



# FLASHPOINT BREWERY

- New Microbrewery & Tasting Room -  
7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648



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REVISIONS:

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PROJECT IDENTIFICATION:

FLASHPOINT  
BREWERY  
7302 Auto Park Dr.  
Huntington Beach, CA 92648

REGISTRATION:



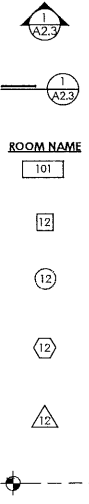
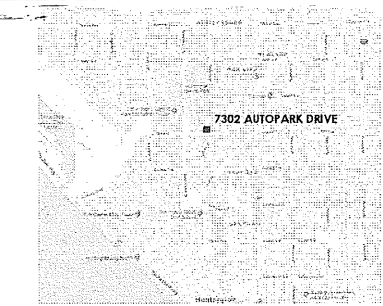
CLIENT:  
Pat & Christy  
Anderson

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CONSTRUCTION  
REVIEW

DATE ISSUED:  
March 25, 2019  
DRAWN BY:  
SCS  
DRAWING SCALE:  
As Noted  
SHEET DESCRIPTION:  
Title Sheet

T-1

STORMWATER POLLUTION	GENERAL NOTES			CODE ANALYSIS	DRAWING SYMBOLS	SHEET INDEX																
<b>STANDARD STORMWATER POLLUTION PREVENTION NOTES</b>  STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE WITH ALL LOCAL WATER QUALITY STANDARDS AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED, AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:  1. EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BMP'S SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.  2. SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.  3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM THE BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.  4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATER. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO THE SOIL.  5. EXCESS OR WASTE CONCRETE MAY NOT BE WASTED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.  6. WASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.  7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.  8. STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.	1. ALL WORK SHALL COMPLY WITH THE FOLLOWING:  A. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE CONDITIONS, CONVENIENTS, AND RESTRICTIONS GOVERNING THE SITE OF THE WORK.  B. ALL AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS  C. ALL MANUFACTURER STANDARDS/RECOMMENDATIONS/REQUIREMENTS FOR MATERIALS, EQUIPMENT, OR ASSEMBLIES.  2. IN CASES OF CONFLICTING INFORMATION AND/OR STANDARDS REGARDING THE WORK, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.  3. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS. NOTED DIMENSIONS SHALL TAKE PRECEDENT OVER SCALE. EACH CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY REPORT TO THE ARCHITECT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THE WORK AND/OR THEIR SPECIFIC TRADE.  4. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND SUBCONTRACTORS TO REVIEW THE ENTIRE SCOPE OF WORK FOR THE PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO REVIEW THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS IN THEIR ENTIRETY.  4. ALL CONTRACTORS AND SUBCONTRACTORS MUST BE PROPERLY LICENSED WITHIN THE JURISDICTION OF THE WORK AND BE SKILLED/EXPERIENCED IN THE PERFORMANCE OF THE WORK/TRADE FOR WHICH THEY'VE BEEN HIRED. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER.  5. ALL CONTRACTORS AND SUBCONTRACTORS SHALL REPLACE ANY/ALL ITEMS DAMAGED BY THE IN THE PERFORMANCE OF THEIR WORK AT NO ADDITIONAL COST TO THE OWNER.  6. ALL CONTRACTORS, SUBCONTRACTORS, AND/OR SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE RESPONSIBLE FOR FULLY COORDINATING, COOPERATING, AND CONFERRING WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION AND ENSURE THE SUCCESSFUL IMPLEMENTATION OF ALL WORK.  7. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN, COORDINATE, AND PAY FOR ANY/ALL PERMITS, FEES, AND AGENCY INSPECTIONS AS REQUIRED UNLESS NOTED OTHERWISE IN A WRITTEN AGREEMENT WITH THE OWNER.  8. ALL CONTRACTORS AND SUBCONTRACTORS ARE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND PROCEDURES AS WELL AS APPROPRIATE SAFETY PRECAUTIONS AND SITE SECURITY CONNECTED WITH THE EXECUTION OF THE WORK. SITE VISITS AND FIELD OBSERVATIONS BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER SHALL NOT BE CONSIDERED AS REVIEWING FOR APPROVAL OF THESE CONDITIONS.  9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ADEQUACY, AND SAFE OF ERECTION OF ALL BRACING, SHORING, TEMPORARY SUPPORTS, ETC. REQUIRED OR NEEDED FOR THE WORK AND SHALL BE RESPONSIBLE FOR ANY/ALL DAMAGES RESULTING FROM SUCH ACTIONS.  10. THE CONTRACTOR SHALL MAINTAIN THE SECURITY OF THE SITE DURING THE COURSE OF CONSTRUCTION THROUGH SUBSTANTIAL COMPLETION AND SHALL BE RESPONSIBLE FOR REPLACING ANY WORK OR MATERIALS LOST TO THEFT OR VANDALISM DURING THIS PERIOD.  11. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN THE SITE SUCH THAT IT IS CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, FINISH SURFACES ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON THE COMPLETION OF THE PROJECT. NO STORAGE OR PLACEMENT OF HAZARDOUS, TOXIC, CARCINOGENIC, OR FLAMMABLE MATERIALS SHALL BE PERMITTED ON THE SITE; DISPOSAL OF SUCH MATERIALS SHALL BE UNDERTAKEN IN A SAFE MANNER AND IN COMPLIANCE WITH ALL CURRENT LAWS AND REGULATIONS.	13. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS, INDEMNIFY, AND DEFEND THE OWNER, ARCHITECT AND THEIR CONSULTANTS TO THE FULLEST EXTENT ALLOWED BY LAW FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND ANY OTHER COSTS, INCLUDING COSTS OF DEFENSE AND ATTORNEY'S FEES, ARISING OUT OF THE ANY LEGAL ACTION TAKEN RELATED TO THE CONSTRUCTION AND EXECUTION OF THE WORK.  14. THE ARCHITECT HAS PROVIDED ARCHITECTURAL DESIGN SERVICES AND BASIC COORDINATION OF CONSULTANT WORK FOR THE PROJECT. THE ARCHITECT NEITHER WARRANTS NOR GUARANTEES ANY CONSTRUCTION MATERIAL, EQUIPMENT, APPLIANCE, FIXTURE, HARDWARE, FINISH, OR MEANS OF METHODS OF THE CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY PROJECT SITE GRADING OR DRAINAGE, NOR ANY TOXIC AND HAZARDOUS MATERIAL, GROUND, EROSION, CORROSION, SUBSOIL/AIR/WATER CONTAMINATION OCCURRING ON THE PROJECT SITE.  15. THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF ANY CONTRACTOR AND/OR SUBCONTRACTOR. ALL FAILURES TO PERFORM, INCOMPETENCE, ERRORS, AND/OR OVERSIGHTS BY CONTRACTORS AND/OR SUBCONTRACTORS IS THE SOLE RESPONSIBILITY OF ENTITY CONTRACTED TO EXECUTE THE WORK.  16. THE ARCHITECT SHALL SUPPORT THE DRAWINGS AND DESIGN CONCEPTS CONTAINED IN THIS PACKAGE. SUPPORT SHALL BE LIMITED TO INTERPRETATION AND CLARIFICATIONS OF ORIGINAL CONCEPTS ONLY. IT IS NOT WITHIN THE ARCHITECT'S PROPOSED SERVICES TO REVIEW ALTERNATES OR SUBSTITUTIONS WITHOUT ADDITIONAL COMPENSATION (ADDITIONAL SERVICES).  