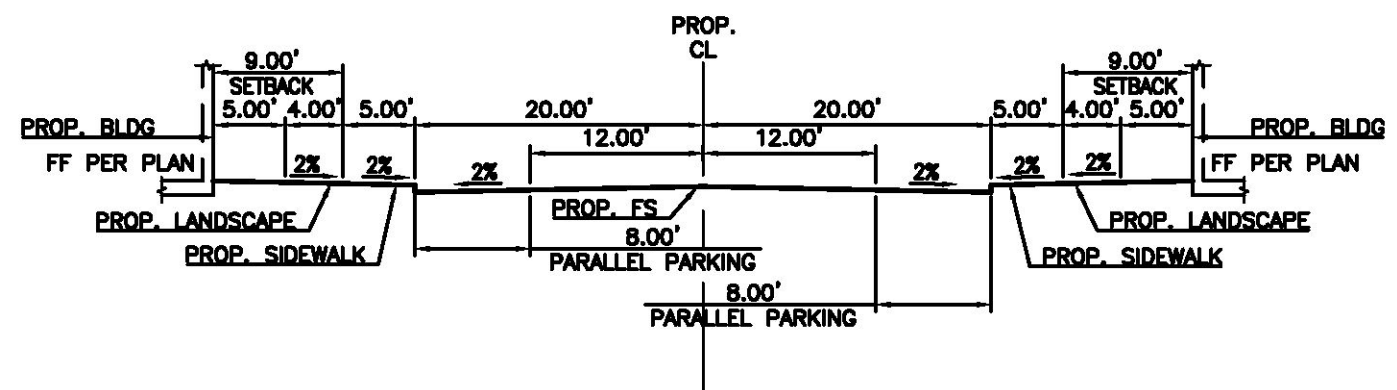
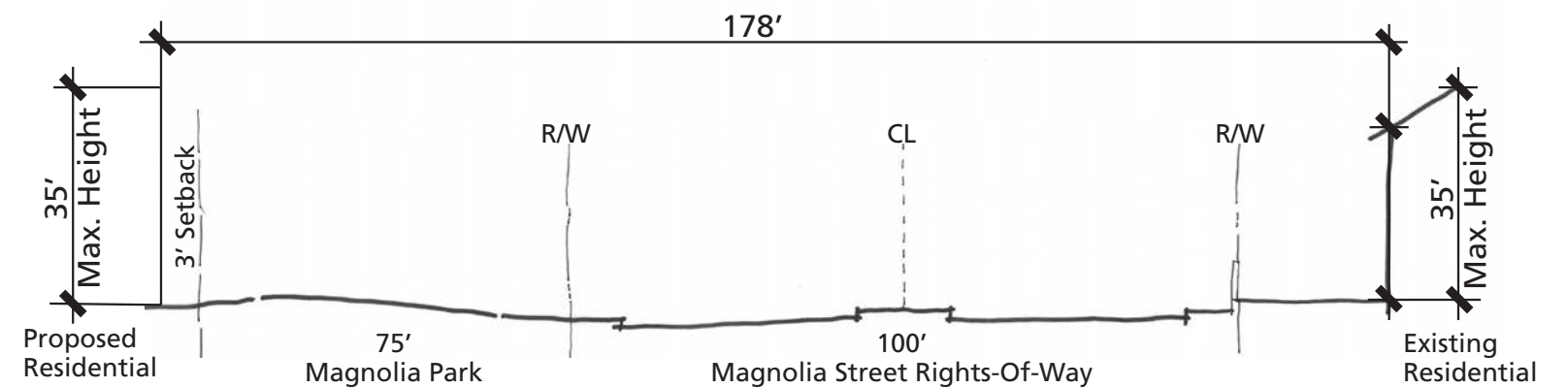
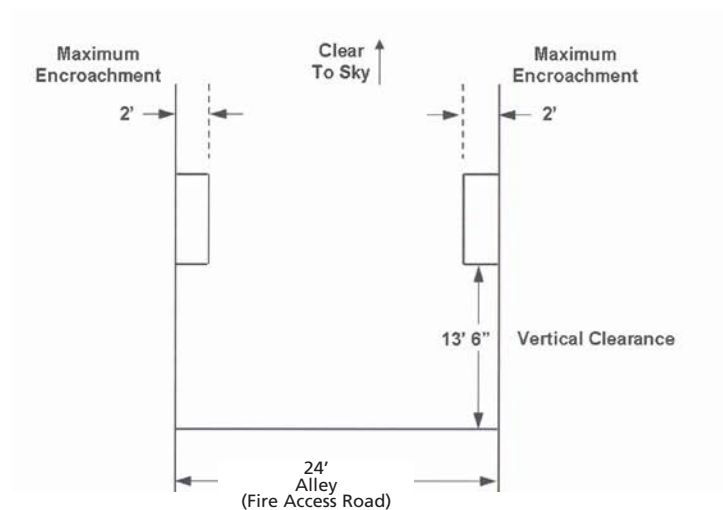
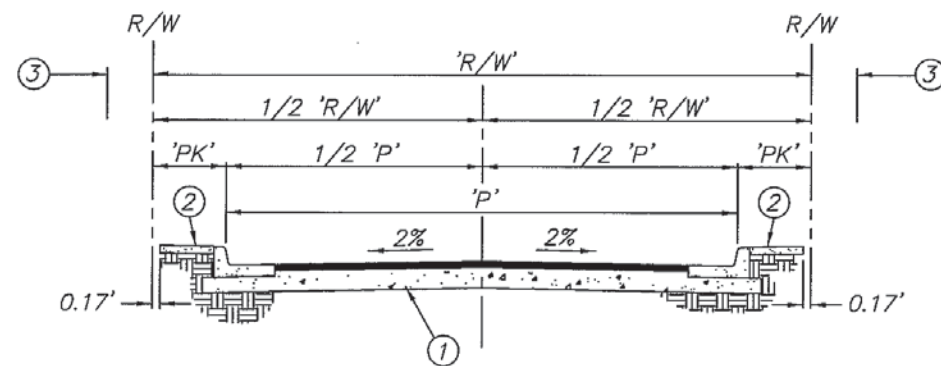


