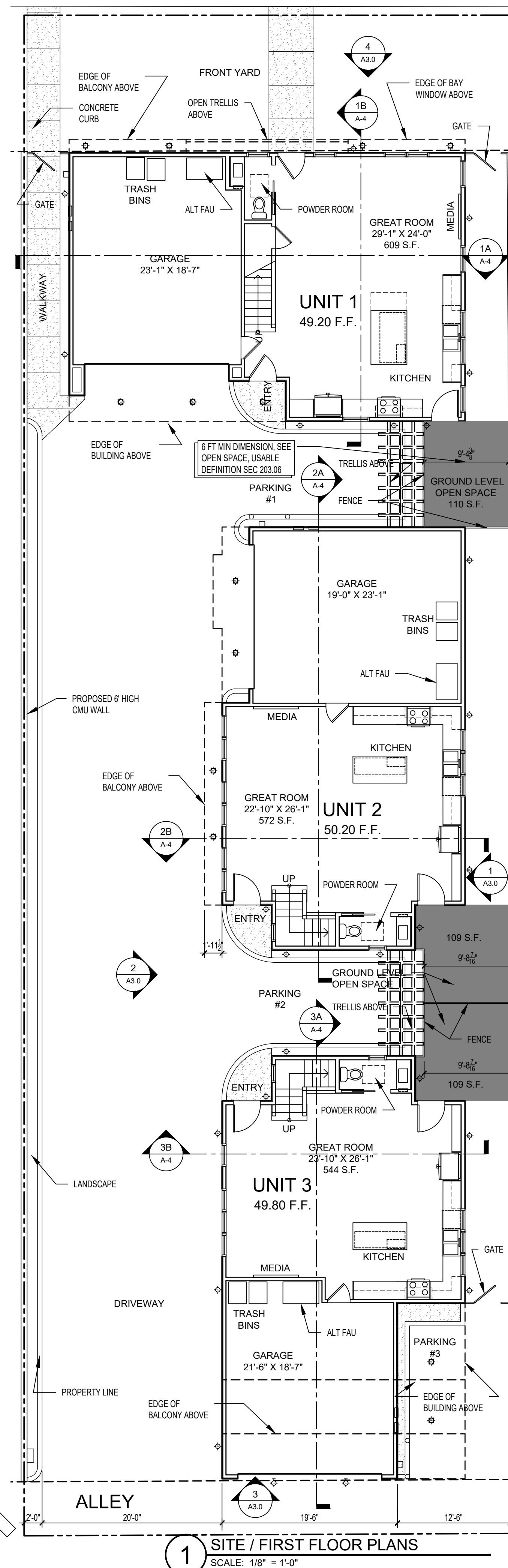
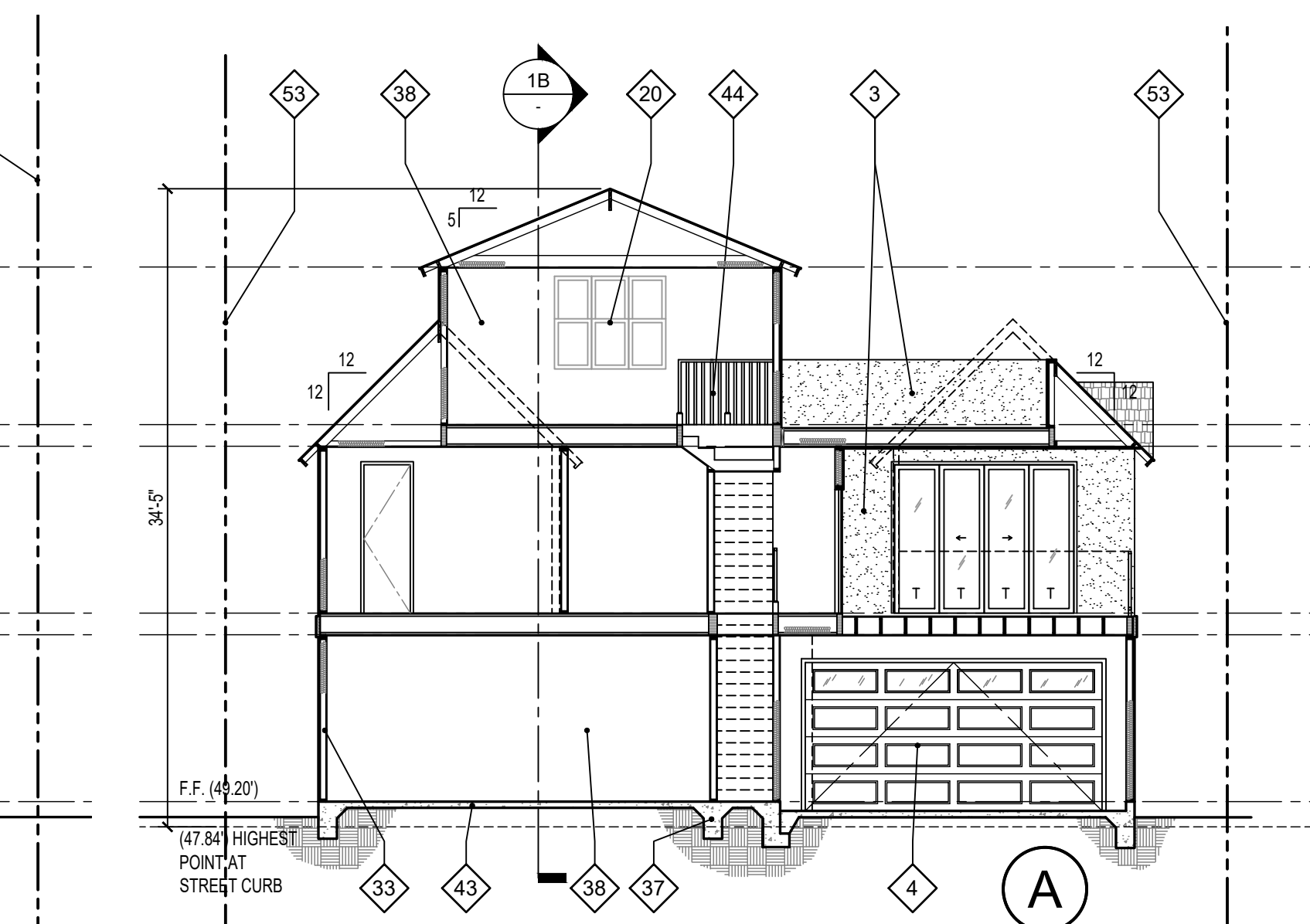
