

# TENTATIVE PARCEL MAP NO. 2018-181

IN THE CITY OF HUNTINGTON BEACH,  
COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SUBDIVISION OF PARCEL 2 OF PARCEL MAP NO. 99-212 AS SHOWN ON MAP FILED IN BOOK 323, PAGES 30 THROUGH 32,  
OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, STATE OF CALIFORNIA.

## TITLE INFORMATION

THE TITLE INFORMATION SHOWN HEREON IS PER COMMITMENT FOR TITLE INSURANCE NO. NCS-925307-0N1 DATED SEPTEMBER 19, 2018 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, SANTA MONICA, CALIFORNIA [TITLE OFFICER: WENDY HAGEN-BOWEN, TELEPHONE: (909) 510-6225] NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID COMMITMENT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

## RECORD OWNER

HUNTINGTON BEACH NO. 2, A CALIFORNIA LIMITED PARTNERSHIP

CONTACT PERSON: MARTY POTTS  
4 PARK PLAZA, SUITE 900  
IRVINE, CALIFORNIA 92614  
(949) 296 - 3642

## PROPERTY ADDRESSES

20921-20981 MAGNOLIA STREET AND 8901-8955 ATLANTA AVENUE, HUNTINGTON BEACH, CA

## LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

### PARCEL A:

PARCEL 2 OF PARCEL MAP NO. 99-212, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 323, PAGES 30 TO 32, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ALL MINERAL RIGHTS RECORDED OCTOBER 08, 1973 IN BOOK 10935, PAGE 616 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES AND OTHER MINERALS LYING BELOW FIVE HUNDRED FEET (500') FROM THE SURFACE OF THE PREMISES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND DEVELOP AND DRILL INTO AND THROUGH THAT PORTION OF THE PREMISES LYING BELOW SAID DEPTH FOR OIL, GAS AND OTHER HYDROCARBON SUBSTANCES AND OTHER MINERALS AND TO OWN, PRODUCE, EXTRACT, REMOVE AND TRANSPORT SAME FROM AND/OR THROUGH AND STORE SAME IN SAID PREMISES BELOW SAID DEPTH AND TO STORE, TREAT AND PROCESS THE PRODUCTION FROM SAID PREMISES WITHOUT, HOWEVER, THE RIGHT TO ENTER UPON, OVER, ACROSS OR OTHERWISE USE THE SURFACE OF THE PREMISES, AS GRANTED TO ALLIEDSIGNAL, INC., A DELAWARE CORPORATION, IN THE DOCUMENT RECORDED SEPTEMBER 14, 1999 AS DOCUMENT NO. 19990660970 OFFICIAL RECORDS.

APN: 151-571-20

### PARCEL B:

A NON-EXCLUSIVE RECIPROCAL EASEMENTS FOR ROADWAYS, WALKWAYS, INGRESS AND EGRESS, ACCESS, PARKING AND USE OF FACILITIES AS SET FORTH IN THAT CERTAIN DECLARATION OF EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED NOVEMBER 30, 2001 AND RECORDED NOVEMBER 30, 2001 AS DOCUMENT NO. 2001861175 OFFICIAL RECORDS, COUNTY OF ORANGE.

(SAID EASEMENT IS BLANKET IN NATURE)

## BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF ATLANTA AVENUE AS SHOWN ON PARCEL MAP NO. 99-212, FILED IN PARCEL MAP BOOK 323, PAGES 30-32, BEING NORTH 89°26'39" WEST.

## RECORD BOUNDARY NOTE

ALL DATA SHOWN HEREON IS RECORD OR CALCULATED FROM RECORD PER PARCEL MAP NO. 99-212, FILED IN PARCEL MAP BOOK 323, PAGES 30-32, BEING NORTH 89°26'39" WEST.

## AREA TABLE

	AREA (ACRES)	AREA (SQ. FT.)
PARCEL 1	1.761	76,716
PARCEL 2	0.539	23,475
PARCEL 3	0.572	24,908
TOTAL	2.872	125,099

## PARKING TABLES

PARKING PER PM NO. 99-212

	REGULAR	HANDICAP
PARCEL 1	265	5
PARCEL 2	114	9
TOTAL	379	14

PARKING PER PROPOSED MAP

	REGULAR	HANDICAP
PARCEL 1	86	6
PARCEL 2	12	1
PARCEL 3	16	2
TOTAL	114	9

## NON-DEVELOPMENT NOTE

NO NEW DEVELOPMENT IS PROPOSED AS PART OF THIS MAP.

## TOPOGRAPHY NOTE

THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED BY OTHERS AND IS FOR INFORMATIONAL PURPOSES ONLY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID TOPOGRAPHIC INFORMATION IS ASSUMED BY THIS MAP OR THE SURVEYOR.

## TITLE EXCEPTIONS AND EASEMENTS

1-2 TAXES.

3 AN EASEMENT IN FAVOR OF THE CITY OF HUNTINGTON BEACH FOR STORM DRAIN AND INCIDENTAL PURPOSES, RECORDED JUNE 14, 1977 AS BOOK 12242, PAGE 445 OF OFFICIAL RECORDS.

(DOCUMENT DOES NOT AFFECT PROPERTY)

4 AN EASEMENT IN FAVOR OF GENERAL TELEPHONE COMPANY OF CALIFORNIA FOR UNDERGROUND LINES AND INCIDENTAL PURPOSES, RECORDED JUNE 22, 1977 AS BOOK 12256, PAGE 690 OF OFFICIAL RECORDS.

