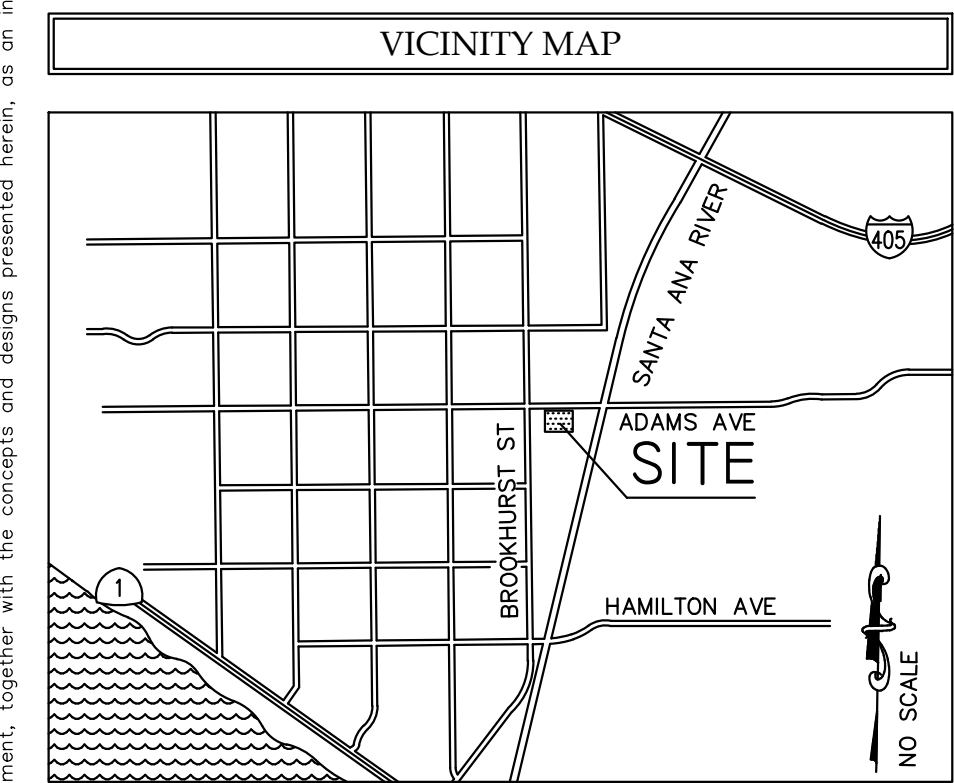
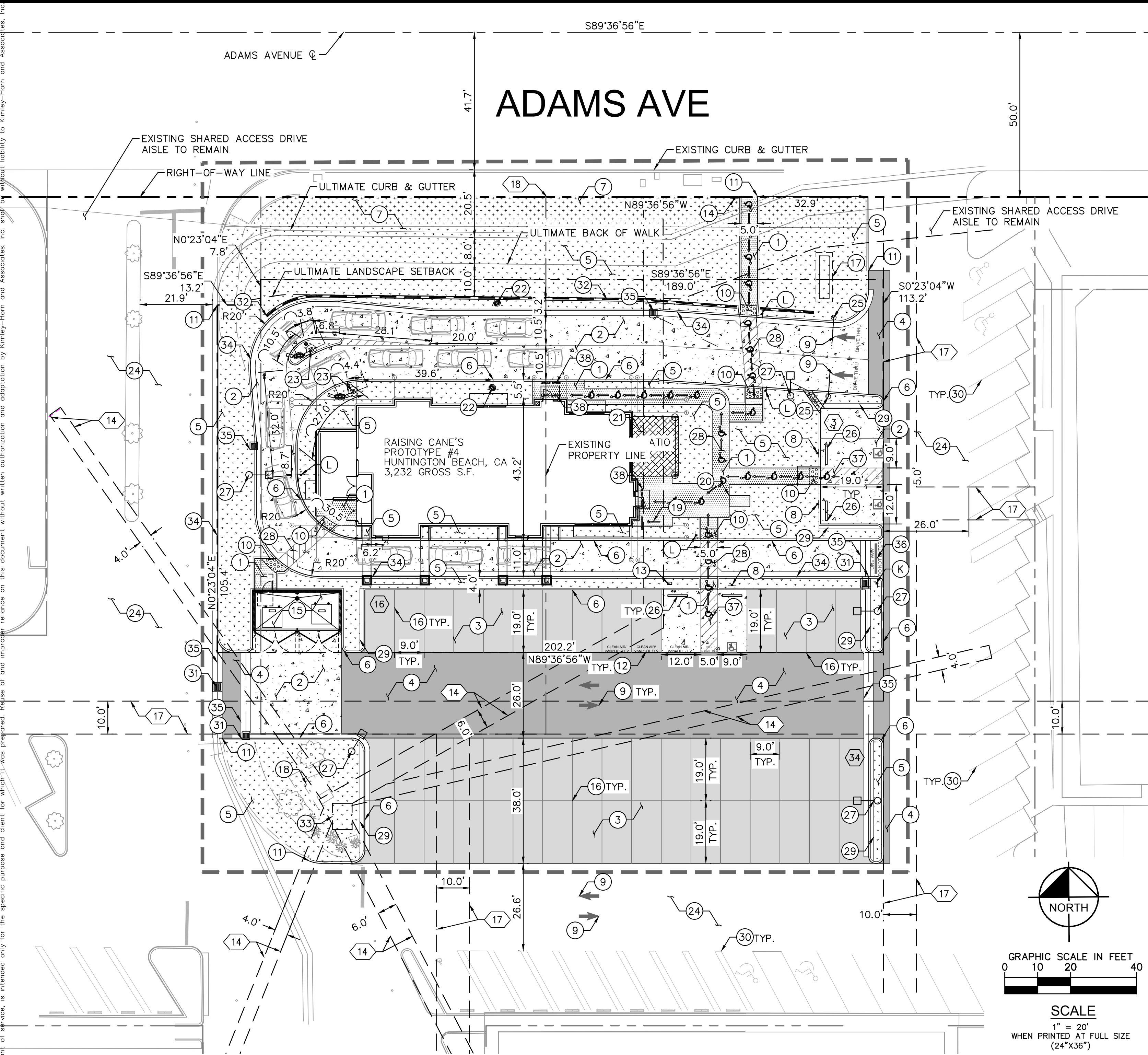


Drawing name: K:\ORA_IDEV\Raising Cane's\094797040 - Huntington Beach (Brookhurst St and Adams Ave) 384\CADD\Exhibits\Planning\Preliminary Site Plan.dwg Nov 28, 2018 3:48pm by: Lucas.Teoni



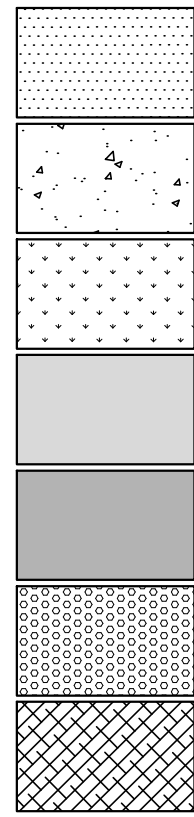
SIGN INFORMATION

- (K) CMUTCD SIGN R5-1 - "DO NOT ENTER"
(L) CMUTCD SIGN R1-5 - "YIELD TO PEDESTRIANS."

