

16842 Marina Bay Drive, Huntington Beach, CA

OWNER ANGEL DEL VILLAR (562) 922-0872
16842 MARINA BAY DR
HUNTINGTON BEACH, CA 92649

PROJECT ADDRESS 16842 MARNA BAY DRIVE
LOT 6500-9999
APN 178-652-04
ZONING: RL

BUILDING TYPE VB Existing building shall be fully fire-sprinklered with approved NFPA 13D System.

OCCUPANCY R3/U

APPLICABLE
CODES

2016 California Residential Code (CRC)
2016 California Building Code
2016 California Electrical Code
2016 California Plumbing Code
2016 California Mechanical Code
2016 California Green Building Standards Code
2016 California Energy Code
H.B. Municipal Code 17.05 and HBZO 230.84

SITE AREA 7,501.0 sq ft

[illegible]

PROJECT DATA		(5 Bedrooms / 4 Baths)	
	Living	Existing	New Addition
1st Floor	1,793.0	sq ft	618.0 sq ft
2nd Floor	2,457.0	sq ft	525.0 sq ft
Total			5,393.0 sq ft
Garage (existing)			711.0 sq ft
Deck (new)			240.0 sq ft
Covered Lanai (new)			264.0 sq ft

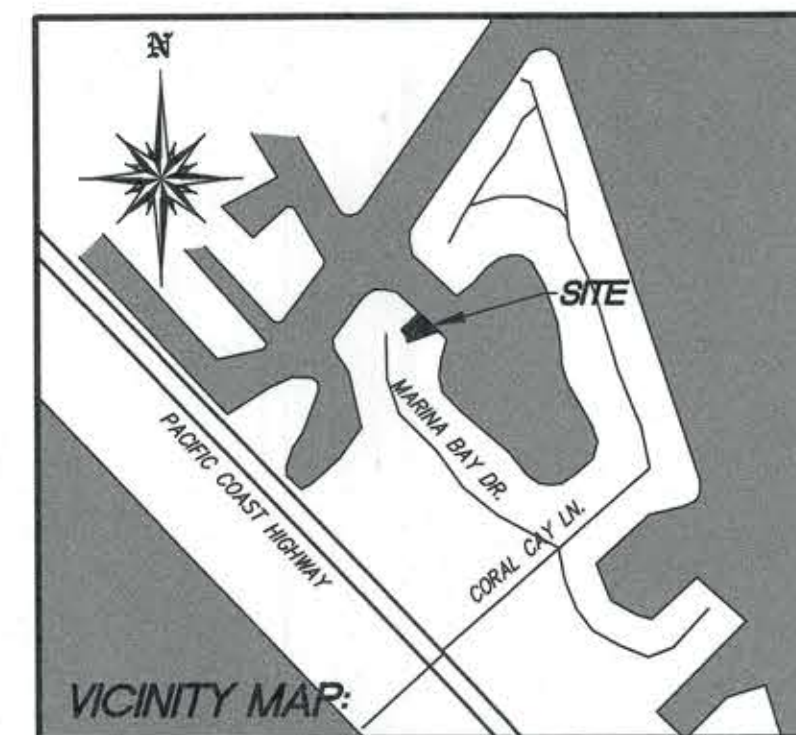
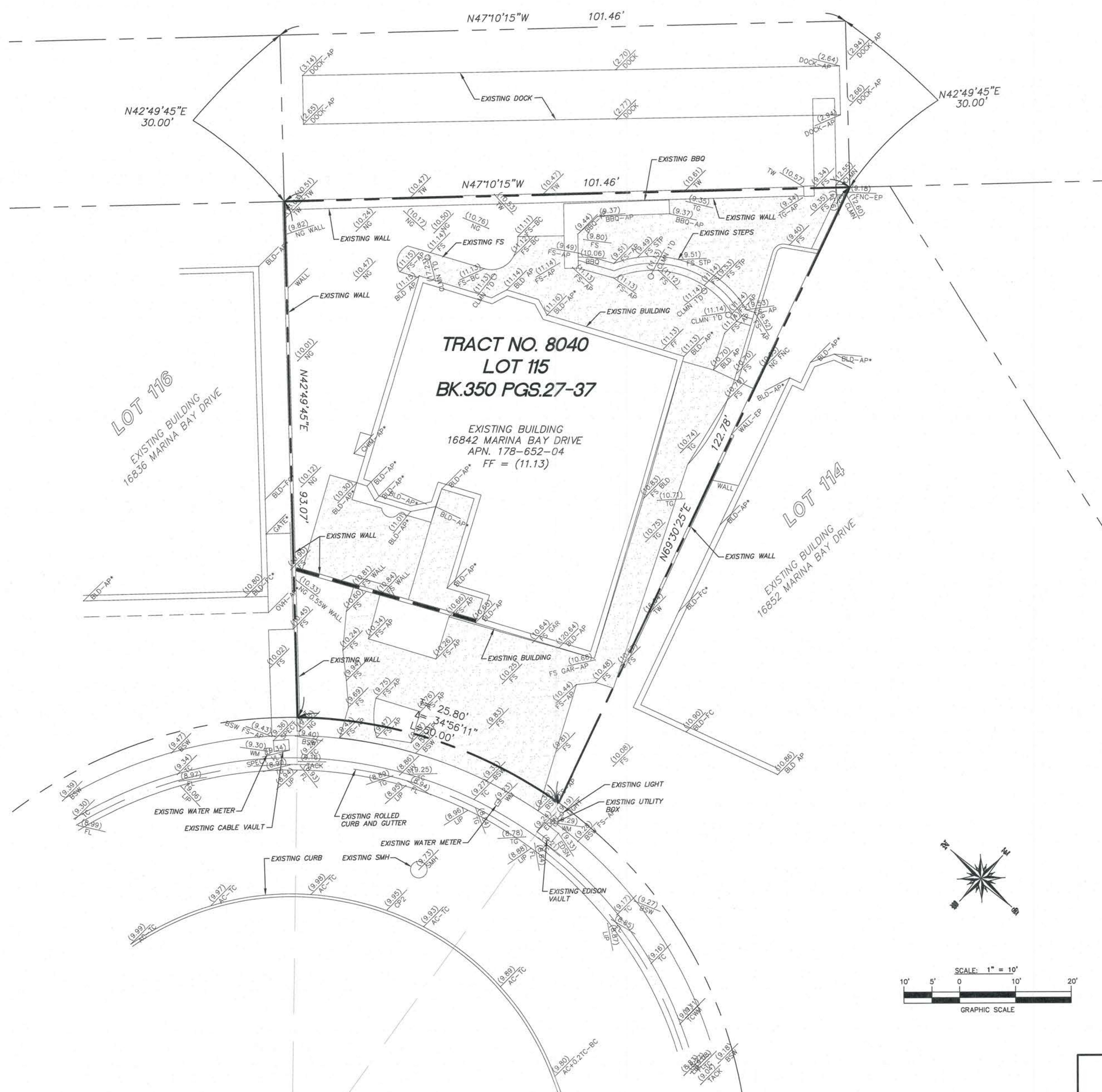
Subject	Code Section	Required	Proposed
Site Coverage		50% maximum	45.1%
Building Height		35 ft maximum	27 ft (existing)
