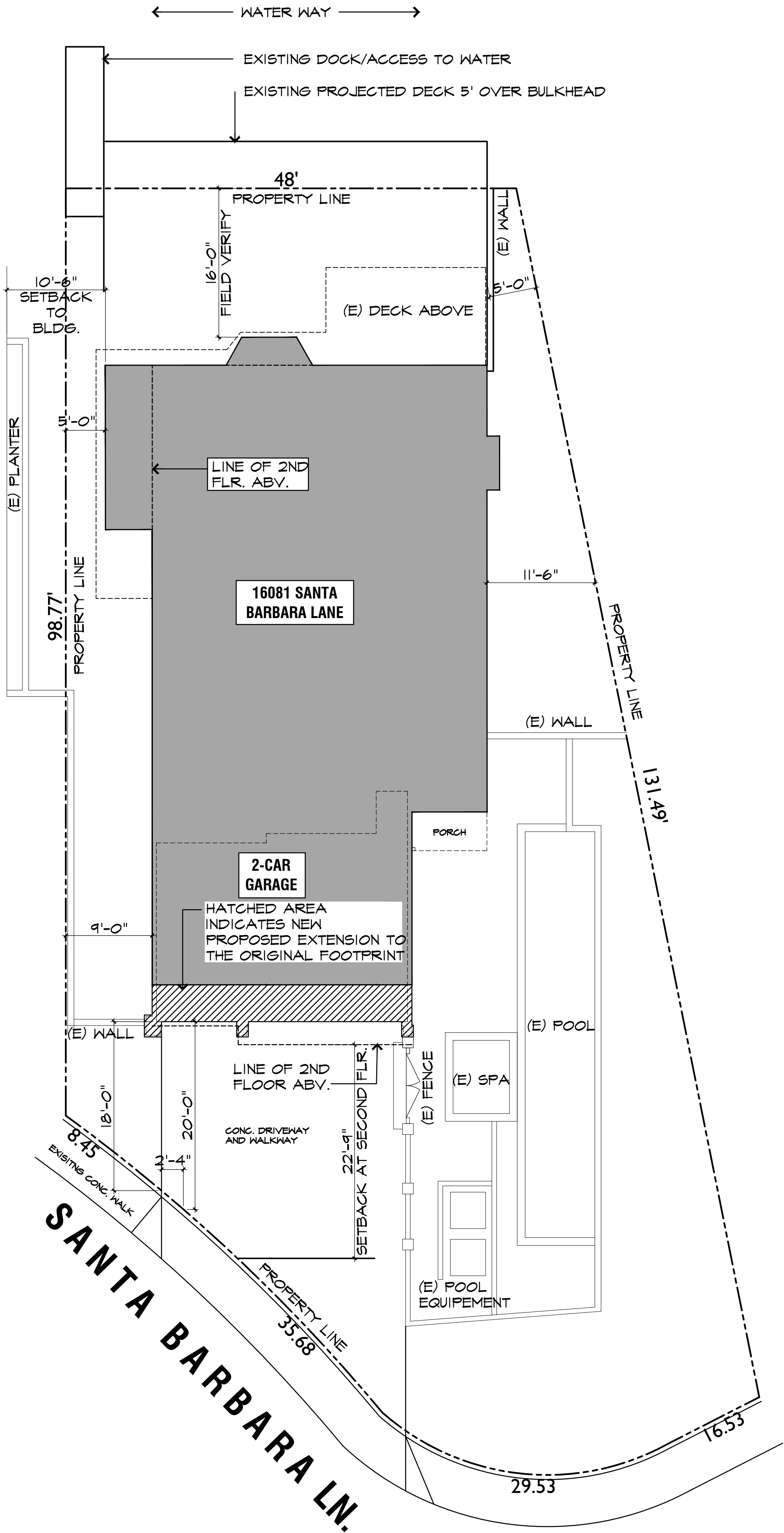




| ZONING CONFORMANCE MATRIX |                |                                                                                             |                                                                                                                                                    |
|---------------------------|----------------|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| SUBJECT :                 | CODE SECTION : | REQUIRED :                                                                                  | PROVIDED :                                                                                                                                         |
| SITE COVERAGE :           | 210.06 :       | MAXIMUM 50% COVERAGE :<br>LOT SIZE 7500 SQ.FT.<br>7500 SQ.FT. X 50% = 3,750 SQ.FT. MAX      | FOOTAGE OF FOOTPRINT INCLUDING GARAGE, FIRST FLOOR,<br>DECK ABOVE AND SECOND FLOOR CANTILEVER=2,798 SQ.FT.<br>2,798 DIVIDED BY 7,500 =37% COVERAGE |
| SET BACKS :               | 210.06 :       | FRONT TO HOUSE = 15'                                                                        | FRONT TO HOUSE = 22'-9"                                                                                                                            |
| SET BACKS :               | 210.06 :       | SIDE = 3' ; 5'                                                                              | SIDE EXISTING = 5'-0"                                                                                                                              |
| SET BACKS :               | 210.06 :       | REAR = 10'                                                                                  | REAR EXISTING = 16'-0"                                                                                                                             |
| SET BACKS :               | 210.06 :       | FRONT TO GARAGE = 20'                                                                       | FRONT TO GARAGE = 18' FOR A SMALL PORTION<br>10% REDUCTION REQUESTED                                                                               |
| BUILDING HEIGHT:          | 210.06 :       | MAX. HEIGHT = 35' - HOWEVER HEIGHTS<br>HEIGHTS OVER 30' REQUIRE A<br>CONDITIONAL USE PERMIT | MAX. HEIGHT = +/- 28'-2"                                                                                                                           |
|                           |                |                                                                                             |                                                                                                                                                    |
|                           |                |                                                                                             |                                                                                                                                                    |

EXISTING SQUARE FOOTAGE

|                |      |
|----------------|------|
| 1ST FLOOR PLAN | 1737 |
| 2ND FLOOR PLAN | 1355 |
| TOTAL:         | 3092 |
| GARAGE         | 451  |

