



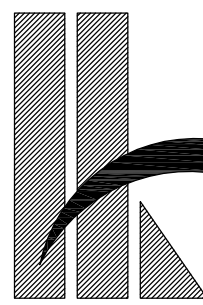
FRONT RENDERING



REAR RENDERING

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HANNOUCHE
ARCHITECTS
20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
PROJECT # 2018025 DATE: 11/06/19

Do Residence at 16291 Typhoon Lane

TRINIDAD ISLAND IN HUNTINGTON BEACH, CA

LIEM AND ANH DO
16291 Typhoon Lane
Huntington Beach, CA 92642

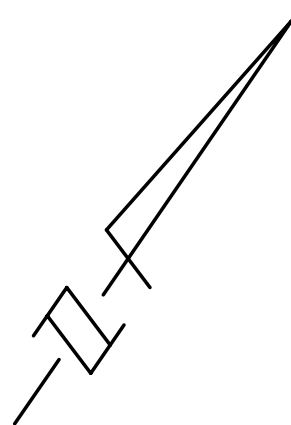
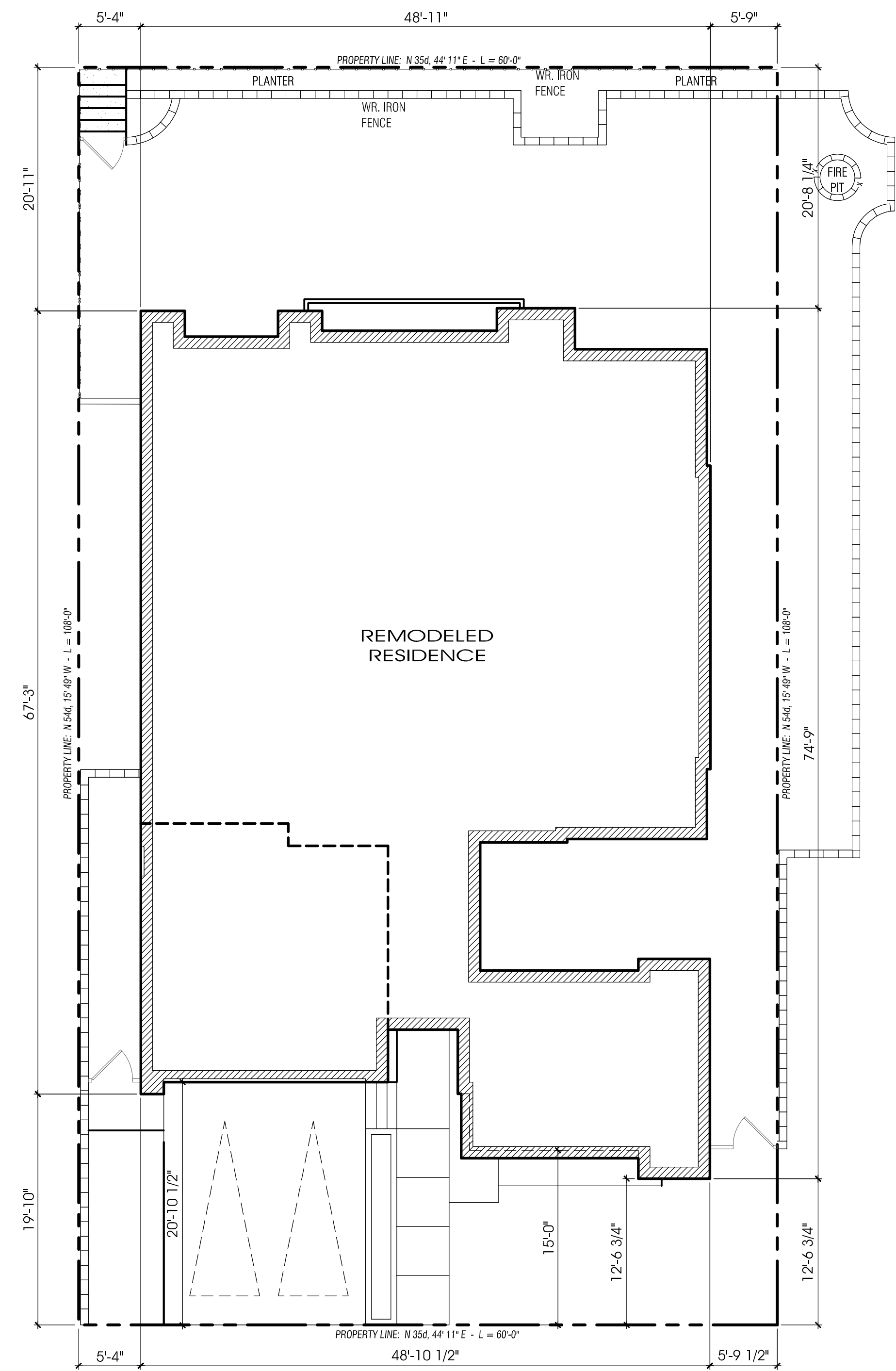
SITE INFORMATION