17. WHILE THE CODE ALLOWS FOR PROPERTY OWNERS TO ACT AS THE PROJECT CONTRACTOR OR "OWNER/BUILDER", THE ARCHITECT DOES NOT RECOMMEND THIS PRACTICE AND IS UNDER NO OBLIGATION TO PROVIDE SUPPORT BEYOND BASIC STANDARD OF CARE WITHOUT ADDITIONAL COMPENSATION (ADDITIONAL SERVICES).  18. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO PROVIDING ANY BIDS OR ESTIMATES FOR THE WORK. THE SUBMITTAL OF BIDS, ESTIMATES, OR PROPOSALS INDICATES THE CONTRACTOR'S ACCEPTANCE AND UNDERSTANDING OF THE EXISTING CONDITIONS UNDER WHICH THE WORK SHALL BE PERFORMED.  19. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES REQUIRED TO COMPLETE THE WORK AS OUTLINED BY THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO TEMPORARY ELECTRICAL POWER, WATER SUPPLY, SHORING, BRACING, STAGING, AND SANITARY FACILITIES.  20. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND OTHER SUPPORTS FOR ALL NEW EQUIPMENT, CASEWORK, AND FIXTURES (SUPPORT FOR EXISTING EQUIPMENT, CASEWORK, AND FIXTURES EFFECTED BY NEW WORK SHALL ALSO BE PROVIDED).  21. UNLESS OTHERWISE NOTED, ALL CONNECTIONS SHALL BE CONCEALED. THE USE OF SURFACE ANY EXPOSED OR VISIBLE FASTENERS) SHALL BE APPROVED BY THE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE OF WEATH-RESISTANT MATERIALS.  22. FIRE BLOCKING SHALL BE PROVIDED AS SPECIFIED BY CBC SEC. R302.11  23. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND STANDARDS OF QUALITY CONSTRUCTION PRACTICES.  24. TEMPERED SAFETY GLAZING SHALL BE PROVIDED AS REQUIRED BY CBC SEC. 2406  25. ALL DOORS FROM THE HOUSE INTO A POOL AREA SHALL BE EQUIPPED WITH AN APPROVED ALARM OR AN APPROVED ALTERNATE DROWNING PREVENTION SAFETY FEATURE PER CBC SEC. 3109.4.4.2.  26. SMOKE ALARMS SHALL BE INSTALLED PER CRC R314.3.  27. CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CRC R315.3.  28. WEEP SCREEDS FOR STUCCO AT THE FOUNDATION PLATE LINE SHALL BE A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.7.2.1  29. ALL HOSE BIBBS ARE TO HAVE VACUUM BREAKERS PER CPC 603.5.7.  30. HOUSE NUMBERS SHALL BE MOUNTED TO THE HOUSE AND SHALL BE BISIBLE AND LEGIBLE FROM THE STREET IN A CONTRASTING COLOR 4" TALL MIN.	