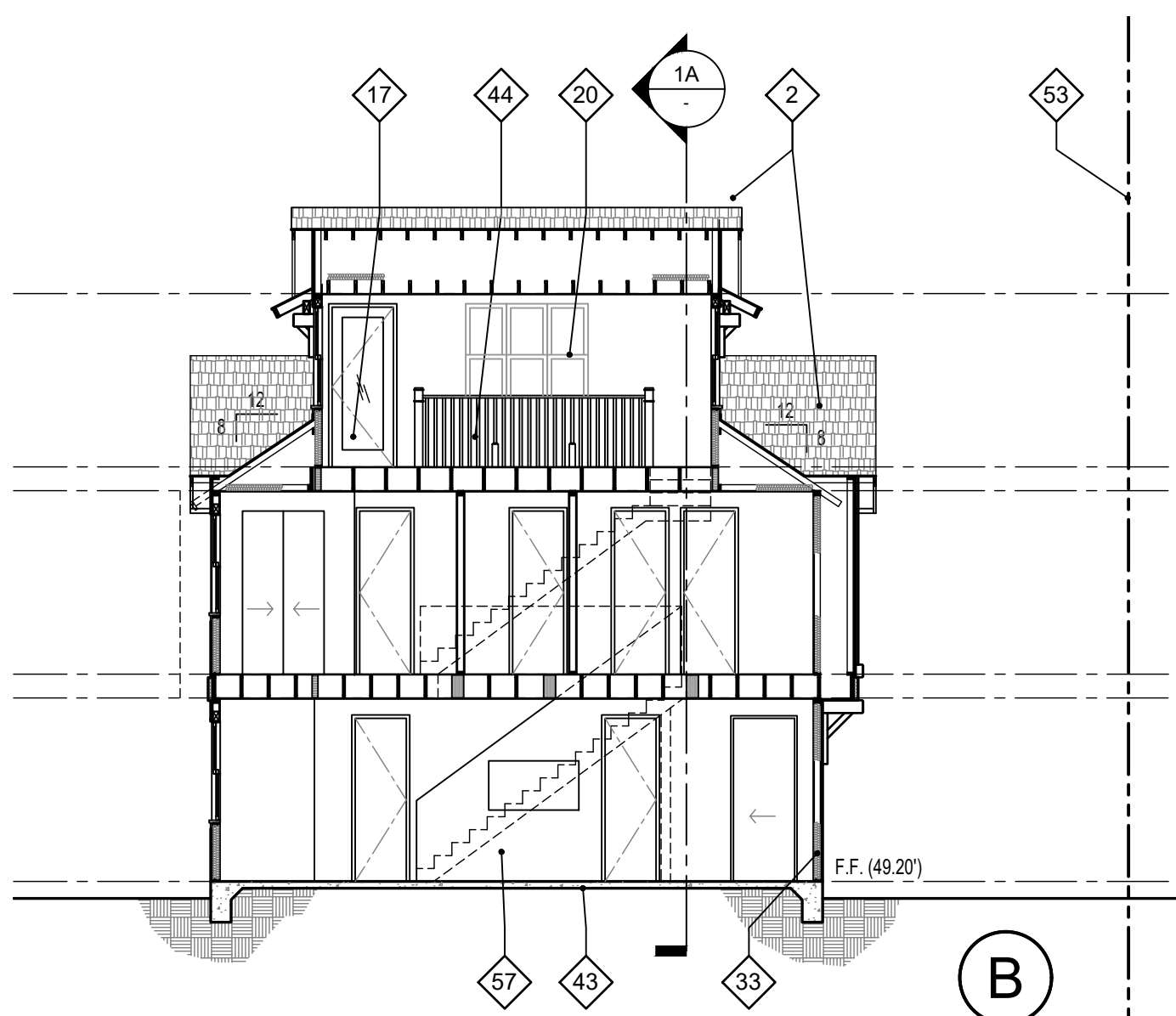