ADDRESS: 16291 TYPHOON LANE, HUNTINGTON BEACH, CA 92647
HOMEOWNERS: LIEM & ANH DO
LOT SIZE: 6,483 SF

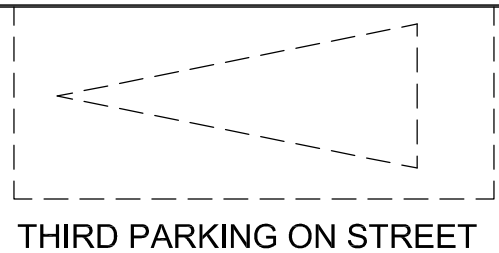
APN# 178 731 13
TRACT# 8636, LOT # 22

ZONING MATRIX

SUBJECT	CODE	REQUIRED	PROPOSED
LOT COVERAGE	210.06	50% max (3,241 sf)	49% (3,211 sf)
FRONT SETBACK	210.06	15 feet	15 feet
SIDE SETBACKS	210.06	5 feet	5 ft 4 in
REAR SETBACK	210.06	10 feet	20 ft 8 in
BLDG HEIGHT	210.06	35 feet	30 feet
GARAGE SETBACK	210.06	20 feet	20 ft 10 in



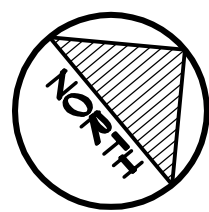
TYPHOON LN



PROPOSED SITE PLAN

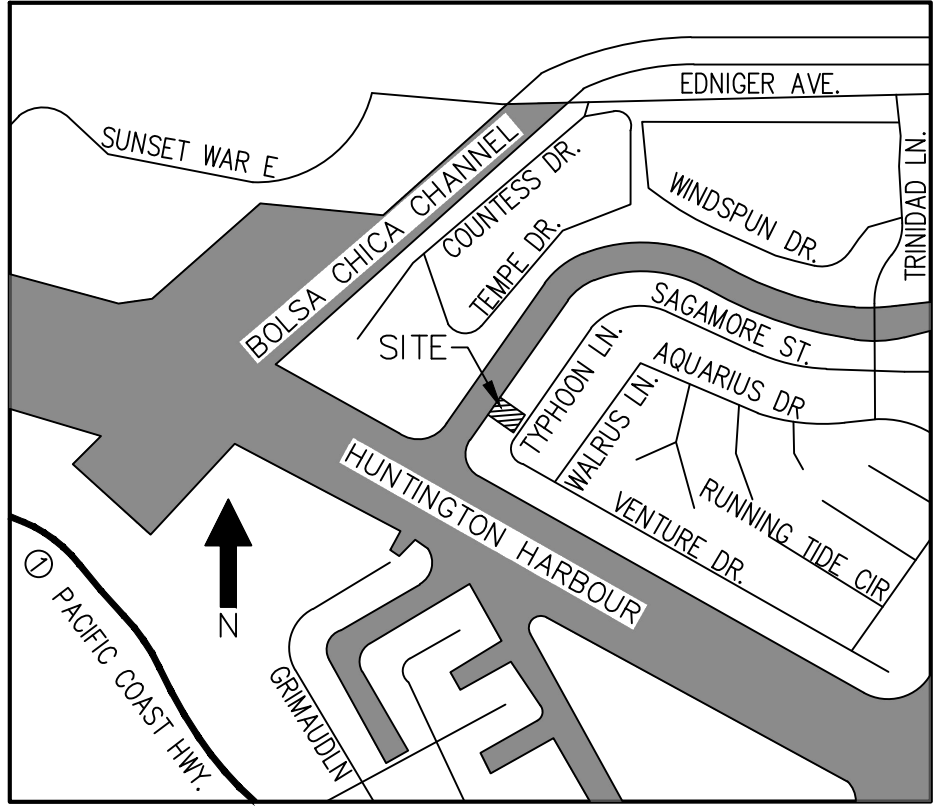
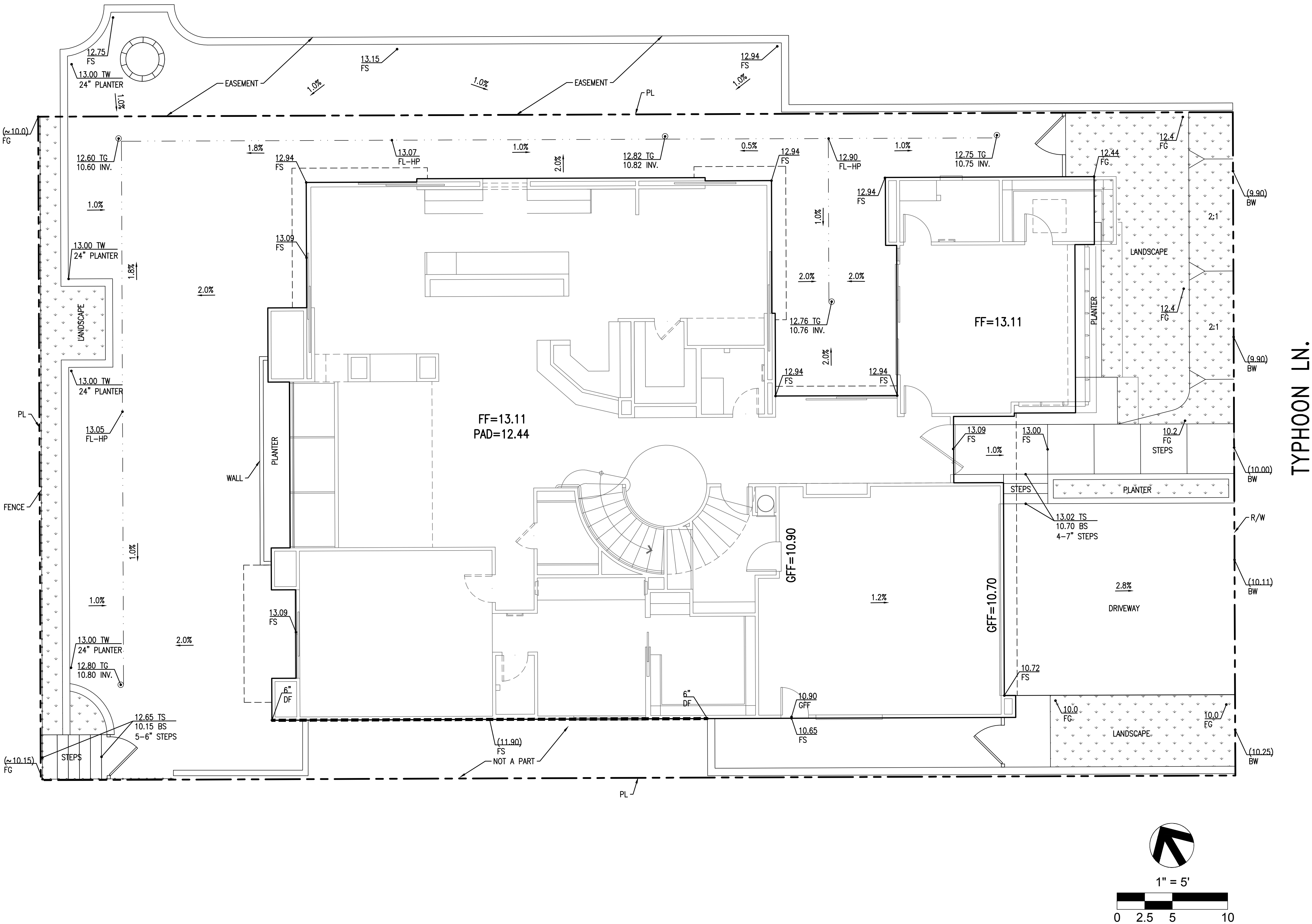
DO RESIDENCE

HUNTINGTON BEACH, CA



SITE PLAN

CONCEPTUAL GRADING PLAN
16291 TYPHOON LANE
HUNTINGTON BEACH, CALIFORNIA



VICINITY MAP
N.T.S.

ABBREVIATIONS:

CL	CENTER LINE