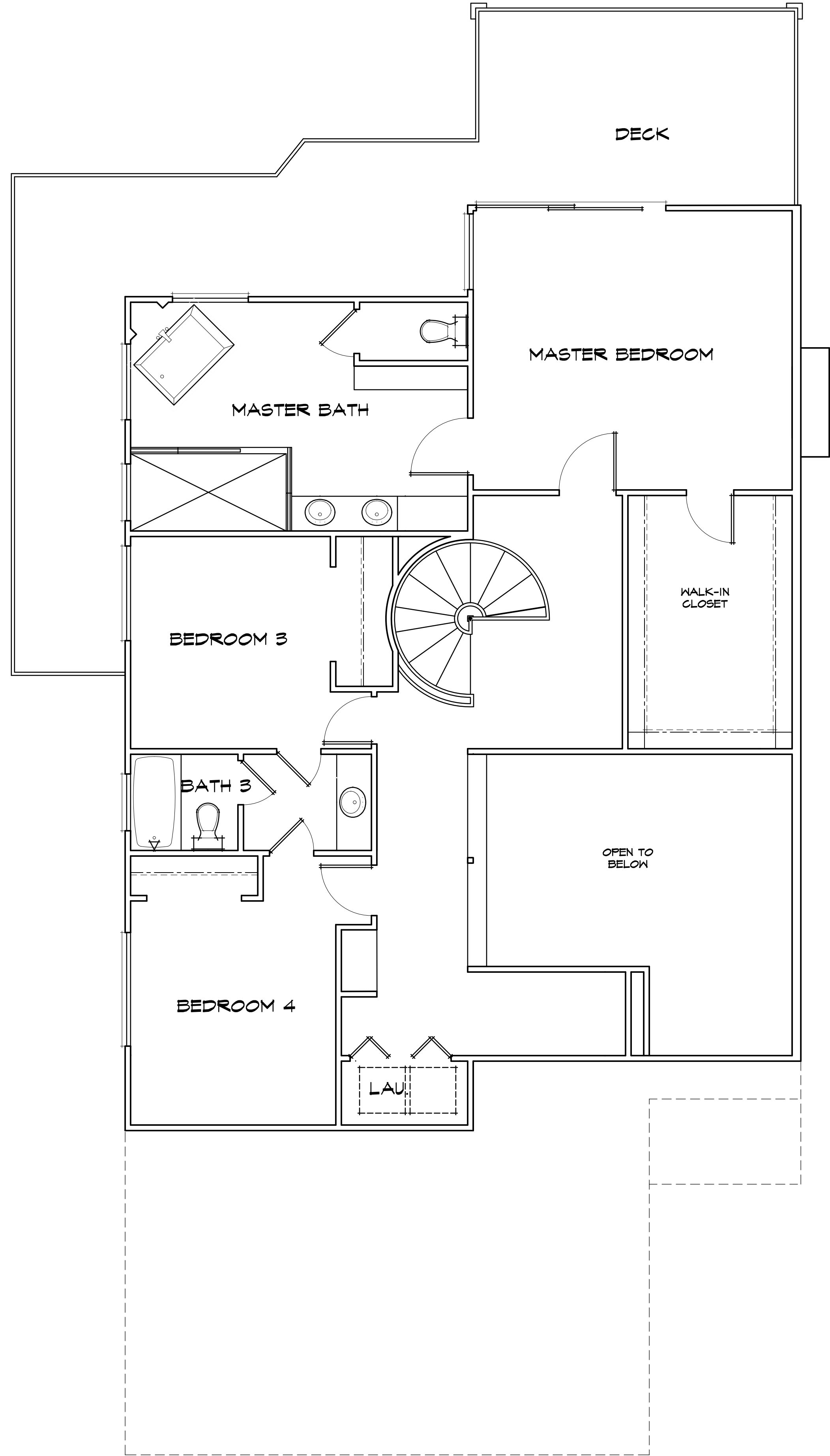
PROPOSED NEW SQUARE FOOTAGE

|                |      |
|----------------|------|
| 1ST FLOOR PLAN | 1865 |
| 2ND FLOOR PLAN | 2045 |
| TOTAL:         | 3910 |
| GARAGE         | 575  |