Architectural elevation drawing of Unit 3, showing a three-story structure with a garage on the ground floor and two levels of residential units above. The drawing includes various annotations for roof types, plate tops, and floor levels. Key features include an alternate metal roof on the uppermost section, a 3rd floor roof deck, and a 2nd floor finish level. The ground floor features a large garage door and a smaller entrance. The drawing is marked with dimensions and callouts for specific structural elements.

A-3

	MATERIAL	COLOR
UNIT 1	MERLEX STUCCO 2020 FINISH	GLACIER WHITE P-100 (A BASE)
	TRIM COLOR: EAVES, WINDOM TRIM, DOOR TRIM, COLUMNS, BEAMS DUNN EDWARDS: SEM-GLOSS	WHITE DEW 380
	BOARD & BATTEN SIDING DUNN EDWARDS: LOW SHEEN	CANADIAN BLUE DE 6340
	GARAGE DOORS DUNN EDWARDS: SEM-GLOSS	WHITE DEW 380
	BOARD & BATTEN PORCH SOFFITS(S) DUNN EDWARDS: LOW-SHEEN	CANADIAN BLUE DE 6340
	FRONT GATE COLOR 1/8" VERTICAL, CEDAR 1/2" GALV. PIPE SYSTEM DUNN EDWARDS: SOLID STAIN	ASH GREY DE 45, SOLID COLOR OR ACRYLIC STAIN
	WOOD FENCING HORIZONTAL, 1/8" CEDAR 1/2" GALV. PIPE SYSTEM DUNN EDWARDS: SOLID STAIN	ASH GREY DE 45, SOLID COLOR OR ACRYLIC STAIN
	GUTTERS & DOWNSPOUTS CUSTOM-BUILT METALS 5" HALF-ROUND GUTTERS 3" ROUND DOWNSPOUT	ZINCALUME PLUS
	COMPOSITION ROOF GAF-ELX TIMBERLINE	WEATHERED WOOD
	FRONT DOOR COLOR DUNN EDWARDS: SEM-GLOSS	BLACK DEA 187 & RED INK DEA 151
	METAL ROOF ALTERNATE PCR LOWER ROOF ELEMENTS/ CUSTOM-BUILT METALS TITAN SL 1750	ZINCALUME PLUS
	COMPOSITION ROOF ALTERNATE GAF-ELX TIMBERLINE COOL SERIES	COOL WEATHEREDWOOD



2 UNIT 2 SECTIONS

- 1 —STANDING SEAM METAL—
ROOF—
- 2 COMPOSITION SHINGLE
ROOF BY: GAF ROOFING
'TIMBERLINE 40' ICC-ES
ESR-1475 OR EQUAL
- 3 EXTERIOR PLASTER
WITH CONTROL
JOINTS PER CODE
- 4 SECTIONAL OVERHEAD
GARAGE DOOR
- 5 SURFACE MTD LIGHT
FIXTURE
- 6 METAL GUTTER
(OPTIONAL)
- 7 12X30 TRIM W/LIGHT
- 8 —SKYLIGHT—
- 9 SHOWER
- 10 ENTRY DOOR, 3'-0" X 8'-0"
THERMA-TRU FIBERGLASS
DOOR WITH 6" WIDE
ENTRY DOOR TRIM
- 11 FRENCH DOOR
- 12 —DORMER—
- 13 WINDOW TRIM
- 14 2 x 6 RAKE FASCIA, TYP.
- 15 6X8 TRELLIS AND
PROTECTING BEAM
- 16 METAL DOWNSPOUT
- 17 BATTEN BOARD SIDING
- 18 WOOD TRIM
- 19 KNEE BRACE
- 20 WINDOW - SINGLE
HUNG
- 21 SLIDING WINDOW
- 22 SLIDING DOORS
- 23 METAL FLASHING
- 24 EXTERIOR DOOR WITH
LOUVER
- 25 CONTROL JOINT
- 26 TRASH BIN
- 27 COLUMN / POST
- 28 1X HEADER TRIM
- 29 FLOOR LINE TRIM
(OPTIONAL)
- 30 FIXED WINDOW
- 31 WEEP SCREED
- 32 WOODEN STAIRS
- 33 INSULATION WHERE
OCCURS, SEE SHEET
T-24
- 34 ROOF DIAPHRAGM
SHEATHING
- 35 2X BLOCKING
- 36 4X4 HEAVY TIMBER @
12" O.C. ±
- 37 CONCRETE FOOTING
- 38 PAINTED 5/8" TYPE 'X'
GYP BD
- 39 6' HIGH FENCE
- 40 —FAUX VENT—
- 41 VINYL WEEP SCREED
PER CODE
- 42 12" ROOF EAVE
- 43 CONCRETE SLAB
- 44 42" HIGH GUARDRAIL
- 45 O'HAGIN'S ATTIC VENT
WHERE OCCURS, SEE
ROOF PLAN
- 46 LINE OF 6'-0" HIGH
PRIVACY FENCE
- 47 30" x 30" MIN ATTIC
ACCESS WITH 30" MIN
HEADROOM CRC R807.1
WITH WEATHER STRIPS
TO PREVENT BACK DRAFT
- 48 KITCHEN HOOD VENT
- 49 WATER HEATER VENT