AC	ASPHALT CONCRETE
CMU	CONCRETE MASONRY UNIT
DWY	DRIVEWAY
EA	EACH
EG	EXISTING GROUND
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
MIN	MINIMUM
NTS	NOT TO SCALE
P/L	PROPERTY LINE
PROP.	PROPOSED
R/W	RIGHT OF WAY
RET	RETAINING
SF	SQUARE FEET
SW	SIDEWALK
TC	TOP OF CURB
TF	TOP OF FOOTING
TRW	TOP OF RET. WALL
TW	TOP OF WALL
TYP	TYPICAL

LEGEND

---	FLOWLINE
---	CENTERLINE
---	DAYLIGHT LINE
---	TRACT BOUNDARY / RIGHT-OF-WAY LINE
---	LOT LINE
---	EX. FENCE
---	EX. STORM DRAIN LINE
---	PROP. STORM DRAIN
---	CATCH BASIN / LOCAL DEPRESSION
---	JUNCTION STRUCTURE
---	EX. WATER LINE
---	PROP. WATER LINE
---	FIRE HYDRANT
---	WATER VALVE
---	EX. SEWER LINE
---	PROP. SEWER LINE
---	MANHOLE
---	CLEANOUT
---	PROP. RETAINING WALL
---	EX. WALL
---	EX. CONTOUR LINE
---	EX. POWER POLE
---	SLOPE (2:1 UNLESS OTHERWISE INDICATED)