RM Comparison (Gray Cells are Code Deviations) - August 2019

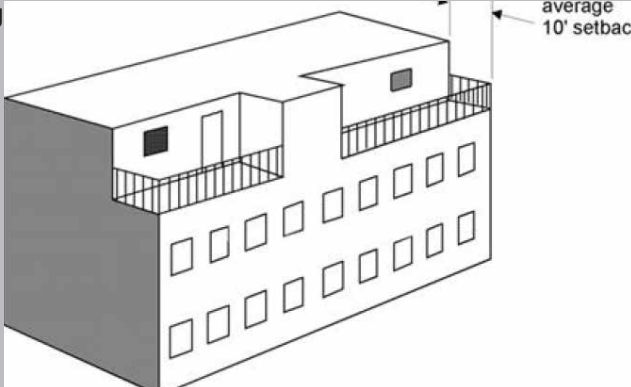
| Requirement | | City Code | | |
|---------------------|----|---|--------|---|
| | RM | Additional Details | SP- RM | Additional Details |
| Street Widths | | | | |
| Local Street Widths | - | On street parking allowed on both sides of 36' street with 6' wide landscape parkways | 40 | Fire requires 40' for parking both sides of street; 32' for parking on one side of street |
| Sidewalks | - | General Plan requires walkways between new residences and schools, parks & public facilities. | - | Provide 5' sidewalks and parking on both sides |
| Alleys | - | Fire access roads require 24' width and 13'6" clearance | - | Per HBZSO |

| STANDARD STREET SPECIFICATION | | | | |
|-------------------------------|--------------------|--------------|---------------------|----------------------|
| RIGHT-OF-WAY ('R/W') | STREET WIDTH ('P') | STREET TYPE | PARKWAY WIDTH('PK') | PARKING REQUIREMENTS |
| 54' | 40' | COLLECTOR | 7' | BOTH SIDES |
| 52' | 40' | RESIDENTIAL | 6' | BOTH SIDES |
| 44' | 32' | RESIDENTIAL | 6' | ONE SIDE ** |
| 60' | 44' | INDUST/COMM. | 8' * | BOTH SIDES |

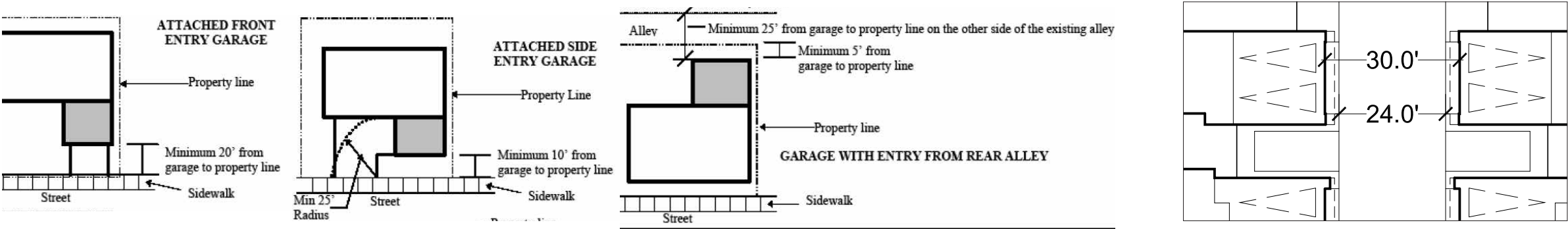
* MAY VARY WITH CITY ENGINEER APPROVAL
** PRIOR APPROVAL REQUIRED FROM CITY ENGINEER



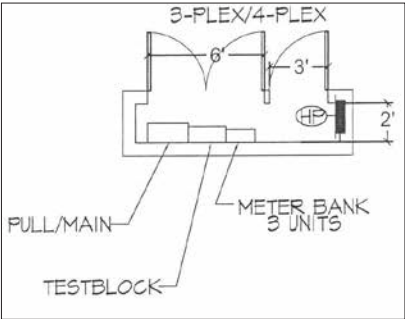
Typical Residential Street with Parking on Both Sides