<b>PROPERTY OWNER</b> FLASHPOINT BREWERY 7302 AUTOPARK DRIVE HUNTINGTON BEACH, CALIFORNIA 92646 PH# 714 477 3090  <b>PROJECT ADDRESS</b> 7302 Auto Park Dr. Huntington Beach, CA 92648  <b>ASSESSOR PARCEL NUMBER</b> APN#: 652-191-26  <b>BUILDING(S) DESCRIPTION</b> EXISTING AUTO REPAIR BUILDING  <b>OCCUPANCY</b> TASTING ROOM: B (PER CBC SEC. 303.1.2) MICROBREWERY: F-1  <b>BUILDING CONSTRUCTION</b> TYPE III-B (SPRINKLERED)  <b>APPLICABLE CODES</b> CALIFORNIA BUILDING CODE (CBC) (BASED ON 2019 EDITION OF INTERNATIONAL BUILDING CODE (IBC)) CALIFORNIA PLUMBING CODE (CPC) (BASED ON 2015 EDITION OF UNIFORM PLUMBING CODE (UPC)) CALIFORNIA MECHANICAL CODE (CMC) (BASED ON 2015 EDITION OF UNIFORM MECHANICAL CODE (UMC)) CALIFORNIA ELECTRICAL CODE (CEC) (BASED ON 2014 NATIONAL ELECTRICAL CODE (NEC)) CALIFORNIA ENERGY CODE 2016 EDITION CALIFORNIA GREEN BUILDING STANDARDS 2016 EDITION ALL LOCAL MUNICIPAL CODES & ORDINANCES  <b>PROJECT AREAS / SCOPE OF WORK</b> 1. CONSTRUCT PARTITIONS 2. CONSTRUCT TASTING BAR 3. CONSTRUCT ACCESSIBLE TOILET ROOMS 4. CONSTRUCT BEER COOLER 5. INSTALL BREWERY EQUIPMENT 6. INSTALL LIGHTING 7. INSTALL PLUMBING, MECHANICAL, & ELECTRICAL INFRASTRUCTURE  <b>EXISTING BUILDING AREAS (GROSS):</b> AUTO REPAIR SHOWROOM: 924 S.F. AUTO REPAIR AREA: 1,711 S.F. UPPER LEVEL STORAGE AREA: 974 S.F. TOTAL: 3,609 S.F.  <b>PROPOSED TENANT IMPROVEMENT AREAS:</b> - GROUND-LEVEL TASTING ROOM/BAR/TOILETS 563 S.F. BREWERY 391 S.F. STORAGE 1,681 S.F. - UPPER-LEVEL STORAGE/EQUIPMENT 974 S.F. TOTAL: 3,609 S.F.	 <b>REFERENCE TO SECTION OR ELEVATION</b> SYMBOL USED ON PLAN VIEWS NUMBER ABOVE - SECTION OR ELEVATION NUMBER NUMBER BELOW - SHEET NUMBER  <b>REFERENCE TO DETAIL</b> SYMBOL USED ON PLAN, ELEVATIONS, SECTIONS NUMBER ABOVE - DETAIL NUMBER NUMBER BELOW - SHEET NUMBER  <b>ROOM IDENTIFICATION</b> SYMBOL USED ON PLAN, SECTIONS COMMON ROOM NAME ABOVE ROOM REFERENCE NUMBER BELOW  <b>KEYNOTE SYMBOL</b> SEE INFORMATION PROVIDED ON INDIVIDUAL SHEET CORRESPONDING WITH NUMBER IN SYMBOL  <b>DOOR IDENTIFICATION SYMBOL</b> SYMBOL AND NUMBER IDENTIFY INDIVIDUAL DOORS (INFORMATION TO BE PROVIDED ON FLOOR PLANS; NO SCHEDULE PROVIDED)  <b>WINDOW IDENTIFICATION SYMBOL</b> SYMBOL AND NUMBER IDENTIFY INDIVIDUAL WINDOWS (INFORMATION TO BE PROVIDED ON FLOOR PLANS; NO SCHEDULE PROVIDED)  <b>REVISION IDENTIFICATION SYMBOL</b> SYMBOL AND NUMBER IDENTIFY CHANGES TO DRAWING CONTENT (INFORMATION IS TYPICALLY PROVIDED IN INDIVIDUAL SHEET TITLE BLOCKS)  <b>WORKING/CONTROL/DATUM POINT</b> SYMBOL TO IDENTIFY SPECIFIC POINT OF REFERENCE RELATED TO THE PROJECT DESIGN OR EXISTING POINT OF REFERENCE	 <b>7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648</b> (SEE MAP MARKER FOR SITE LOCATION)	<table><thead><tr><th>SHT. #</th><th>SHEET TITLE</th></tr></thead><tbody><tr><td colspan="2">ARCHITECTURAL</td></tr><tr><td>T-1</td><td>TITLE SHEET</td></tr><tr><td>A0.1</td><td>SITE PLAN</td></tr><tr><td>A1.1</td><td>FLOOR PLANS - GROUND/UPPER LEVELS</td></tr><tr><td>A3.1</td><td>BUILDING ELEVATIONS</td></tr><tr><td colspan="2">STRUCTURAL</td></tr><tr><td colspan="2">MECHANICAL</td></tr></tbody></table>	SHT. #	SHEET TITLE	ARCHITECTURAL		T-1	TITLE SHEET	A0.1	SITE PLAN	A1.1	FLOOR PLANS - GROUND/UPPER LEVELS	A3.1	BUILDING ELEVATIONS	STRUCTURAL		MECHANICAL	
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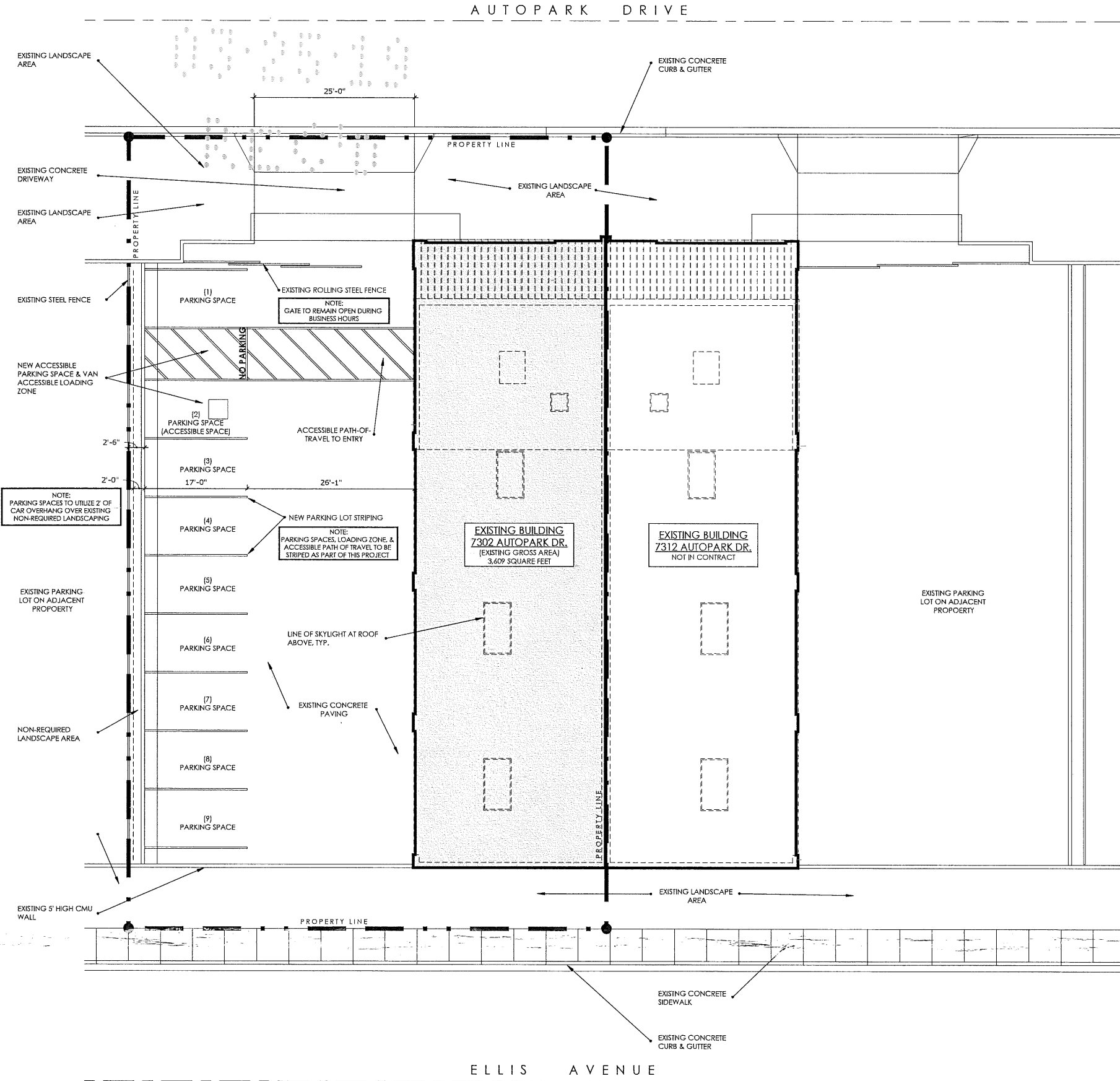
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REVIEW

