

HUNTINGTON BEACH FIRE DEPARTMENT NOTES

- a) A separate submittal for fire sprinklers (complying with NFPA 13D) is required. Two sets of fire sprinkler plans shall be submitted to the HBFD for review and approval.
Note: Fire flow information from the City of Huntington Beach is required to be included with any sprinkler plan submittals. To obtain the Fire Flow information, have the sprinkler contractor complete the Fire Flow Information Form in Word Format available at the following link http://surfcity-hb.org/government/departments/Fire/fire_prevention_code_enforcement/planhb.org/government/departments/Fire/fire_prevention_code_enforcement/plan-check-services.cfm and send this fire flow information request to Joe.Morelli@surfcity-hb.org. Once submitted, the HBFD will forward to the request to the Public Works Department. The average turnaround time for Fire Flow Information requests is 10 business days.
b) Provide at least one 2A:10BC fire extinguisher in a cabinet within every 75' travel distance in easily accessible and visible locations. The extinguisher, cabinet, and any associated hardware (i.e. breaker bar) shall be mounted no more than 48" above the finish floor.
c) Maintain jobsite safety during construction as per Chapter 14 of the 2016 California Fire Code.
d) Address numbers must be placed over the exterior of the main entrance as per City Specification #428. Address numbers shall be a minimum of 4" high numbers with a minimum 1/4" stroke, and they must contrast with the background.
e) Discovery of soil contamination/pipelines, etc., must be reported to the Fire Department immediately and all work stopped until approval to proceed is obtained from the Fire Department.
f) For Fire Department inspections, call (714) 536-5411 at least 3 days in advance to schedule inspections.

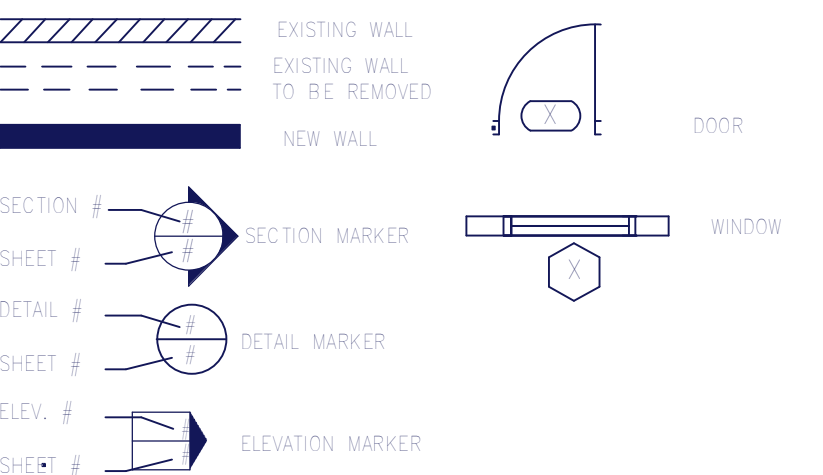
NOTE :

- 1- PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET
2- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBER SHALL CONTRAST WITH BACKGROUND AND SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2"
2- SPECIAL INSPECTION REQUIRED AND SHALL BE INSPECTED BY ENGINEER OF RECORD AS FOLLOWING:
FOUNDATION, FLOOR, ROOF FRAMING, SHEARWALL, ANCHOR BOLT W. EPOXY

GENERAL NOTES:

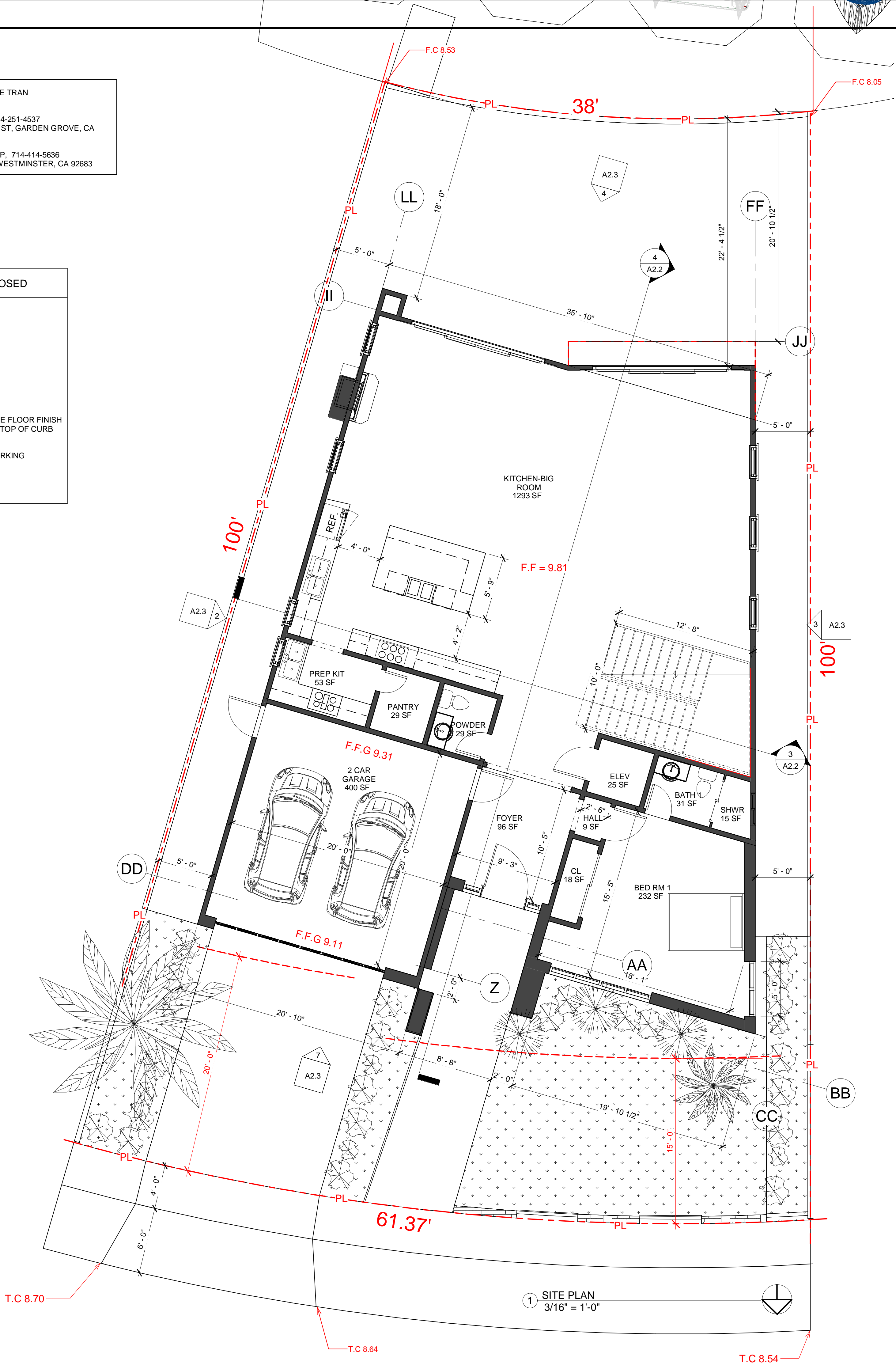
- a. Applications for which no permit is issued within 180 days following the date of application shall automatically expire. (R105.3.2 CRC)
b. Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than one (1) extension may be granted. Permits which have become invalid shall pay a reactivation fee of approximately 50% of the original permit fee amount when the permit has been expired for up to six (6) months. When a permit has been expired for a period in excess of one (1) year, the reactivation fee shall be approximately 100% of the original permit fee. (R105.5 CRC)
c. Fire sprinkler plans stamped approved by the City of Huntington Beach Fire Department shall be provided at the site at time of framing inspection.
d. Water closets shall have an average water consumption of not more than 1.28 gallons of water per flush
e. Urinals shall have an average water consumption of not more than 1.0 gallons of water per flush, 0.5 gallons per flush after July 1, 2011. (402.3 CPC)
f. Shower heads shall have a water flow not to exceed 2.0 gallons per minute AT 80 PSI
g. Faucets in kitchens, wet bars, lavatories, laundry sinks, etc. shall have a water flow not to exceed 1.8 gallons per minute at 60 Psi
h - residential lavatory faucets shall not exceed 1.2 gallons per minutes at 60 psi
i. Water piping materials within a building shall be in accordance with Sec. 604.1 of the California Plumbing Code. Pex, CPVC and other plastic water piping systems shall be installed in accordance with the requirements of Sec. 604 of the CPC, Installation Standards of Appendix I of the CPC and manufacturers recommended installation standards. CPVC water piping requires a Certification of Compliance as specified in Sec 604.1.1 of the CPC prior to permit issuance.
j. All construction shall comply with the 2016 Editions of the California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code and 2016 California Energy Code.
k. Two separate site visits and reports prepared by the Engineer of Record for the new home design are required; (109.3.8 CBC)
1. The Engineer of Record shall inspect the slab and foundation system installation just prior to the concrete pour to verify that the foundation installation is in accordance with the approved plans and design. The Engineer of Record shall then prepare a report stating the foundation installation is in accordance with the approved plans and design. The foundation inspection and approval to pour concrete will not be approved until the inspection certification letter by the Engineer of Record has been received and approved by the City of Huntington Beach Building Division.
2. The Engineer of Record shall also inspect the completed framing system of the home after the installation of the rough plumbing, mechanical, electrical systems and the exterior of the home has been weather wrapped. The Engineer of Record shall then prepare a report stating that the framing system has been installed in accordance with the approved plans and design. The rough framing, plumbing, mechanical, electrical and exterior weather barrier inspection shall not be approved until the inspection certification letter by the Engineer of Record has been received and approved by the City of Huntington Beach Building Division
L. A pre-construction meeting is required immediately prior to the start of construction. This meeting shall take place at the site of the new home. The meeting must include a representative of the Building Division, the general contractor, a representative of each of the subcontractors (electrical, plumbing, mechanical, grading, off-site contractor, etc) dependant upon what sub-contractors are to be involved in the new construction and a representative of the owner may also be present. The meeting will review required permits, temporary power requirements, documents required to be on site, inspection requirements, field correction notice procedure, changes in the field, final inspections and gas and power releases, questions from the contractors or owner and any other special procedures or conditions for that particular new home. The pre-construction meeting shall be scheduled through the Building Division front counter at 714-536-5241.