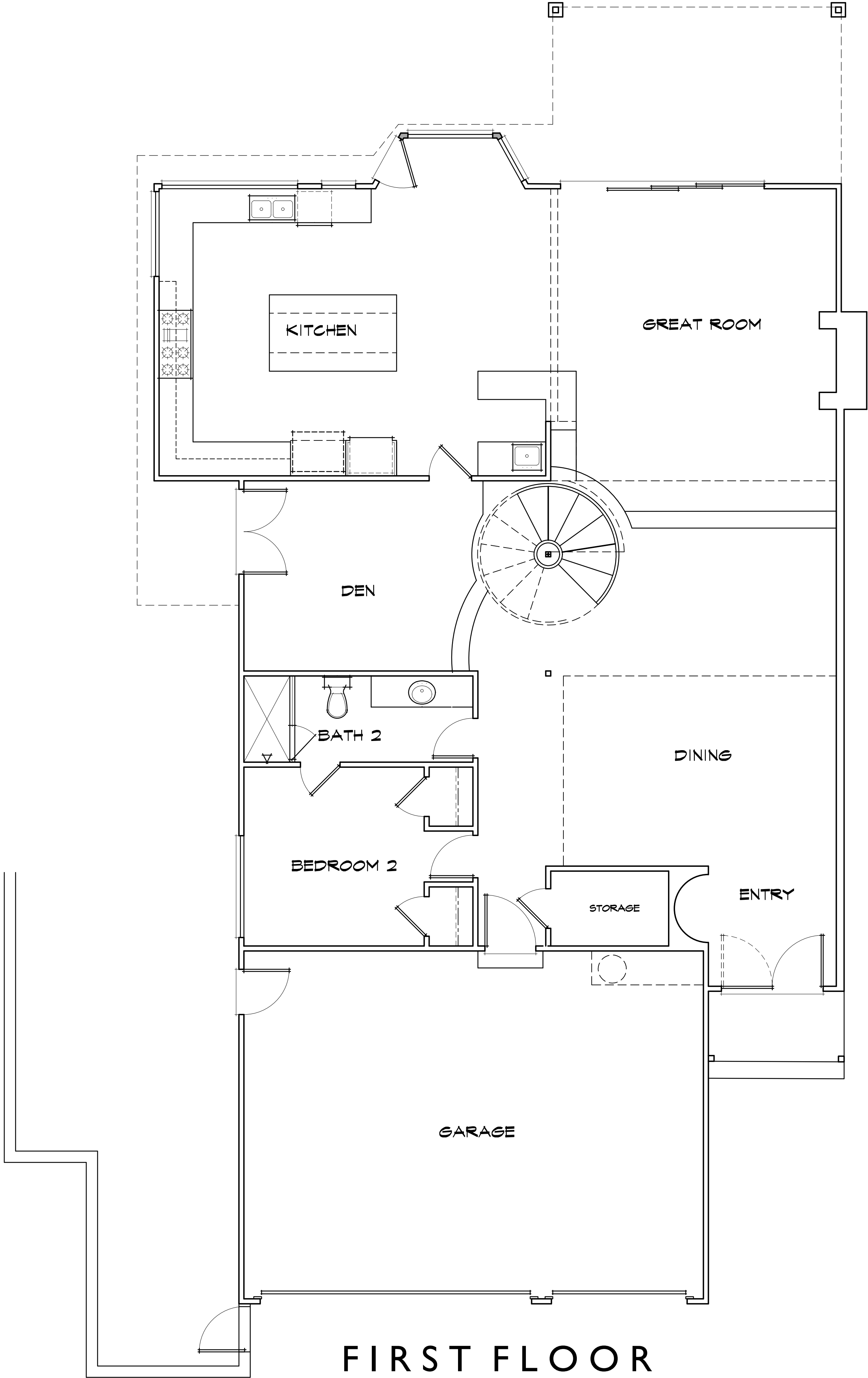
| PROJECT DATA             |                                               |
|--------------------------|-----------------------------------------------|
| OWNER :                  | STEVEN HO                                     |
| PROJECT ADDRESS :        | 16081 SANTA BARBARA LN., HUNTINGTON BEACH, CA |
| ASSESSOR PARCEL NO. :    | 178-621-08                                    |
| PROPERTY TRACT NO. :     | 6808                                          |
| BUILDING CLASSIFICATION: | SINGLE FAMILY DETACHED R3/U                   |
| TYPE OF CONSTRUCTION :   | TYPE V-B                                      |
| FIRE ZONE :              |                                               |

16081 SANTA BARBARA LN.

OWNER : STEVEN & SHELLEY HO  
CONTACT : 714-815-5267  
E-MAIL : SHO@WELSHADVISORS.COM



SECOND FLOOR



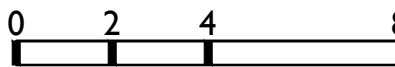
FIRST FLOOR

| EXISTING SQUARE FOOTAGE |      |
|-------------------------|------|
| 1ST FLOOR PLAN          | 1737 |
| 2ND FLOOR PLAN          | 1355 |
| TOTAL:                  | 3092 |
| GARAGE                  | 451  |