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
PARKING	231.04	RESTAURANT: 1 SPACE / 100 SF 3,232 SF BUILDING + 800 S.F. OUTDOOR PATIO = 4,032 SF = 41 SPACES	41 SPACES
LANDSCAPING	211.06	MIN. 8% OF ENTIRE SITE: SITE = 39,669 S.F. @ 8% = 3,173 S.F	10,712 S.F.
FLOOR AREA RATIO	211.06	MIN. 1.5 = 26,446 MAX BUILDING AREA FOR 39,669 S.F. SITE	12,227 = 3,232 S.F. BUILDING AREA
SETBACKS			
FRONT	211.06	MIN. DIMENSION 10 FT	10 FT
SIDE STREET	211.06	MIN. DIMENSION 10 FT	N/A
BUILDING HEIGHT	211.06	MAX. HEIGHT 50 FT	24 FT

LEGEND:

- CENTER LINE
PROPOSED LEASE LINE
EXISTING PROPERTY LINE
EASEMENT LINE
APPROXIMATE LIMIT OF WORK LINE
RIGHT OF WAY LINE



- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
SIGN POST
ACCESSIBLE PARKING SPACE
NUMBER OF PARKING SPACES

CONSTRUCTION NOTES:

- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- CONCRETE CURB
- EXISTING LANDSCAPE TO REMAIN
- ACCESSIBLE PARKING STALL SIGN
- DIRECTIONAL MARKING PER PLAN
- ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES)
- JOIN EXISTING CURB, CURB & GUTTER, SIDEWALK.
- "CLEAN AIR/VAN POOL/EV" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL
- FUTURE E/V CHARGING STATION. CONDUIT TO BE RAN TO STALL FOR FUTURE CONNECTION
- ADA PATH OF TRAVEL SIGN
- COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE
- STANDARD 90° PARKING STALL STRIPING.
- PROPOSED PYLON SIGN
- EXISTING TRANSFORMER TO REMAIN
- SHORT TERM BIKE RACK
- LONG TERM BIKE RACK
- OUTDOOR COVERED PATIO TO BE STAINED STANDARD DUTY CONCRETE PAVEMENT
- PREVIEW BOARD
- ORDER BOARD
- EXISTING DRIVE AISLE TO REMAIN
- HEADACHE BAR
- WHEELSTOPS
- SITE LIGHTING
- ACCESSIBLE PATH OF TRAVEL STRIPING.
- 18" WALK-OFF CURB
- STANDARD 60° PARKING STALL TO REMAIN
- 24" X 24" JENSEN PRECAST DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE.
- ±2' HIGH DECORATIVE SCREEN WALL
- UNDER GROUND VAULT TO REMAIN
- CURB & GUTTER
- VALLEY GUTTER
- "ONE WAY - DO NOT ENTER" STRIPING
- ACCESSIBLE PARKING STALL STRIPING
- SIDEWALK TILING PER PLAN

SITE DATA:

PROJECT DESCRIPTION:	RAISING CANE'S IS PROPOSING TO DEVELOP A 3,232 S.F. RESTAURANT WITH DUAL LANE DRIVE THROUGH, EXTERIOR PATIO, AND ASSOCIATED PARKING AREA IN HUNTINGTON BEACH. THE SITE IS CURRENTLY A VACANT PAD AND PARKING LOT.		
ADDRESS:	10142 ADAMS AVENUE HUNTINGTON BEACH, CA 92646		
ZONING DISTRICT:	CG - COMMERCIAL GENERAL		
LAND USE:	RESTAURANT WITH DRIVE THROUGH		
FLOOD ZONE:	ZONE X - AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD		
TOTAL DISTURBED AREA:	39,669 S.F.	(0.91 AC)	
TOTAL PAD AREA:	3,232 S.F.	(0.07 AC)	
PROPOSED LEASE AREA:	22,788 S.F.	(0.52 AC)	
LOT COVERAGE			
TOTAL SITE AREA:	39,669 S.F.	(0.91 AC)	100%
BUILDING AREA:	3,232 S.F.	(0.07 AC)	8.2%
IMPERVIOUS AREA:	25,725 S.F.	(0.58 AC)	64.8%
LANDSCAPE AREA:	10,712 S.F.	(0.25 AC)	27.0%
PARKING/LANDSCAPE BUFFER			
FRONT:	10.0'		
REAR:	0.0'		
SIDE (N):	0.0'		
SIDE (S):	0.0'		
PARKING SUMMARY:	3,232 S.F. BUILDING & 800 S.F. OUTDOOR PATIO (1 STALL/100 S.F.) = 41 STALLS REQUIRED PER CITY CODE.		
	ADA PARKING FOR 26-50 PARKING STALLS = 2 ADA PARKING STALLS REQUIRED PER 2016 CBC.		
	FUTURE EV FOR 26-50 PARKING STALLS = 2 FUTURE EV STALLS REQUIRED PER 2016 CALGREEN.		
	1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.		
	NUMBER OF REQUIRED DESIGNATED STALLS FOR LOW-EMITTING, FUEL-EFFICIENT, CARPOOL/VANPOOL AND ELECTRIC VEHICLES (PER 2016 CALIFORNIA GREEN BUILDING STANDARDS) = 3.		
PARKING TABLE:	REQUIRED	PROVIDED	
STANDARD	34	33	
COMPACT (C)	1	1	
MOTORCYCLE	1	1	
DESIGNATED	3	3	
EV CHARGING	2	2	(EV STALLS ARE ALSO DESIGNATED FOR VANPOOL)
ACCESSIBLE	2	2	
TOTAL:	41	41	

LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF HUNTINGTON BEACH, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:
PARCELS 1 TO 3 INCLUSIVE AND 5 TO 15 INCLUSIVE, AND PARCEL A, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 108, PAGES 40 AND 41 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, EXCEPT THEREFROM THAT PORTION OF PARCEL A CONVEYED TO THE CITY OF HUNTINGTON BEACH BY DEED RECORDED APRIL 16, 2004 AS INSTRUMENT NO.2004-285489, OFFICIAL RECORDS.

ALSO EXCEPT ALL MINERAL RIGHTS IN, ON OR UNDER SAID LAND, INCLUDING, BUT NOT LIMITED TO OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, BUT WITHOUT THE RIGHT OF ENTRY ABOVE A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, TO EXPLORE, DRILL, MINE, EXTRACT OR DEVELOP SAME, AS RESERVED BY THE CITY OF NEWPORT BEACH BY DEED RECORDED FEBRUARY 8, 1960 IN BOOK 5090, PAGE 2 OF OFFICIAL RECORDS

PARCEL B:
NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, AND THE RIGHTS OF VEHICULAR PARKING, TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR UTILITIES, ALL AS SET FORTH IN THAT CERTAIN DECLARATION OF COVENANTS AND ENCUMBRANCES AND GRANTS OF EASEMENTS RECORDED JUNE 2, 1976 IN BOOK 11757, PAGE 936 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA, OVER THE NORTH 350 FEET OF THE WEST 340.00 FEET OF THE NORTHWEST QUARTER OF SECTION B, TOWNSHIP 6 SOUTH, RANGE 10 WEST, IN THE RANCHO LAS BOLSAS, AS SHOWN ON A MAP RECORDED IN BOOK 51, PAGE 10 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA (BLANKET OVER COMMON AREAS).