FLOOR PLAN SYMBOLS

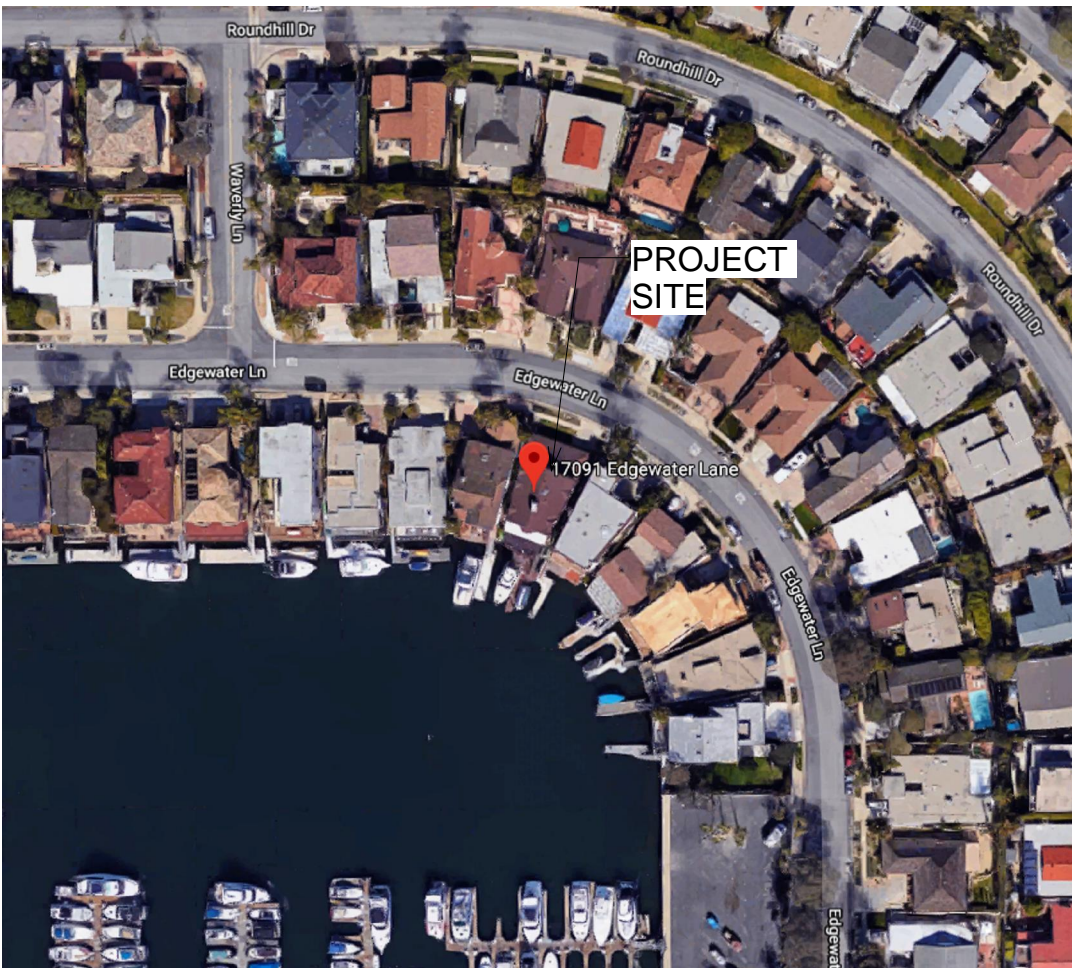


DEVELOPER: KYLE TRAN
ENGINEER:
BEN PHAN P.E. 714-251-4537
11541 ELIZABETH ST, GARDEN GROVE, CA
DESIGNER:
FL DESIGN GROUP, 714-414-5636
14211 RIATA ST, WESTMINSTER, CA 92683

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
FRONT SET BACK		15 FEET	15' FEET
REAR SET BACK		10'	18' "
SIDE SET BACK		5'	5'
LOT COVERAGE		50 %	49.9 %
MAX HEIGHT		35'	28'-8.5" H ABOVE FLOOR FINISH 29'-10" ABOVE TOP OF CURB
PARKING		2 COVERED PARKING FOR 4 BED RM	2 COVERED PARKING for 4 BED RM
MAX FLOOR AREA		MAX 5,000 SF	4580 SF



VICINITY MAP



BUILDING DATA

LEGAL DESCRIPTION: , COUNTY OF ORANGE

ASSESSOR'S NUMBER:

EXISTING ZONE: R-L

TYPE OF CONST: TYPE V-B, 2 STORY BUILDING- FULLY FIRE SPRINKLERS

SCOPE OF WORK: DEMOLISH (E) HOUSE AND CONSTRUCT NEW 2 STORIES CUSTOM HOUSE WITH ATTACHED 2 CAR GARAGE

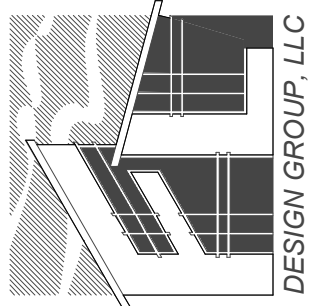
- FIRE SPRINKLERS FOR EACH BUILDING TO BE SUBMITTED AS SEPARATED PERMIT & APPROVED BEFORE FRAMING INSPECTION- APPROVED FIRE SPRINKLER PLAN SHALL BE PROVIDED AT THE SITE AT THE TIME OF FRAMING INSPECTION
- ALL WALLS AND FENCING REQUIRE SEPARATE PERMIT
- TRUSS CALS TO BE SUBMITTED AS SEPARATED PERMIT (DEFERED SUBMITTAL ITEM SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL)

APPLICABLE BUILDING CODES:

LOCALLY ADOPTED BUILDING CODE AND APPLICABLE CALIFORNIA ADMINISTRATIVE CODE(S)
2016 CRC, CBC, CBC, CEC, CPC, CFC
2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE

lot size : 5,000 sf
1ST FLR 1,995 SF
2ND FLR 2,170 SF
TOTAL LIVING AREA : 4,165 SF
2ND FLR'S BALCONY & DECK 295 SF, CANTILEVER : 37 SF
2 CAR GARAGE = 440 SF
BUILDING FOOTPRINT : 1995+440+37=2472 SF
lot coverage : 2472/5,000 = 49.5 % -OK

FL DESIGN GROUP
Residential & Commercial Design
14211 Riata St, Westminster, CA. 92683
Tel: 714-414-5636



Custom Home
Owner Kyle Tran
17081 Edgewater Lane, Huntington Beach, CA 92649

RESTRICTIVE NOTICE

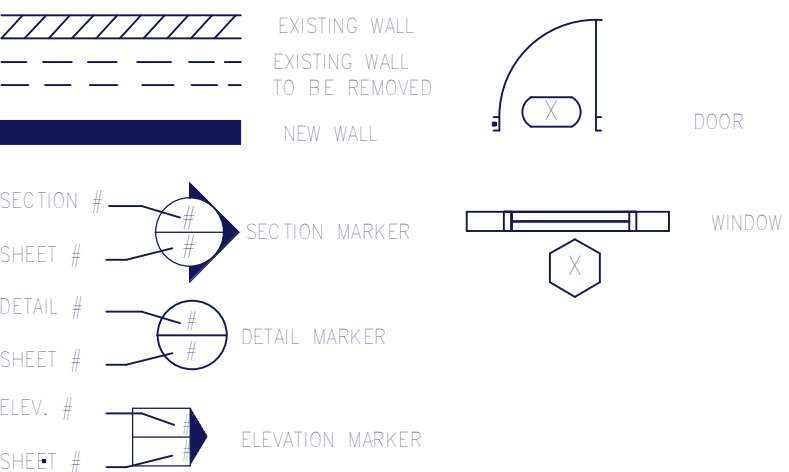
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Project No: 65-05
Date 8-17-2017

SITE PLAN

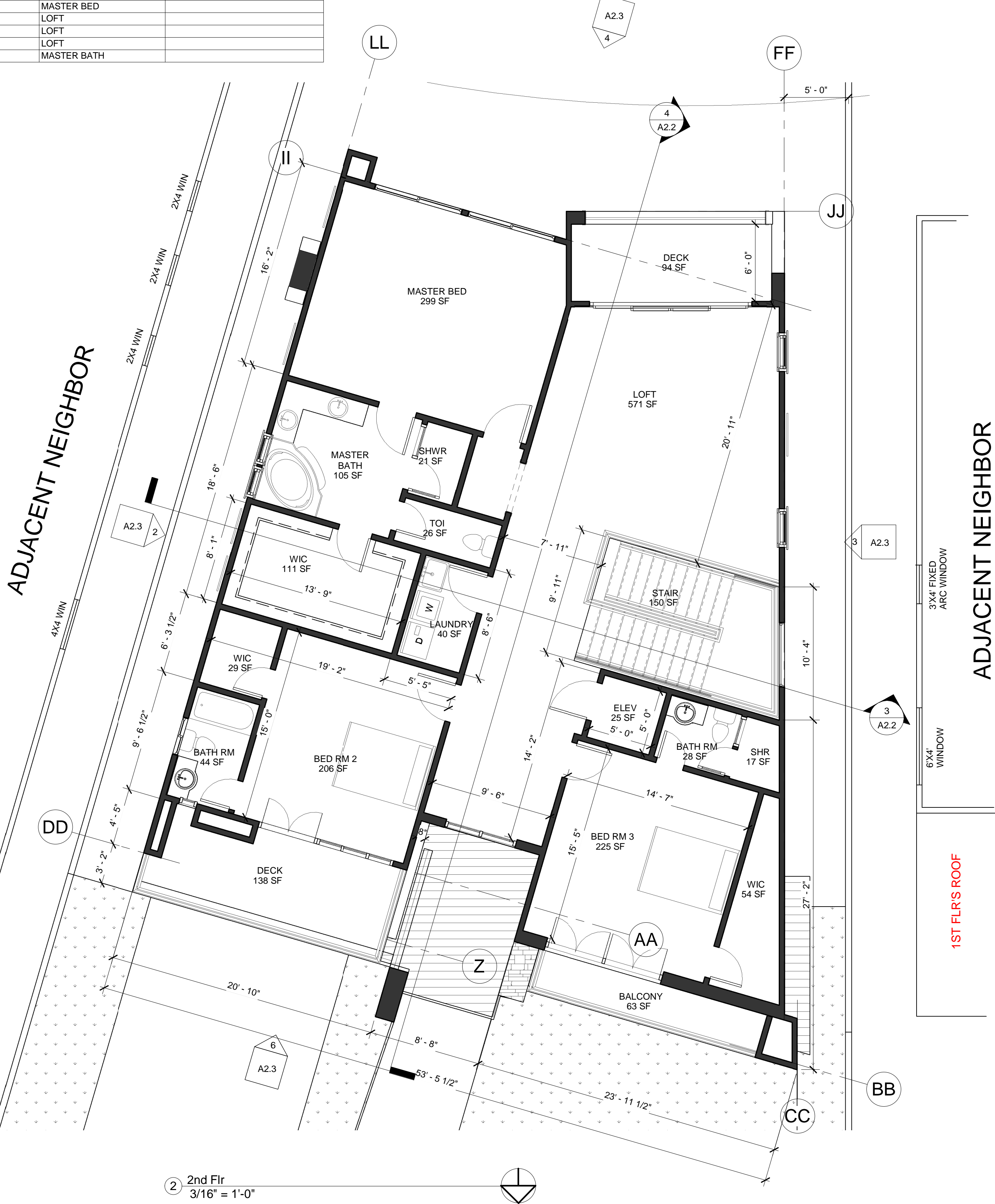
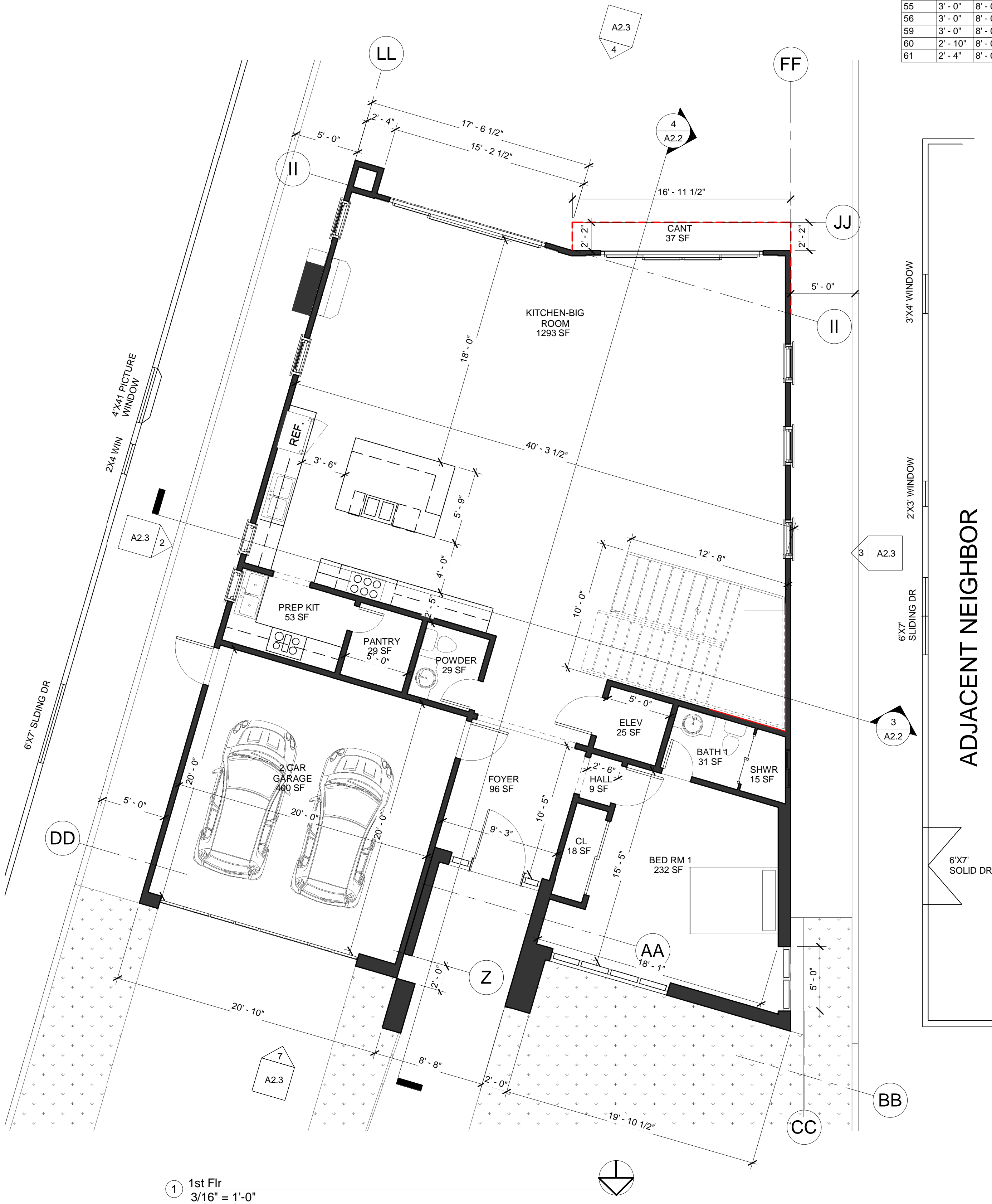
A1.0