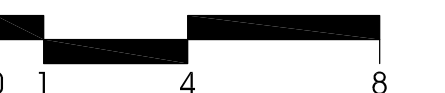
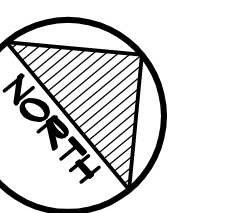
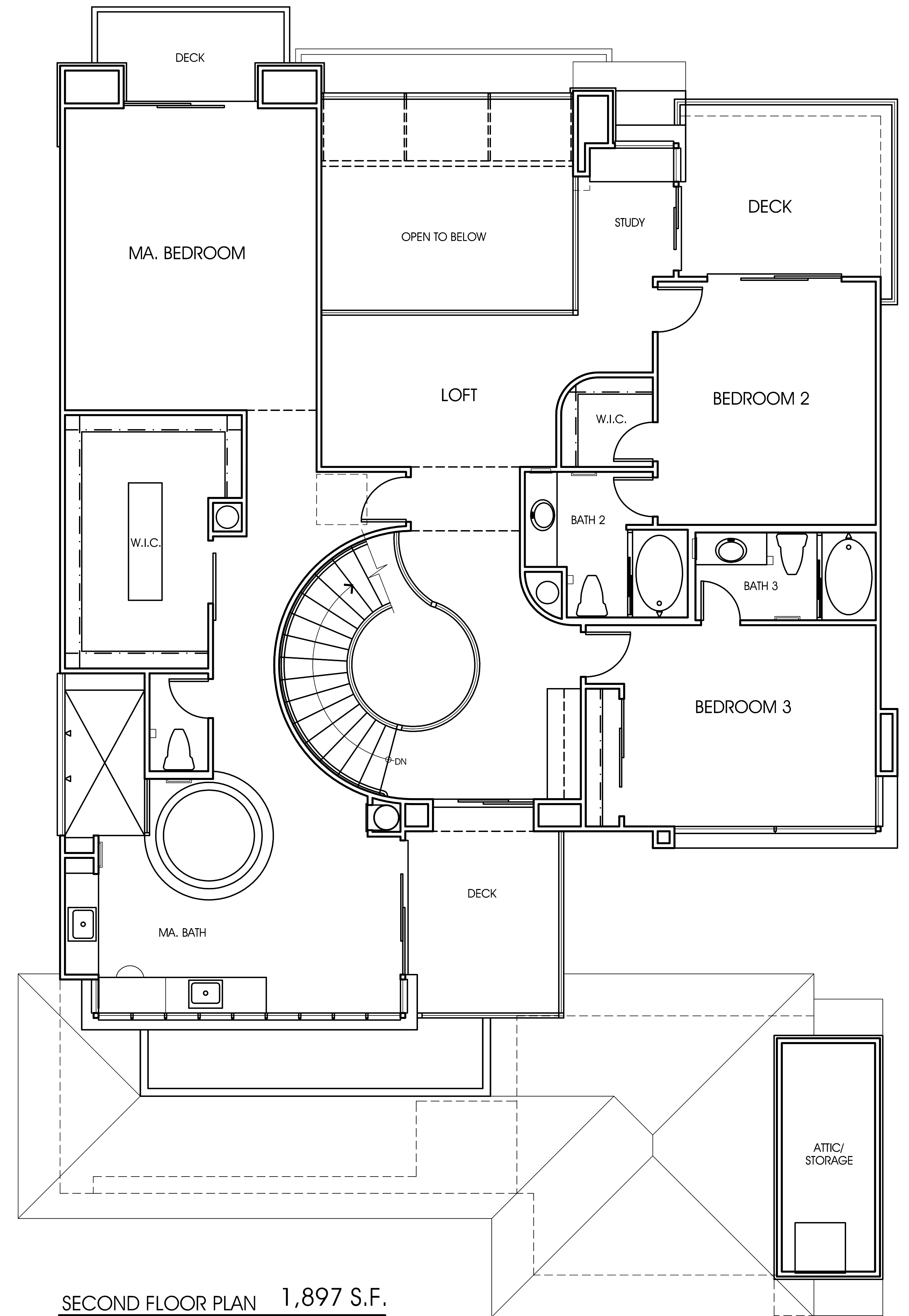
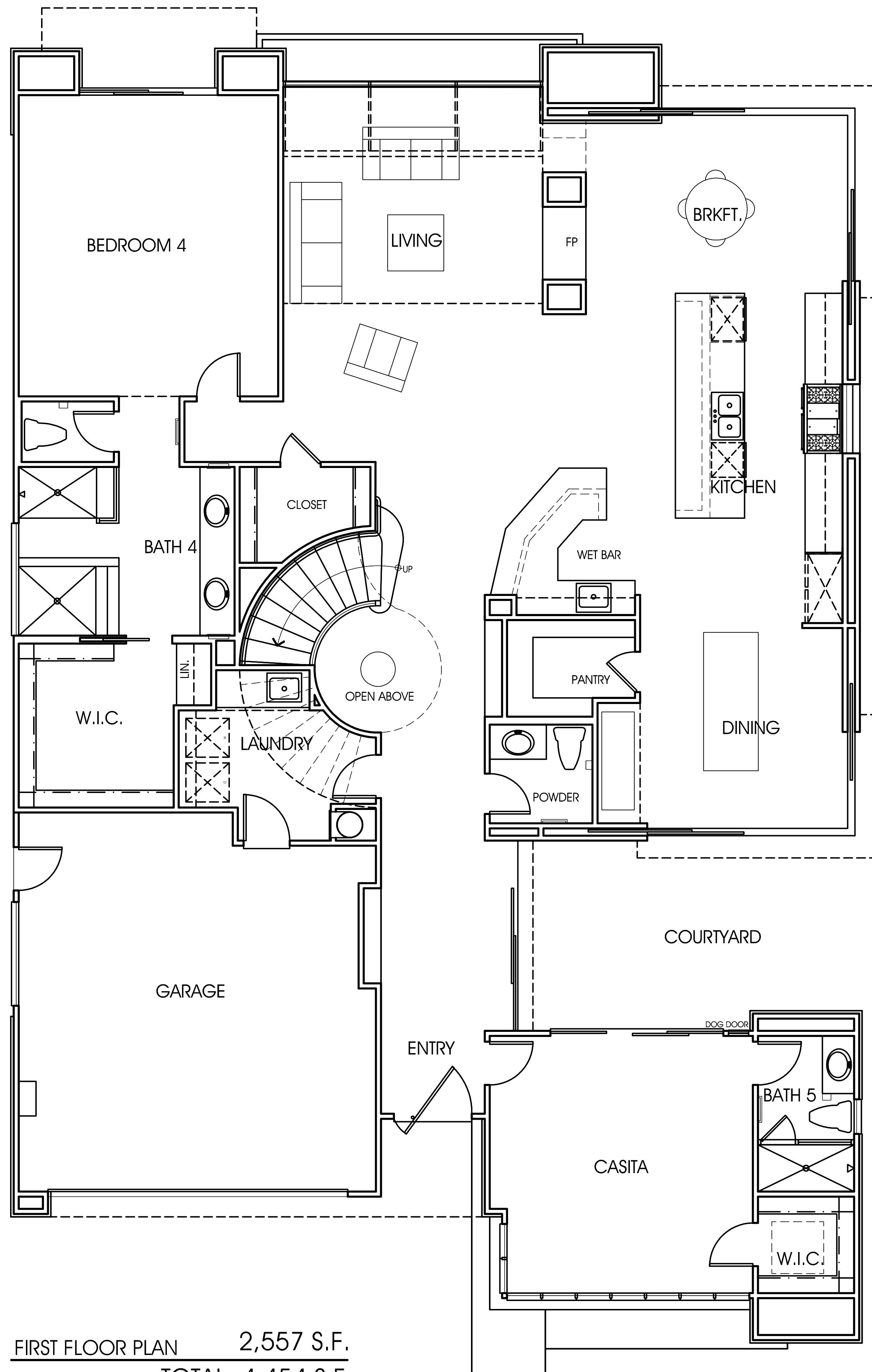