PARCEL C:
A NON-EXCLUSIVE EASEMENT FOR THE CONSTRUCTION, MAINTENANCE AND REPAIR OF A STORM DRAIN, TOGETHER WITH ALL NECESSARY APPURTENANCES, OVER A PORTION OF PARCEL 4 AS SHOWN ON A MAP FILED IN BOOK 108, PAGES 40 AND 41 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, WITHIN A STRIP OF LAND 10 FEET WIDE, LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID PARCEL 4 DISTANT NORTHERLY THEREON 197 FEET FROM THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE NORTH 88° 49' 03" EAST ALONG LINE PARALLEL WITH THE SOUTHERLY LINE OF SAID PARCEL 4. A DISTANCE OF 96.09 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 45 FEET THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 55° 58' 27" A DISTANCE OF 43.96 FEET; THENCE SOUTH 35° 12' 30" EAST A DISTANCE OF 55.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 45 FEET; THENCE SOUTHEASTERLY ALONG SAID LAST MENTIONED CURVE, THROUGH A CENTRAL ANGLE OF 20° 08' 24" A DISTANCE OF 15.82 FEET; THENCE SOUTH 55° 20' 54" EAST A DISTANCE OF 84 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 45 FEET; THENCE SOUTHEASTERLY ALONG SAID LAST MENTIONED CURVE THROUGH A CENTRAL ANGLE OF 54° 09' 57" A DISTANCE OF 42.54 FEET TO A LINE PARALLEL WITH AND DISTANT WESTERLY 5 FEET FROM THE EASTERLY LINE OF SAID PARCEL; THENCE SOUTHERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO SAID SOUTHERLY LINE OF SAID PARCEL 4 (DOES NOT AFFECT THE TOPO AREA).

TITLE REPORT EXCEPTIONS

- (14) AN EASEMENT FOR UNDERGROUND LINES RECORDED IN BOOK 11895 PAGE 1011 OFFICIAL RECORDS (PLOTTED HEREON).
- (17) AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATES HEREIN AND INCIDENTAL PURPOSES A SHOWN ON THE FILED MAP FOR 10-FOOT EASEMENT FOR WATER (PLOTTED HEREON).
- (18) RELEASE AND RELINQUISHMENT OF A BUTTER'S OR ACCESS RIGHT TO ADAMS AVENUE AND BROOKHURST STREET, EXCEPT AT LOCATIONS APPROVED BY THE THE BOARD OF ZONING ADJUSTMENTS OVER THE ADJACENT BOUNDARY LINE OF PREMISES, AS SET FORTH ON THE FILED MAP OF SAID LAND, (PLOTTED HEREON).

BLDG # B2018-XXXXXX PW # 18-XXX L # 18-XXX



ISSUE	DATE	BY	DESCRIPTION	APP'D	SOILS ENGINEER
	11-29-18		CUP SUBMITTAL		JOSHUA R. MORGAN TERRACON CONSULTANTS. 1421 EDINGER AVE., SUITE C TUSTIN, CA 92780 (949) 261-0051 PROJECT #60185159 DATE PREPARED: SEPTEMBER 5, 2018

DM
DRAWN BY
LT
CHECKED BY
JP
RECOMMENDED



Kimley»Horn
765 THE CITY DRIVE, SUITE 200
ORANGE, CA 92668
(714) 939-1030
PREPARED UNDER THE DIRECT SUPERVISION OF:
JOHN POLLACK R.C.E. NO. 86160
DATE: 11/28/2018
EXP. 12/31/18

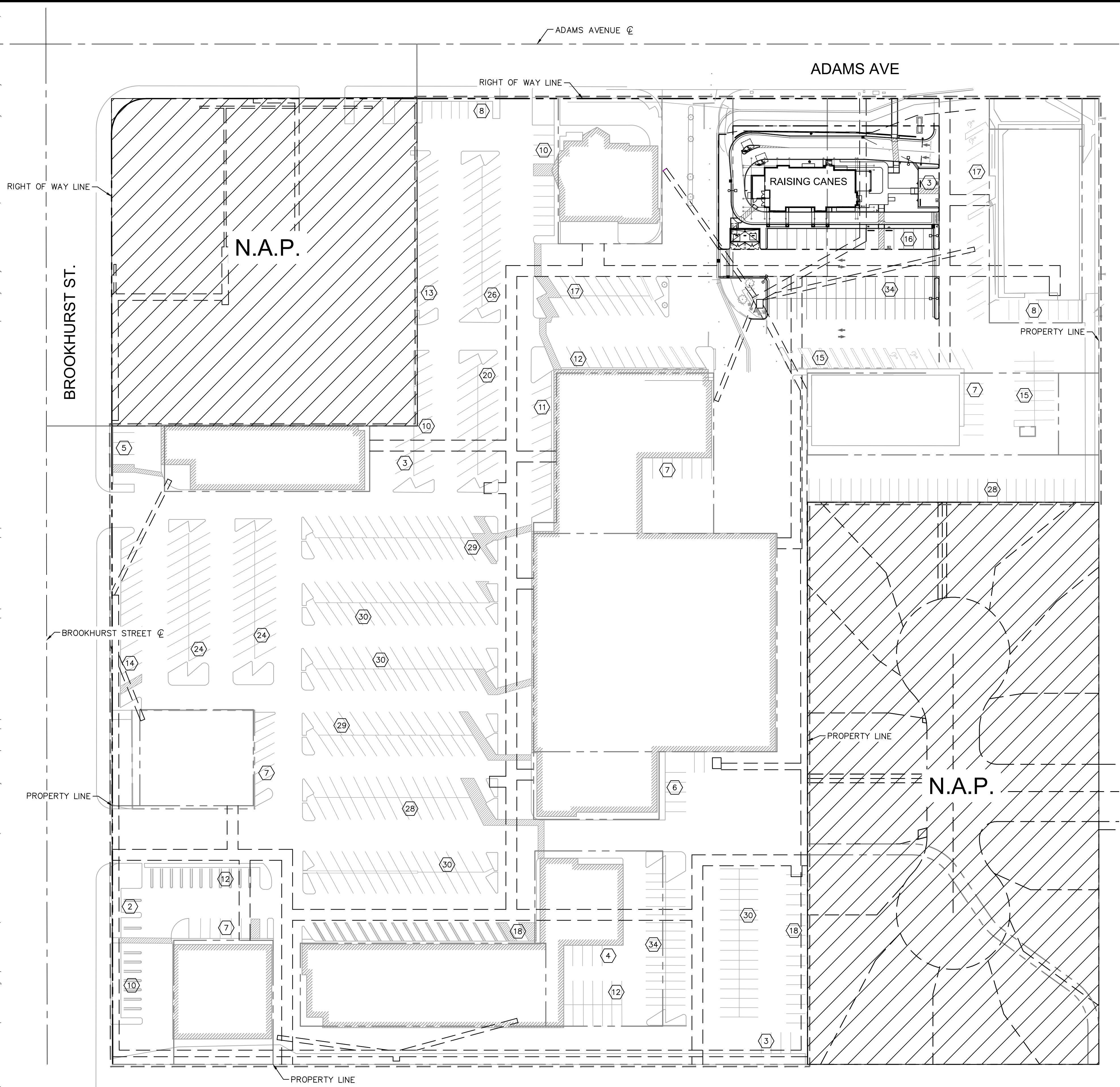
REVIEWED BY:	
H.B. DEPT. OF PUBLIC WORKS	DATE