Parking		6 spaces	6 spaces
Front Yard Setback		20 ft	20 ft
Minimum Frontyard Landscape required		40%	40%
Overhangs contributing to maximum 50% site coverage		375 sq ft maximum allowable	264 sq ft

SITE PLAN

JEFFREY A DAHL
ARCHITECT

1102 Main Street
Huntington Beach, CA 92648
714 - 847 - 8480

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LEGEND	
(xxx.xx)	EXISTING ELEVATIONS
(---)	EXISTING CONTOUR
(---)	PROPERTY LINE
(---)	ORIGINAL LOT LINE
X	CHAIN LINK FENCE
S	SEWER LINE
W	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
*	PALM TREE
AC	ASPHALTIC CONCRETE
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CP	SURVEY CONTROL POINT
+ ED	EXTRA DEPTH FOOTING
ED VLT	EDISON VAULT
ELEC BOX	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GH SPK	GEARHEAD SPIKE
GTE VLT	GTE VAULT
H.P.	HIGH POINT
IRR VLT	IRRIGATION VALVE
INV	INVERT
LF	LINEAR FEET
LS	LANDSCAPE AREA
L.S.	LUMP SUM
MH	MANHOLE
NG	NATURAL GRADE
PP	POWER POLE
SF	SQUARE FEET
SMH	SEWER MANHOLE
STRP DRAIN	STRIP DRAIN
SW	SIDEWALK
TC	TOP OF CURB
TO	TOP OF GRADE
TS	TOP OF STEP
TSW	TOP OF STEM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