PLAN PREPARED BY:
MFKESSLER
CIVIL ENGINEERING
LAND PLANNING AND SURVEYING
ONE VENTURE STE, 130
IRVINE, CA 92618
(949) 339-5330

PLAN PREPARED FOR / DEVELOPER:
HANNOUCHE ARCHITECTURE
NICOLE HANNOUCHE
20250 SW ACACIA STREET #145
NEWPORT BEACH, CA 92660

CITY OF HUNTINGTON BEACH
CONCEPTUAL GRADING EXHIBIT
16291 TYPHOON LANE
HUNTINGTON BEACH, CA 92649

SHEET
1 OF 1

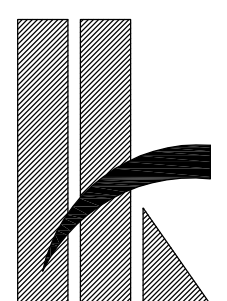


DO RESIDENCE

HUNTINGTON BEACH, CA

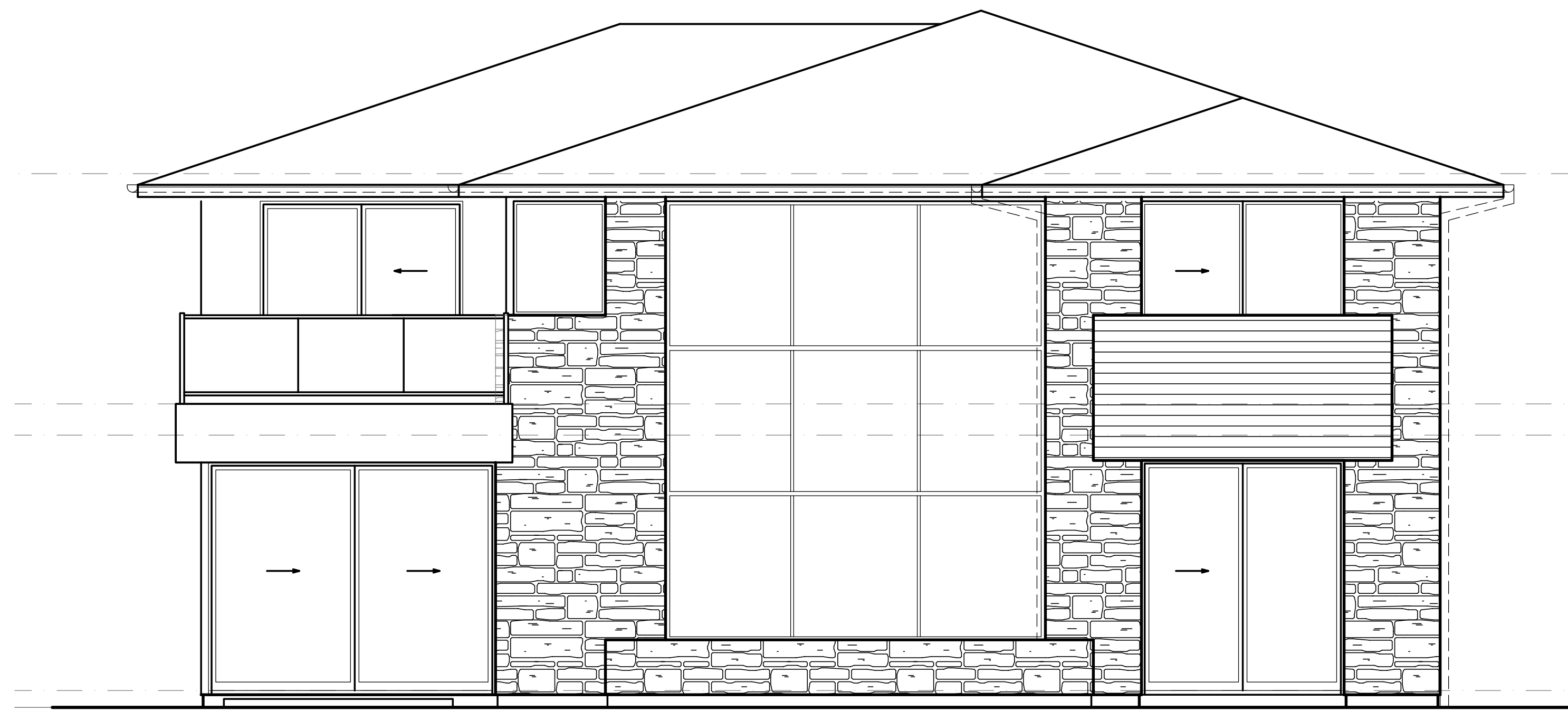
FIRST & SECOND FLOOR PLAN

LIEM AND ANH DO