PROJECT OWNER: TAYLOR PHAM (VICE PRESIDENT), AND MERLONEGEIER PARTNERS
(949) 305-4199
PROJECT ADDRESS: ADAMS & BROOKHURST ST.
HUNTINGTON BEACH, CA 92646
PROJECT ID: XXXXX RC#384

CITY OF HUNTINGTON BEACH	SHEET 1
PRELIMINARY SITE PLAN	OF
CDP 18-XXX, CUP 18-XXX 10142 ADAMS AVENUE HUNTINGTON BEACH, CA 92646	SHEETS 1

Drawing name: K:\ORA_LDEV\Raising Cone's\094797040 - Huntington Beach (Brookhurst St and Adams Ave) 384\CADD\Exhibits\Planning\Preliminary Parking Matrix.dwg Layout1 Nov 28, 2018 3:41pm by: Lucas.Teani

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Brookhurst & Adams - Parking Analysis						
Address: South East Corner Brookhurst & Adams, Huntington Beach, CA 92646						
Bldg/Unit	Business Name	Bussiness Address (Huntington Beach, CA 92646)	Land Use Category	Area (Sq. Ft.)	Parking Ratio	Parking Spaces Required
1	ALKA Living Water	10042 Adams Ave	Retail	1,590	1:200	7.95
2	MM Tailor	10044 Adams Ave	Retail	1,060	1:200	5.30
3	Anna's Nails	10046 Adams Ave	Personal Services	954	1:200	4.77
4	Sea Fit Studio	10052 Adams Ave	Personal Enrichment	2,074	1:200	10.37
5	Hambones Bar & Grill	10056 Adams Ave	Restaurant	3,020	1:100	28.76
7	Vacant	N/A	Retail	7,000	1:200	35.00
8	Shima Restaurant	10076 Adams Ave	Restaurant	2,358	1:100	23.58
9	Eggroll King	10078 Adams Ave	Restaurant	1,035	1:100	10.35
10	Lampoose Pizza	10084 Adams Ave	Restaurant	3,452	1:100	34.52
11	Huntington Flowers	10086 Adams Ave	Retail	1,173	1:200	5.87
12	Beachside Optometry	10088 Adams Ave	Personal Services	2,010	1:200	10.05
13	HB Beauty Supply	10090 Adams Ave	Retail	5,865	1:200	29.33
14	First Allied Financial	10104 Adams Ave	Bank	1,750	1:250	7.00
15	A/B Dental	10114 Adams Ave	Dental	3,500	1:175	20.00
16	United Healthcare	10114 Adams Ave	Medical	5,500	1:175	31.43
18	Stater Bros	10114 Adams Ave	Grocery	41,975	1:200	209.88
19	Supercuts	10116 Adams Ave	Retail	1,400	1:200	7.00
20	R Cleaners	10118 Adams Ave	Retail	1,400	1:200	7.00
21	Liberty Coin	10122 Adams Ave	Retail	3,640	1:200	18.20
23	Simone & Son	10124 Adams Ave	Retail	3,360	1:200	16.80
25	The Tutoring Center	9011 Adams Ave	Personal Enrichment	1,190	-	5.00
26	Adams Pet Clinic	10130 Adams Ave	Veterinary	1,260	1:200	6.30
27	Beach Coin Laundry	10132 Adams Ave	Retail	2,100	1:200	10.50
28	Woody's Diner	10136 Adams Ave	Restaurant	5,502	1:100	11.73
29	Raising Canes Proposed Per Submittal	10142 Adams Ave	Restaurant	3,233	1:100	32.33
29	Raising Canes (Outdoor Area)Proposed Per Submittal	10142 Adams Ave	Restaurant	800	1:100	8.00
30	Vacant	N/A	Retail	3,250	1:200	27.51
31	C.O.R.E. Rehab Center	10162 Adams Ave	Medical	3,282	1:175	18.75
33	Vacant	N/A	Retail	2,243	1:200	11.22
34	Los Primos	10176 Admas Ave	Restaurant	1,586	1:100	15.86
35	MoMa Coffee	10178 Admas Ave	Restaurant	1,200	1:100	12.00
36	Mayer Music	10180 Admas Ave	Retail	1,260	1:200	6.30
37	All-Star Dance Academy	10184 Admas Ave	Personal Enrichment	2,068	1:200	10.34
38	Vacant	N/A	Retail	4,386	1:200	21.93
39	First Team Real Estate	20100 Brookhurst St.	Business	7,000	1:250	28.00
			Total Center SF	134,476		749
					TOTAL SPACES REQUIRED	749
					TOTAL SPACES PROVIDED	686
					PARKING SURPLUS/DEFICIT	-63

LEGEND:

CENTER LINE

PROPOSED LEASE LINE

EXISTING PROPERTY LINE

EASEMENT LINE

RIGHT OF WAY LINE

LIMITS OF PARKING ANALYSIS CENTER

X

NUMBER OF PARKING SPACES

NORTH

GRAPHIC SCALE IN FEET

0

25

50

100

SCALE

1" = 50'

WHEN PRINTED AT FULL SIZE
(24"x36")

BLDG # B2018-XXXXXX PW # 18-XXX L # 18-XXX

DIGALERT

DIAL BEFORE YOU DIG

TWO WORKING DAYS BEFORE YOU DIG

TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

ISSUE	DATE	BY	DESCRIPTION	APP'D
	11-29-18		CUP SUBMITTAL	

SOILS ENGINEER

JOSHUA R. MORGAN
TERRACON CONSULTANTS.
1421 EDINGER AVE.,
SUITE C
TUSTIN, CA 92780
(949) 261-0051
PROJECT #60185159
DATE PREPARED:
SEPTEMBER 5, 2018

DM

DRAWN BY

LT

CHECKED BY

JP

RECOMMENDED

ENGINEER'S SEAL

REGISTERED PROFESSIONAL ENGINEER

JOHN C. POLLACK

RCE NO. 86160

CIVIL

STATE OF CALIFORNIA

Kimley»Horn

765 THE CITY DRIVE, SUITE 200
ORANGE, CA 92668
(714) 939-1030

PREPARED UNDER THE DIRECT SUPERVISION OF:

JOHN POLLACK R.C.E. NO. 86160

DATE: 11/28/2018

EXP. 12/31/18

ENGINEER'S SEAL

REGISTERED PROFESSIONAL ENGINEER

JOHN C. POLLACK

RCE NO. 86160

CIVIL

STATE OF CALIFORNIA

REVIEWED BY:

H.B. DEPT. OF PUBLIC WORKS

DATE

PROJECT OWNER: TAYLOR PHAM (VICE PRESIDENT), AND MERLONEGEIER PARTNERS
(949) 305-4199
PROJECT ADDRESS: ADAMS & BROOKHURST ST.
HUNTINGTON BEACH, CA 92646
PROJECT ID: XXXXX RC#384