FLOOR PLAN SYMBOLS



Window Schedule					
Type Mark	Width	Height	Family	From Room: Name	Comments
2	3' - 0"	6' - 0"	Single Hung-30X60	KITCHEN-BIG ROOM	
2	3' - 0"	6' - 0"	Single Hung-30X60	KITCHEN-BIG ROOM	
2	3' - 0"	6' - 0"	Single Hung-30X60	KITCHEN-BIG ROOM	
2	3' - 0"	6' - 0"	Single Hung-30X60	KITCHEN-BIG ROOM	
2	3' - 0"	6' - 0"	Single Hung-30X60	KITCHEN-BIG ROOM	
2	2' - 6"	4' - 6"	Single Hung-26X46	PREP KIT	
2	2' - 6"	4' - 6"	Single Hung-26X46	KITCHEN-BIG ROOM	
2	2' - 6"	4' - 6"	Single Hung-26X46	MASTER BATH	
2	2' - 6"	4' - 6"	Single Hung-26X46	MASTER BATH	
3	3' - 0"	3' - 0"	Sliding Window	SHWR	
3	3' - 0"	3' - 0"	Sliding Window	BATH RM	
4	5' - 0"	4' - 0"	Fixed with Trim	STAIR	
5	3' - 0"	5' - 0"	Single Hung-30X50	LOFT	
5	3' - 0"	5' - 0"	Single Hung-30X50	LOFT	
12	7' - 0"	5' - 0"	Sliding Window	MASTER BED	
12	7' - 0"	5' - 0"	Sliding Window	MASTER BED	

DOOR SCHEDULE					
Mark	Width	Height	Family	From Room: Name	Comments
15	16' - 0"	8' - 0"	16'X8' GARAGE DOOR	2 CAR GARAGE	
16	4' - 0"	8' - 0"	Door-Interior-Single-BROWN	FOYER	
17	3' - 0"	8' - 0"	Single-Flush	2 CAR GARAGE	
18	3' - 0"	8' - 0"	Single-Flush	HALL	
19	2' - 4"	8' - 0"	Single-Flush	BED RM 1	
20	4' - 0"	6' - 8"	Sliding-2 panel	BATH 1	
21	3' - 0"	8' - 0"	Single-Flush	KITCHEN-BIG ROOM	
22	6' - 0"	7' - 0"	Sliding-Closet	BED RM 1	
25	2' - 4"	8' - 0"	Single-Flush	BED RM 2	
26	2' - 4"	8' - 0"	Single-Flush	BED RM 2	
29	2' - 6"	7' - 0"	Single-Glass 1	MASTER BATH	
30	2' - 8"	7' - 0"	Single-Flush	MASTER BATH	
37	3' - 0"	8' - 0"	Single-Flush	2 CAR GARAGE	
39	12' - 0"	8' - 0"	RFAI20352_Bi-Fold-Sliding-Door	KITCHEN-BIG ROOM	
40	12' - 0"	8' - 0"	RFAI20352_Bi-Fold-Sliding-Door	DECK	
46	2' - 2"	6' - 8"	Single-Flush	BED RM 3	
47	2' - 6"	6' - 8"	Single-Flush	BED RM 3	
48	2' - 2"	9' - 0"	Single-Glass 1	SHR	
50	2' - 0"	8' - 0"	Single-Flush	PREP KIT	
51	2' - 4"	8' - 0"	Single-Flush	KITCHEN-BIG ROOM	
52	3' - 0"	8' - 0"	Single-Flush	ELEV	
53	3' - 0"	8' - 0"	Single-Flush		
54	12' - 0"	8' - 0"	RFAI20352_Bi-Fold-Sliding-Door	KITCHEN-BIG ROOM	
55	3' - 0"	8' - 0"	Single-Flush	MASTER BED	
56	3' - 0"	8' - 0"	Single-Flush	LOFT	
59	3' - 0"	8' - 0"	Single-Flush	LOFT	
60	2' - 10"	8' - 0"	Single-Flush	LOFT	
61	2' - 4"	8' - 0"	Single-Flush	MASTER BATH	