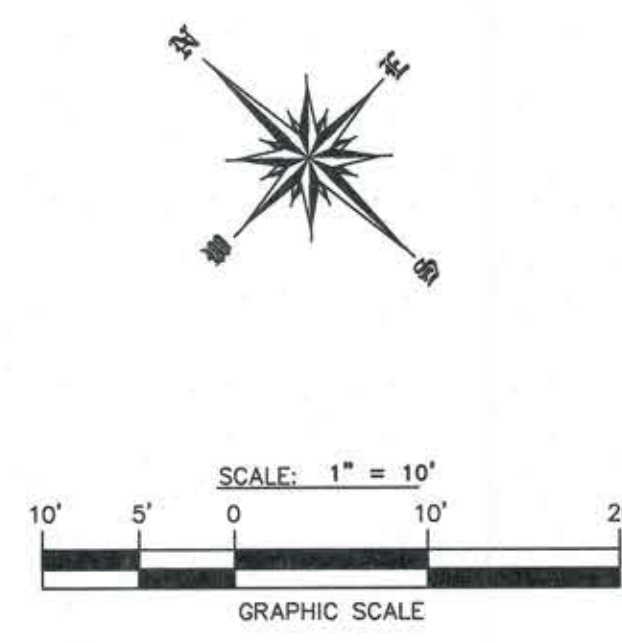
OWNER:
MR. ANGEL DEL VILLAR
16842 MARINA BAY DR.
HUNTINGTON BEACH, CA 92649

SURVEYOR:
JONES, CAHL, AND ASSOCIATES
18090 Beach Boulevard - Huntington Beach
HUNTINGTON BEACH, CA 92648

CONTACT:
DANIEL RUBIO, PLS. 8239
PHONE: (714) 848-0533
EMAIL: JCA@JONESCAHL.COM

LEGAL DESCRIPTION:
LOT 115 OF TRACT NO. 8040, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 350, PAGES 27-37 OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK: 3P-19-68
DESCRIBED BY DCS 2003 - FOUND 3 3/4" USGS BRONZED BENCHMARK DISK STAMPED "G 978 1964". SET IN THE SOUTHWESTERLY CORNER OF A CONCRETE BRIDGE SPANNING A SMALL FINGER CHANNEL OF HUNTINGTON HARBOR. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF PACIFIC COAST HIGHWAY AND BROADWAY, 14.4 FT. SOUTHERLY OF THE CENTERLINE OF BROADWAY, 75.5 FT. EASTERLY OF THE NORTHERLY LANES ALONG PCH AND 3.3 FT. NORTHWESTERLY OF THE SOUTHWESTERLY END OF THE GUARD RAIL ALONG THE BRIDGE. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEVATION: 10.256' (NAVD '88 LEVELED 2005 ADJUSTMENT 1995)



DIGALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4333 TWO WORKING DAYS BEFORE YOU DIG



JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com

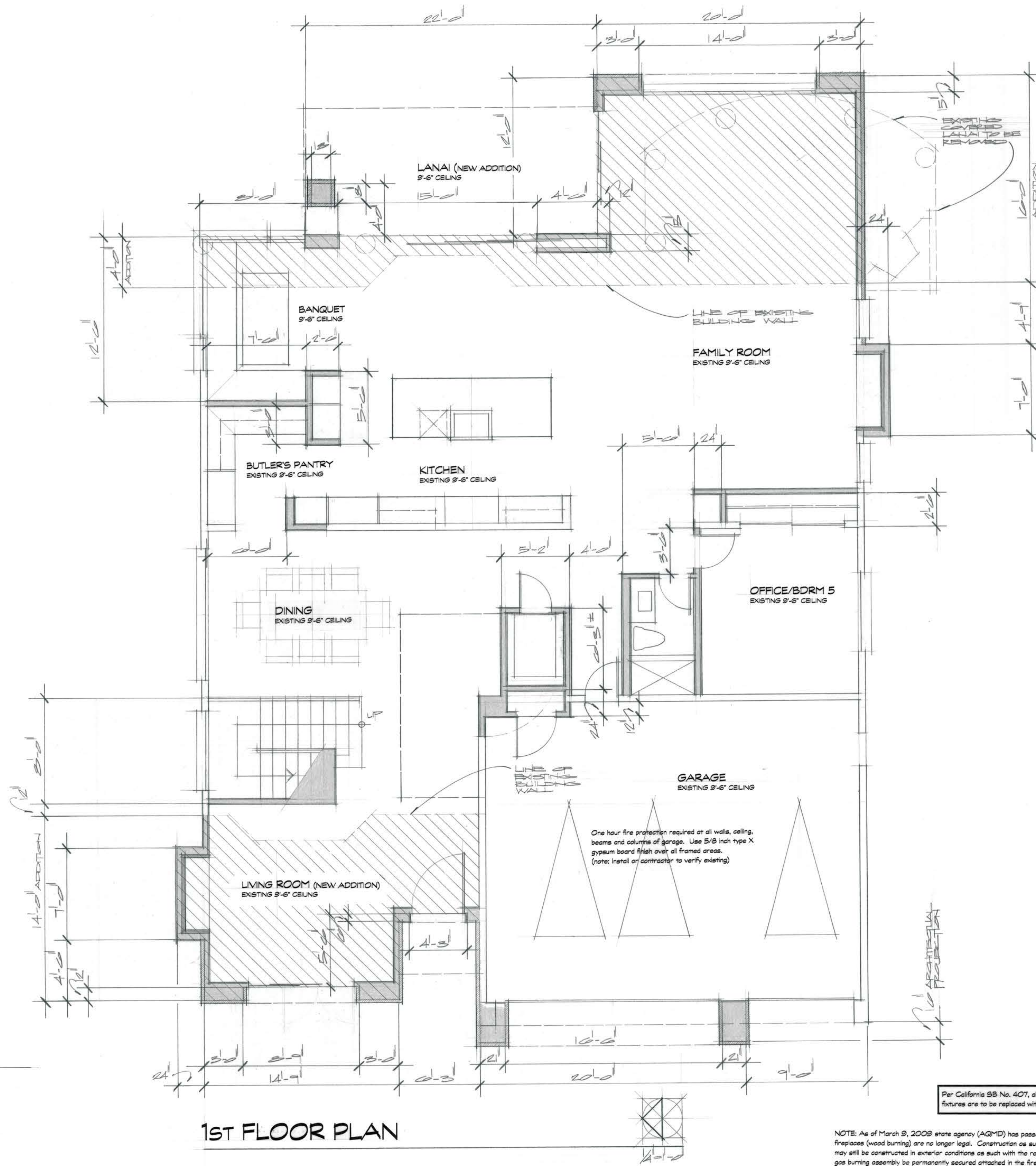
DESIGNED: D.R. SCALE: 1"=10'
DRAWN: R.H. DATE: 12/20/19
CHECKED: D.R. JOB NO. 19-2399
PREPARED UNDER THE DIRECTION OF:
DANIEL RUBIO P.L.S. 8239 DATE

MR. ANGEL DEL VILLAR

TOPOGRAPHY
16842 MARINA BAY DRIVE

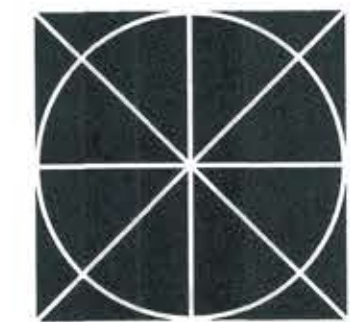
HUNTINGTON BEACH CALIFORNIA

DWG. NO. 19-2399-EX SHEET NO. 1 OF 1 REV. 0



DEL VILLAR RESIDENCE
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 ARCHITECT
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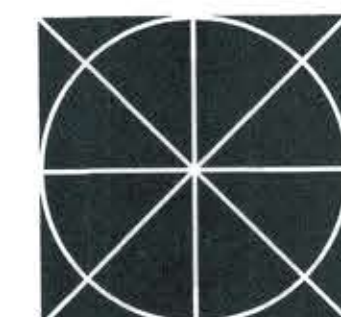


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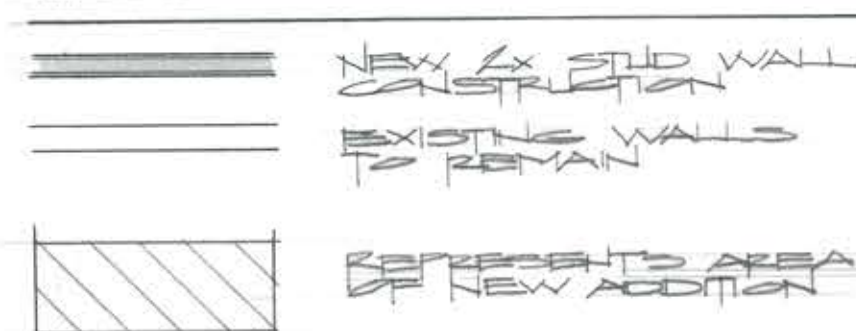