| Requirement | City Code | | SP- RM | Additional Details |
|---|--------------------|--|--------|---|
| | RM | Additional Details | | |
| Residential Building Site Density | | | | |
| Min Building Site (SF) | 6,000 | \$210.06 | - | Per HBZSO |
| Width (ft) | 60 | \$210.06 | - | Per HBZSO |
| Cul-de-sac frontage width (ft) | 45 | \$210.06 | - | Per HBZSO |
| Minimum Building Setbacks - Private Streets | | | | |
| Front (ft) | 15 | Minimum 50% of the garages shall be set back 20 feet from the front property line. Variable front setback required for multi-family. §210.06, §210.06(E) | 9; 2 | 9’ building setback measured from back of sidewalk on the private Loop Street. 2’ building setback from curb when homes are fronting an alley or stub drive. |
| Front 3rd-Story (ft) | 10 | The covered portion of all stories above the second story shall be set back an average  10.06(F) | 0 | 3-story buildings to have articulation (min 6 inches) on visible elevations but no additional setback required. |
| Side (ft) | 3; 5 | Interior side setbacks shall be minimum 10% of lot width, but not less than 3’ need not exceed 5’. §210.06, §210.06(G) 8' when adjacent to 25 wall | 3 | No increased setback for walls exceeding 25’ in height. |
| Street Side (ft) | (1) 6;10 (3) 15 | (1) In the RM districts, the streets die yard shall be 20% of the lot width, minimum six feet and need not exceed 10 feet. (2) Not Applicable. (3) For projects with 10 or more multi-family units, the street side setback shall be the same as the front setback. §210.06(H) | 9 | Measured from back of sidewalk. |
| Rear (ft) | 10 | The required interior side or rear setback adjoining a building wall exceeding 25’ in height, excluding any portion of a roof, and located on a lot 45 feet wide or greater, shall be increased 3’over the basic requirement. §210.06, §210.06(I) Totaling 13’. | 3 | No increased setback for walls exceeding 25’ in height. |
| Building Separations | | | | |
| Building Separations (ft) | 10 | | 6 | |
| | | PUDS: A maximum of 6 units may be attached side by side and an offset on the front of the building a minimum of 4 feet for every 2 units shall be provided. §210.06(D), §210.12.B.2 | - | Articulation is provided in Table 3.2. Applies to all buildings with certain lengths, not just building under PUDS. |

| Requirement | City Code | | SP- RM | Additional Details |
|-------------------------|-----------|--|--------|---|
| | RM | Additional Details | | |
| Garages (ft) | | | | |
| Direct Access (Loop Rd) | 20 | §210.06(K) | 19; 18 | Measured from back of sidewalk or alley curb. Applicable when parking is proposed in driveways. 18' permitted for Small Lot designated homes. |
| Side Access | 10 | | 10 | Per HBZSO |
| Alley Access | 5 | 25' from property line on other side of alley §210.06(K)(3), §230.04 | 2 | 30' from garage face to garage face, architectural projections may encroach 3' provided separation meets Fire Department Standards (refer to page 1). |



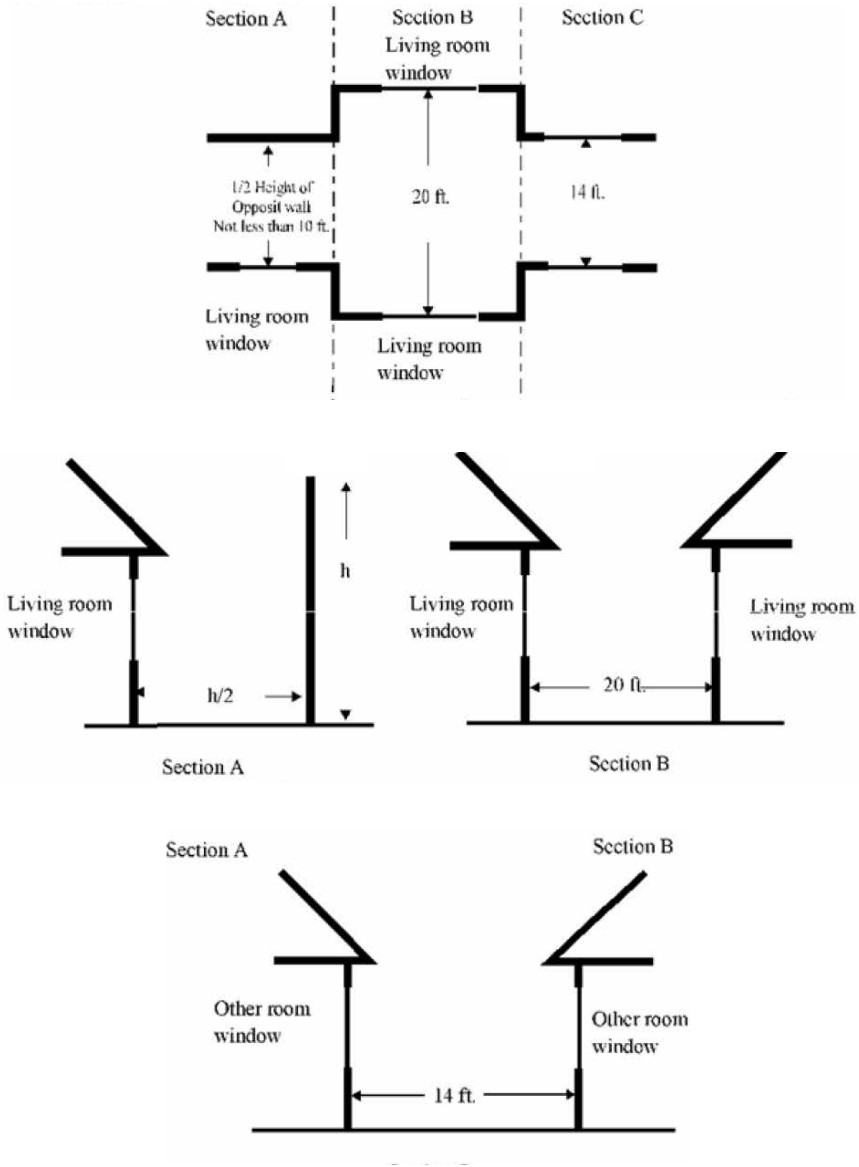
| Requirement | City Code | | | | Magnolia Tank Farm SP | |
|---|------------|------------------|------------------|----------------|-----------------------|---|
| Projections ^a §230.68 | | | | | | |
| | Front Yard | Side Yard | Street Side Yard | Rear Yard | | |
| Fireplace or chimney | 2.5 | 2.5 ^b | 2.5 | 2.5 | - | Per HBZSO |
| Cornice, eaves and ornamental features | 3 | 2.5 ^b | 3 | 3 | 3 | |
| Mechanical equipment | 2 | 2 ^b | 2 ^b | 2 | 2.5 | A 30-inch clearance from the property line or fence shall be maintained. |
| Uncovered porches, terraces, platforms, subterranean garages, decks, and patios not more than 3' in height serving only the 1 st floor | 6 | 3 | 4 | 5 | 3.5 | |
| Stairs, canopies, awnings and uncovered porches more than 3' in height | 4 | 2 ^b | 4 | 4 ^b | 4 | Deviation can be 4 in side yard as long as 30-inch clearance is maintained which is code. |
| Bay windows | 2.5 | 2.5 ^b | 2.5 | 2.5 | - | Per HBZSO |
| Balconies (May project only with open railings) | 3 | 2 ^b | 3 | 3 | 3 | Deviation can be 3 in side yard as long as 30-inch clearance is maintained which is code. |
| Covered patios | 0 | 0 | 5 ^c | 5 | 5 | |
| Notes: a No individual projection shall exceed 1/3 of the building length, and the total of all projections shall not exceed 2/3 of the building length on which they are located. b A 30-inch clearance from the property line or fence shall be maintained. c No projection shall extend more than 1/2 the width of the street side yard.. | | | | | | |