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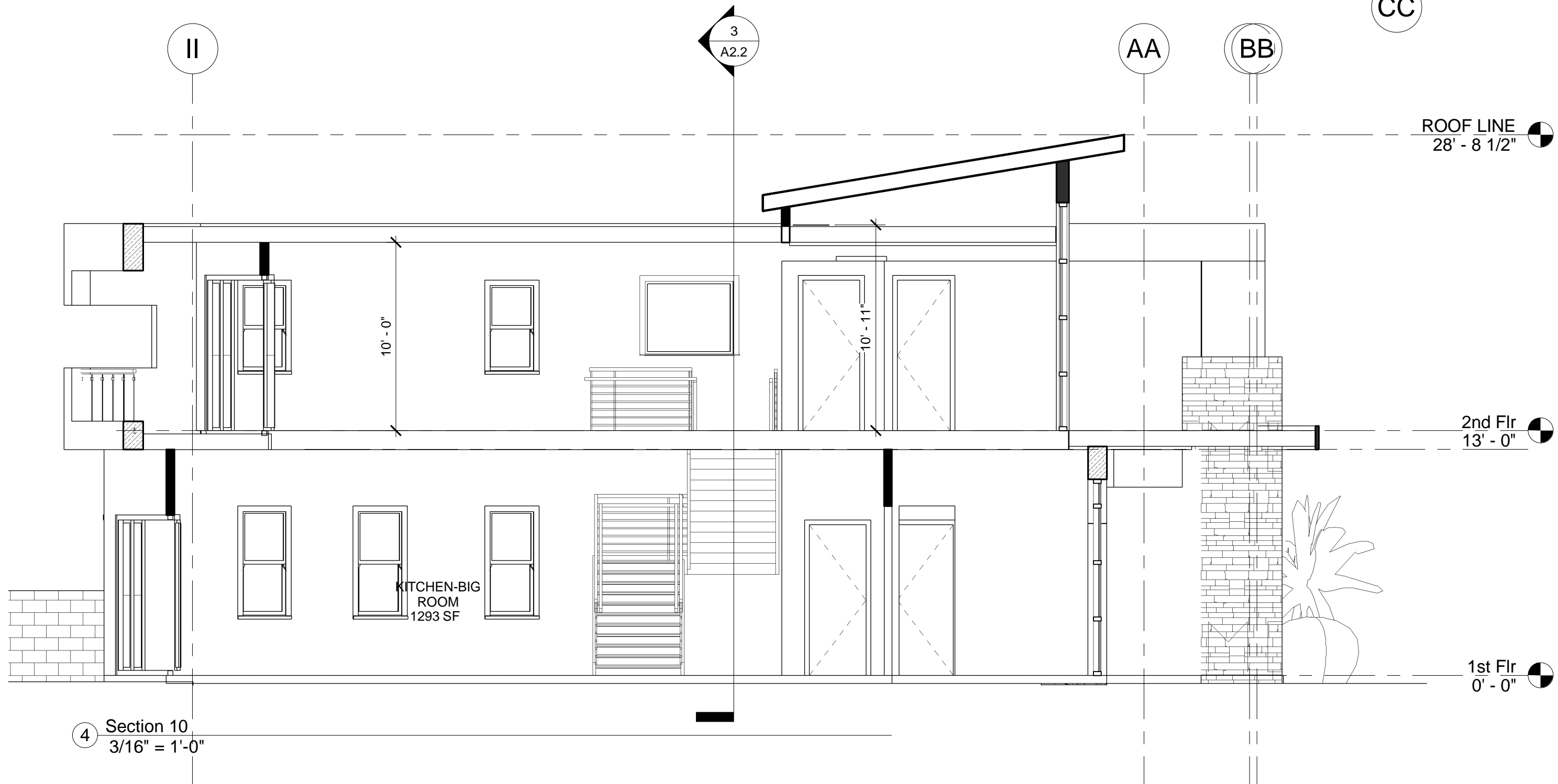
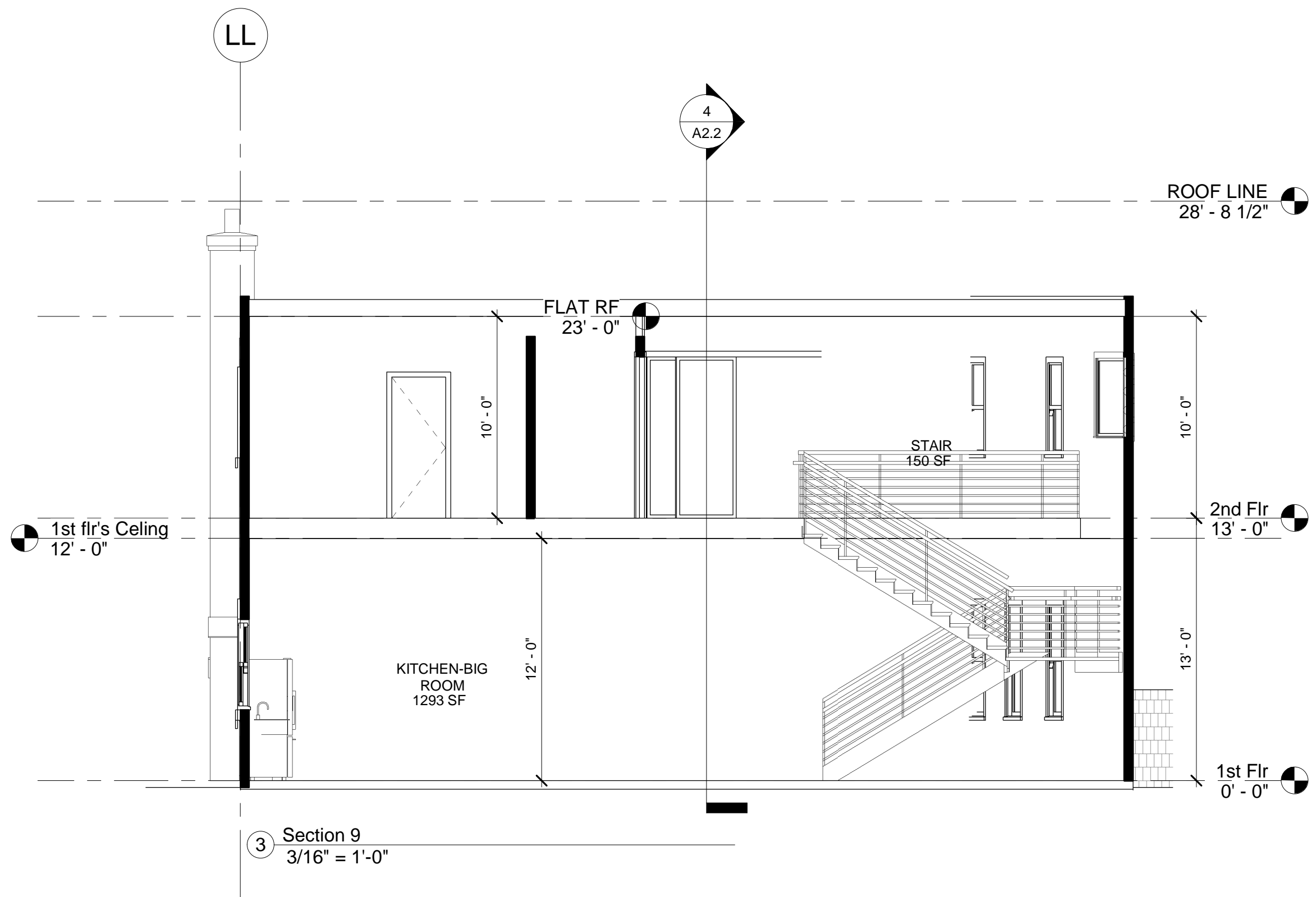
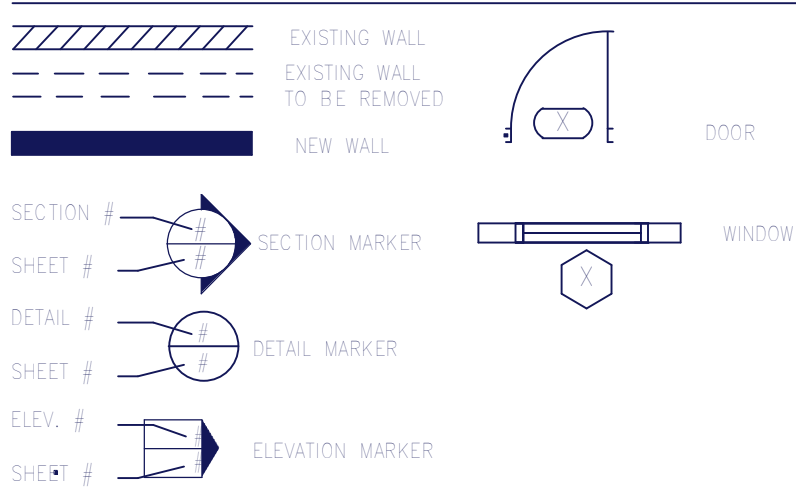
Project No: 65-05
Date: 8-17-2017

