

1. ALL CONSTRUCTION SHALL CONFORM TO 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, AND THE 2016 CALIFORNIA ELECTRICAL CODE. THE 2016 CA. ENERGY CODE TITLE 24 2016 CALIFORNIA GREEN BUILDING CODE AND HUNTINGTON BEACH MUNICIPAL CODE.

2. CONTRACTOR/BUILDER TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

3. DO NOT SCALE DRAWINGS.

4. ALL FRAMING LUMBER TO BE CONSTRUCTION GRADE D.F. #2 OR BETTER

5. COORDINATE ALL FINISH COLORS AND MATERIALS WITH EXISTING.

6. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

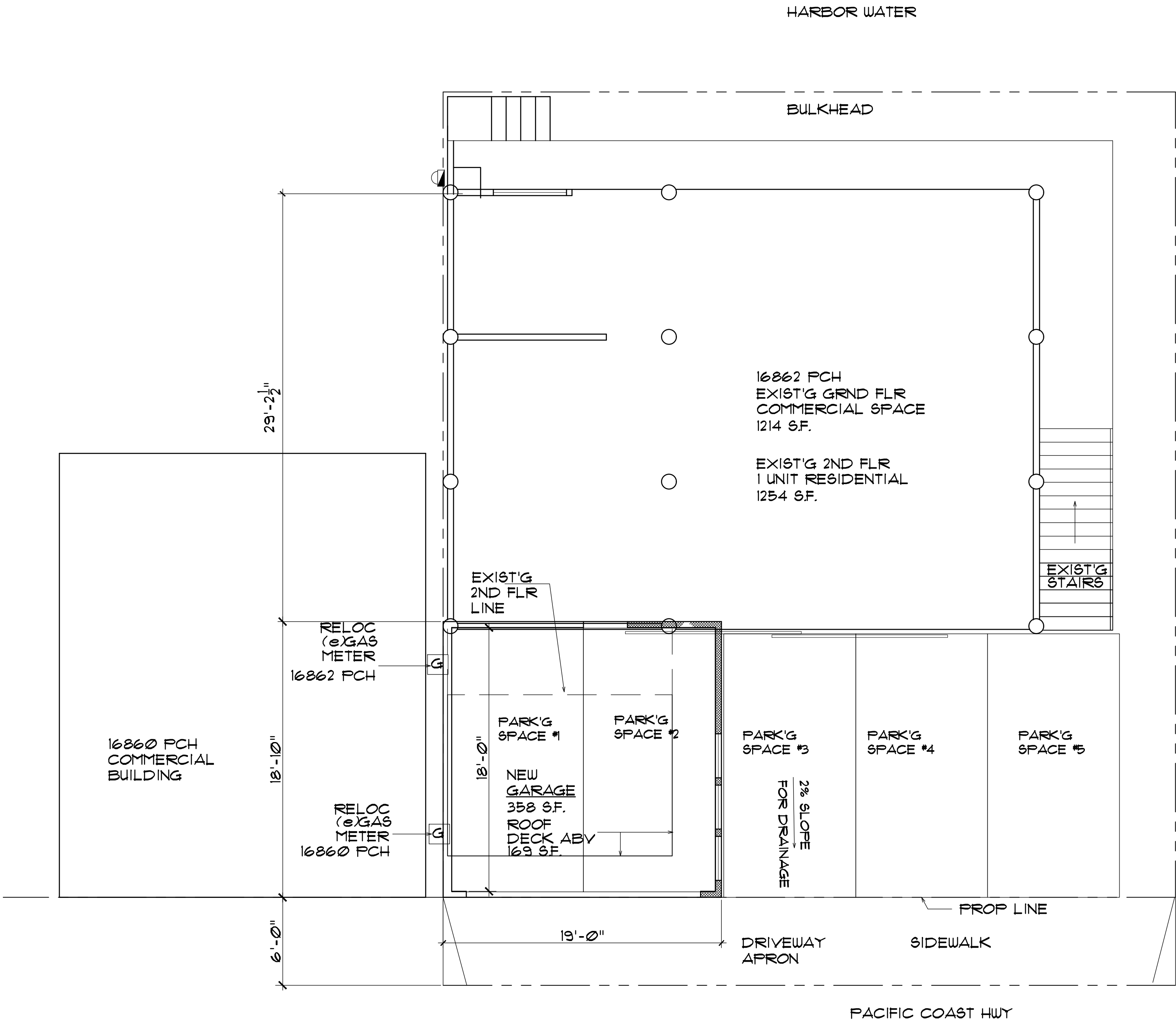
7. WASTEWATER GENERATED BY CONSTRUCTION ACTIVITIES WILL NOT BE DIRECTED TO THE STORM DRAINAGE SYSTEM. ALL WATER WILL BE CONVEYED TO PERMEABLE AREAS TO FILTER PRIOR TO DISCHARGE. SAND BAGS, DAMS, OR OTHER SURFACE DEVICES WILL BE PUT IN PLACE TO ASSURE THAT THIS WASTE WATER DOES NOT FIND ITS WAY DIRECTLY TO THE STORM DRAIN SYSTEM.