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SHEET DESCRIPTION:  
Site Plan

A0.1

FACILITY PARKING REQUIREMENTS (PERCENT OF HUNTINGTON BEACH PARKING REQUIREMENTS)			
ROOM			
NAME	AREA	PARKING SPACE AREA RATIO	SPACES REQUIRED
TASTING ROOM	563 S.F.	*1 PARKING SPACE PER 200 SQUARE FEET	2.8
BREWERY	391 S.F.	1 PARKING SPACE PER 500 SQUARE FEET	0.8
STORAGE	2,655 S.F.	1 PARKING SPACE PER 1000 SQUARE FEET	2.6
TOTAL PARKING SPACE REQUIRED			6.2

\* TASTING ROOM WITH 12 SEATS OR LESS



A

7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648

Overall Site Plan



Scale: 1/8" = 1'-0"



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CONTRACT REVIEW

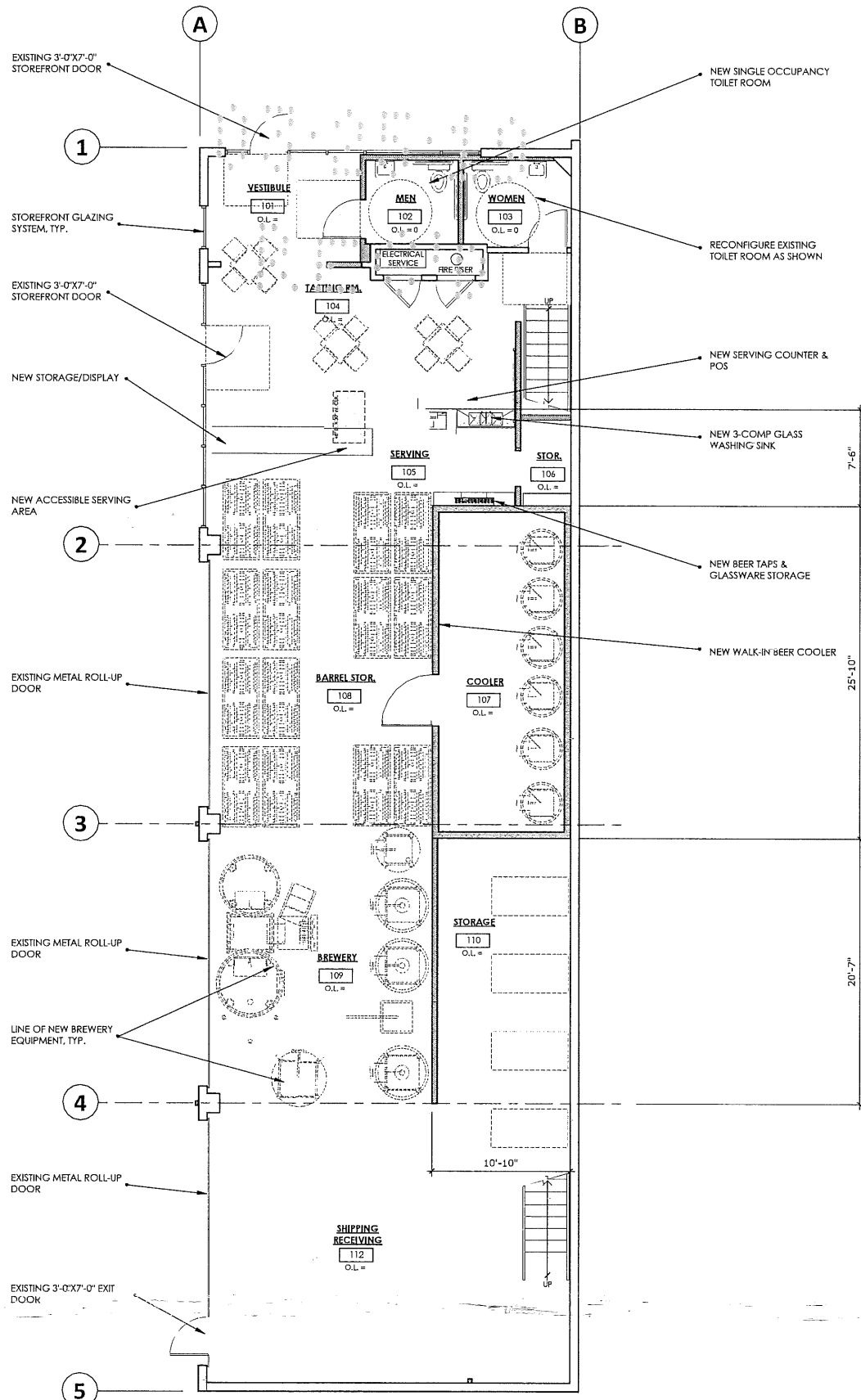
DATE ISSUED:  
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DRAWN BY:  
SCS