FLOOR PLAN
(PLAN A)

A2.1

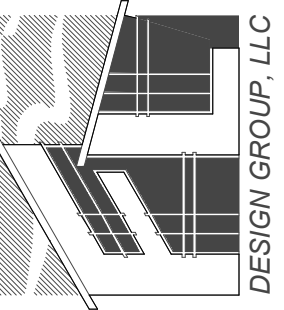


FLOOR PLAN SYMBOLS



2 ROOF
3/16" = 1'-0"

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Roof Plan

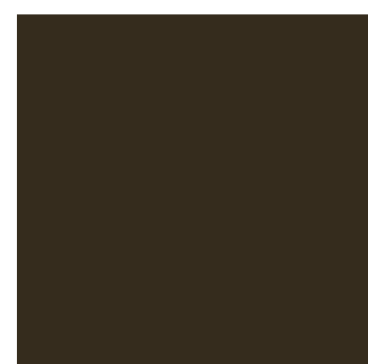
A2.2



① FRONT ELEV
3/16" = 1'-0"



④ REAR ELEV
3/16" = 1'-0"



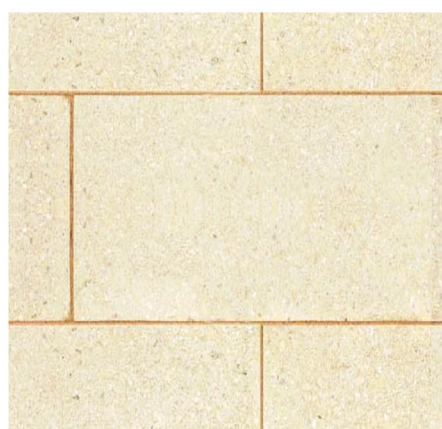
BEHR COLOR
AGING BARREL
PPU3 - 20



BROWN VINYL SIDING



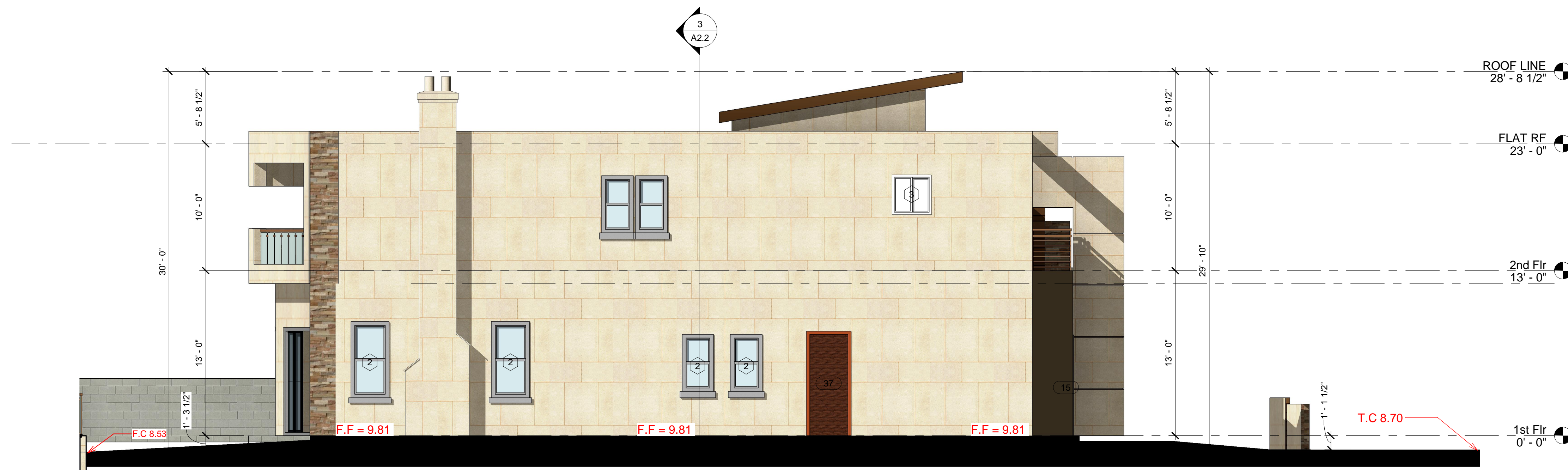
CUT STONE
PANEL GOLDEN HONEY



BEIGE LIMESTONE



③ RIGHT ELEV
3/16" = 1'-0"



② LEFT ELEV
3/16" = 1'-0"

