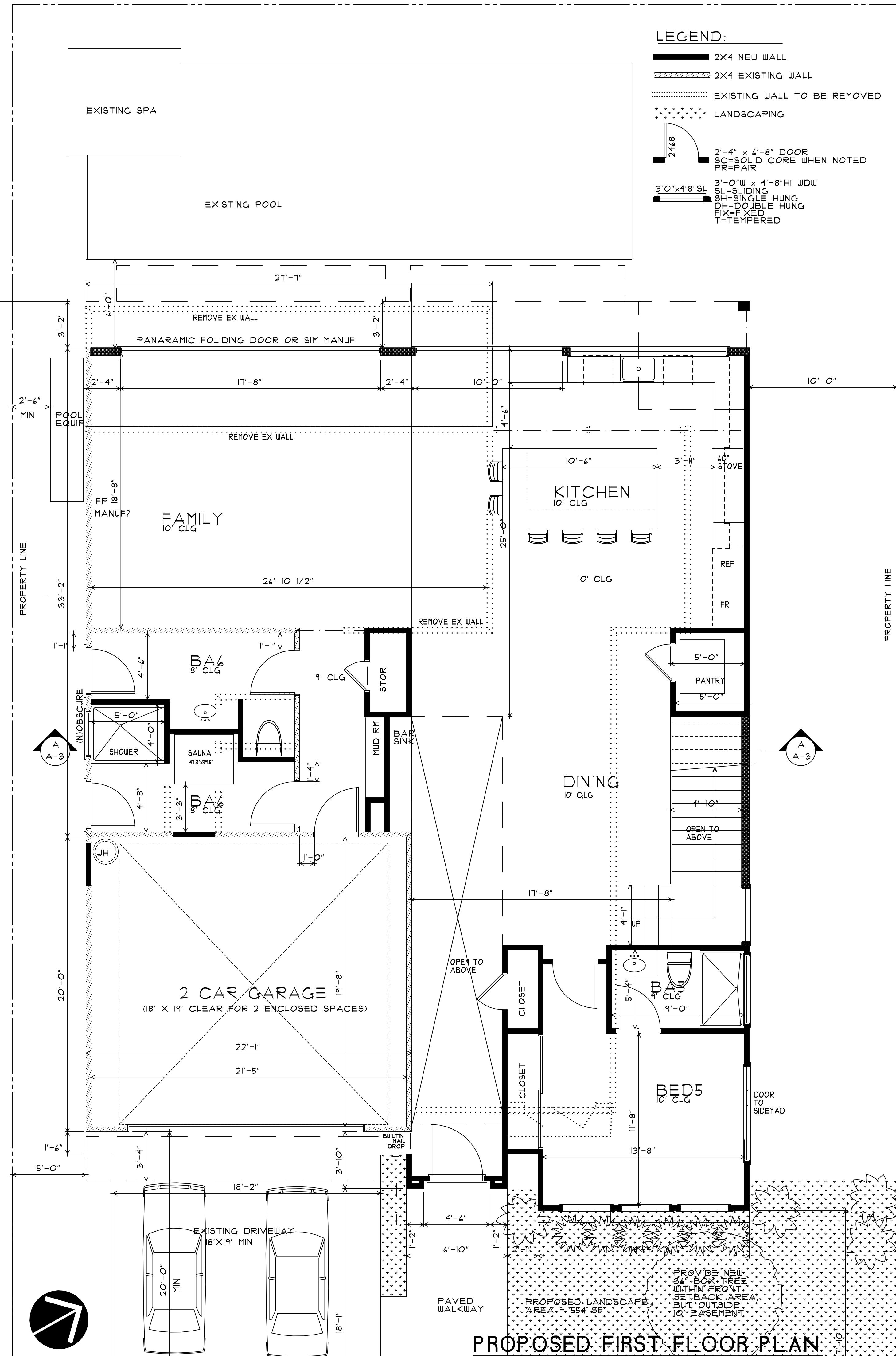
ARCHITECT
COASTAL DOMAIN, INC
9121 ATLANTA AVE. STE 826
HUNTINGTON BEACH, CA
(714) 413-6423
LIC C23965

PROPERTY ADDRESS
3817 MISTRAL
HUNTINGTON BEACH, CA 92649

Cheryl Lynne Delfreese, Architect and/or Coastal Domain, Inc. ("Architect") shall retain common law and other reserved rights for this Project, including the copyright of the drawings, designs, concepts, plans, specifications and architectural documents which are instruments of the Architect's service ("Instrument of Service"). The Instrument of Service is not to be reproduced, changed, copied in any form, assigned to any third party or otherwise used by anyone without the written permission of Architect upon completion or termination of this Project, any permission to use the Instrument of Service that was previously granted to anyone by Architect shall cease.