DRAWING SCALE:  
As Noted

SHEET DESCRIPTION:  
Floor Plans  
Ground Level &  
Upper Level

**A1.1**

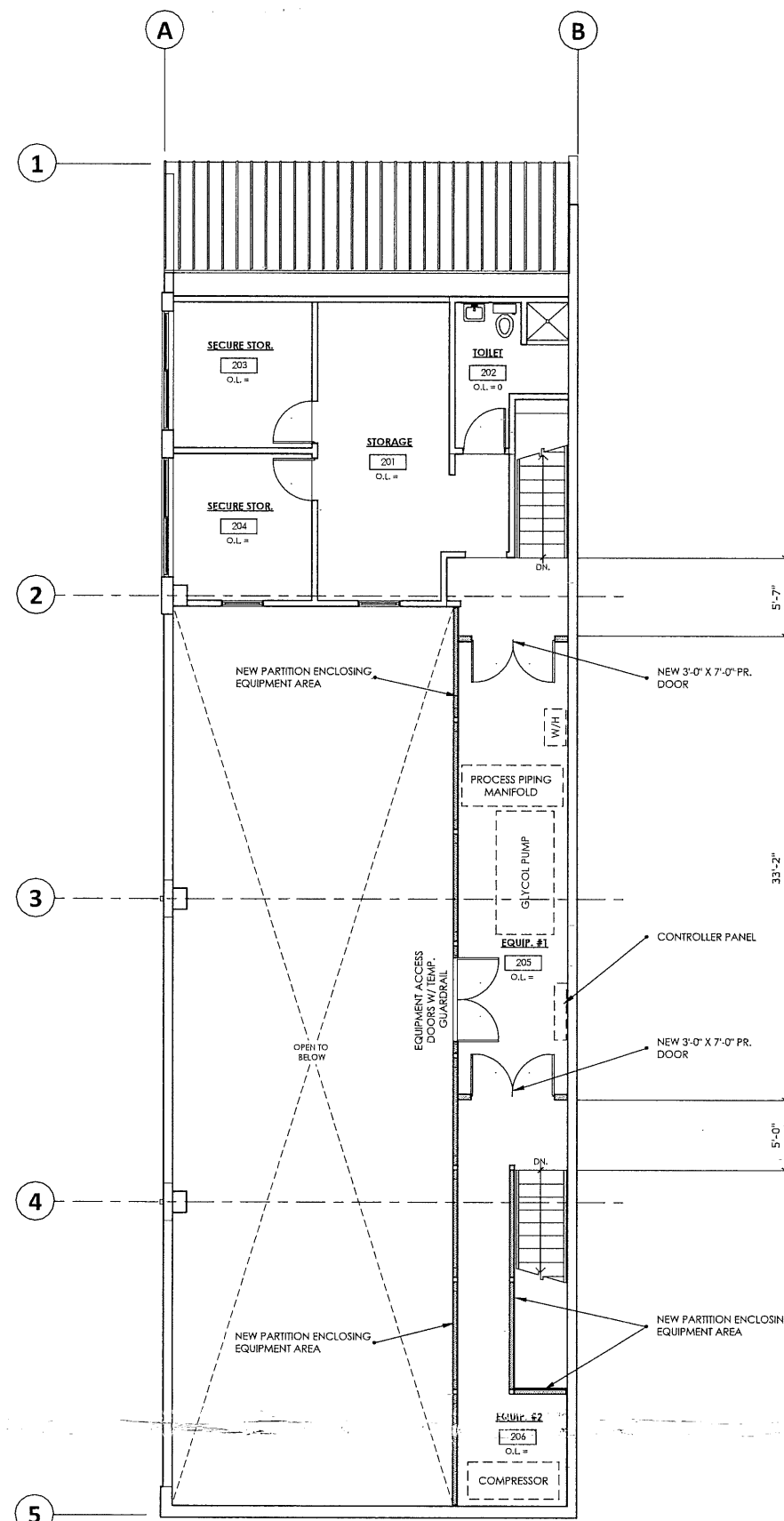


**A**

7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648

Ground-Level Floor Plan

Scale: 3/16" = 1'-0"



**B**

7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648