8. RAIN GUTTERS AND DOWNSPOUTS TO BE PROVIDED TO CARRY WATER FROM THE ROOF TO PERMEABLE AREAS.



City of Huntington Beach
Department of Planning & Building
HUNTINGTON BEACH SECURITY ORDINANCE
2000 Main Street, Huntington Beach, CA 92648
Office: (714) 536 - 5241 Fax: (714) 374 - 1647

1. Sliding glass doors and windows located less than 16 feet above any surface available for use by the public shall be capable of being locked securely. Moveable panels shall not be easily removed from the frame.
2. All main or front entry to dwellings shall be arranged so that the occupant has a view of the area immediately outside without opening door. Such view may be provided by a door view, a view port, window, or other opening.
3. Exterior wooden doors shall be of solid core construction or shall be covered on the inside face with 16 gauge sheet metal attached with screws at 6 inch on centers around the perimeter.
4. All swinging doors shall be equipped with a dead bolt with a minimum throw of 1 inch and an embedment of not less than 5/8 inch.
5. The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a dead bolt.
6. Non- removable pins shall be used in pin type hinges which are accessible from the outside when the door is closed.
7. Unframed glass doors shall be fully tempered glass not less then ½ inch thick.
8. Narrow-framed glass doors shall be fully tempered glass not less than ¼ inch thick.
9. Any glass which is located with in 40 inches of the locking device on a door shall be fully tempered, or have approved metal bars, screens or grills.
10. Solid wooden hatchways less than 1-3/4 inches thick shall be covered on the inside with 16 gauge sheet metal attached with screws at 6 inch on center around the perimeter and shall be secured from the inside with a slide bar, slide bolts, and/or padlock with hardened steel shackle. All other openings larger than 96 square inches with a dimension in excess of 8 inches shall be secured by metal bars, screens, ar grills. (Exception: Non-opening skylights).
11. A development which includes 3 or more dwelling units shall be provided with fully-enclosed garages. Garage space for each tenant shall be separated by partitions of 3/8 inch plywood or equivalent with studs set no more than 24 inches on center.



NARRATIVE FOR PROPOSED USE:

THE PROPOSED USE IS FOR A NEW 2 CAR GARAGE APPROXIMATELY 358 SF. TO BE LOCATED AT THE FRONT OF THE PROPERTY FACING PACIFIC COAST HWY. THE EXISTING BUILDING IS A 2 STORY MULTI-USE BUILDING. THE EXISTING FIRST FLOOR IS COMMERCIAL SPACE USED FOR KAYAK RENTALS AND THE EXISTING SECOND FLOOR IS A SINGLE FAMILY RESIDENCE. THE NEW GARAGE IS FOR THE USE OF THE RESIDENTIAL UNIT. TO THE NORTH-WEST IS AN EXISTING COMMERCIAL USE ONE STORY BUILDING. TO THE SOUTHEAST IS BEACH FRONT OPEN TO THE HARBOR. TO THE WEST IS PACIFIC COAST HWY AND TO THE EAST IS HUNTINGTON HARBOR WATERWAY. THERE IS NO CHANGE TO THE USE OF EITHER THE COMMERCIAL SPACE OR THE RESIDENTIAL SPACE.

ZONING CONFORMANCE MATRIX

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
PARKING	SPIT 3.3.4		
SITE COVERAGE			
SETBACKS			



SCALE: 3/16" = 1'-0"

SITE PLAN



- A-1 SITE PLAN/PROJECT DATA/GENERAL NOTES
- A-2 1ST FLOOR GARAGE PLAN / 2ND FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS

NEW 2 CAR GARAGE ADDED TO EXISTING MULTI USE BUILDING.			
EXISTING COMMERCIAL 1ST FLR:	1214	SF.	
EXISTING RESIDENTIAL 2ND FLR:	1254	SF.	
NEW GARAGE:	358	SF.	
NEW 2ND FLOOR DECK ABOVE GARAGE	169	SF.	
TOTAL LOT SF:	2150	SF.	