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2ND FLOOR PLAN



EAST ELEVATION

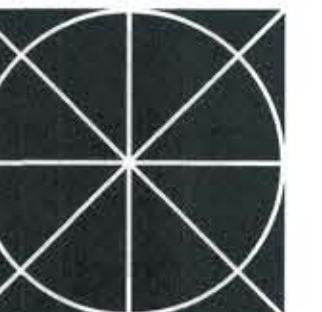


WEST ELEVATION

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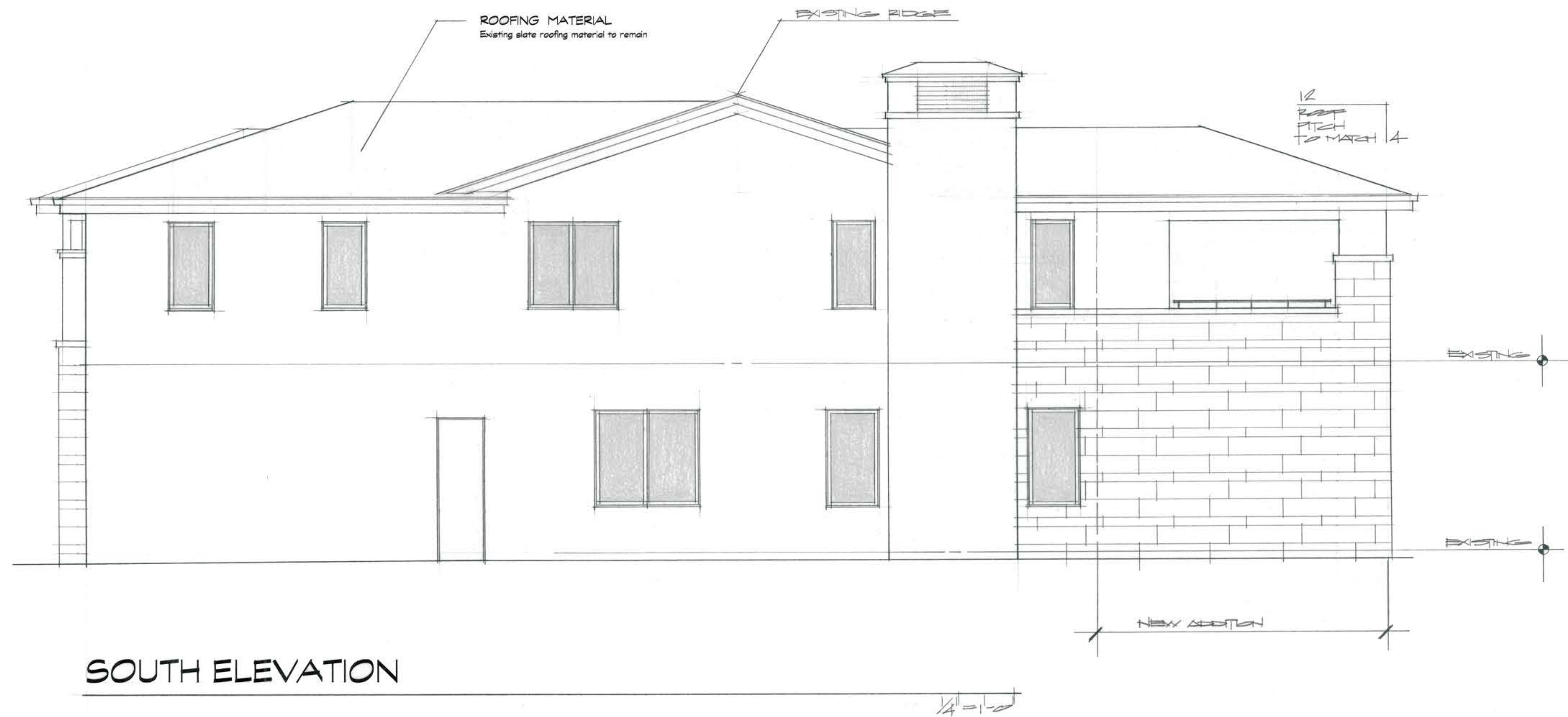
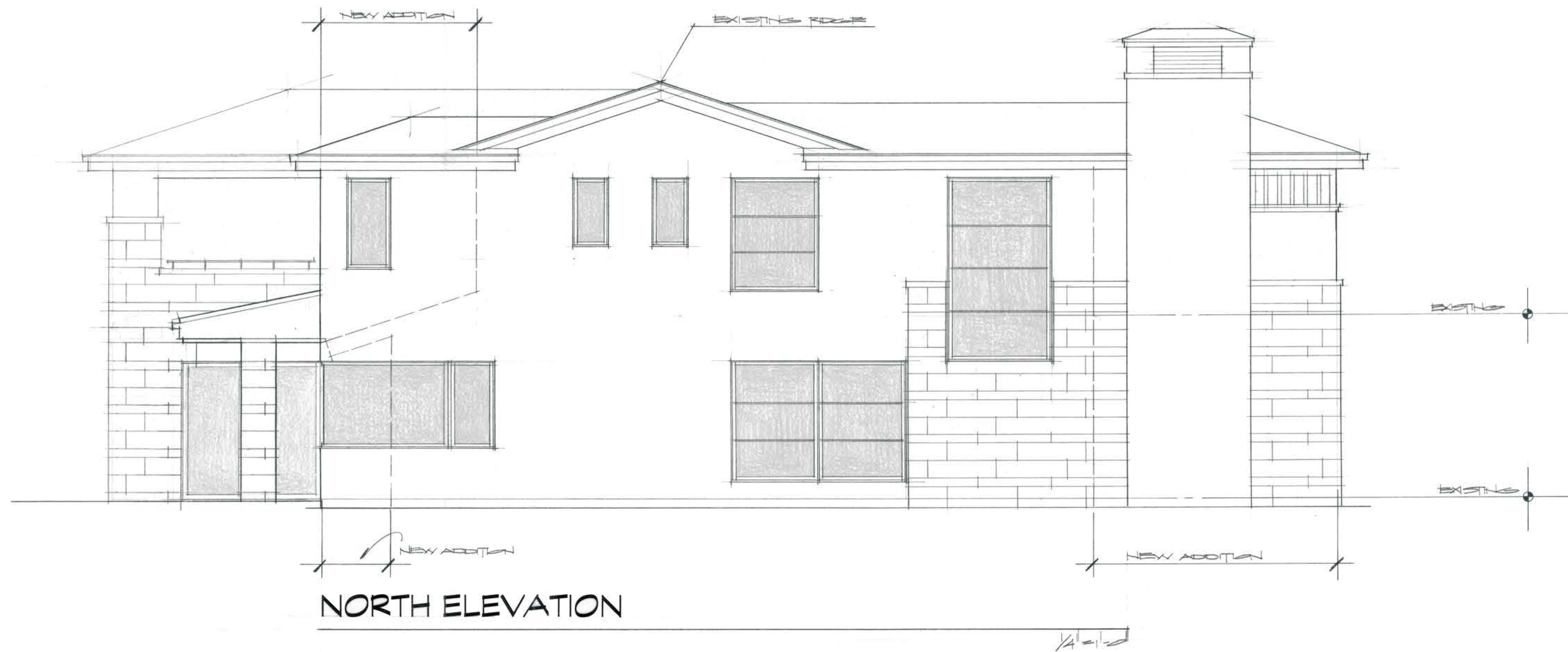