| Requirement | City Code | | SP- RM | Additional Details |
|--------------------------------------|-----------------------------------|---|--------|---|
| | RM | Additional Details | | |
| Building Height | | | | |
| Maximum Height (ft) Single-family | 35 | <p>Second story top plate height shall not exceed 25 feet measured from the top of the subfloor/slab directly below. §210.06(M)(1)(a)</p> <p>Roofs shall have a minimum 5/12 pitch if building height exceeds 30 feet. §210.06(M)(1)(b)</p> <p>Maximum building height for main dwellings shall be 35 feet; however, main dwellings exceeding 30 feet in height shall require approval of a conditional use permit by the Zoning Administrator. §210.06(M)(1)(c)</p> <p>Habitable area, which includes rooftop decks and balconies, above the second story top plate line shall require approval of a conditional use permit by the Zoning Administrator. Habitable area above the second story plate line shall be within the confines of the roof volume, with the following exceptions: 1. Dormers, decks and other architectural features may be permitted as vertical projections above the roof volume provided the projections are set back five feet from the building exterior and do not exceed the height limits as stated above. 2. Windows and deck areas above the second story plate line shall orient toward public rights-of-way only. §210.06(M)(1)(d)</p> <p>Access to any habitable area above the second story top plate line shall be provided within the main dwelling and shall be consistent with internal circulation. Exterior stairways between the ground floor and a habitable area above the second story plate line shall be prohibited. Two vertical cross-sections through the property (front-to-back and side-to-side) that show the relationship of each level in a new structure and new levels added to an existing structure to both existing and finished grade on the property and adjacent land within five feet of the property line shall be submitted in order to determine compliance with this subsection. §210.06(M)(1)(e)</p> | 35 | <p>§210.06(M)(1)(a): Specific Plan allows flat roofs, there is no requirement for top plate height or roof pitch.</p> <p>§210.06(M)(1)(b): Permitted above the 2nd floor. Maximum of 400 SF of roof area. Roof deck trellis permitted 10’ above roof deck floor. Lattice design only, open on 3 sides. Railing or parapet wall to be 4’ minimum</p> <p>§210.06(M)(1)(c): SP permits 35’ height.</p> <p>§210.06(M)(1)(d): SP permits 35’ height.</p> <p>§210.06(M)(1)(d)(1): No additional setback required for dormers; forces architectural design.</p> <p>§210.06(M)(1)(d)(2): Windows and decks can be oriented to all 4 sides. Allow roof decks above 3rd story. 1/3 of the roof area doesn’t have to be 1 story less than remaining portions. Orientation can be on any side. This is for PUD only.</p> <p>§210.06(M)(1)(e): Per HBZSO.</p> <p>NOTE: All homes along Magnolia Park will have a 2-story max. This 2-story height limit pertains to all homes within 50’ of Magnolia Park western boundary line.</p> |
| Measurement of Height | - | Datum (100) shall be set at the highest point of the curb along the front property line. If no curb exists, datum shall be set at the highest centerline of the street along the front property line. §230.70(A) | - | The entire site will be graded to allow water to drain properly; therefore height will be measured from the private Loop Road datum abutting the parcel being developed. |
| Exceptions to Height Limit | - | Chimneys; vent pipes; cooling towers; flagpoles; towers; spires; domes; cupolas; parapet walls not more than four feet high; water tanks; fire towers; transmission antennas (including wireless communication facilities); radio and television antennas (except satellite dish antennas); and similar structures and necessary mechanical appurtenances (except wind driven generators) may exceed the maximum permitted height in the district in which the site is located by no more than 10 feet. The Zoning Administrator may approve greater height with a Conditional Use Permit. Within the coastal zone, exceptions to height limits may be granted only when public visual resources are preserved and enhanced where feasible. §230.72 | - | Roof decks/trellis above the 3rd story may exceed the maximum permitted height by no more than 10 feet. |
| Recreation Buildings | To be determined by CUP | | - | To be determined by CUP |
| Accessory Structures | 15 maximum building height | | - | Per HBZSO |
| Exterior stairs | No exterior stairs. §210.06(M)(e) | | - | Per HBZSO |