SITE ADDRESS: 16862 PACIFIC COAST HWY
PARCEL #: 118-532-37
TRACT: 494
BLOCK: 212
LOT: 37
CITY: HUNTINGTON BEACH
COUNTY: ORANGE
STATE: CA
OWNER: CATHIE BETZ

ZONING: SPIT1 SUNSET BEACH SPECIFIC PLAN
OCCUPANCY: R-3 / B
CONSTRUCTION TYPE: V-B

SETBACKS:
FRONT 0'
SIDE 0'
REAR

HEIGHT RESTRICTIONS: 35'
LOT COVERAGE MAX.

GENERAL NOTES

A/C	AIR CONDITIONING	PL	PLATE
A.F.F.	ABOVE FINISH FLOOR	P.L.	PROPERTY LINE
AMT.	AMOUNT	PLYWD.	PLYWOOD
APPROX	APPROXIMATE	PR	PAIR
AVG.	AVERAGE	QTY	QUANTITY
BD	BOARD	R	RISER
BFE	BASE FLOOD ELEVATION	RAD.	RADIUS
BTWN.	BETWEEN	RD	ROAD, ROUND
BLDG	BUILDING	REFR.	REFRIGERATOR
BLK., BLKG.	BLOCK, BLOCKING	REINF.	REINFORCING, REINFORCE
CHG.	CHANGE	REQ.	REQUIRED
CLG.	CEILING	REV.	REVISED, REVISION
C.L. &	CENTER LINE	RM.	ROOM
C.O.L.	COLUMN	R.O.	ROUGH OPENING
CONC.	CONCRETE	R.V.	ROUGH VENT
CTR.	CENTER	S	SOUTH
DBL	DOUBLE	SCHED.	SCHEDULE
DIA.	DIAMETER	S.C.	SOLID CORE
DIM.	DIMENSION	SECT.	SECTION
D.S.	DOWN SPOUT	SHR.	SHOWER
DW.	DISHWASHER	SHT.	SHEET
EA	EACH	SIM	SIMILAR
ELEC.	ELECTRIC	SPEC.	SPECIFICATION
ELEV.	ELEVATION, ELEVATOR	SQ.FT., S.F.	SQUARE FOOT
EQ.	EQUAL	ST.	STAIR(S), STREET
EQUIP.	EQUIPMENT	STD.	STANDARD
EXIST., (E),(e)	EXISTING	STOR.	STORAGE
EXT.	EXTERIOR	STRUCT.	STRUCTURE, STRUCTURAL
FIN.	FINISH	T.	TREAD
FLR.	FLOOR	T. & G.	TONGUE AND GROOVE
FT.	FOOT, FEET	THK.	THICK
FTG.	FOOTING	TK.	TYPICAL
GYP.	GYPSON	UNFIN	UNFINISHED
H.B.	HOSE BIBB	U.O.N.	UNLESS OTHERWISE NOTED
HDR.	HEADER	VENT.	VENTILATE, VENTILATING
HDW.	HARDWARE	VERT.	VERTICAL
HT.	HEIGHT	W.	WEST
IN	INCH	W.C.	WATER CLOSET
INSUL.	INSULATE, INSULATION	WD.	WOOD
INT.	INTERIOR	WNW	WINDOW
JCT.	JUNCTION	W.H.	WATER HEATER
KIT.	KITCHEN	W/I	WITH
LIN.	LINEAR	W/L	WITHIN
LT.	LIGHT	W/O	WITHOUT
MAT.	MATERIAL		
MAX.	MAXIMUM		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
(N), (n)	NEW		
NO.	NUMBER		
O.C.	ON CENTER		

A.N.S.I. AMERICAN NATIONAL STANDARDS INSTITUTE
A.S.T.M. AMERICAN SOCIETY FOR TESTING AND MATERIALS
I.C.C. INTERNATIONAL CODE COUNCIL
N.F.P.A. NATIONAL FIRE PROTECTION ASSOCIATION
D.S.A. DIVISION OF THE STATE ARCHITECT
O.S.H.A. OCCUPATIONAL SAFETY AND HEALTH ACT
C.B.C. CALIFORNIA BUILDING CODE
C.R.C. CALIFORNIA RESIDENTIAL BUILDING CODE
U.L. UNDERWRITERS' LABORATORIES, INC.
U.F.C. UNIFORM FIRE CODE
W.I.C. WOODWORK INSTITUTE OF CALIFORNIA