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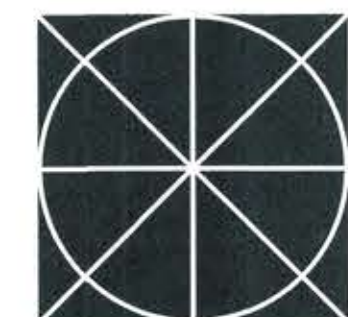
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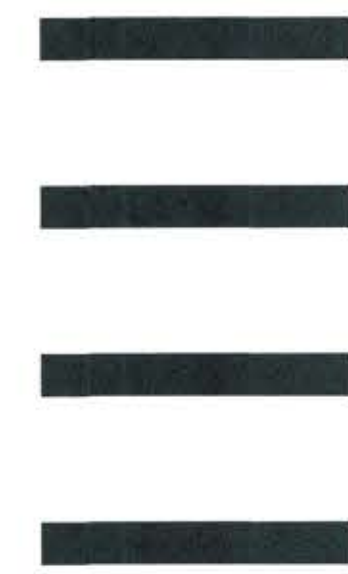
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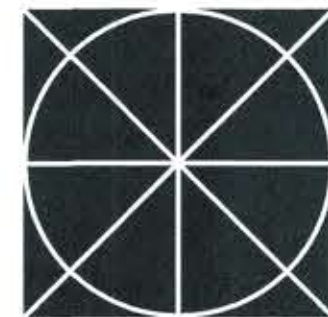