PROPOSED SECOND FLOOR PLAN

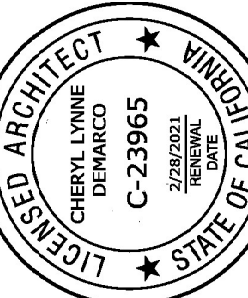


PROPOSED FIRST FLOOR PLAN

- LEGEND:
- 2X4 NEW WALL
 - 2X4 EXISTING WALL
 - EXISTING WALL TO BE REMOVED
 - LANDSCAPING
 - 2'-4" x 6'-8" DOOR
 - SC=SOLID CORE WHEN NOTED
 - PR=PAIR
 - 3'-0" x 4'-8" SL
 - SL=SLIDING
 - SH=SINGLE HUNG
 - DH=DOUBLE HUNG
 - FIX=FIXED
 - T=TEMPERED

PROPERTY ADDRESS
3817 MISTRAL
HUNTINGTON BEACH, CA 92649

Owner: (see reference) Architect: (see reference)
This document is the property of Coastal Domain, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Coastal Domain, Inc. The architect assumes no responsibility for the construction of the project or the performance of the project.



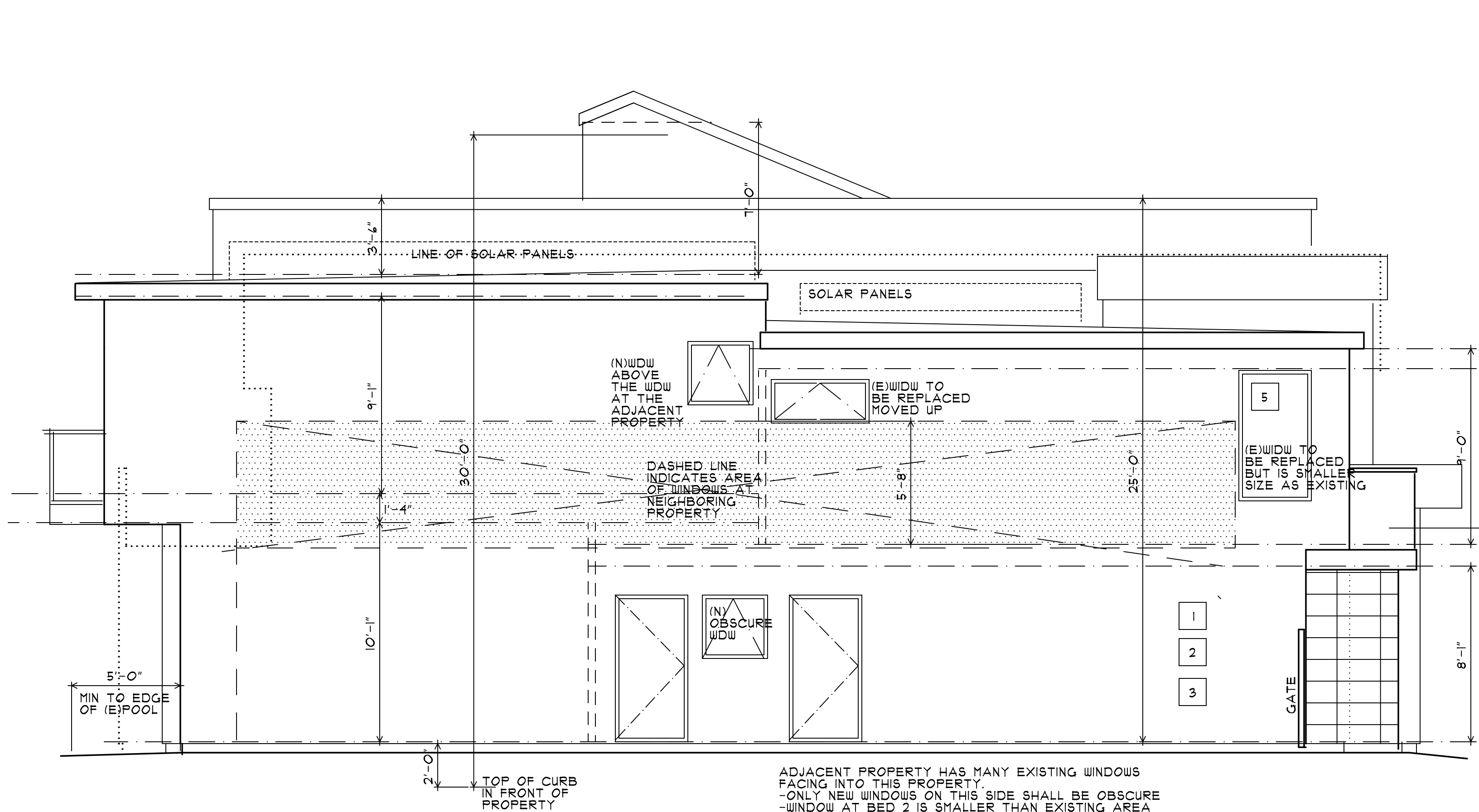
ARCHITECT
COASTAL DOMAIN, INC.
101 ATLANTA AVE., STE 824
HUNTINGTON BEACH, CA
(714) 419-6423
LIC C23965