CITY OF HUNTINGTON BEACH

PRELIMINARY PARKING MATRIX PLAN

CDP 18-XXX, CUP 18-XXX

10142 ADAMS AVENUE HUNTINGTON BEACH, CA 92646

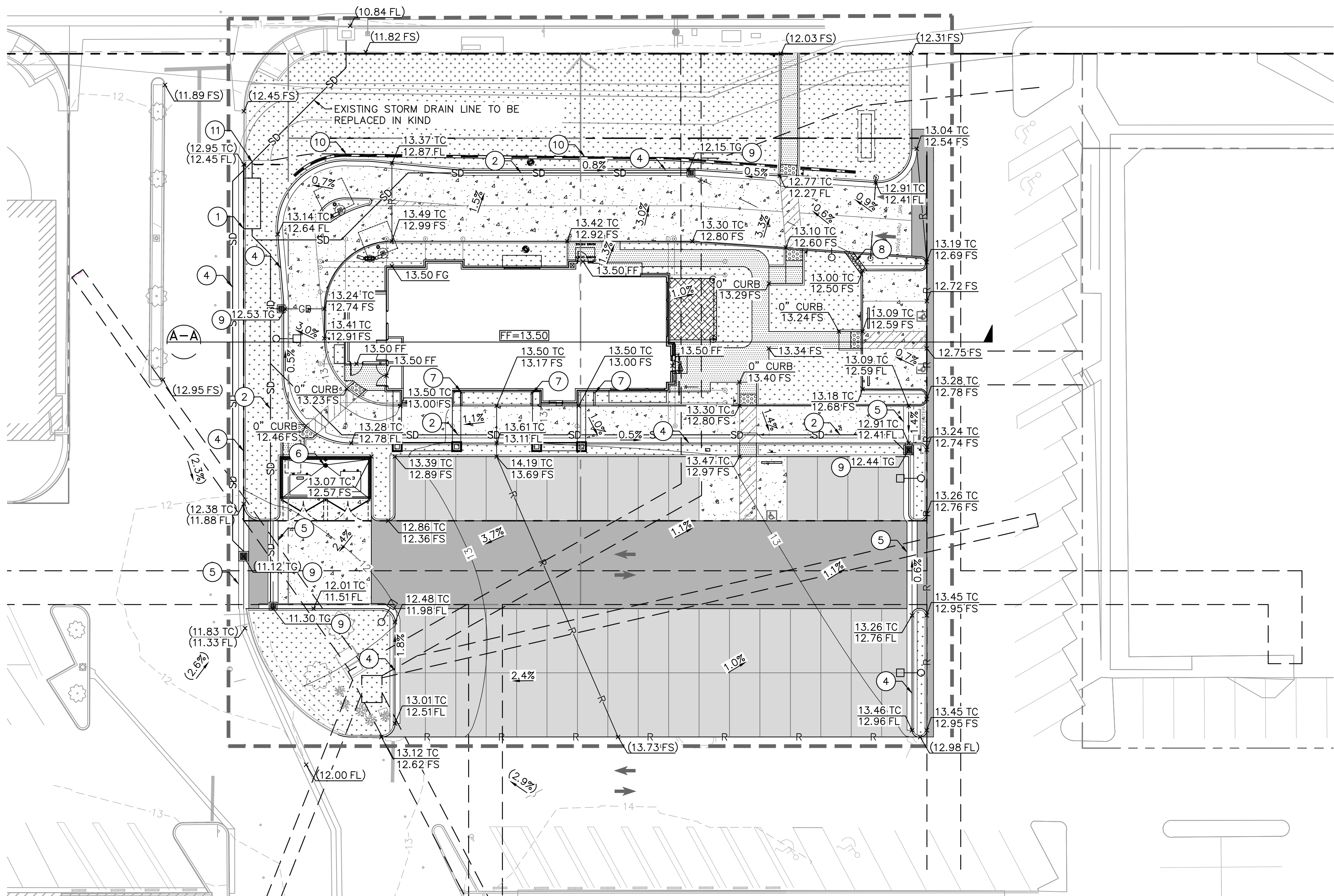
SHEET 1

OF 1

SHEETS 1

Drawing name: K:\ORA_LDEV\Raising Cone's\094797040 - Huntington Beach (Brookhurst St and Adams Ave) 384\CADD\Exhibits\Prelim Grading Plan.dwg Sheet Nov 28, 2018 2:42pm by: Lucas Teeni
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ADAMS AVE



LEGEND

- CENTER LINE
- RIGHT-OF-WAY LINE
- EXISTING PROPERTY LINE
- PROPOSED LEASE LINE LINE
- EASEMENT LINE
- APPROXIMATE LIMITS OF DISTURBANCE
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- EXISTING FLOW DIRECTION

GRADING AND DRAINAGE NOTES

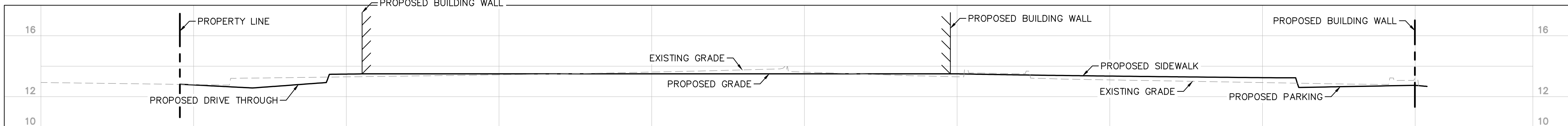
- PROPOSED MODULAR WETLAND.
- 8" SDR-35 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
- 6" SDR-35 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
- CONCRETE CURB AND GUTTER.
- CONCRETE VALLEY GUTTER.
- TRASH ENCLOSURE DRAIN WITH ACCESSIBLE GRATE. DRAIN TO SEWER.
- ROOF DOWNSPOUTS. CONNECT TO 4" SDR-35 PVC STORM DRAIN PIPE AND DRAIN THRU CURB FACE.
- PROPOSED 2.0' WIDE RIP-RAP CHANNEL GUTTER.
- 24" X 24" JENSEN PRECAST DROP INLET. ALL DROP INLETS SHALL HAVE A CATCH BASIN FILTER INSERT.
- PROPOSED ±2' HIGH DECORATIVE SCREEN WALL.
- CONNECT TO EXISTING ON-SITE STORM DRAIN PIPE

ESTIMATED EARTHWORK QUANTITIES

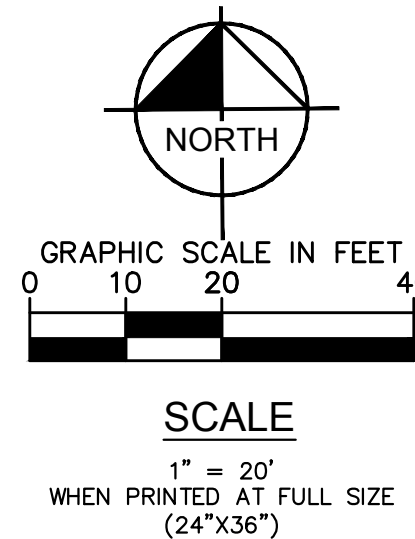
CUT: 675 CY
FILL: 35 CY
NET: 640 CY (EXPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER- EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.