A-4

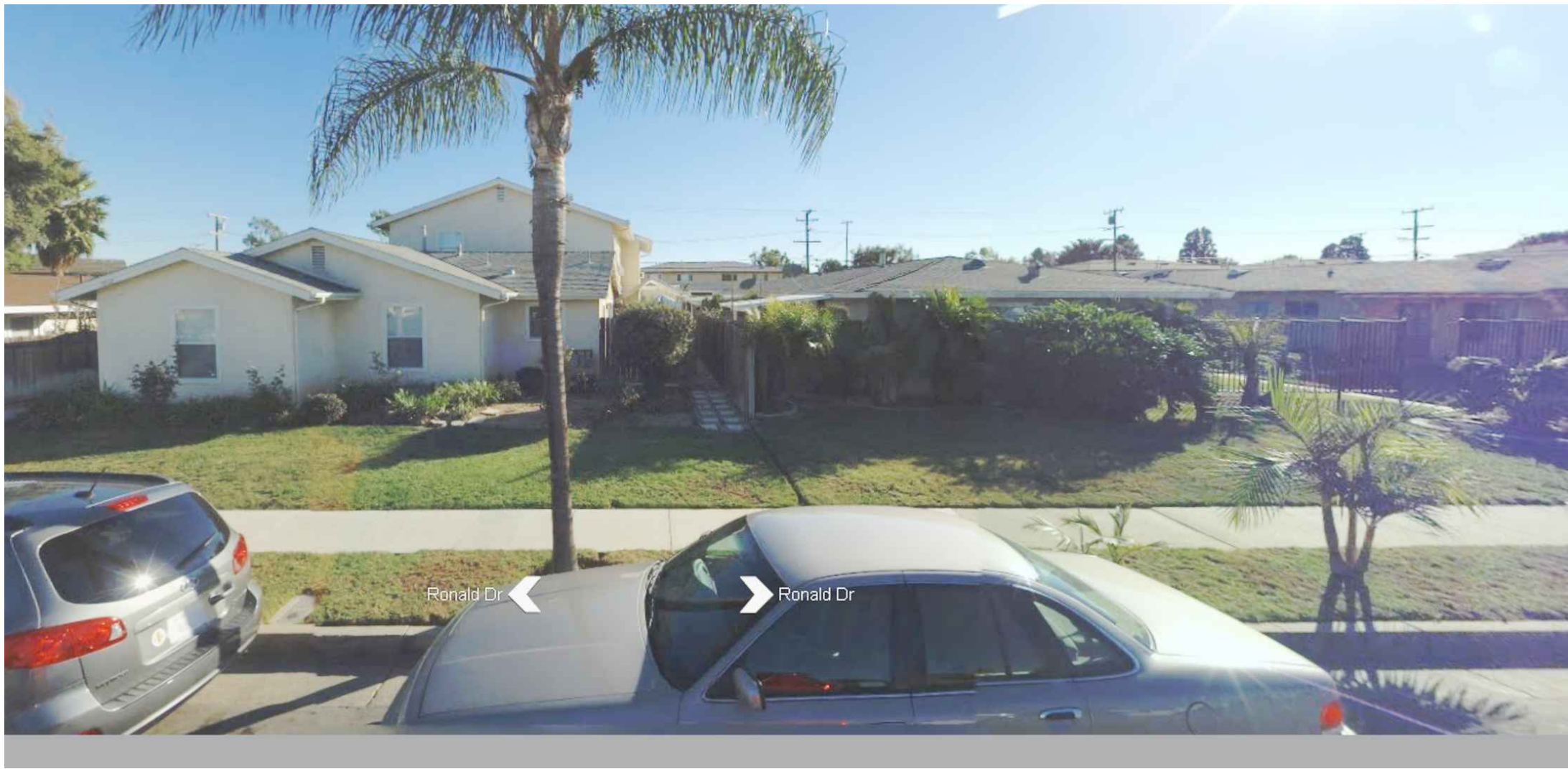
PLOT DATE: November 26, 2019 K:\02-1124-001 7852 RONALD AVENUE\CAD\PLANNING SET\A-5 SITE VIEWS.DWG