ABBREVIATIONS

VICINITY MAP

CONSULTANTS:

SHEET INDEX:

PROPOSED:

LEGAL:

NEW 2 CAR GARAGE for:

BETZ PROPERTY
16862 PACIFIC COAST HWY
HUNTINGTON BEACH, CA 92649

SITE PLAN
PROJECT DATA
GENERAL NOTES

DRAWN BY:
DATE: 02/06/19

SCALE:
SEE PLAN

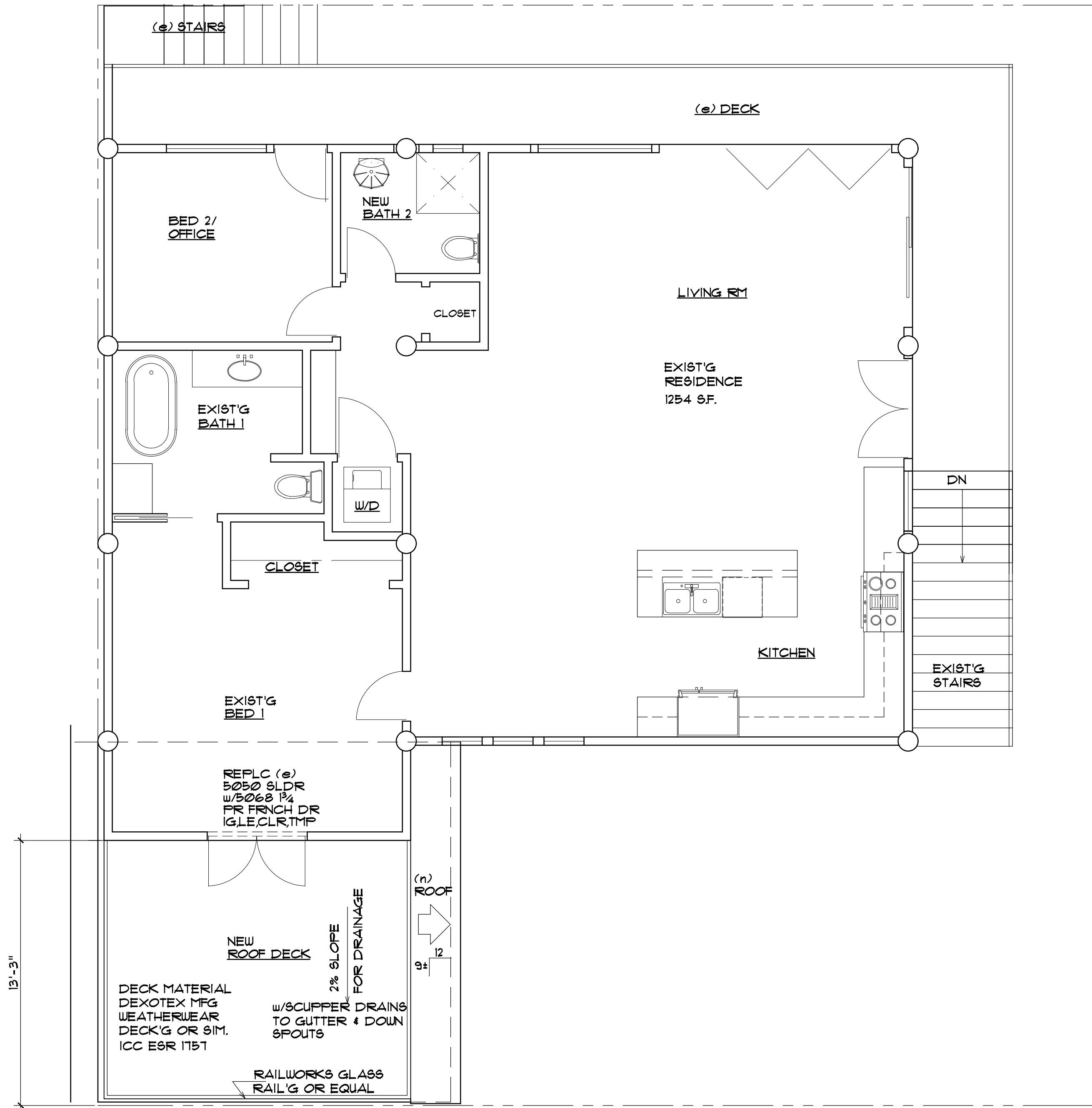
SHEET NO.