Upper-Level Floor Plan

Scale: 3/16" = 1'-0"



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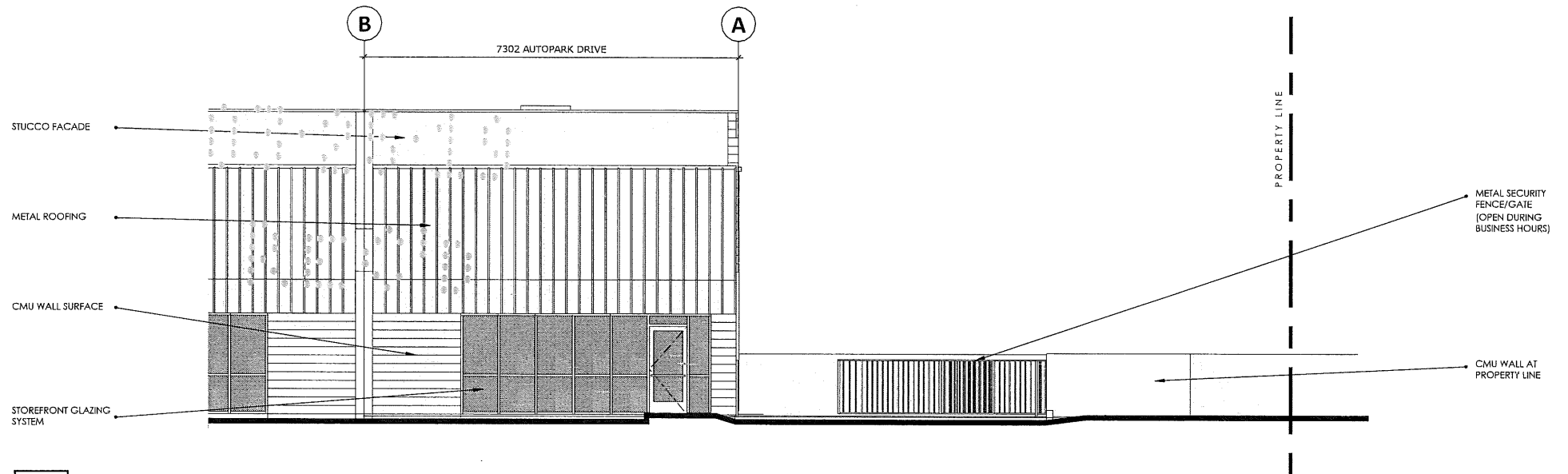
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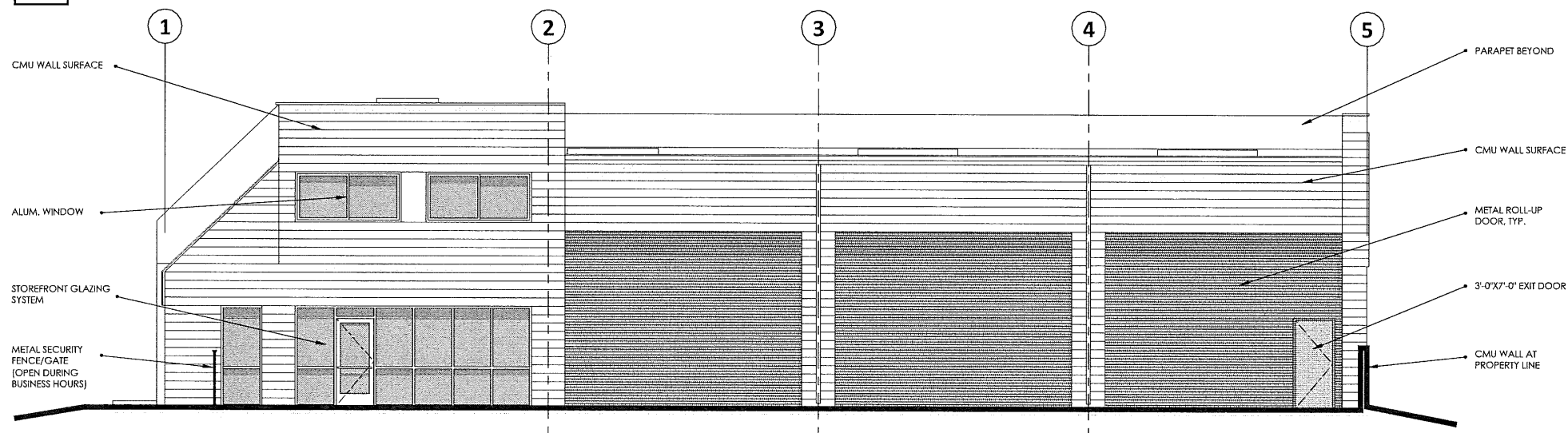
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SHEET DESCRIPTION:  
Building Elevations