16291 Typhoon Lane
Huntington Beach, CA 92642



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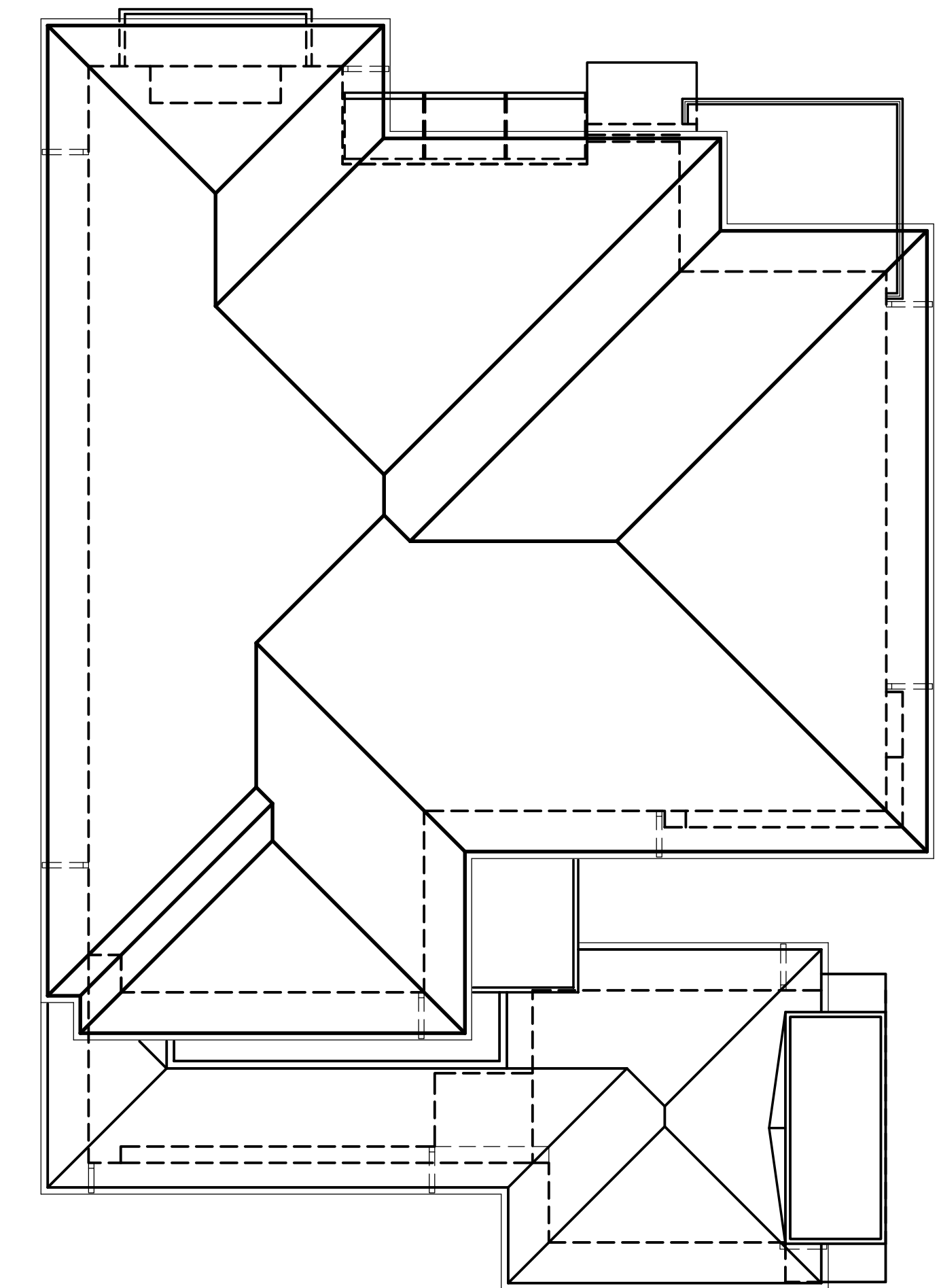
949.261.2070
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 2018025 DATE: 11/06/19



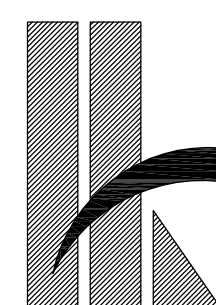
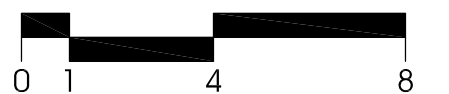
REAR ELEVATION



FRONT ELEVATION



ROOF PLAN 1/8" = 1' scale



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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 2017010 DATE: 11/06/19