A-1

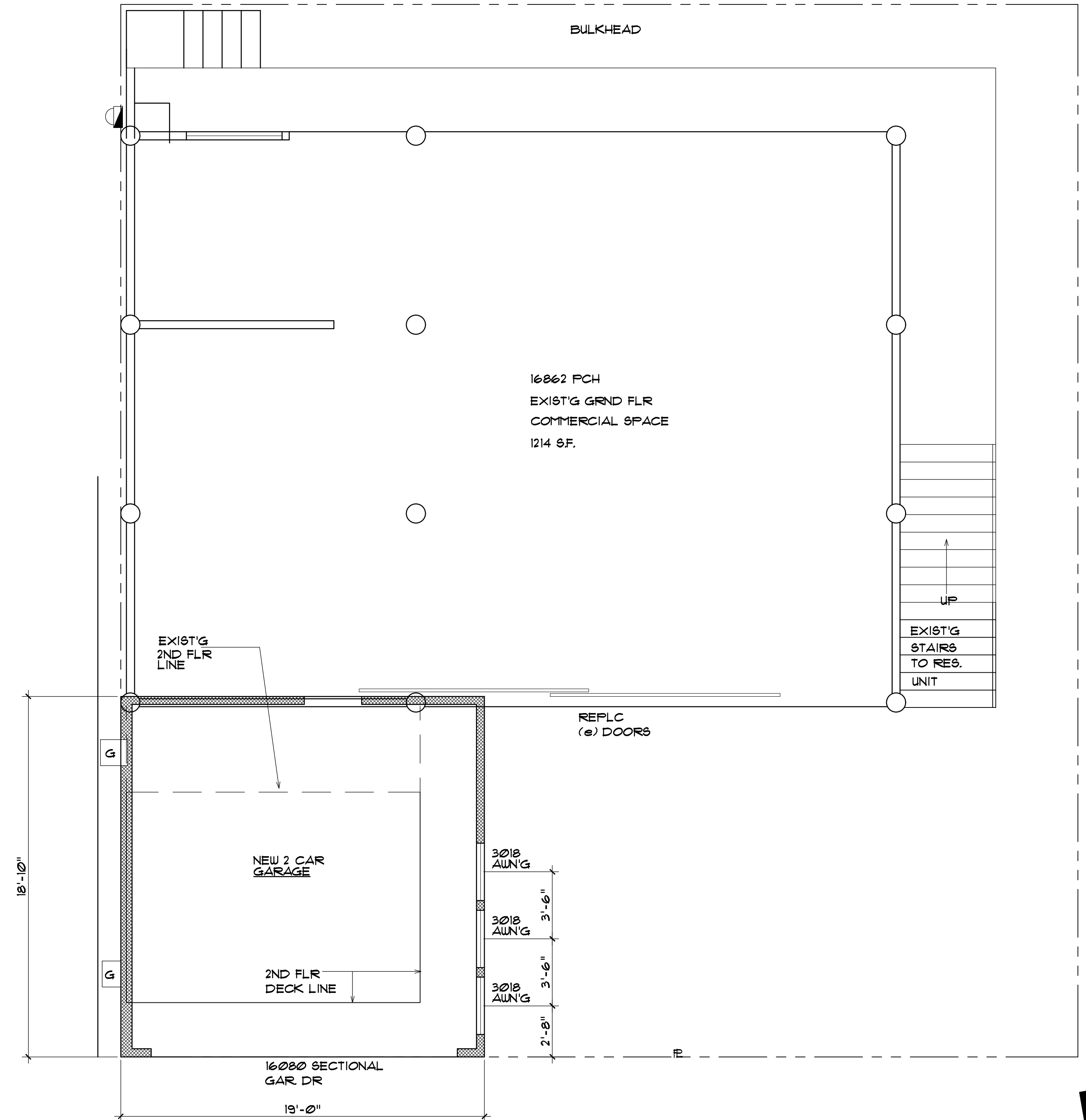
1 OF 3

REVISION
PLANNING
SUBMITTAL
DATE
02/06/19

TORI JONES
RESIDENTIAL DESIGN
2711 Oak Knoll Drive | Los Alamitos, CA 90720
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2ND FLOOR PLAN / GARAGE ROOF-DECK PLAN