(DOCUMENT AFFECTS - NOT PLOTTABLE FROM RECORD)

5 AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND LINES AND CONDUITS, INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES, RECORDED AUGUST 3, 1977 AS BOOK 12320, PAGE 946 OF OFFICIAL RECORDS.

(DOCUMENT AFFECTS - PLOTTED HEREON AS [A] )

6 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED FEBRUARY 22, 1978 AS BOOK 12573, PAGE 198 OF OFFICIAL RECORDS.

(DOCUMENT AFFECTS - NOTHING TO PLOT)

7 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP NO. 99-212 RECORDED NOVEMBER 29, 2001 ON FILE IN BOOK 323, PAGE 30, OF PARCEL MAPS, FOR THE PURPOSE OF MAINTAINING, SERVICING, CLEANING, REPAIRING AND REPLACING THE WATER SYSTEM AND INCIDENTAL PURPOSES.

(DOCUMENT AFFECTS - PLOTTED HEREON AS [B] )

## TITLE EXCEPTIONS AND EASEMENTS

8 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ATLANTA AVENUE AND MAGNOLIA STREET, EXCEPT AT LOCATIONS APPROVED BY THE ZONING ADMINISTRATOR, HAVE BEEN DEDICATED OR RELINQUISHED ON THE MAP OF PARCEL MAP NO. 99-212 ON FILE IN BOOK 323, PAGE 30, OF PARCEL MAPS.

(DOCUMENT AFFECTS - PLOTTED HEREON AS [ ] )

9 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED NOVEMBER 30, 2001 AS INSTRUMENT NO. 2001-0861175 OF OFFICIAL RECORDS.

(DOCUMENT AFFECTS - BLANKET IN NATURE)

10 A DEED OF TRUST RECORDED JULY 02, 2013 AS INSTRUMENT NO. 2013000398676 OF OFFICIAL RECORDS. A DOCUMENT ENTITLED "ASSIGNMENT OF LEASES, RENTS AND PROFITS" RECORDED JULY 02, 2013 AS INSTRUMENT NO. 2013000398677 OF OFFICIAL RECORDS.

(DOCUMENT AFFECTS - NOTHING TO PLOT)

11 TITLE COMPANY STATEMENT

12 TITLE COMPANY STATEMENT

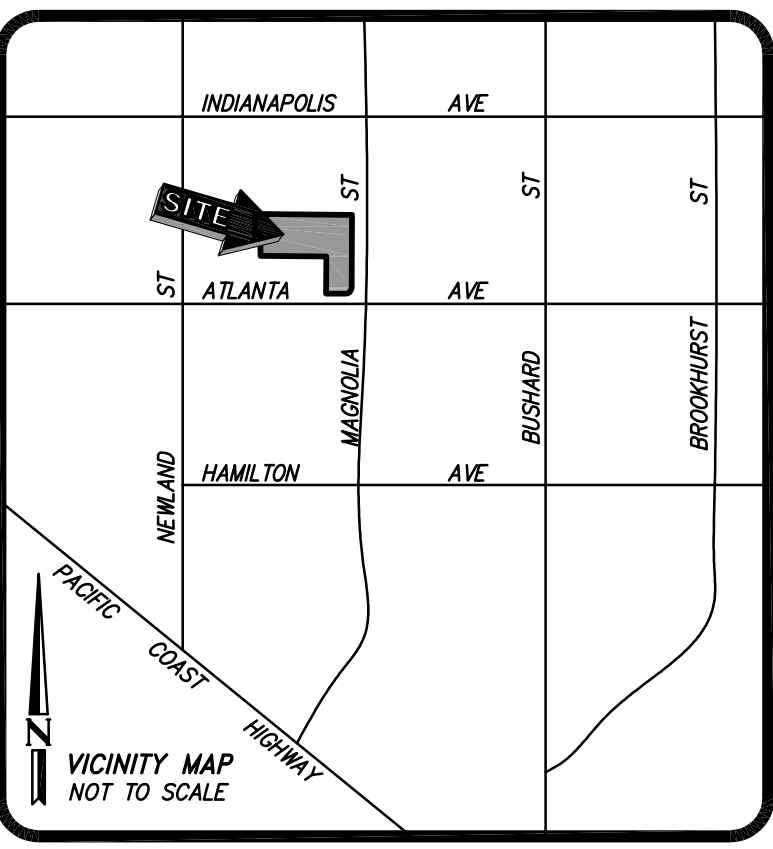
13 TITLE COMPANY STATEMENT

## LINE LEGEND

## SYMBOL LEGEND

- FIRE HYDRANT
- STREET LIGHT
- LIGHT POLE
- HANDICAP STALL
- WATER VALVE
- TRAFFIC SIGNAL
- SIGN

- PROPERTY LINE
- CENTERLINE
- UNDERLYING LOT LINE
- TIE LINE
- EASEMENT
- ACCESS RIGHTS
- BUILDING FOOTPRINT
- BUILDING OVERHANG



## FEMA FLOOD ZONE

THE LAND SHOWN ON THIS SURVEY LIES ENTIRELY WITHIN FLOOD ZONE "X" (SHADED), BEING DESCRIBED AS "AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE PER FLOOD INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL NUMBER 06071C5790H, DATED DECEMBER 3, 2009 AND PER LOMR CASE NO. 09-09-2810P, DATED DECEMBER 15, 2009. NO BASE FLOOD ELEVATION IS DETERMINED FOR ZONE "X".

## SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE PROFESSIONAL LAND SURVEYORS' ACT.

**PRELIMINARY**  
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10/01/2018  
DATE