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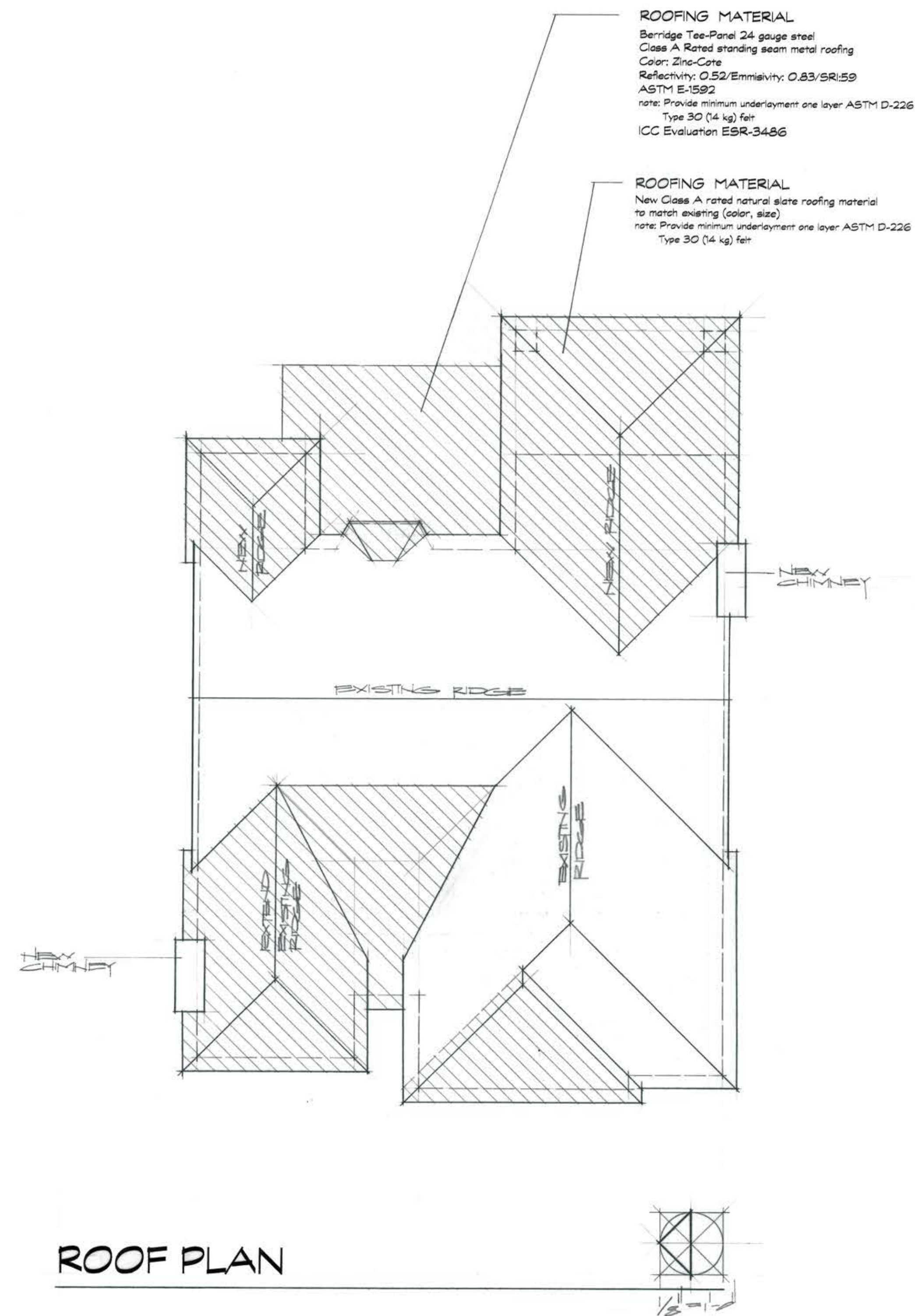
JEFFREY A. DAHL
ARCHITECT