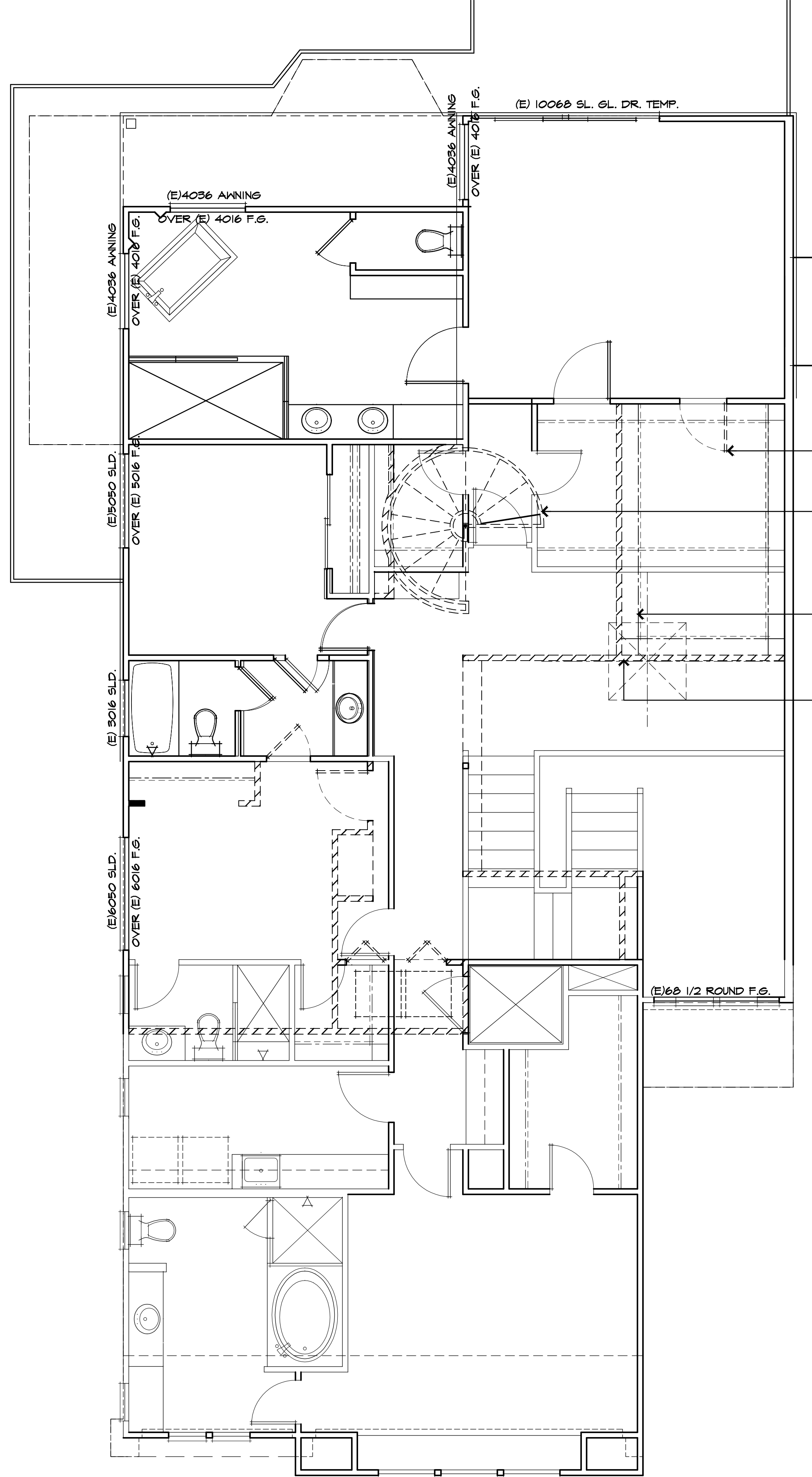
# EXISTING FLOOR PLAN

Waterfront Residence

Huntington Beach, California



941.19198



**SECOND FLOOR DEMOLITION PLAN**

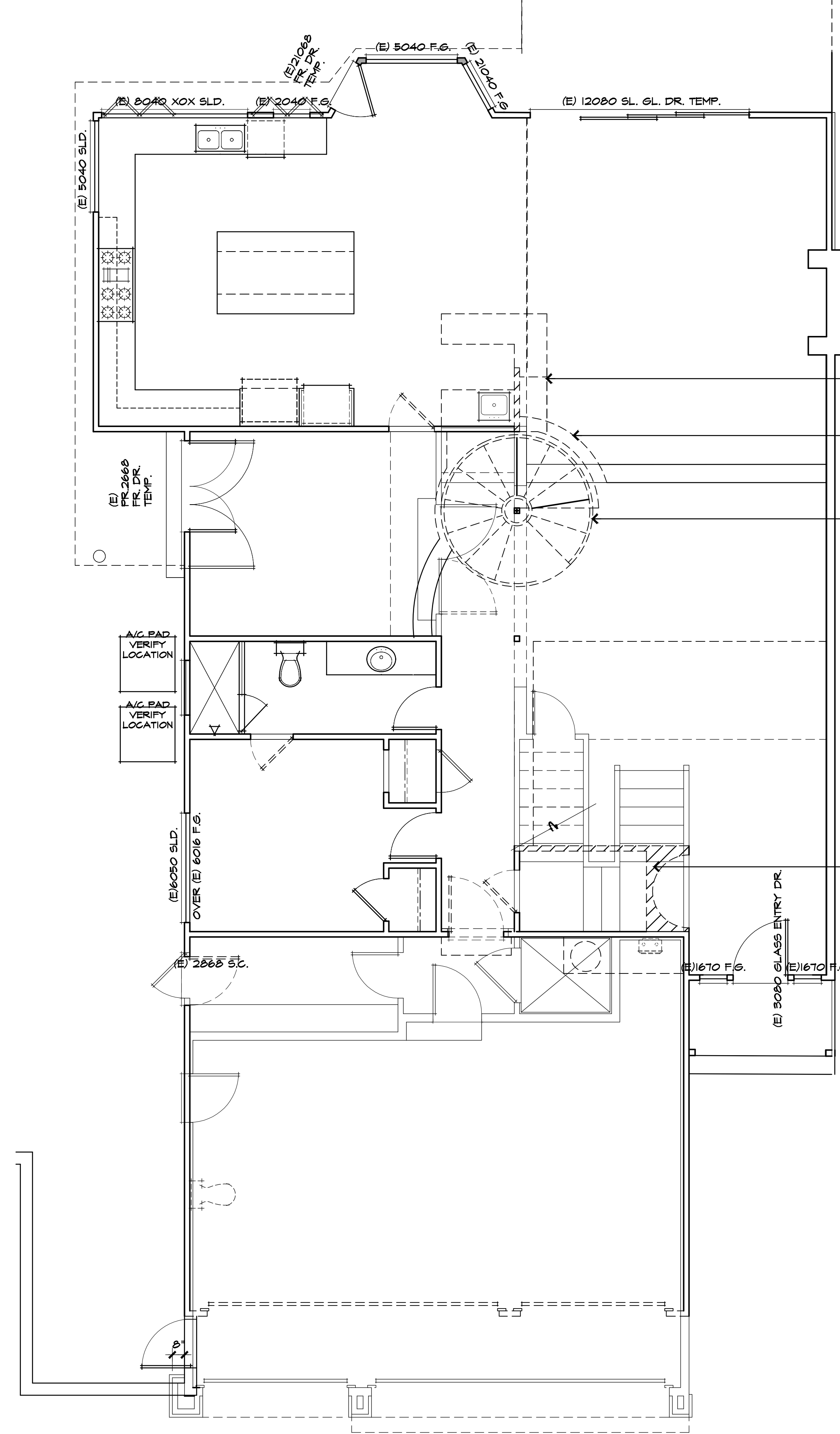
SCALE: 1/4"=1'-0"

dashed doors indicate doors to be removed

circular stairs to be removed

existing walk in closet to be removed.  
reuse closet organizer- verify dimensions for  
use with new walk in closet