SECTION A-A
HORIZONTAL SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (24" X 36")
VERTICAL SCALE: 1" = 5' WHEN PRINTED AT FULL SIZE (24" X 36")



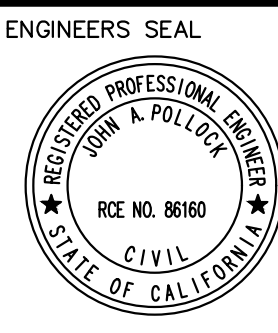
BLDG # B2018-XXXXXX PW # 18-XXX L # 18-XXX



ISSUE	DATE	BY	DESCRIPTION	APP'D
11-29-18			CUP SUBMITTAL	

SOILS ENGINEER
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765 THE CITY DRIVE, SUITE 200
ORANGE, CA 92668
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JOHN POLLACK R.C.E. NO. 86160
DATE: 11/28/2018
EXP. 12/31/18

REVIEWED BY:
H.B. DEPT. OF PUBLIC WORKS
DATE

PROJECT OWNER: TAYLOR PHAM (VICE PRESIDENT), AND MERLONEGEIER PARTNERS
(949) 305-4199
PROJECT ADDRESS: ADAMS & BROOKHURST ST.
HUNTINGTON BEACH, CA 92646
PROJECT ID: XXXXX RC#384

CITY OF HUNTINGTON BEACH
PRELIMINARY GRADING PLAN
CDP 18-XXX, CUP 18-XXX
10142 ADAMS AVENUE HUNTINGTON BEACH, CA 92646

SHEET 1
OF
SHEETS 1



KIESEL·DESIGN

Kiesel Landscape
Architecture Inc.

422 E Main Street
Ventura, CA 93001

(p) 805.947.0730
Jack@kiesel-design.com
CL# 5206

RC Hunington Beach
RC #384

10142 Adams Ave.
Huntington Beach, CA 92646

ABN#
Contact Info:

Revisions:

DATE NAME



Type: Preliminary CUP

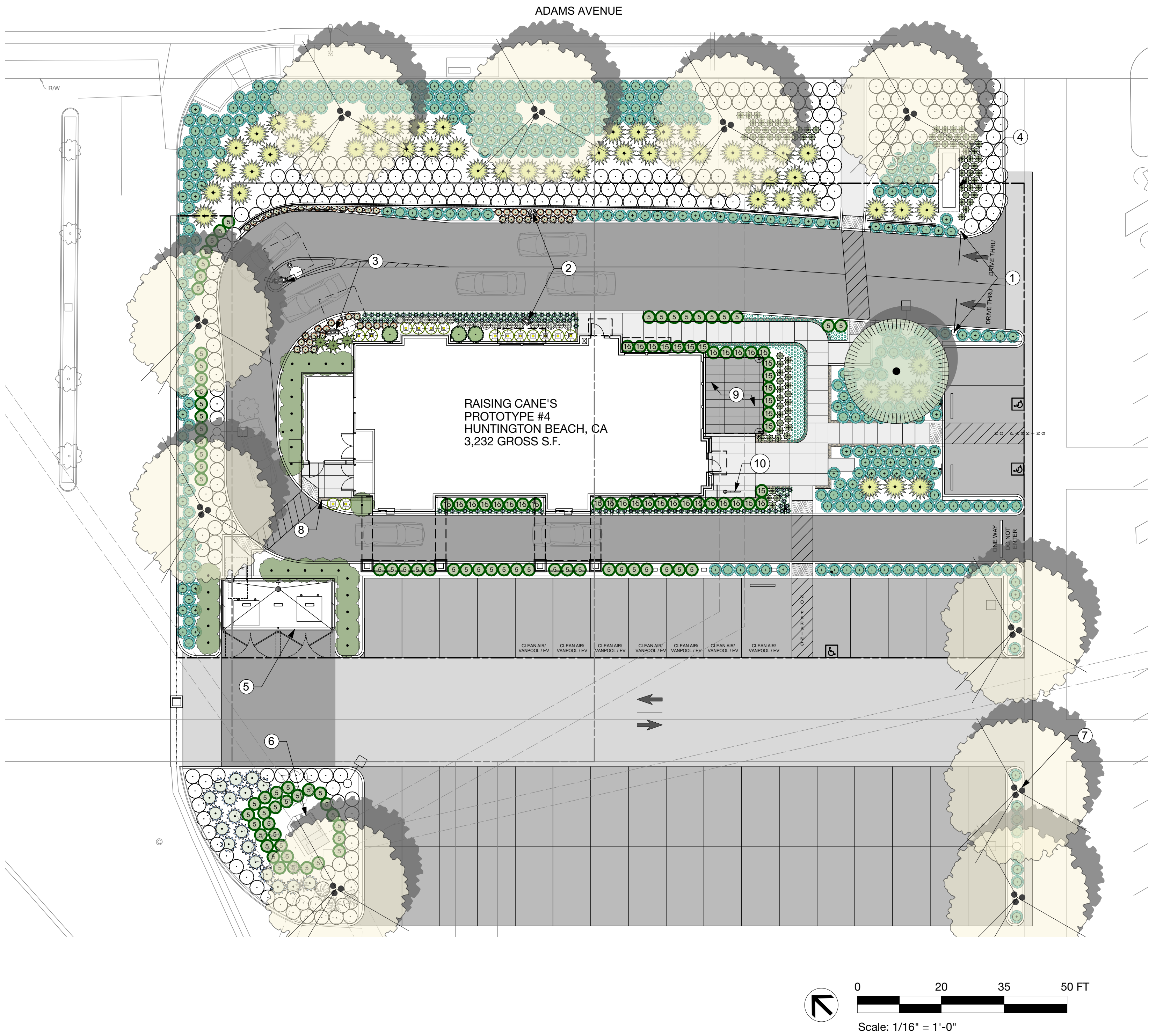
Submission Date:
November 26th, 2018

Drawn By:
NAME DATE
M.Colvin 11/2018

Title:

Preliminary
Landscape Plan

Sheet Number:



Abbreviations

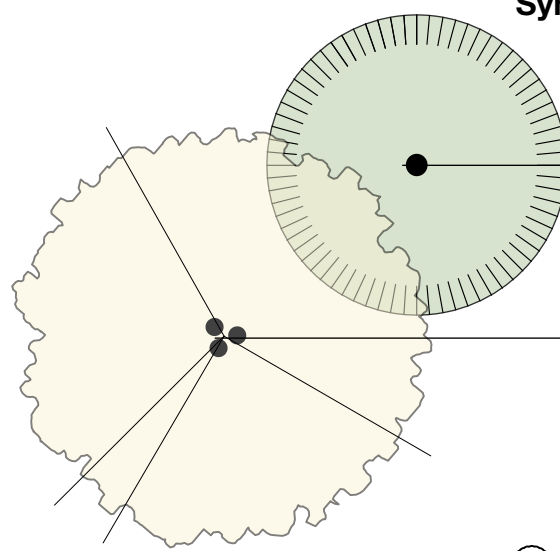
APROX.	-	approximate
DG	-	decomposed granite
(E)	-	existing
EQ.	-	equal
LF	-	linear foot
L.O.W.	-	limit of work
O.C.	-	on center
(P)	-	proposed
PA	-	planting area
R	-	radius
SF	-	square foot
SIM.	-	similar
TBDIF	-	to be determined in field
TYP.	-	typical
W/	-	with
GPM.	-	gallons per minute
DI	-	drain inlet