10 ALLEY VIEW



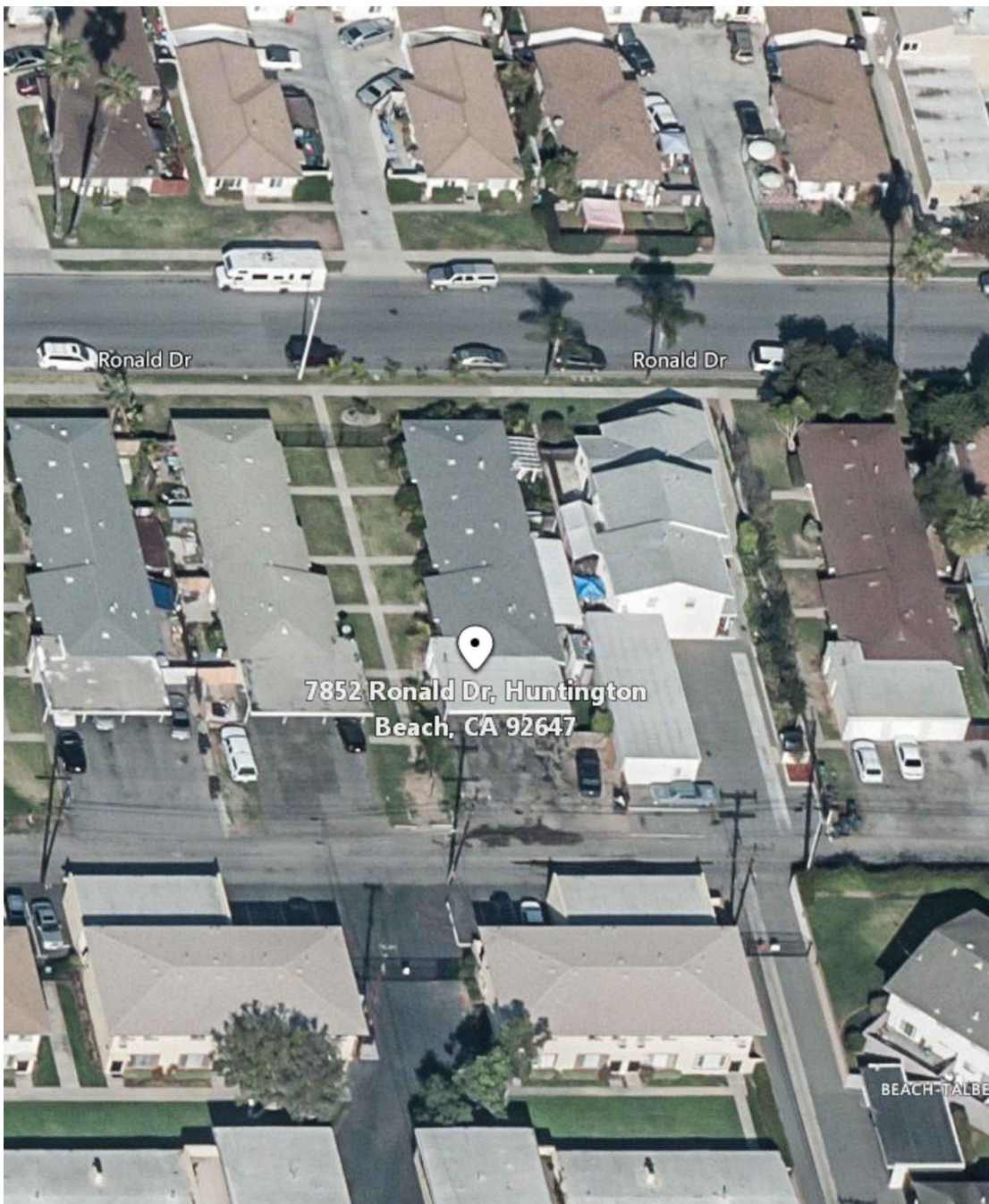
6 ALLEY VIEW



3 STREET VIEW
NEIGHBOR TO THE WEST



9 ALLEY VIEW



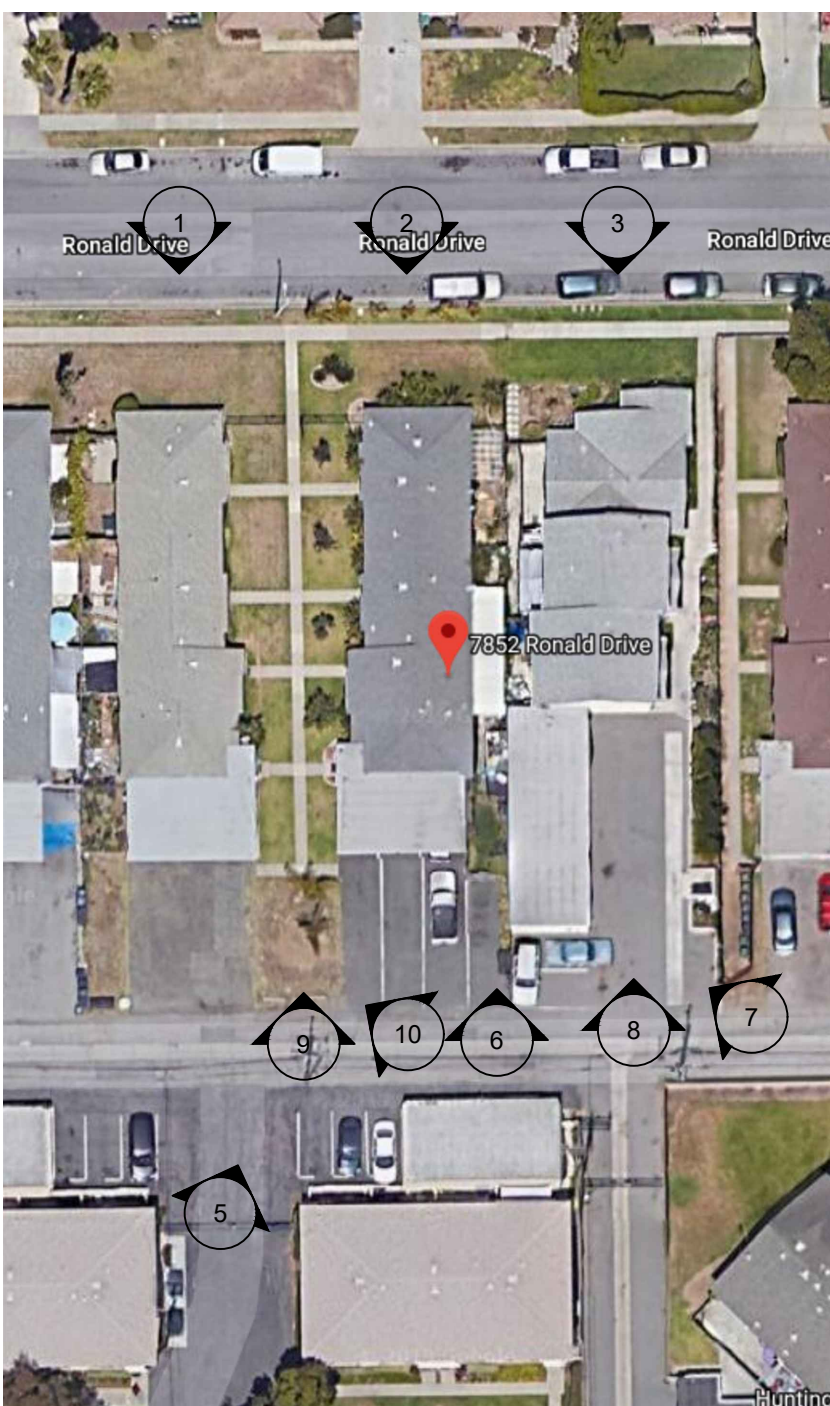
5 AERIAL VIEW
REAR TOP VIEW



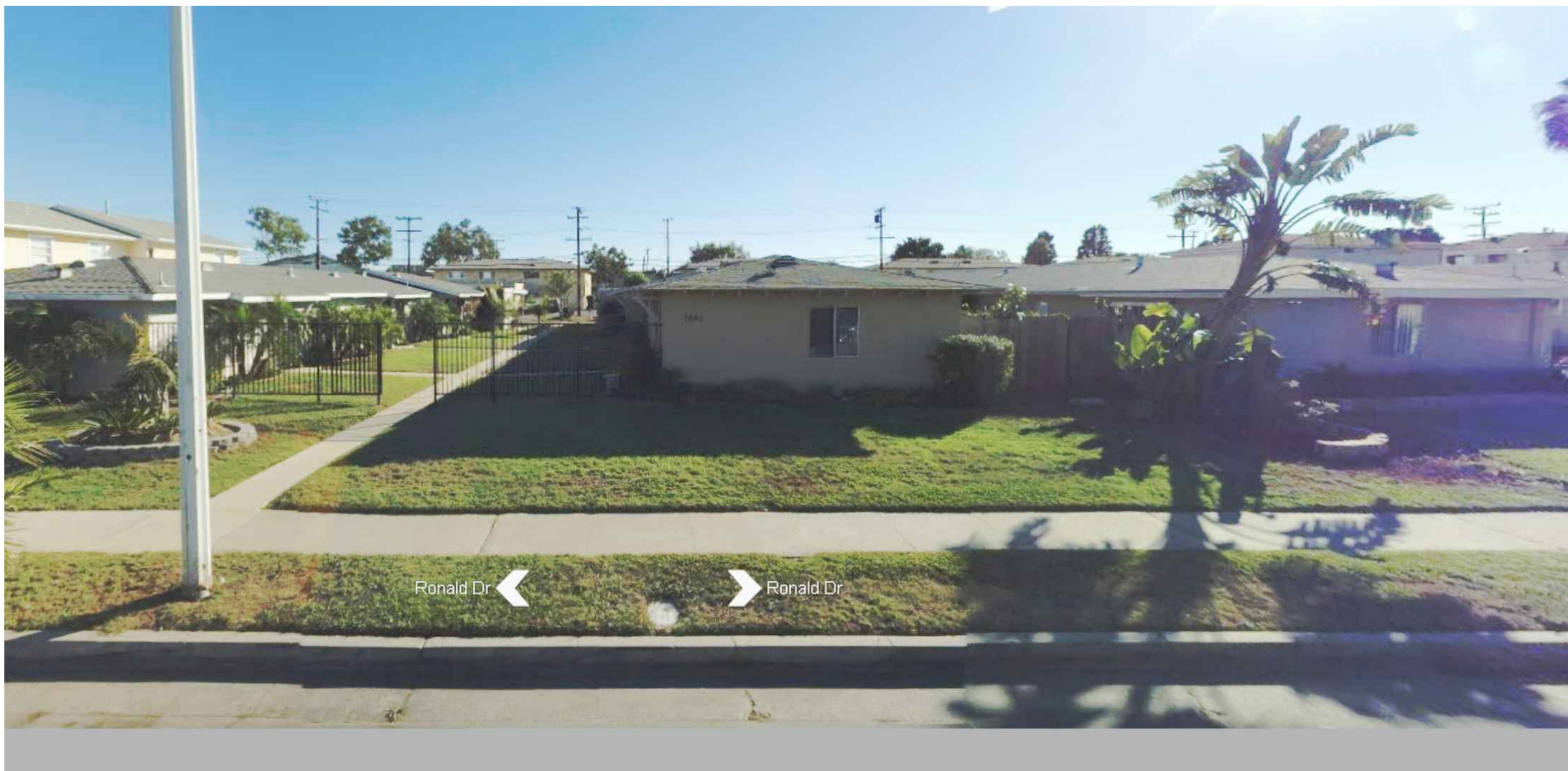
2 STREET VIEW
FRONT VIEW TO SITE



8 ALLEY VIEW



4 AERIAL VIEW
ROOF TOP VIEW



1 STREET VIEW
NEIGHBOR TO THE EAST



7 ALLEY VIEW

Architect :



Bryant Palmer Soto Inc.
Neil Slanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 328-9111
Fax: (310) 325-0271

Builder :

BUILT CUSTOM HOMES, LLC
(714) 587 2565

Project :

7852 RONALD DRIVE
HUNTINGTON BEACH, CALIFORNIA
92647

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SUBMITTALS		
MARK	DATE	DESCRIPTION
	07-08-2019	INITIAL PLANNING REVIEW
	07-22-2019	PLANNING APPLICATION
	11-26-2019	PLANNING APP RE-SUBMITTAL

REVISIONS		
MARK	DATE	DESCRIPTION
	-	-

DO NOT SCALE THE DRAWINGS. SCALES INDICATED ARE FOR RELATIVE SCALE ONLY. DIMENSIONS SHALL GOVERN OVER SCALE.

Stamp

Job No.: 02-1124-001
CADD File: K:\02-1124-001 7852 RONALD AVENUE\CAD\PLANNING SET\A-5 SITE VIEWS.DWG
Project Start Date: 11-01-2018
Drawn By: VL
Checked By: KP
Scale: AS NOTED