OWNER
ASDORIAN RESIDENCE
3817 MISTRAL
HUNTINGTON BEACH, CA
AVO ASDORIAN

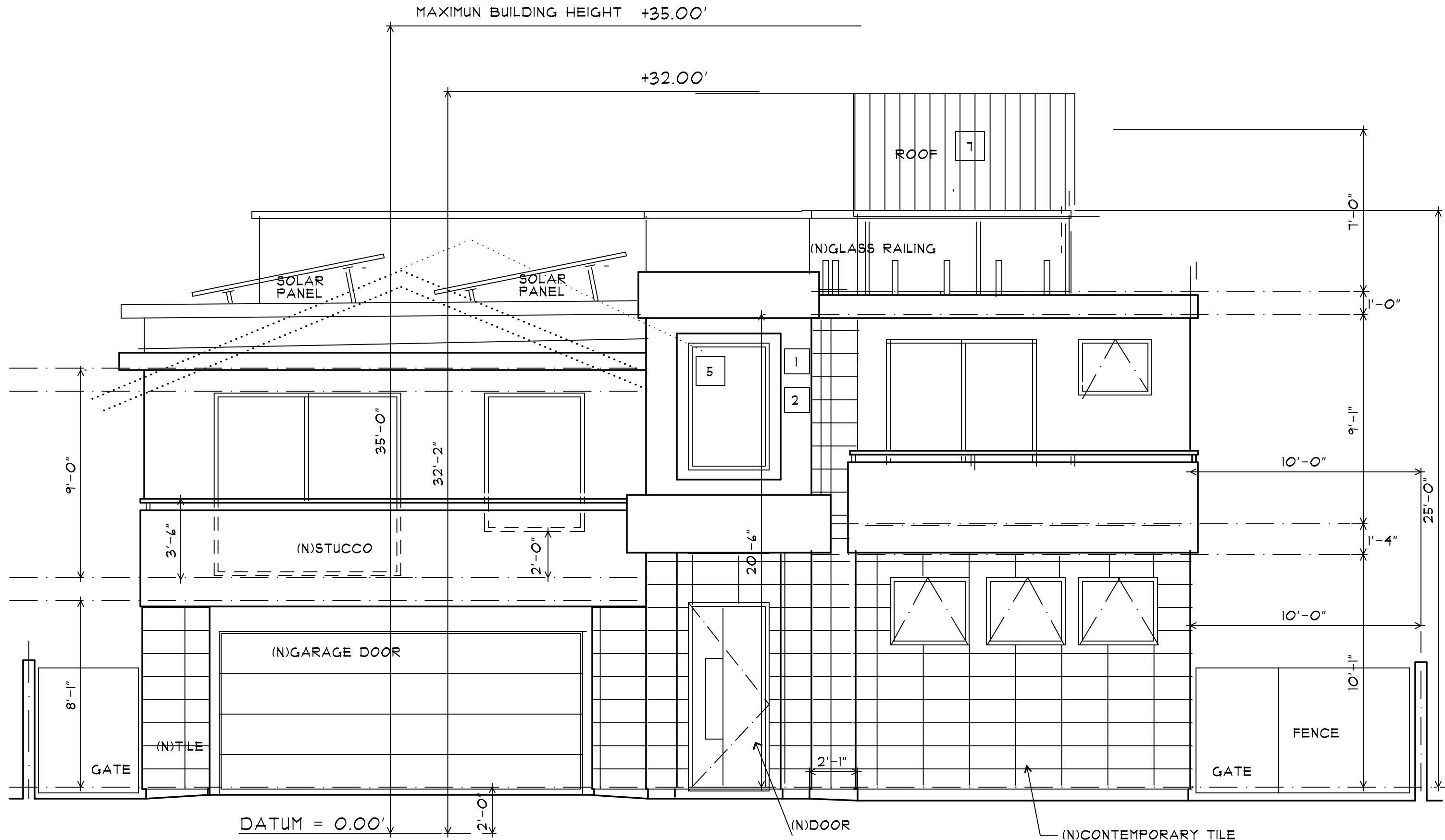
DATE
APRIL 24, 2020
SCALE
1/4" = 1'-0"
SHEET