11/15/09

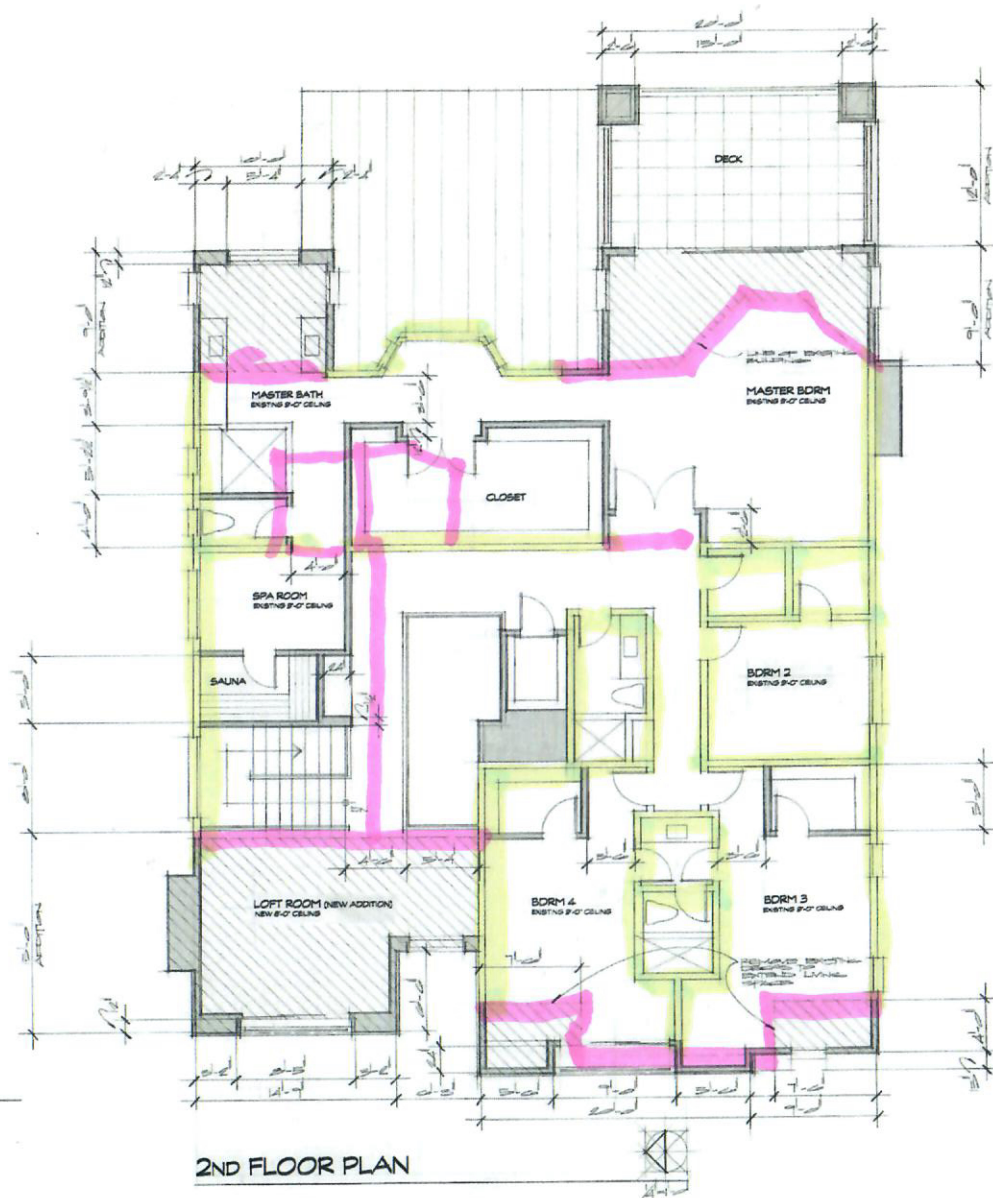
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WALL SCHEDULE

	NEW EXTERIOR WALL
	EXISTING WALL TO REMAIN
	EXTERIOR AREA OF NEW ADDITION



291



TO REMAIN

148



REMOVED

DEL VILLAR RESIDENCE
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date 1/26/17

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A2