| Requirement | City Code | | SP- RM | Additional Details |
|---------------------------|---|--|---|---|
| | RM | Additional Details | | |
| Other Requirements | | | | |
| Min Lot Area/du. (SF) | 2,904 sq. ft. | \$210.06 | 15 du/acre | Per HBZSO |
| FAR | - | \$230.04 | - | Not Applicable |
| Max Lot Coverage (%) | 50% | Solid patio covers open on at least two sides may be permitted an additional 5% site coverage. Open lattice patio covers are exempted from site coverage standards. §210.06, §210.06(V) | 75% | Calculated using Gross Planning Area acreage. Small lot development shall also have a 75% lot coverage maximum. Motorcourt cluster, attached homes, and other like condominium mapped typologies shall have lot coverage calculated across the entire condo mapped parcel/planning area. Density still cannot exceed 15 du/ac or 250 units. |
| Minimum Floor Area | | | | |
| Studio (SF) | 500 | | - | Per HBZSO |
| One bedroom (SF) | 650 | | - | Per HBZSO |
| Two bedrooms (SF) | 900 | | - | Per HBZSO |
| Three bedrooms (SF) | 1,100 | | - | Per HBZSO |
| Four bedrooms (SF) | 1,300 | | - | Per HBZSO |
| Detached homes (SF) | 1,000 | Doesn't include garage; shall be 17' wide. §210.06(N) | - | Per HBZSO |
| Minimum Usable Open Space | | | | |
| Private & common | 25% of floor area/unit | §210.06(O)(1) | 150 SF/Unit | Private and common open space requirement combined. |
| Private | Private open space shall be provided in courts or balconies within which a horizontal rectangle has no dimension less than 10 feet for courts and six feet for balconies. A minimum patio area of 70 square feet shall be provided within the court. §210.06(O)(2)(a) | | 6'; minimum 60 SF areas could be aggregated | Private space may be covered; California rooms, patio covers, covered decks |
| Private | Studio/1bed: ground floor unit 200SF, 60SF above 2 bedrooms: ground floor unit 250SF, 120SF above 3 bedrooms: ground floor unit 300SF, 120SF above 4 bedrooms: ground floor unit 400SF, 120SF above §210.06(O)(2)(b) | | | |
| | Private open space shall be contiguous to the unit and for the exclusive use of the occupants. Private open space shall not be accessible to any dwelling unit except the unit it serves and shall be physically separated from common areas by a wall or hedge exceeding 42 inches in height. §210.06(O)(2)(c) | | - | Per HBZSO |
| | 50% of private open space can be on open decks above 2nd story by CUP but no portion of deck can exceed height limit §210.06(O)(2)(d) | | - | All private open space can be on open decks on any floor. |
| Common | Min. dim. 10'; can't count setbacks | Common open space, provided by interior side yards, patios, and terraces, shall be designed so that a horizontal rectangle has no dimension less than 10', shall be open to the sky, and shall not include driveways, parking areas, or area required for front or street side yards. Projects with more than 20 units shall include at least one amenity, such as a clubhouse, swimming pool, tennis court, volleyball court, outdoor cooking facility, or other recreation facility. §210.06(O)(3) | | One shared recreation center will be provided for all neighborhoods; Common areas cannot include setbacks with a minimum dimension of 10'; does not have to be open to sky. |

| Requirement | | City Code | | |
|--|---|--------------------|--------|--|
| | RM | Additional Details | SP- RM | Additional Details |
| Courts | | | | |
| Courts Opposite Walls on the Same Site | The minimum depth of a court shall be one-half the height of the opposite wall but not less than 20 feet opposite a living room and 14 feet opposite a required window for any other habitable room §210.06(P)(1) | | | Courts shall be based on CBC code and design. Court design will be product specific. Fire will determine openings and minimum dimensions based on safety. All future proposed designs will comply with CBC code. |
| Courts Opposite Interior Property Line | The minimum distance between a required window of a habitable room and a property line shall be 10 feet. §210.06(P)(2) | | | Courts shall be based on CBC code and design. Court design will be product specific. Fire will determine openings and minimum dimensions based on safety. |
| Court Dimensions | Courts shall be minimum 20 feet wide (minimum 10 feet on either side of the centerline of the required window) and shall be open to the sky. Eaves may project a maximum two feet into a court. §210.06(P)(3) | | | Courts shall be based on CBC code and design. Court design will be product specific. Fire will determine openings and minimum dimensions based on safety. |



| | City Code | Magnolia Tank Farm SP | |
|---|--|-----------------------|--|
| Requirement | | SP-RM | |
| | | | |
| Parking | | | |
| Single-Family | 0-4 bedrooms: 2 enclosed + 2 open 5 or more bedrooms: 3 enclosed + 3 open §231.04 | - | Single Family detached clusters shall comply with multifamily requirements. |
| Multifamily | Studio/1 bed:1 enclosed space 2 bed: 2 spaces (1 enclosed) 3 bed: 2.5 spaces (1 enclosed) Guest: 0.5 space per unit §231.04 | - | Per HBZSO |
| PUDS: Driveway parking for a minimum of 50% of the units shall be provided when units are attached side by side. §210.12 (B)(1). | | - | Not Applicable, too restrictive if product does not lend itself to this condition. |
| PUDS: allow required enclosed spaces may be provided in a tandem configuration §210.12(B)(4)(a). | | - | Per HBZSO, however, tandem is permitted for Multi-Family Residential also. |
| PUDS: allow required open parking spaces may be provided with a combination of off-street and on-street spaces as long as the total number of required parking spaces is provided with the development site. §210.12(B)(4)(b) | | - | Per HBZSO |