Drawing Title

SITE VIEWS

Sheet

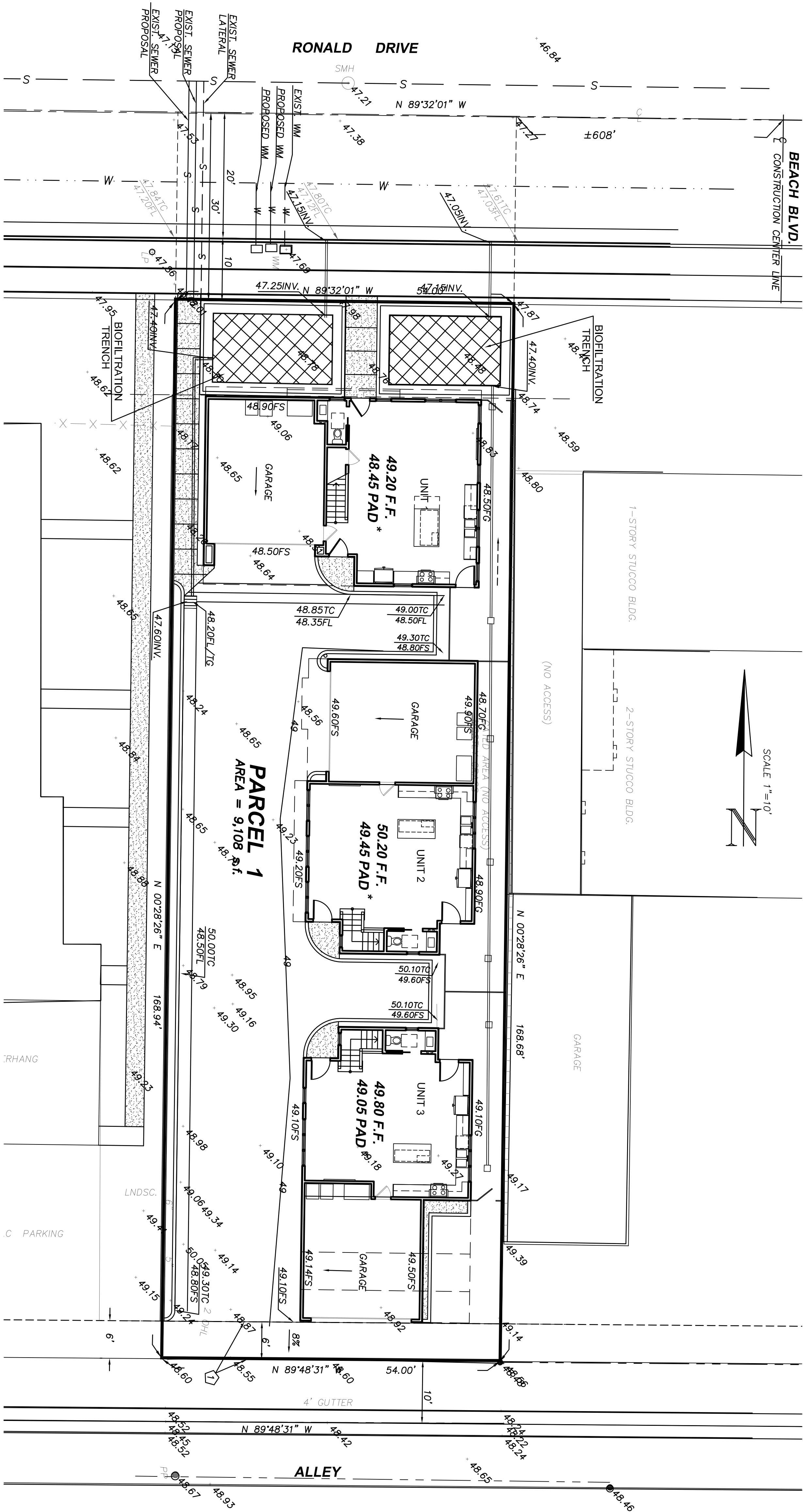
A-5

PLOT: 11-26-2019 PLANNING APPLICATION RE-SUBMITTAL

TENTATIVE PARCEL MAP 2019-129 & PRELIMINARY GRADING PLAN

PURPOSE: CREATE 1 PARCEL
FOR CONDOMINIUM PURPOSES

ROBIN HAMERS, RCE 31720
DATE OF PREPARATION: MAY 2019



SITE ADDRESS:

7852 RONALD DR.
HUNTINGTON BEACH, CA 92647
A.P.N. 165-302-12

AREA SUMMARY

TOTAL AREA = 9,108 S.F.(0.209 ac.) GROSS

PURPOSE STATEMENT

THE PURPOSE IS TO CREATE 1 PARCEL
FOR 3 CONDOMINIUMS

ALL EXISTING BUILDINGS TO BE REMOVED

OWNER

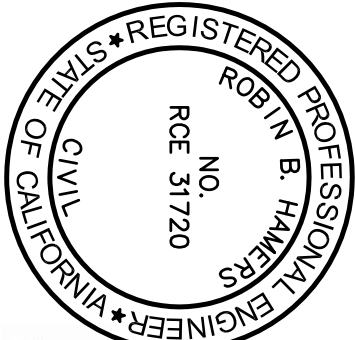
BRETT M. ROTH
7950 YORKTOWN AVE., UNIT 1
HUNTINGTON BEACH, CA 92648

SUBDIVIDER:

ROTH 11TH STREET, LLC
7950 YORKTOWN AVE., UNIT 1
HUNTINGTON BEACH, CA 92648

ENGINEER:

ROBIN B. HAMERS AND ASSOC., INC.
234 E. 17TH STREET, SUITE 205
COSTA MESA, CA. 92627
(949) 548-1192



BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED UPON THE BEARING
BETWEEN HORIZONTAL CONTROL STATION OPS SOUTH AND STATION
65510291, BEING 189°48'04\"/>

LEGAL DESCRIPTION:

LOT 12 OF TRACT NO. 3478, IN THE CITY OF HUNTINGTON BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA,, AS PER MAP RECORDED
IN BOOK 141, PAGE(S) 31 AND 32, OF MISCELLANEOUS MAPS IN THE
OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FLOOD ZONE

ZONE X, OUTSIDE THE 100 YEAR FLOOD BOUNDARIES

EASEMENTS

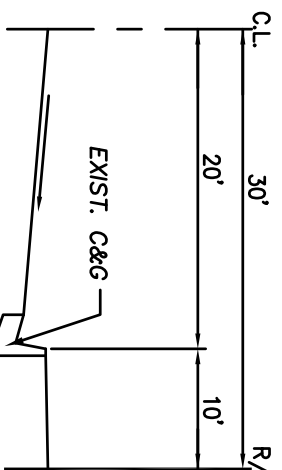
Ⓛ EASEMENT TO SOUTHERN CALIFORNIA Edison COMPANY FOR PUBLIC
UTILITIES PER DEED 5665/205 O.R.

NOTES:

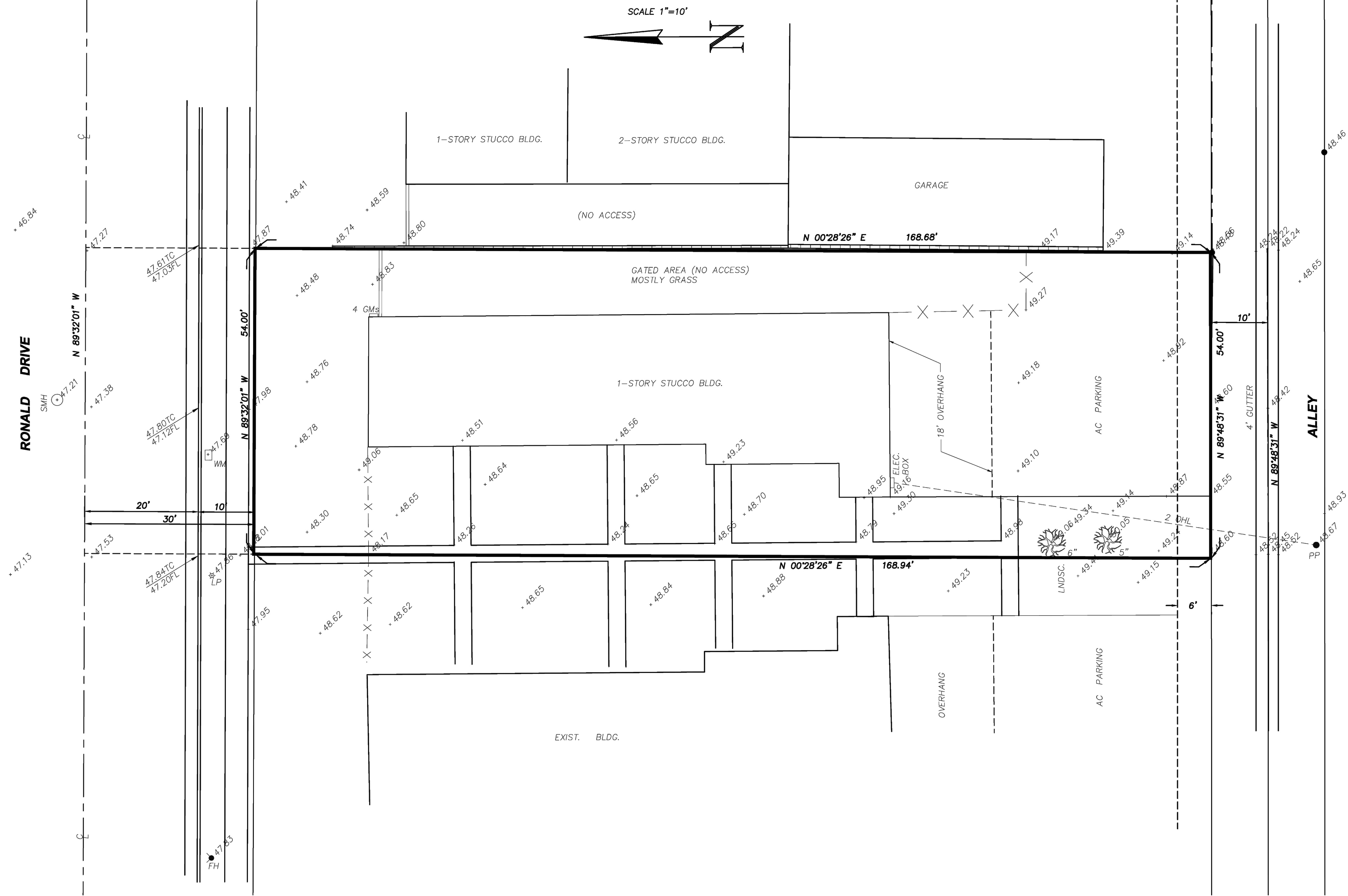
-NO EXISTING WATERCOURSES ON SITE
-SITE IS NOT SUBJECTED TO OVERFLOW OR INUNDATION

THERE WILL BE THREE CONDOMINIUMS AND AN ASSOCIATION IN ACCORDANCE
WITH A CONDOMINIUM PLAN AND COCS THAT WILL BE PREPARED. BUYERS
ARE ACQUIRING A UNIT, WHICH IS THE AREA INSIDE THE UNITS UP TO THE
UNFINISHED SURFACE OF THE WALLS, FLOORS, AND CEILINGS. THERE WILL BE
THREE MAJOR COMPONENTS:

ASSOCIATION PROPERTY - WILL BE ALL REAL PROPERTY IN THE DEVELOPMENT
EXCEPT FOR THE UNITS AND THE COMMON AREA.
COMMON AREA - WILL BE VOLUMES OF AIR SPACE OWNED BY THE OWNERS
AS TENANTS IN COMMON
UNITS - THE AREA INSIDE THE UNIT BOUNDED BY THE UNFINISHED WALLS,
FLOORS, AND CEILING.



RONALD DR.
TYPICAL STREET SECTION
MS



BENCHMARK HB-202-71
DESCRIBED BY OCS 2004 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK
DISK STAMPED "HB-202- 71", SET IN THE SOUTHEASTERLY CORNER OF A
6 FT. BY 7 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE
NORTHWESTERLY CORNER OF THE INTERSECTION OF BEACH BOULEVARD AND
TALBERT AVENUE. 62 FT. WESTERLY OF THE CENTERLINE OF BEACH
BOULEVARD AND 89.5 FT. NORTHERLY OF THE CENTERLINE OF TALBERT.
MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEV. 46.3668 (NAVD88) 2005 LEVELED

LEGAL DESCRIPTION

LOT 12 OF TRACT NO. 3478, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,, AS PER MAP RECORDED IN BOOK 141, PAGE(S) 31 AND 32, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 165-302-12

LEGEND:

- (A) EASEMENT FOR PUBLIC UTILITIES TO SOUTHERN CALIFORNIA EDISON COMPANY DATED MARCH 22, 1961 PER BOOK 5665, PAGE 205, OF OFFICIAL RECORDS

Underground Service Alert



Call: TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'D

REFERENCES

DRAWN BY:	RG	01/18/19
DESIGNED BY:	YT	01/18/19
CHECKED BY:	YT	01/18/19

PREPARED UNDER THE SUPERVISION OF:

R.C.E. NO.: EXP. DATE:

REVIEWED BY:

HUNTINGTON BEACH DEPT. OF PUBLIC WORKS



CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS

TOPOGRAPHIC SURVEY

7852 RONALD DRIVE
HUNTINGTON BEACH, CA

SHEET NO.

5

OF

5