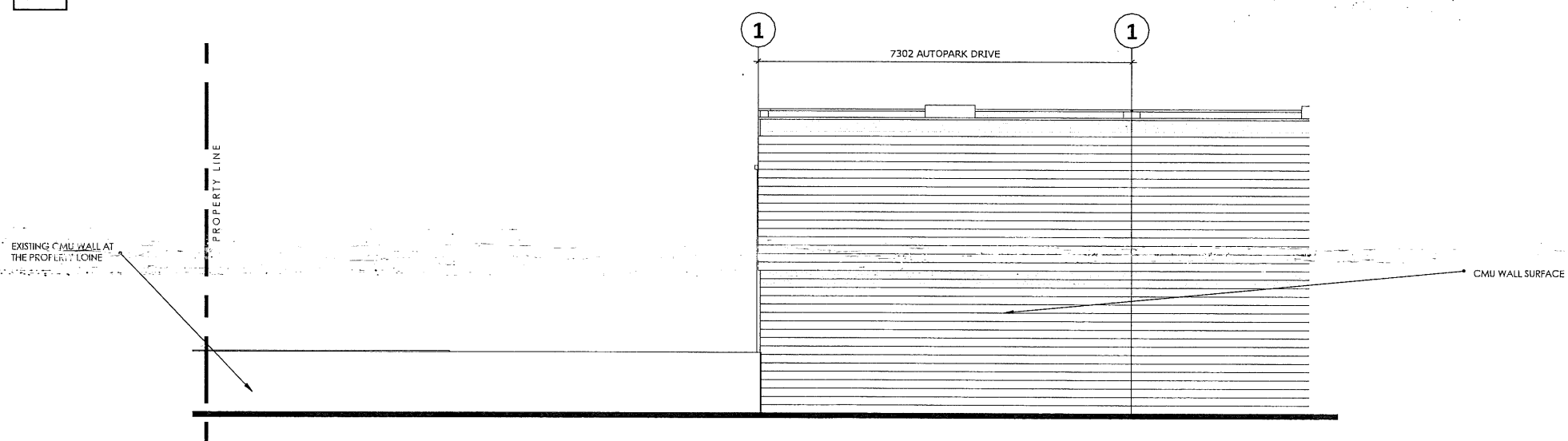
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**A** 7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648 **Building Elevation - North** Scale: 3/16" = 1'-0"



**A** 7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648 **Building Elevation - West** Scale: 3/16" = 1'-0"



**A** 7302 AUTO PARK DRIVE, HUNTINGTON BEACH, CA 92648 **Building Elevation - South** Scale: 3/16" = 1'-0"