General Notes

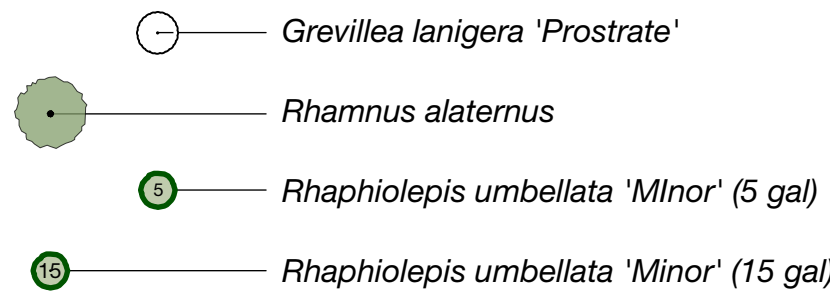
1. Total landscape area: (see Architects's plan, excludes hardscape paving areas)
Per the City of Ontario, reclaimed water will not be utilized for the landscape irrigation.

Plant List

Symbols Botanical Name
Trees



Shrubs



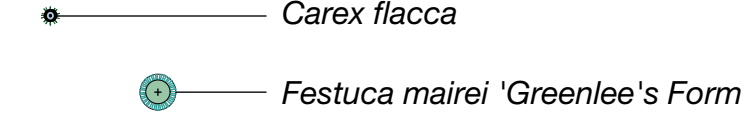
Perennials



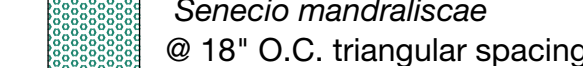
Succulents



Grasses



Groundcovers



Common Name	Size	Qty	Mature Height	Size Width	WUCOLS
Desert Museum Palo Verde	24" box	1	25 ft	25 ft	Low
Tipu Tree	36" box	10	20 - 30 ft	20 - 30 ft	Low
Prostrate Woolly Grevillea	5 gal	255	12 - 18 in	3 - 4 ft	Low
Italian Buckthorn	15 gal	27	12 - 16 ft	6 - 8 ft	Low
Dwarf Yedda Hawthorn	5 gal	79	3 - 5 ft.	36 in. - 4 ft.	Low
Dwarf Yedda Hawthorn	15 gal	42	3 - 5 ft.	36 in. - 4 ft.	Low
Yellow Striped Fortnight Lily	---	16	2 - 3 ft	3 - 4 ft	Low
Blue Flame Agave	15 gal	19	2 - 3 ft.	2 - 3 ft.	Low
Yellow Soap Aloe	---	91	2 - 3 ft	1 - 2 ft	Low
Coral Aloe	---	21	2 - 3 ft.	1 - 2 ft.	Low
Topaz Grass Aloe	---	55	1 - 2 ft	2 - 3 ft	Low
Giant False Agave	---	56	4 - 5 ft.	6 - 8 ft.	Very Low
Soft Leaf Yucca	---	4	6 - 8 ft	6 - 8 ft	Very Low
Blue Sedge	---	118	< 1 ft	3-4 ft	Low
Atlas Fescue	---	410	2.5 ft	3 ft	Low
Kleinia	1 gal	146 SF	1 to 2 ft	3 to 4 ft	Low

Proposed Notes

- (P) headache bar per Architect
- (P) pre-order board per Architect
- (P) order board per Architect
- (P) monument sign per Architect
- (P) trash enclosure per Architect
- (P) electrical transformer per Civil
- (P) root barrier
- (P) cobble border
- (P) overhead structure per Architect
- (P) bike parking per Architect

Materials Legend

Area	Material	Size	Area
	Davis® integral colored concrete W/ double bladed saw cut joints. Finish: TOPCAST® #03 W/ matte sealer**	NA	257 SF
	Natural colored concrete W/ double bladed saw cut joints. Finish: TOPCAST® #05 W/ matte sealer	NA	1,287 SF
	Local cobble stone border	8-12" W	183 SF

*Concrete Pigment Supplier: DAVIS COLORS
<https://www.daviscolors.com/>
** Glaze 'N Seal Natural Look Penetrating Sealer
Product#: 327GNPS5G

City Requirements

- Use of crushed rock (DG) or gravel is to be avoided
- Vegetative matter at maturity shall cover at least 70% of P.A.
- 75% of all shrubs, except those used for groundcover shall be MIN (5 gal)
- MAX height of shrubs shall be 32" within any parking area & within 5' of any driveway
- 32" H wall shall be provided to screen parking from street if P.A. is less than 10' W
- MIN planter for trees shall be 48" square
- 12" concrete step offs required in parking area planters

Tree Requirement Calculations

- (1) 36" box tree for every 45 LF of street frontage, planted within the first 15' of set back area adjacent to street
of (P) trees required = 4
- (1) 24" box tree per 10 parking spaces
of (P) trees required = 5

Total # of trees required on-site = 9



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**RC Hunington Beach
RC #384**
10142 Adams Ave.
Huntington Beach, CA 92646

ABN#
Contact Info:

Revisions:
DATE NAME



Type: Preliminary CUP

Submittal Date:
November 26th, 2018

Drawn By:
NAME DATE
M. Colvin 11/2018

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Title:

**Preliminary Planting
Images**

Sheet Number:

L1.2

Trees



Cercidium 'Desert Museum' Tipuana tipu

Screen Shrubs 6' H



Rhamnus alaternus

Shrubs 3' H



Dietes grandiflora Grevillea lanigera 'Prostrate' Rraphiolepis umbellata 'Minor'

Succulents



Agave 'Blue Flame' Aloe maculata yellow Aloe striata Aloe topaz Frucraea foetida 'Metiopicta' Yucca recurvifolia

Grasses



Carex flacca Festuca mairei 'Greenlee's Form'