A-2

PROPOSED FLOOR PLAN



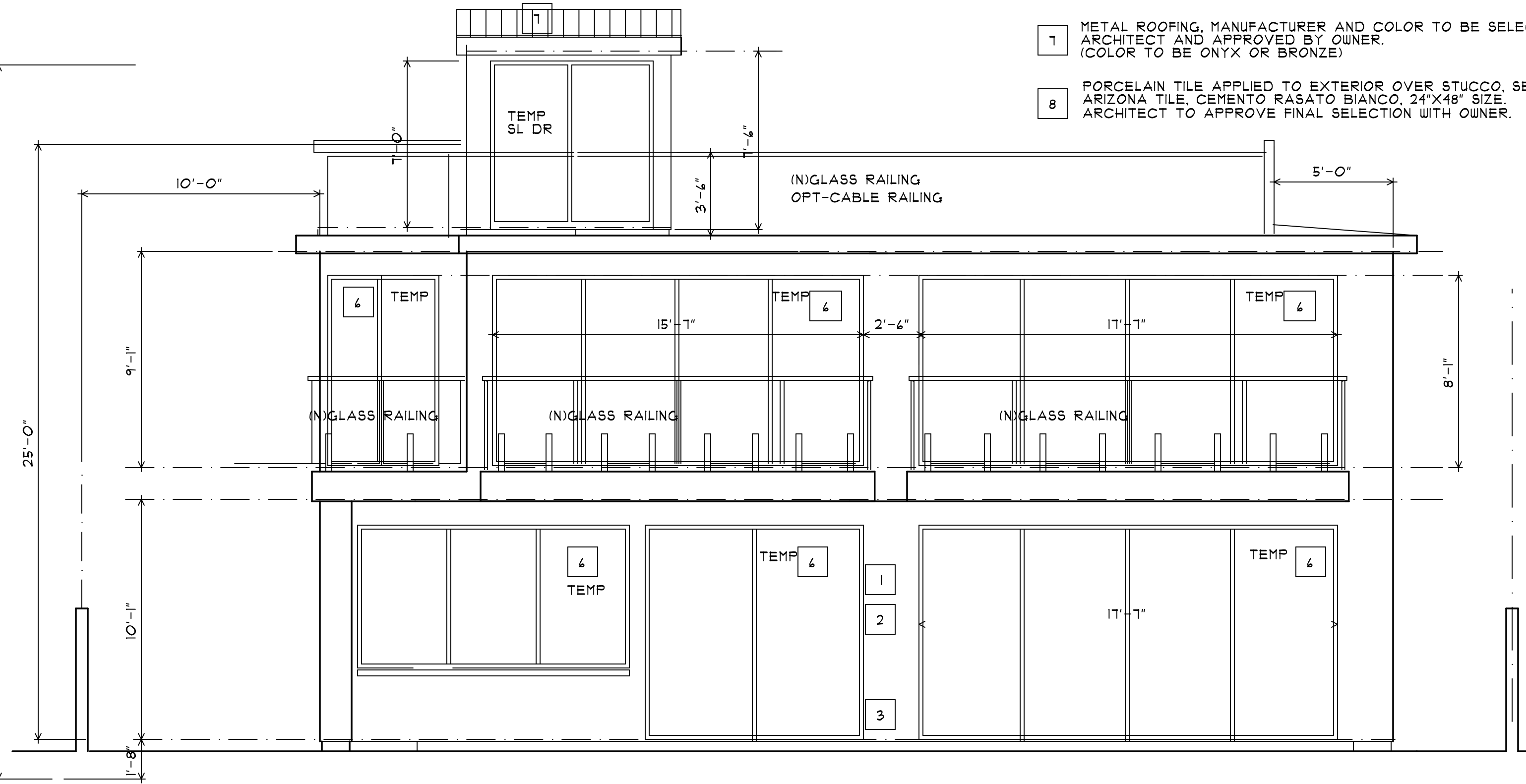
NEW-LEFT ELEVATION



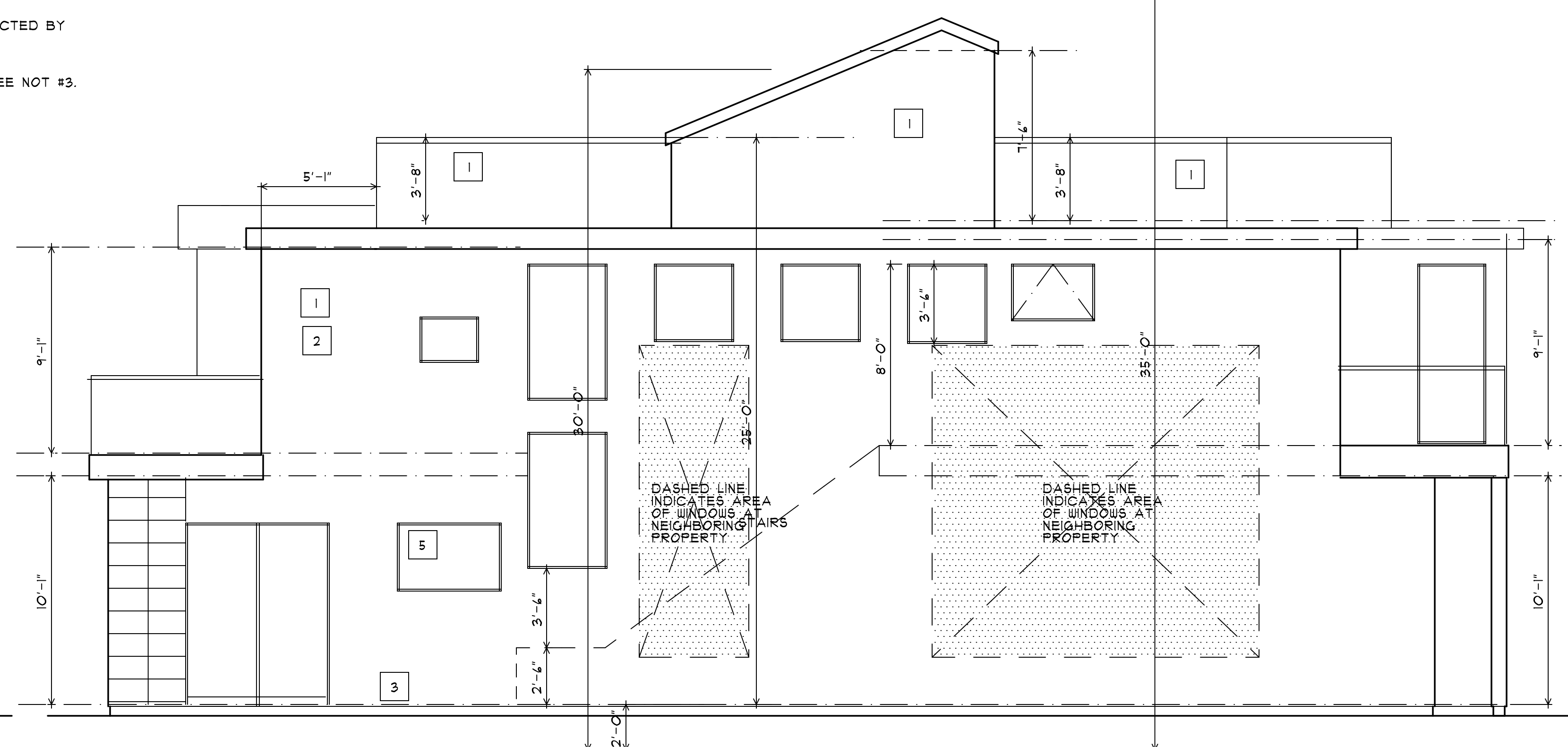
NEW-FRONT ELEVATION

ELEVATION NOTES

- 1 EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTENT EXTERIOR WALL ENVELOPE IN ACCORDANCE WITH R103.
- 2 EXTERIOR 3-COAT STUCCO, OVER LATH, OVER BUILDING PAPER, ARCHITECT TO APPROVE FINAL COLOR WITH OWNERS, COLOR TO BE WHITE, SUCH AS SW-1005.
- 3 PROVIDE A STUCCO WEEP SCREED WITH A MIN OF 24 GA CORROSIONS WITH A MIN 4" VERTICAL FLANGE OF 3-1/2" AT OR BELOW ALL EXTERIOR STUD WALLS. SCREED SHALL BE A MIN. OF 4" ABOVE EARTH & 2" ABOVE PAVED AREAS.
- 4 PROVIDE FLASHING AT ALL ROOF TO WALL LOCATIONS WITH MIN OF 24 GA CORROSION WITH A MIN VERTICAL FLANGE OF 3-1/2" ABOVE ROOF ADJACENT ROOF PLAN. SEE ROOF PLAN FOR MORE DETAILS.