1ST FLOOR-GARAGE PLAN

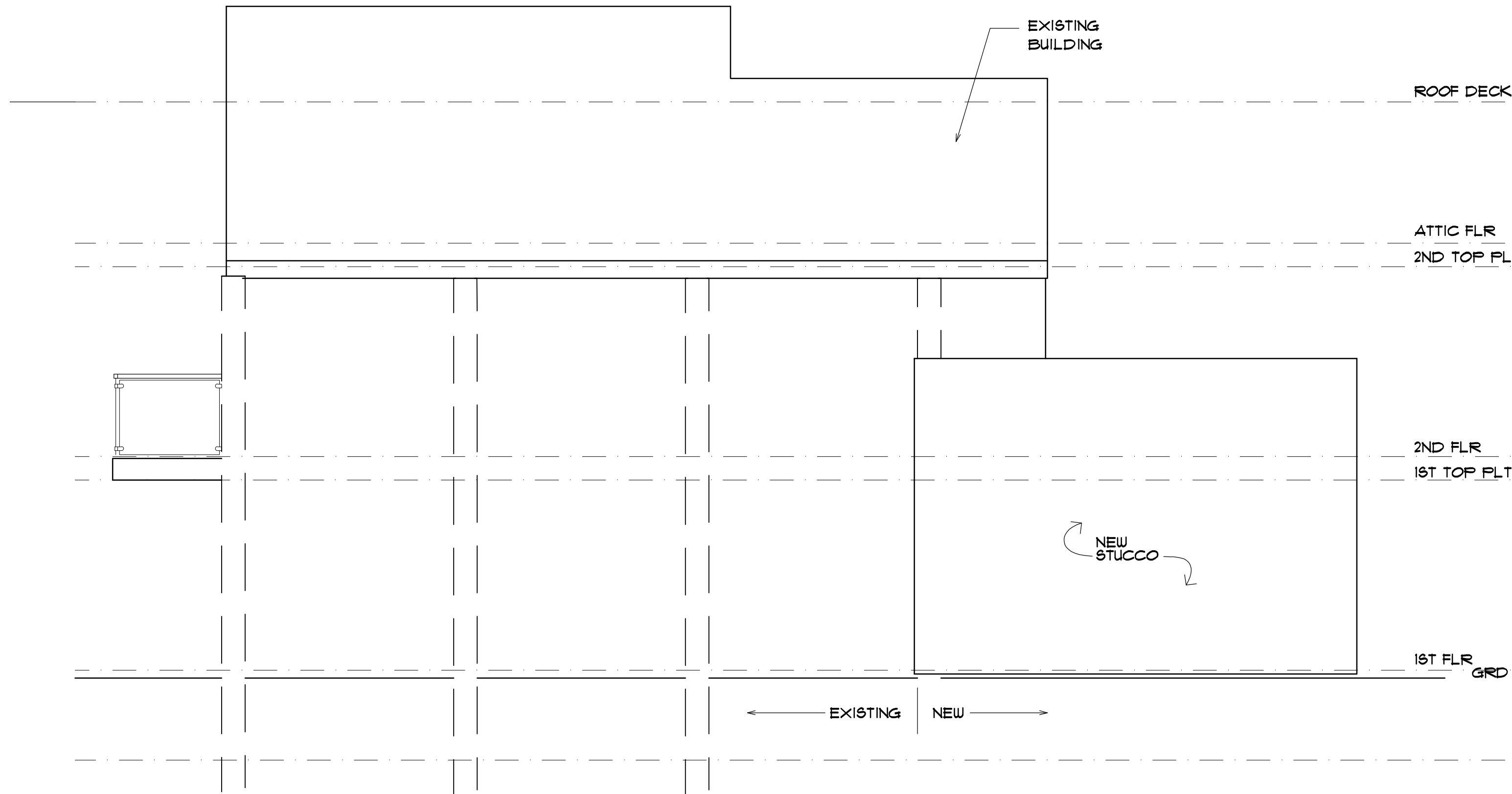
SCALE: 1/4" = 1'-0"