Groundcover

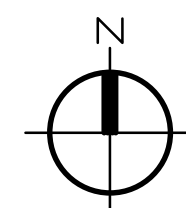
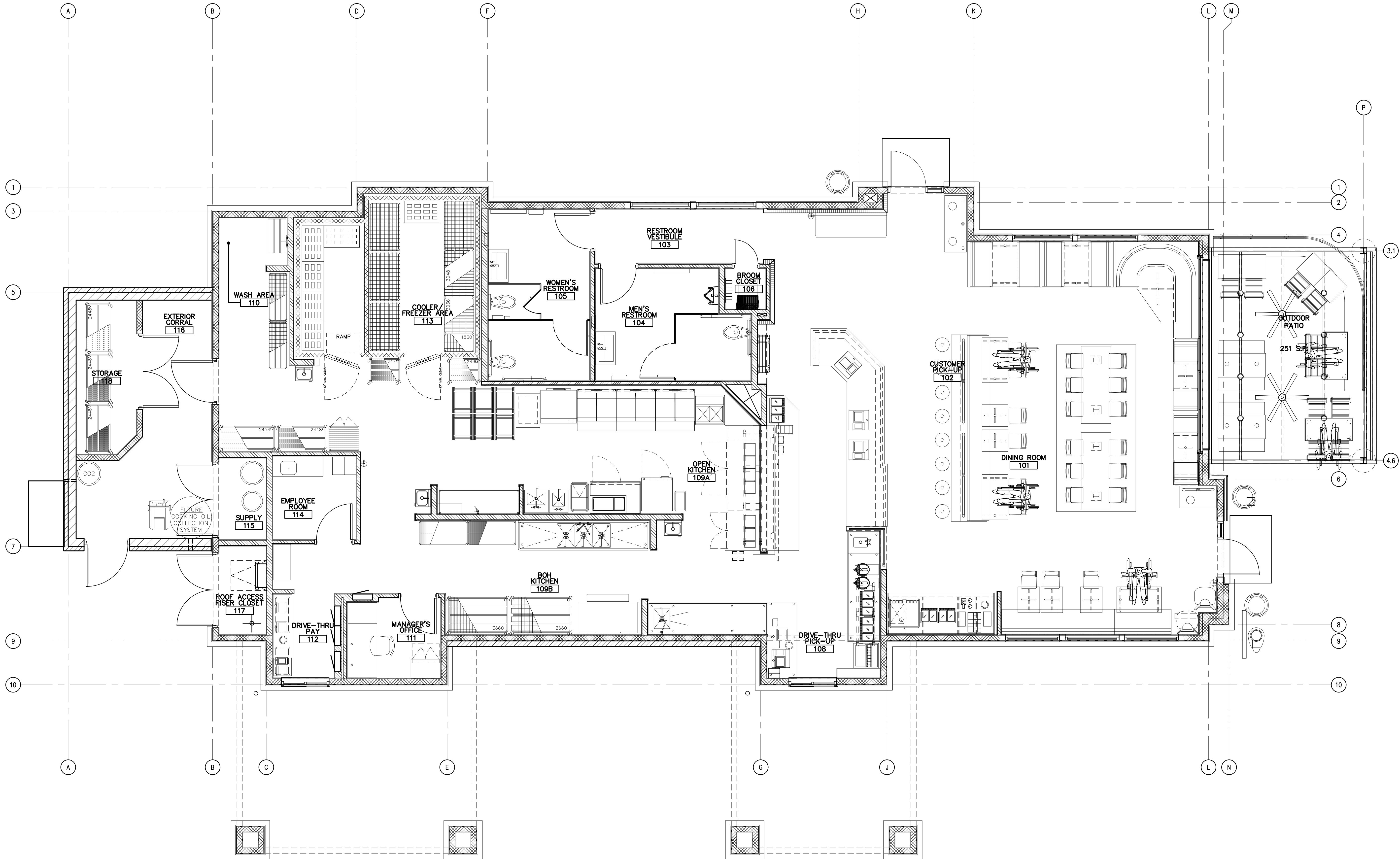


Senecio mandraliscae

Materials



Cobble Border



1 | CONCEPTUAL FLOOR PLAN
1/4" = 1'-0"
3234 SQ.FT.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

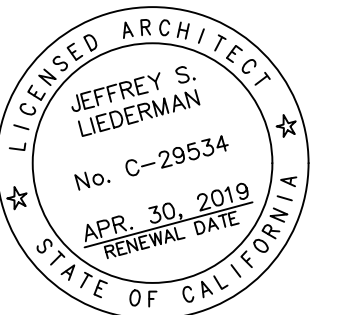
Prototype Issue Date:

Store: **Raising Cane's**
10142 Adams Avenue
Huntington Beach, CA 92646
Store #RC384
Prototype 4 CA-HC
ERD 4.0

Professional of Record:

PM
DESIGN
Architectural
Solutions Group

38 EXECUTIVE PARK
SUITE 310
IRVINE, CA 92614
Contact: Jeff Liederman
(949) 430-7051
jlederman@pmdginc.com
Jeff Liederman, Architect



Prototype Update Phase:

Initial Setup Date: 7/24/18

Project Manager: R.G.

Conceptual Design

Sheet Revisions:

#	Date	Description
07.24.2018	07.24.2018	Conceptual Design
09.27.2018	09.27.2018	Conceptual Design Rev.
11.28.2018	11.28.2018	CUP Submittal

Sheet Title:

CONCEPTUAL FLOOR PLAN

Project Number: RAC17022.0

Drawn By: IRVINE

Sheet Number:

A1.10



1 | EAST ELEVATION
1/4"= 1'-0"
1A04.1

MATERIALS LEGEND	
	DESCRIPTION
	STANDING SEAM METAL ROOF MATTE BLACK
	METAL CAP FLASHING MATTE BLACK
	PRE-FAB METAL CANOPY MATTE BLACK
	ROOF SCUPPER AND DOWN SPOUT MATTE BLACK
	RAW STEEL PANEL SANDBLASTED
	BELDEN BRICK ROMAN MEDIUM RANGE IRON SPOT
	STUCCO FINISH DRYVIT "HONEY TWIST" 383
	ALUMINUM STOREFRONT KAWNEER TRIFAB 451 II CLEAR ANODIZED
	STUCCO FINISH DRYVIT "MOUNTAIN FOG" 132
	STUCCO FINISH DRYVIT "OYSTER SHELL" 456



2 | SOUTH ELEVATION
1/4"= 1'-0"
2A04.1



Store:
Raising Cane's
10142 Adams Avenue
Huntington Beach, CA 92646
Store #RC399
Prototype 4 CA-HC
ERD 3.6

Architect Information:



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Jeff Uederman, Architect

Conceptual Design

Revisions:

#	Date	Description
	11.05.2018	Conceptual Design
	11.30.2018	Conceptual Design

Sheet Title:

**EXTERIOR
ELEVATIONS**

Sheet Number:

A04.1



1 | WEST ELEVATION
1/4"= 1'-0"
1A04.2

MATERIALS LEGEND	
	DESCRIPTION
	STANDING SEAM METAL ROOF MATTE BLACK
	METAL CAP FLASHING MATTE BLACK
	PRE-FAB METAL CANOPY MATTE BLACK
	ROOF SCUPPER AND DOWN SPOUT MATTE BLACK
	RAW STEEL PANEL SANDBLASTED
	BELDEN BRICK ROMAN MEDIUM RANGE IRON SPOT
	STUCCO FINISH DRYVIT "HONEY TWIST" 383
	ALUMINUM STOREFRONT KAWNEER TRIFAB 451 II CLEAR ANODIZED
	STUCCO FINISH DRYVIT "MOUNTAIN FOG" 132
	STUCCO FINISH DRYVIT "OYSTER SHELL" 456



2 | NORTH ELEVATION
1/4"= 1'-0"
2A04.2



Store:
Raising Cane's
10142 Adams Avenue
Huntington Beach, CA 92646
Store #RC399
Prototype 4 CA-HC
ERD 3.6

Architect Information:



Architectural
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Jeff Uederman, Architect

Conceptual Design

Revisions:

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	11.05.2018	Conceptual Design
	11.30.2018	Conceptual Design

Sheet Title:

**EXTERIOR
ELEVATIONS**

Sheet Number:

A04.2