| Requirement | City Code | | Magnolia Tank Farm SP | |
|-----------------------------------|---|--|-----------------------|---|
| | RM | Additional details | SP-RM | Additional details |
| Other Requirements | | | | |
| Accessibility within Dwellings | All rooms must be accessible from within the dwelling. §210.06(Q) | | - | Per HBZSO |
| Landscaping | 40% of front yard §210.06(S)(1) | | 8% of SP area | Percentage of CV and RM landscaping is over entire Specific Plan area not individual parcels. |
| Fences and Walls | 6' high side | Adjacent to arterial or property zoned open or commercial may be 8' high | - | Per HBZSO |
| Lighting | Lighting system to be provided | | - | Per HBZSO |
| Screening of Mechanical Equipment | Utility meters shall be screened from view from public ROW. Electrical transformers in a required front or street side yard shall be enclosed in subsurface vaults or other location approved by the director. Backflow prevention devices shall not be located in the front yard setback and shall be screened from view. §230.76B | | - | Per HBZSO |
| Refuse Storage Areas | Refuse storage area screened on 3 sides by 6' wall required. §230.78 | | - | Per HBZSO |
| Antenna | Setbacks. Interior side and rear property lines 10', except that no setback shall be required in interior side and rear setback areas if the antenna or satellite antenna does not exceed 6' in height. No antenna or satellite antenna shall be located in a required front yard. When roof mounted, the antenna or satellite antenna shall be located on the rear one-half of the roof. §230.80 Maximum Height. a. Not exceed 10' if installed on the ground or the maximum building height if roof mounted. | | - | Per HBZSO |
| Performance Standards | §230.82 | | - | Per HBZSO |
| Off-Street Parking and Loading | Chapter 231 and §210.12 (see Parking Section) | | - | See Parking Section |
| Signs | Chapter 233 | | - | Per HBZSO |

Small Lot Comparison (Gray Cells are Code Deviations) - August 2019

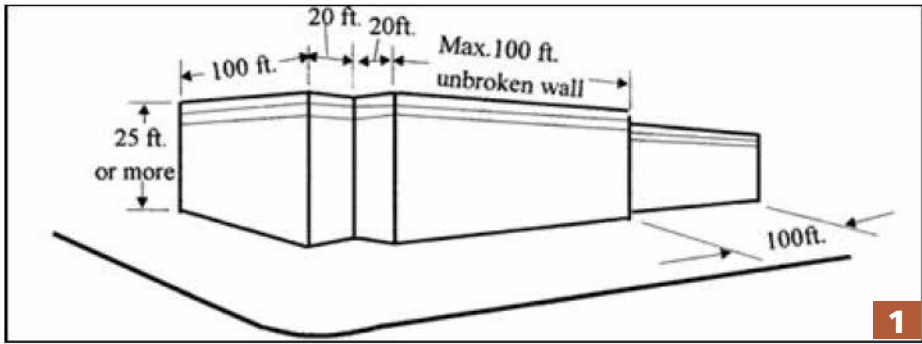
| Requirement | City Code | | Magnolia Tank Farm SP | |
|---|--|--------------------|-----------------------|--|
| | Small Lots (§230.24) | Additional Details | SP - RM | Additional Details |
| Minimum building site or lot size | 3,100 sq. ft. (3,400 sq. ft. avg.) | | 3,100 sf | Individual residential lot size does not apply in condo mapped conditions such as motorcourt clusters or attached homes. Small lot development shall have a minimum lot size of 3,100 SF and is not confined to an average lot size. |
| Minimum lot frontage | 40' | | - | Per HBZSO |
| Cul-de-sac and knuckle | 30' | | | |
| Maximum height | | | | |
| <i>Dwellings</i> | 30'; max. 2 stories except 3rd level permitted <500 sq. ft.; min. 5/12 roof pitch; no decks above the second story | | 35 | Roof decks/trellis above the 3rd story may exceed the maximum permitted height by no more than 10 feet. |
| Minimum setbacks (Front) | | | | |
| <i>Dwelling</i> | 15' + offsets in front façade | | 9;2 | 9' if fronting on to Loop Street, 2' from alley curb if facing alley. |
| <i>Covered Porches</i> | 10' | | 5 | Measured from back of sidewalk. |
| <i>Garage</i> | 18' | | 3/18 | 3' Minimum. Driveway must be 18' deep to park a car(s) in the driveway. |
| <i>Upper Story</i> | Upper story setback shall be varied | | - | 3-story buildings to have articulation on visible elevations but no additional setback required. |
| Side | 8 ft. aggregate, min. 3 ft.; 0 ft. permitted with min. 8 ft. on other side | | 3 | |
| Street Side | 10 ft.; includes min. 4 ft. landscape lettered lot (6 ft. between bldg. and property line) | | 9 | Measured from back of sidewalk. |
| Rear | | | | |
| <i>Dwelling</i> | 15 ft.; 50% of bldg. width may be at 13 ft. | | 3;2 | 3' for conventionally loaded home; 2' when garage accessed from alley. |
| <i>Garage</i> | 3 ft.; 0 ft. if garage is designed to back to another garage | | - | Per HBZSO |
| Maximum Lot coverage | 50% + 5% for covered porches, patio covers, balconies. | | 75% | Calculated using gross Planning Area acres. |
| Maximum Floor Area Ratio (FAR) | 0.7 | | - | Per HBZSO |
| Minimum interior garage | Min. 400 sq. ft. | | 380 sq. ft. | 380 sq. ft. is to accommodate tandem garage configurations. |
| Dimension (width x depth) | Min. 18 ft. wide | | | Minimum Interior Garage 400 SF; side by side 20' x 20'; tandem 10' x 38'; steps, storage areas may encroach. |
| Minimum building separation to accessory building | 6' | | - | Per HBZSO |