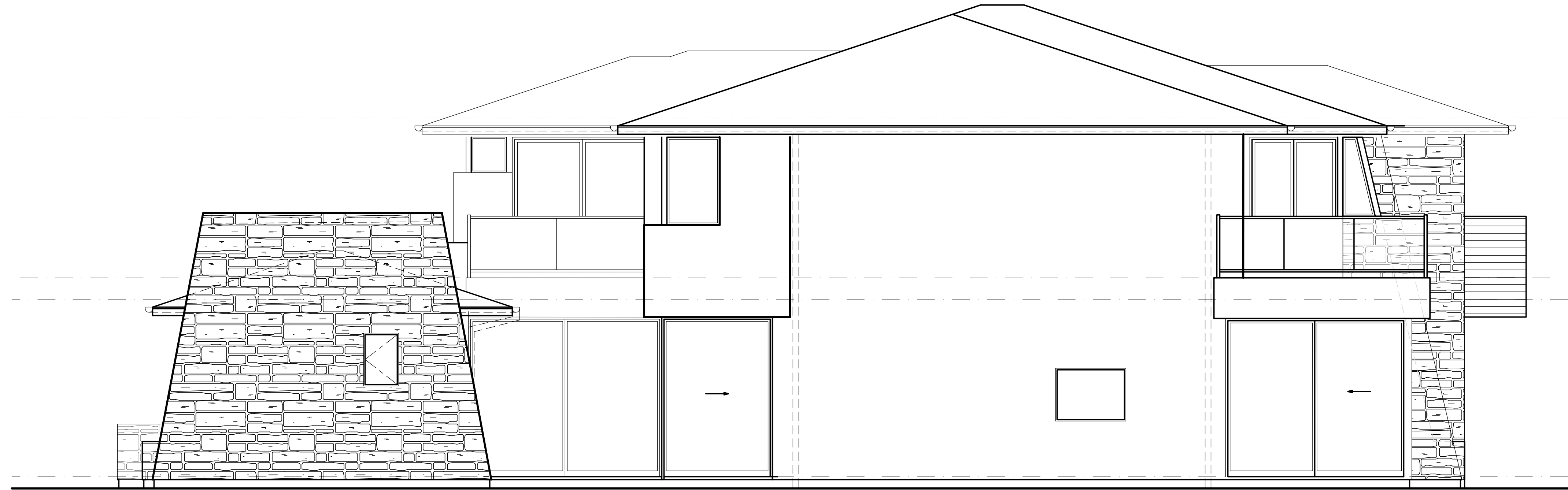
DO RESIDENCE

HUNTINGTON BEACH, CA

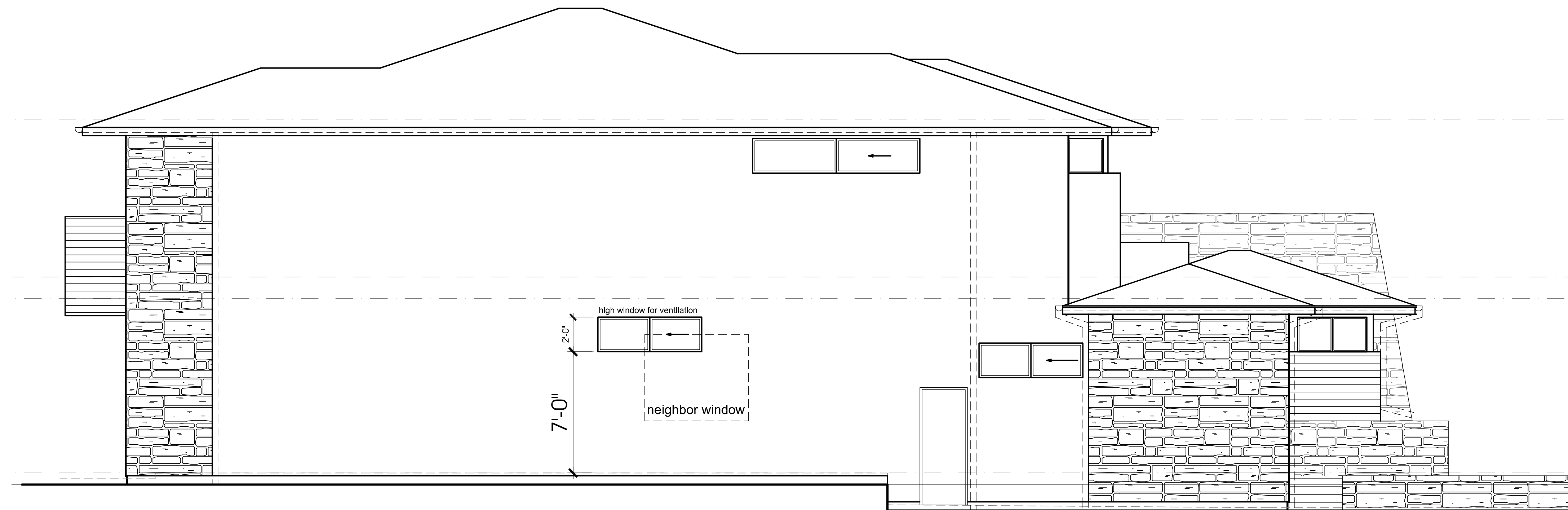
EXTERIOR ELEVATIONS - 1

LIEM AND ANH DO

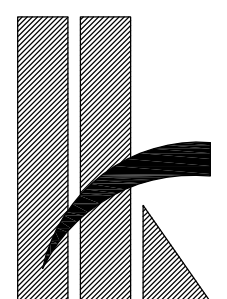
16291 Typhoon Lane
Huntington Beach, CA 92642



RIGHT ELEVATION



LEFT ELEVATION



HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660

949.261.2070

PROJECT # 2018025 DATE: 11/06/19

DO RESIDENCE

HUNTINGTON BEACH, CA

EXTERIOR ELEVATIONS - 2

LIEM AND ANH DO

16291 Typhoon Lane
Huntington Beach, CA 92642