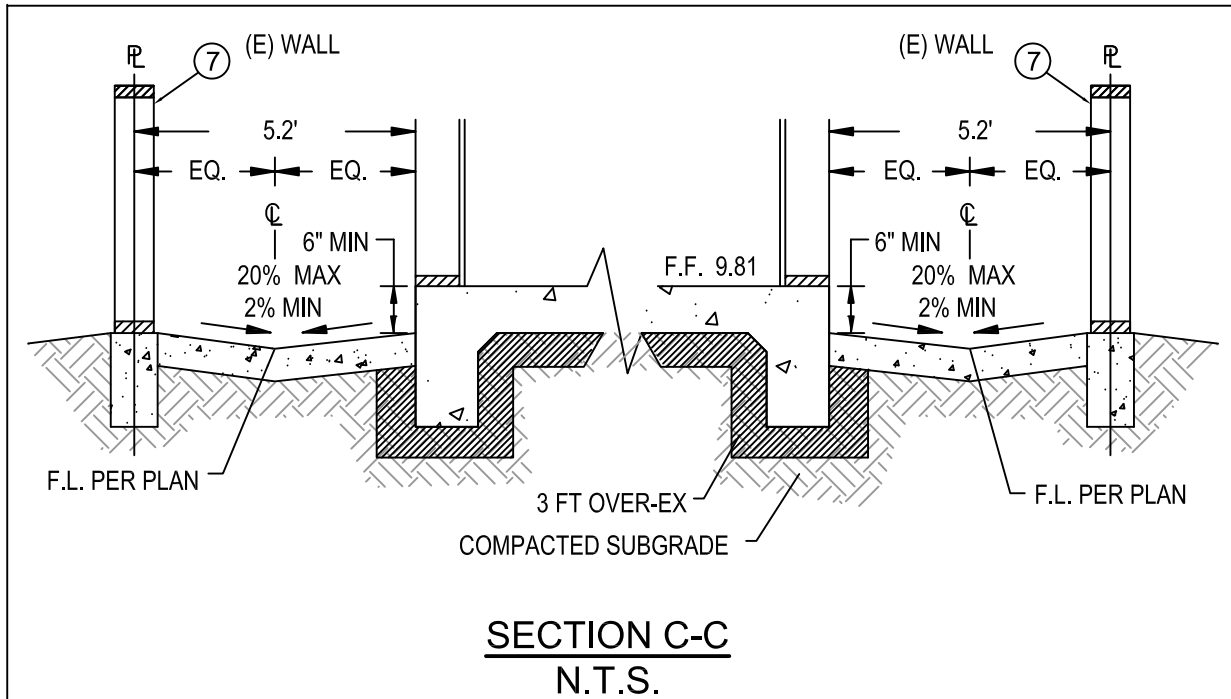
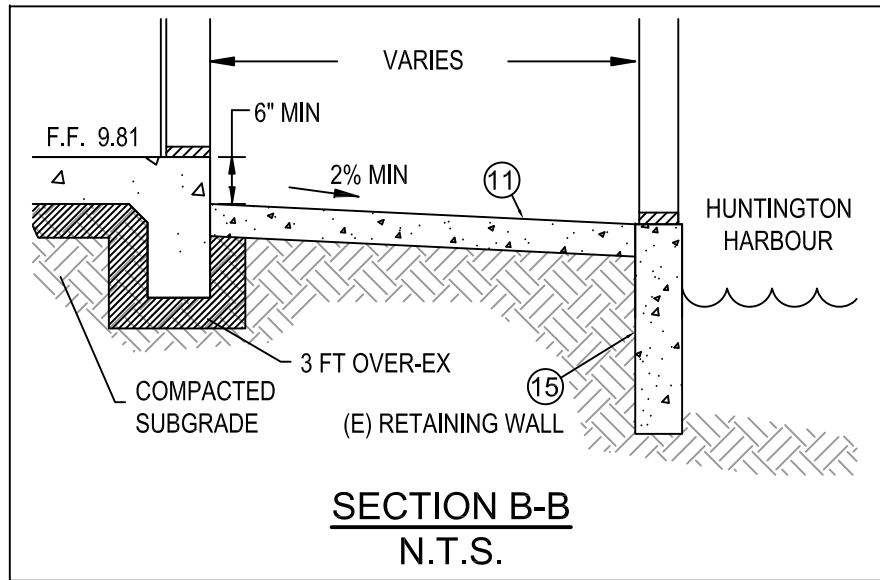
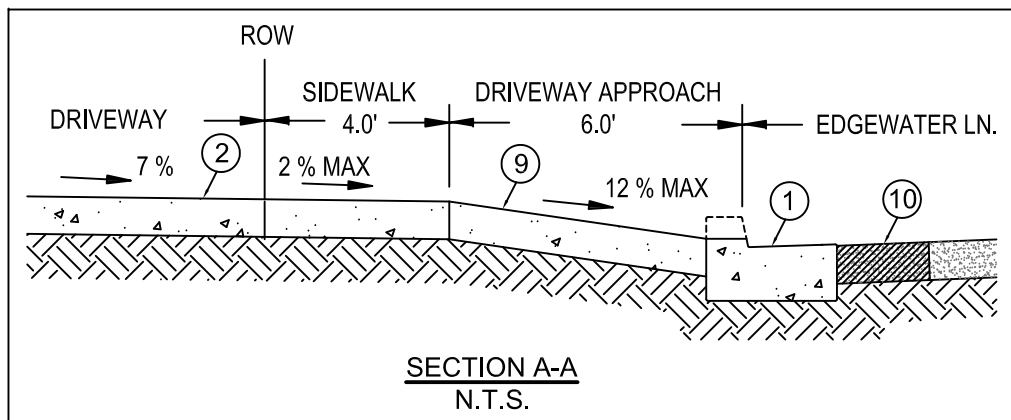
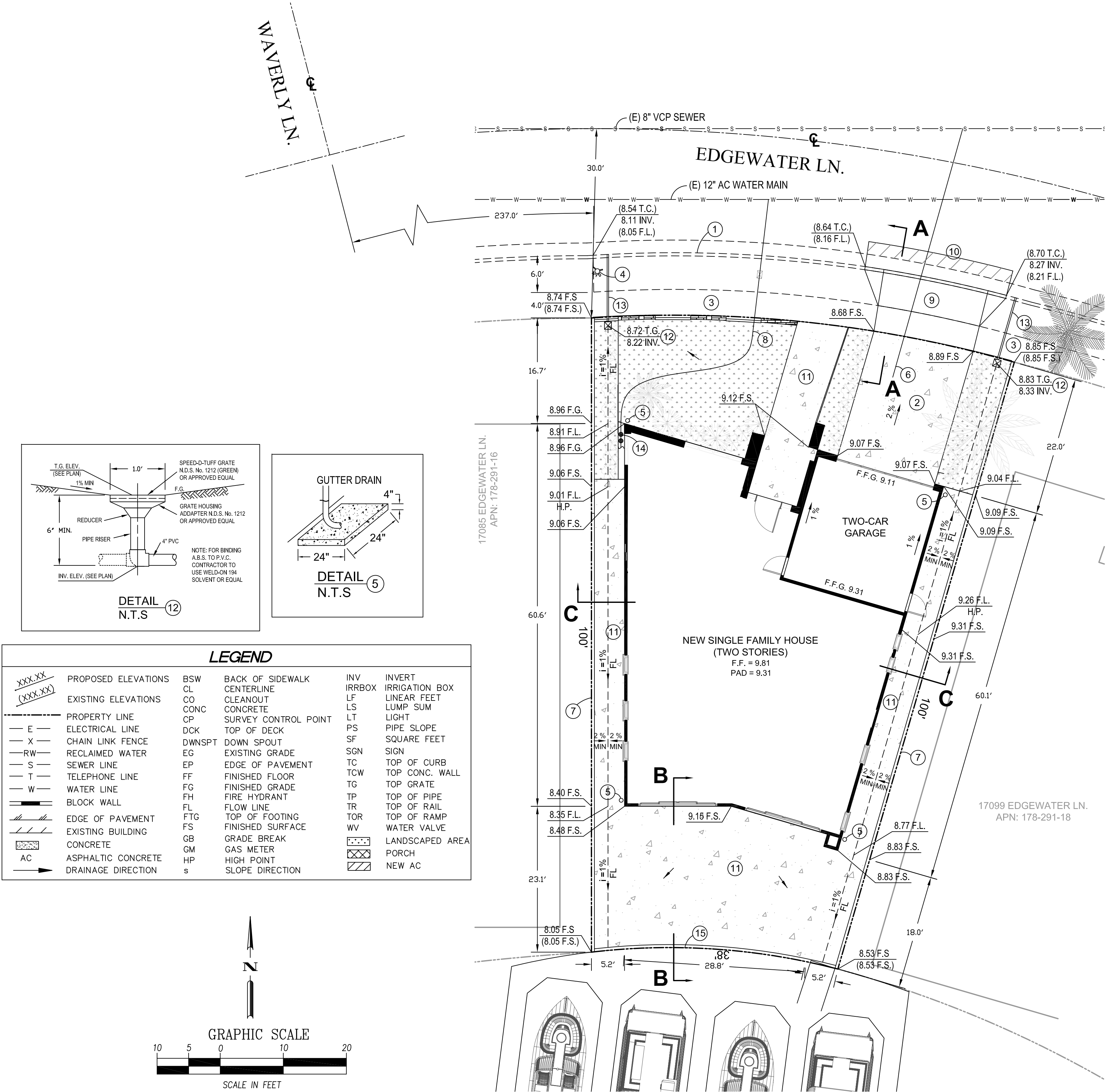