LEGEND

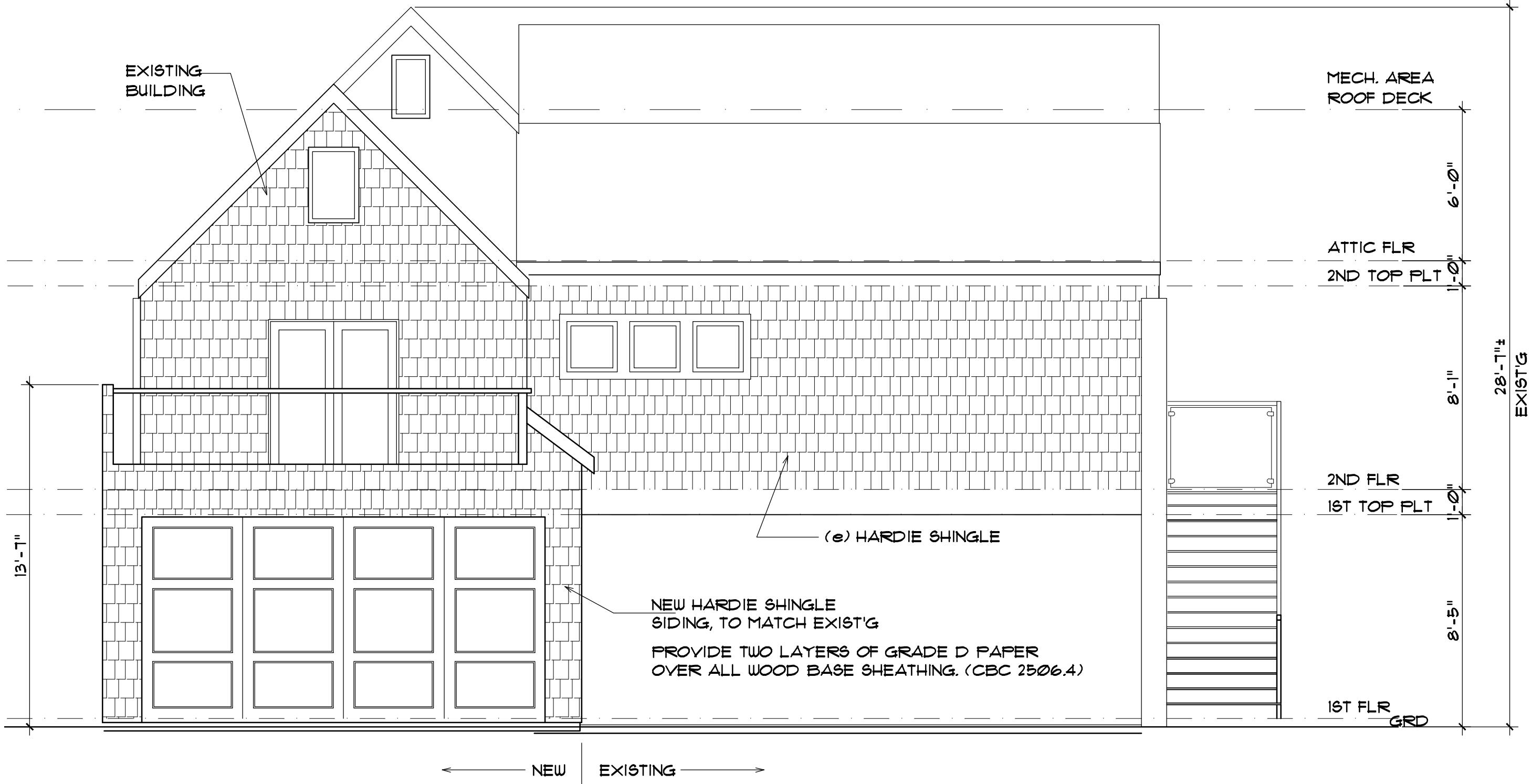
---	DEMO WALL
---	EXISTING WALL TO REMAIN
---	NEW 2x4 WALLS (uon)
(e)	EXIST'G

REVISION	PLANS	DATE
	SUBMITTAL	02/06/19
DESIGN & DRAWING BY: TORI JONES RESIDENTIAL DESIGN 2711 Oak Knoll Drive Los Alamitos, CA 90720 tor@torijonesdesign.com 562.533.5978		
NEW 2 CAR GARAGE for: BETZ PROPERTY 16862 PACIFIC COAST HWY HUNTINGTON BEACH, CA 92649		
EXIST'G 1ST FLOOR PLAN 2ND FLOOR PLAN		
DRAWN BY:		
DATE: 02/06/19		
SCALE: SEE PLAN		
SHEET NO.		
A-2		
2 OF 3		