- 5 ALL WINDOWS TO BE MANUFACTURED BY (KOLBE, FLEETWOOD, ANDERSON, ETC. OWNER TO CHOOSE) ALL WINDOWS SHALL BE DUAL GLAZED WITH PROPER LABELING, REFER TO SHT T24A AND T24B, ARCHITECT TO APPROVE FINAL MANUFACTURER, COLOR (BRONZE OR BLACK), AND DETAILING WITH OWNER.
- 6 DOORS TO BE MANUFACTURED BY PANORAMIC DOORS OR SIMILAR, OWNER TO SELECT. COLOR SHALL BE BLACK OR BRONZE.
- 7 METAL ROOFING, MANUFACTURER AND COLOR TO BE SELECTED BY ARCHITECT AND APPROVED BY OWNER. (COLOR TO BE ONYX OR BRONZE)
- 8 PORCELAIN TILE APPLIED TO EXTERIOR OVER STUCCO, SEE NOT #3. ARIZONA TILE, CEMENTO RASATO BIANCO, 24"x48" SIZE, ARCHITECT TO APPROVE FINAL SELECTION WITH OWNER.



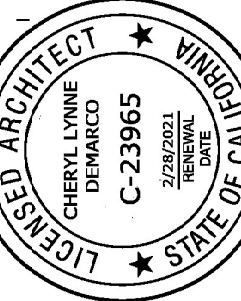
NEW-REAR ELEVATION



NEW-RIGHT ELEVATION

PROPERTY ADDRESS
3817 MISTRAL
HUNTINGTON BEACH, CA 92649

Owner / User: Mistral, Architects and/or Coastal Domain, Inc. (Contracted) after main contract documents are completed. The drawings, designs, and specifications are the property of the Architect. The Architect's responsibility is to provide the Architect's services to the Owner. The Architect is not responsible for the construction of the building. The Architect's responsibility is to provide the Architect's services to the Owner. The Architect is not responsible for the construction of the building.



ARCHITECT
COASTAL DOMAIN, INC
1021 ATLANTA AVE, STE 624
HUNTINGTON BEACH, CA
(714) 419-6423
LIC C23965

OWNER
ASDORIAN RESIDENCE
3817 MISTRAL
HUNTINGTON BEACH, CA
AVO ASDORIAN

DATE
APRIL 24, 2020

SCALE
1/4" = 1'-0"

SHEET

A-4