dashed and hatched walls indicate walls to be removed



**FIRST FLOOR DEMOLITION PLAN**

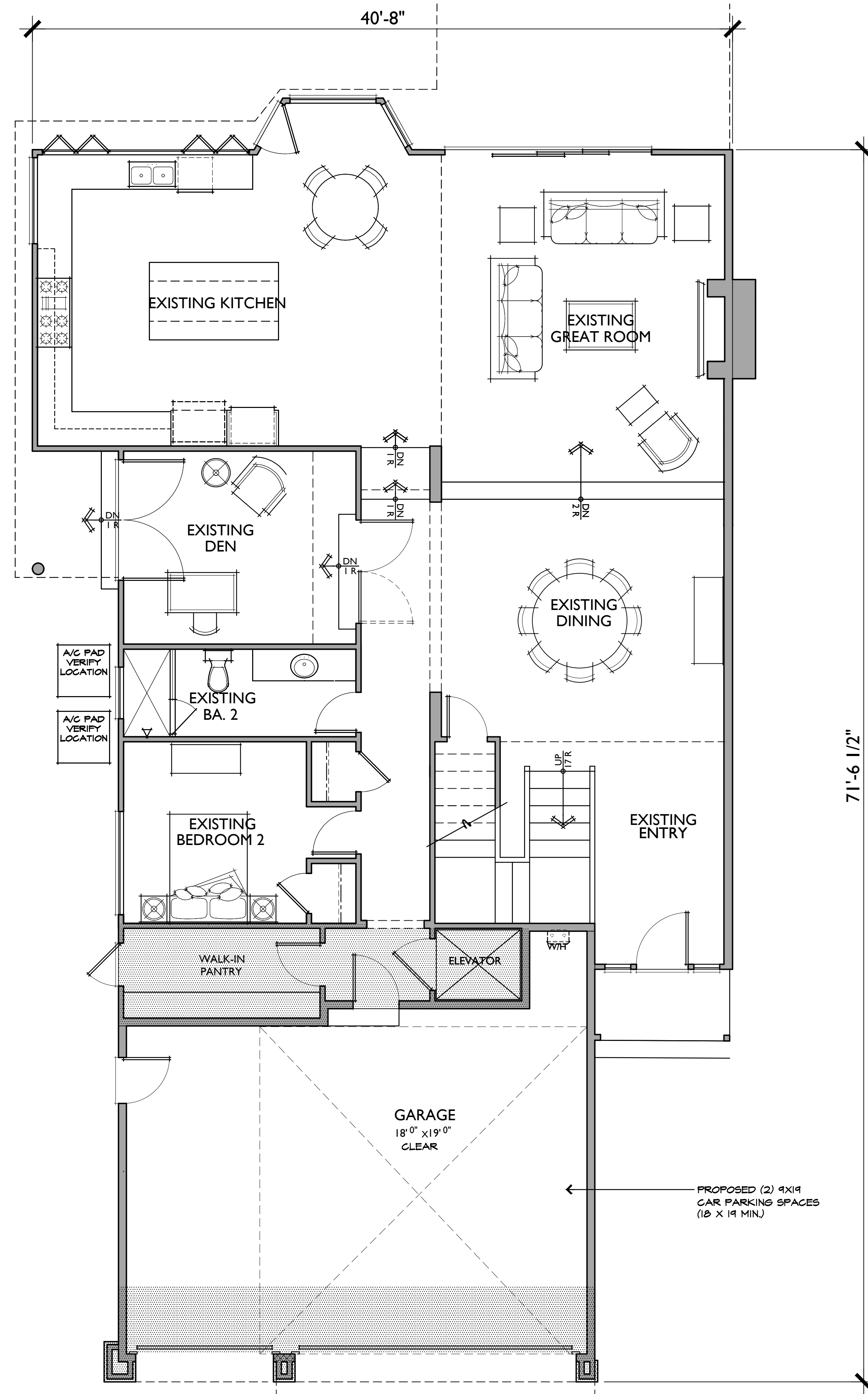
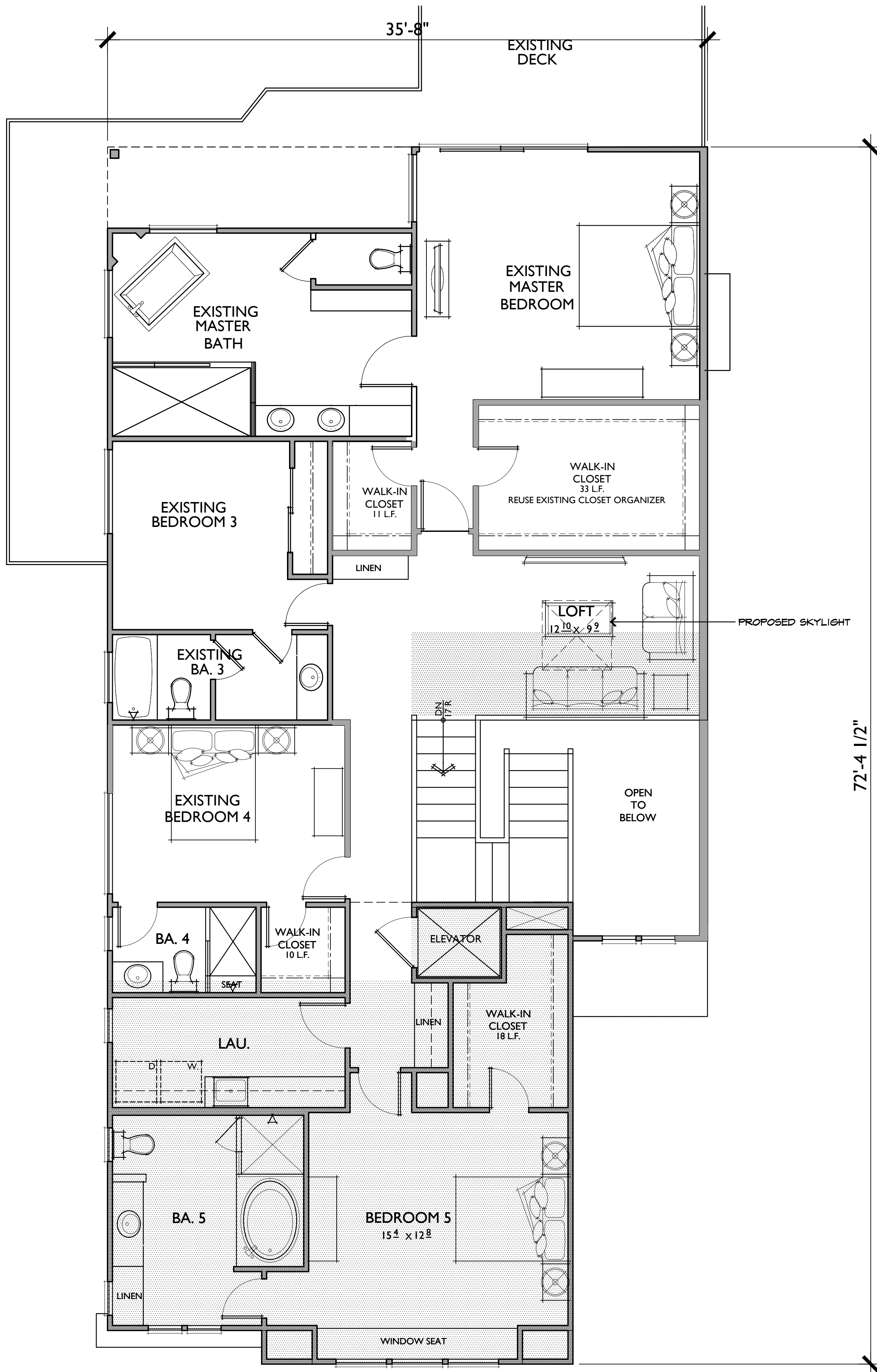
SCALE: 1/4"=1'-0"

remove existing wet bar and related walls

remove existing curved step and continue existing  
straight step to new wall

circular stairs to be removed

dashed and hatched walls indicate walls to be removed



| FLOOR PLAN LEGEND |                                                                                      |
|-------------------|--------------------------------------------------------------------------------------|
|                   | INDICATION OF PROPOSED NEW CONSTRUCTION (PLEASE SEE PLAN FOR ADDITIONAL INFORMATION) |

| EXISTING SQUARE FOOTAGE |      |
|-------------------------|------|
| 1ST FLOOR PLAN          | 1737 |
| 2ND FLOOR PLAN          | 1355 |
| TOTAL:                  | 3092 |
| GARAGE                  | 451  |

| PROPOSED NEW SQUARE FOOTAGE |      |
|-----------------------------|------|
| 1ST FLOOR PLAN              | 1865 |
| 2ND FLOOR PLAN              | 2045 |
| TOTAL:                      | 3910 |
| GARAGE                      | 575  |

FIRST FLOOR

## SECOND FLOOR PROPOSED FLOOR PLAN Waterfront Residence

Huntington Beach, California

0 2 4 8 941.19198

**Bassenian | Lagoni**  
ARCHITECTURE • PLANNING • INTERIORS

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11.27.19