| Requirement | City Code | | Magnolia Tank Farm SP | |
|---|--|--------------------|---|--|
| | Small Lots (\$230.24) | Additional Details | SP - RM | Additional Details |
| Open Space | | | | |
| <i>Common recreational area (project)</i> | Projects of 20 units or more: 150 sq. ft./unit; min. 5,000 sq. ft.; min. 50 ft. dimension. Projects less than 20 units: min. 600 sq. ft. private and/or common per unit. Private open space excludes side and front yard setback areas. Common open space requires min. 10 ft. dimension. | | 10' min. dim. cannot count setbacks 5000 SF Private: 6' for front courtyards; 8' for private yards; minimum 100 SF, areas could be aggregated | One shared recreation center will be provided for all neighborhoods; Common areas cannot include setbacks with a minimum dimension of 10'; doesn't have to be open to sky. |
| <i>Required parking</i> | Small lot developments shall provide parking consistent with single family residential developments specified in Chapter 231. In addition, minimum 1 on-street space per unit for guest/visitor parking shall be provided. A parking plan depicting the location of all parking spaces shall be submitted with the conditional use permit application. | | Utilize multi-family parking requirements. | CCC is not permitting on-street parking to count towards guest parking for residential. Two guest parking spaces may be located in the driveways of each home if driveway depth is acceptable. |
| Street sections | | | | |
| Streets | The City shall review proposed street sections upon submittal of the tentative map and conditional use permit applications. Min. 36 ft. curb to curb may be permitted provided all units in the development are equipped with automatic sprinkler systems. On-street parking shall be provided on both sides of the street. | | 40' curb to curb | Small Lot Homes are permitted to front on alleys. |
| Sidewalks/parkways | Sidewalks shall be provided on both sides of the street. Min. 6 ft. landscape parkways may be provided on both sides of the street. Sidewalk widths shall be designed to Public Works standards. | | Curb adjacent sidewalk | Sidewalks will be 5' throughout the Specific Plan project area. Sidewalks are prohibited along alleys. |
| Walls and fences | Block walls required; may allow wrought iron element where appropriate. | | - | Per HBZSO |
| Landscaping | Tree wells adjacent to landscape parkways on street side of curb is encouraged; however, shall not encroach into the min. 24-foot-wide drive aisle. See Ch. 232, Landscaping | | - | Per HBZSO |

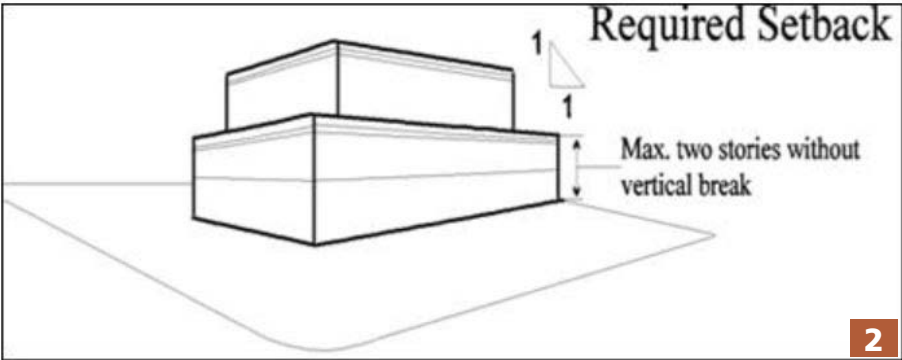
CV Comparison (Gray Cells are Code Deviations) - August 2019

| Requirement | City Code | | Magnolia Tank Farm SP | |
|---------------------------|-----------|--|-----------------------|---|
| | CV | Additional details | CV | Additional details |
| Minimum Building Setbacks | | | | |
| Front (ft) | 0;15 | Hotels and motels required to have a 15' landscape strip shall be provided along all street frontages, except for necessary driveways and walks. §211.06(H)(3) | 55 0 | Facing Magnolia Avenue Fronting on to Loop Road |
| Side (ft) | 0 | §211.06(F) Along a side or rear property line abutting an R district, a 10-foot setback is required, and structures within 45 feet of the district boundary shall not exceed 18 feet in height. | 0 | §211.06(F) not applicable. |
| Side Street (ft) | 0 | §211.06(E) A minimum 50-foot setback is required along Beach Boulevard, Pacific Coast Highway and Edinger Avenue or 25-foot setback with the setback area entirely landscaped. | 0 | §211.06(E) not applicable. |
| Rear (ft) | 0 | §211.06(F) Along a side or rear property line abutting an R district, a 10-foot setback is required, and structures within 45 feet of the district boundary shall not exceed 18 feet in height. | 0 | §211.06(F) not applicable. |
| Maximum Wall Dimension | | A front or street side wall surface shall be no longer than 100' without a break, a recess or offset measuring at least 20' in depth and 1/4 of the building length, or a series of offsets, projections or recesses at intervals of not more than 40' that vary the depth of the building wall by a minimum of 4'. The director may grant exceptions or allow the standards to be modified for exceptional or unique structures subject to Design Review, Chapter 244. §211.06(N) | | Building facade surfaces shall not be $\geq 70'$ without a break, recess or offset measuring $\geq 6''$ in depth, or a series of offsets, projections or recesses at intervals $\leq 40'$ that vary the depth of the building wall by a minimum of 4' |