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LEFT (NORTH) ELEVATION

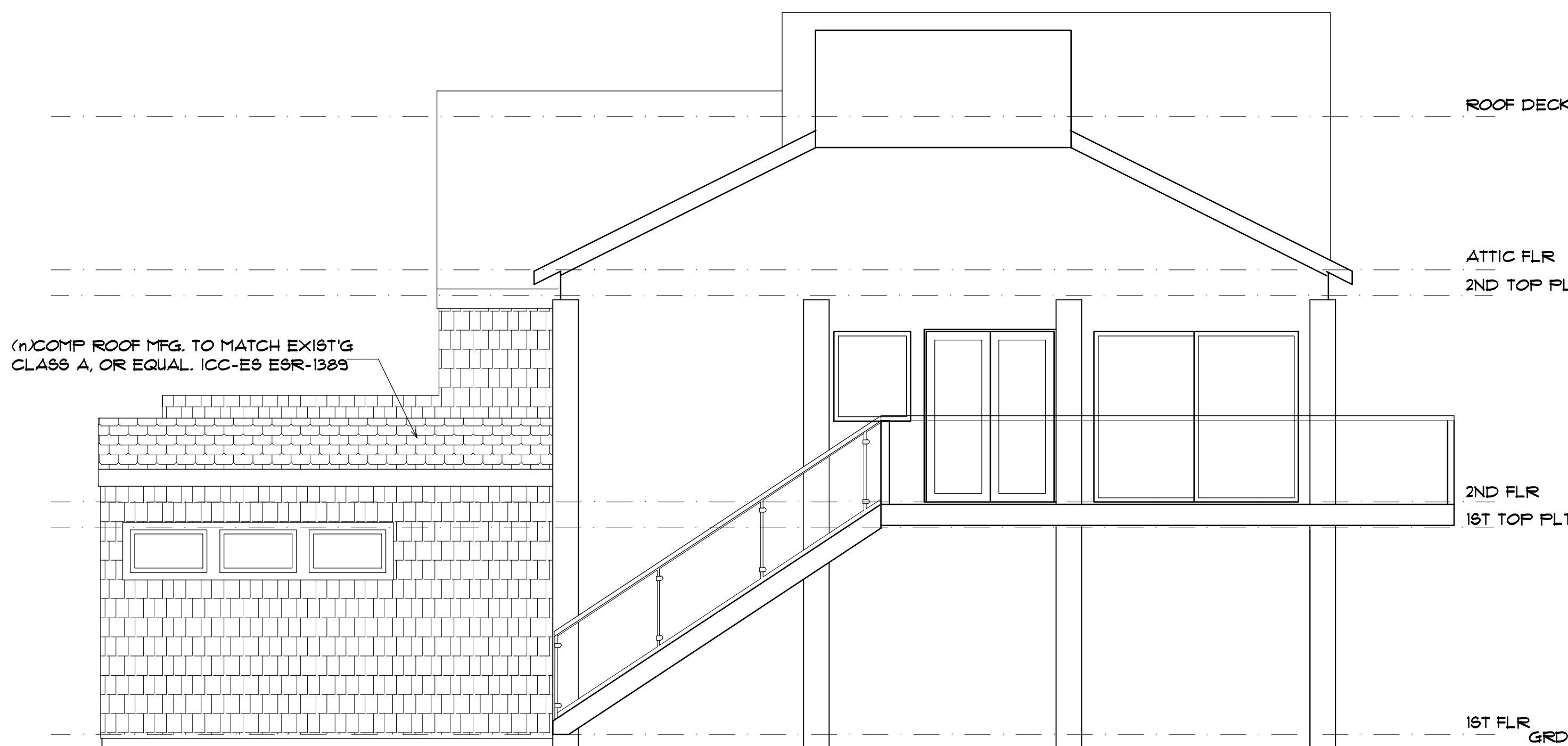


FRONT (WEST) ELEVATION

SCALE: 1/4"=1'-0"



REAR (EAST) ELEVATION NO CHANGE



RIGHT (SOUTH) ELEVATION

SCALE: 1/4"=1'-0"

REVISION	PLANS SUBMITTAL	DATE	02/06/19

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DESIGN & DRAWING BY:

NEW 2 CAR GARAGE for:
BETZ PROPERTY
16862 PACIFIC COAST HWY
HUNTINGTON BEACH, CA 92649

EXTERIOR ELEVATIONS

DRAWN BY:	DATE:
	02/06/19
SCALE:	SEE PLAN
SHEET NO.	A-3

3 OF 3