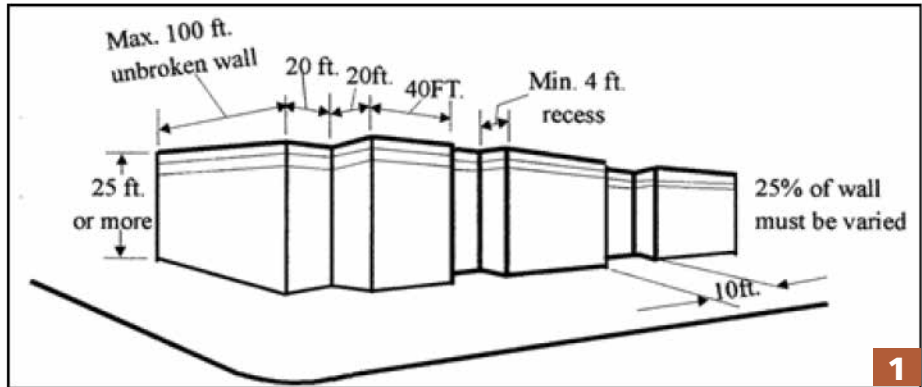
Maximum Wall Length and Required Break



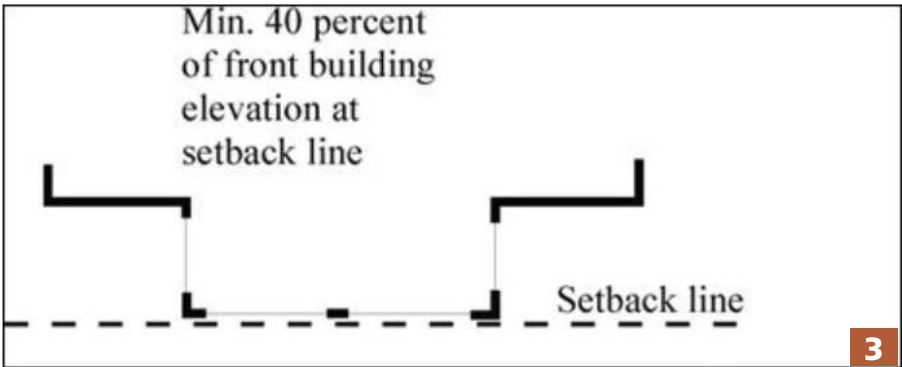
Single Horizontal Offsets: 20 Feet



CV District: Upper-Story Setback



Variable Offsets: 20 Feet and 4 Feet



Building Face at Setback Line

| Requirement | City Code | | Magnolia Tank Farm SP | |
|--|-------------------------------------|---|-----------------------|---|
| | CV | Additional details | CV | Additional details |
| Walls above 2nd Floor | 10 | §211.06(O)(1) 2 | | No additional setback above the second floor. Building adjacent to Magnolia Street can only be 40’ high |
| Setback | 40% | At least 40% of the front building elevation may be located at the minimum setback line if additional landscaping is provided on the site. §211.06(O)(2) 3 | | Per HBZSO |
| Building Height (feet) | | | | |
| Max Height of Structures & Measurement of Height | 50 | A datum shall be set at the highest point of the curb along the front property line. The differential between top of subfloor and datum shall be a maximum of 2’. In the event that any subfloor, stemwall or footing is >2’ above the datum, that excess shall deducted from the maximum ridgeline height. Lots with a grade differential of 3’ between the high point and the low point, before rough grading, shall be subject to CUP approval by the ZA. CUP approval shall be based upon a building and grading plan which terraces the building with the grade and which is compatible with adjacent development. §230.70 | 50 | Only 15% of the CV parcel area can have a height of 60’. Any 60' structure in the CV zone must be setback 40' from the CC zone. For the Lodge with a subterranean parking garage, the maximum building height shall be measured from the finished grade at the main entry to the top of the structure. This height envelope is constant and will maintain the maximum height of any building independent of any ground level variation due to grade or road design. |
| | 10-foot additional height exception | Chimneys; vent pipes; cooling towers; flagpoles; towers; spires; domes; cupolas; parapet walls not more than four feet high; water tanks; fire towers; transmission antennas (including wireless communication facilities); radio and television antennas (except satellite dish antennas); and similar structures and necessary mechanical appurtenances (except wind driven generators) may exceed the maximum permitted height in the district in which the site is located by no more than 10 feet. The Zoning Administrator may approve greater height with a Conditional Use Permit. Within the coastal zone, exceptions to height limits may be granted only when public visual resources are preserved and enhanced where feasible. | - | Per HBZSO |
| Minimum Site Landscaping | 8% | | 8% | Per HBZSO, however percentage of CV and RM landscaping is over entire Specific Plan area not individual parcels. |
| Parking | | | | |
| Hotel | 1.1 space/room | §231.04 | | Shared parking analysis to be conducted |
| Meeting Space | 1.0 space/35 SF | §231.04 | | |
| Ballroom | 1.0 space 35 SF | §231.04 | | |
| Signature Restaurants | 10 spaces/1,000 SF | §231.04 | | |
| Guest House | Same as hotel | §231.04 | | |
| Public Market | 5/1,000 SF | §231.04 | | |