- FIRE DEPARTMENT NOTES**
1. ALL SOILS SHALL CONFORM TO THE CITY OF HUNTINGTON BEACH SOIL CLEANUP STANDARD, **CITY SPECIFICATION 431-92**.
 2. ALL ABANDONED OIL WELLS MUST MEET THE CRITERIA SPECIFIED WITH THE **CITY SPECIFICATION 422**, OIL WELL ABANDONMENT PERMIT PROCESS, AND ALL REQUIREMENTS OF THE DEPARTMENT OF OIL, GAS, AND GEOTHERMAL RESOURCES, (714) 816-8847.
 3. ALL DEBRIS/CONTAMINATED SOIL SHALL BE REMOVED AND PROPERLY DISPOSED OF PER CITY, COUNTY AND STATE REQUIREMENTS.
 4. SOIL STOCKPILING, REMEDIATION, MIXING FOR RE-USE, AND/OR DEBRIS REMOVAL REQUIRES THE FOLLOWING NOTIFICATION:
 - a) HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT (714) 536-5431
 - b) HUNTINGTON BEACH FIRE DEPARTMENT (714) 536-5411
 - c) CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (909) 320-2024
 - d) ORANGE COUNTY HEALTH CARE AGENCY (714) 667-3623
 5. A REGISTERED, STATE LICENSED ENVIRONMENTAL AUDITING FIRM SHALL AT ALL TIMES BE PRESENT WITH THE APPROPRIATE NUMBER OF SITE AUDITORS.
 6. ANY ADDITIONAL DISCOVERY OF OILFIELD WASTE, HAZARDOUS MATERIALS, OR OTHERWISE SHALL BE DISCLOSED IMMEDIATELY TO THE HUNTINGTON BEACH FIRE DEPARTMENT. ALL GRADING OPERATIONS SHALL CEASE UNTIL A NEW REMEDIATION WORK PLAN IS APPROVED.
 7. ALL STRUCTURES SO AFFECTED UNDER THE REQUIREMENTS OF THE City of Huntington Beach SOIL CLEANUP STANDARD, **CITY SPECIFICATION 431-92** AND METHANE DISTRICT PERMIT REQUIREMENTS, **CITY SPECIFICATION # 429**, SHALL HAVE SAFETY MEASURES SUCH AS METHANE BARRIERS, FUGITIVE COMBUSTIBLE GAS COLLECTION SYSTEMS, WELL VENT COLLECTION SYSTEMS, CLASSIFIED ELECTRICAL INSTALLATION, SOME OR ALL IN THE SUB-SLAB AREA.
 8. THE GRADING PLANS MUST STATE THE SPECIFIC SAFETY MEASURES REQUIRED. THE FIRE DEPARTMENT PETROCHEM/DEVELOPMENT SECTION MAY BE CONTACTED AT (714) 536-5411.
 9. ANY AND ALL ASSOCIATED UNDERGROUND FIRE SERVICE SUPPLY WORK SHALL REQUIRE SEPARATE FIRE DEPARTMENT PLAN REVIEW & PERMITTING, BY A C16, C34, OR C36 LICENSED CONTRACTOR MEETING THE ADOPTED NFPA 13 CHAPTER 10 OR NFPA 24.

- CABLE TV CONSTRUCTION NOTES**
1. CABLE TV FACILITIES MUST BE PLACED BY THE DEVELOPER.
 2. ROUTING OF UNDERGROUND CONDUIT SYSTEM WILL BE DETERMINED BY TIME WARNER COMMUNICATIONS UPON RECEIPT OF TWO COMPLETIONS OF UTILITY UNDERGROUND CONSTRUCTION PRINTS (EDISON AND VERIZON) AND EXECUTED AGREEMENT.
 3. DESIRED ROUTING MUST BE HIGHLIGHTED ON SUPPLIED UTILITY PRINT. ONE COPY MUST BE RETURNED TO THE DEVELOPER.
 4. PRE-WIRING OF FACILITIES MUST BE DONE IN ACCORDANCE WITH TIME WARNER COMMUNICATIONS AGREEMENT AND SPECIFICATIONS THAT WILL HAVE ONE HOME RUN TO EACH UNIT FROM "MULTI TAP" TO BE 250 FEET
- CONTACT: CONSTRUCTION DEPARTMENT DAVE DOLNEY, PROJECT SUPERINTENDENT (714) 903-8446
7142 CHAPMAN AVE. BILL JANKOWSKI, CONST. SUPERVISOR (714) 903-8336
GARDEN GROVE, CA 92641 (BY APPOINTMENT ONLY) MIKE PURSELL, DIRECTOR (714) 903-8309
5. THE DEVELOPER WILL PROVIDE THE LABOR WITH THE EXCEPTION OF PULLING DISTRIBUTION CABLE, SPLICING, AND ACTIVATION.
 6. TIME WARNER COMMUNICATIONS RESERVES THE RIGHT TO REVOKE THE OFFER TO PROVIDE MATERIALS WITHOUT PRIOR NOTICE.

- WATER NOTE:**
1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST CITY OF HUNTINGTON BEACH WATER DIVISION STANDARDS.
 2. THE CITY OF HUNTINGTON BEACH PUBLIC WORKS WATER INSPECTOR MUST BE NOTIFIED 48 HOURS BEFORE START OF WORK AT (714) 536-5431
 3. DEVELOPER IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HUNTINGTON BEACH DEPARTMENT OF BUILDING AND SAFETY FOR THE SIZE OF WATER METER(S) AND/OR SERVICE LATERAL(S) SIZES SHOWN ON THIS PLAN WILL REQUIRE CITY BUILDING AND/OR FIRE DEPARTMENT APPROVAL. DEVELOPER IS RESPONSIBLE FOR COST OF REPLACING UNDERSIZED LATERALS & METERS DUE TO INCORRECT FITTURE UNIT COUNTS, GALLON PER MINUTE CALCULATIONS, OR LACK OF COORDINATION WITH CITY OF HUNTINGTON BEACH DEPARTMENT OF BUILDING AND SAFETY.
 4. ALL UNDERGROUND PIPING BETWEEN THE METER AND BACKFLOW PROTECTION DEVICES SHALL BE SLEEVED AND BACKFILLED WITH 2-SACK SLURRY TO 12-INCHES BELOW FINISHED GRADE.
 5. SCREENING OF BACKFLOW PROTECTION DEVICE SHALL BE APPROVED BY THE CITY DEPARTMENT OF PUBLIC WORKS AND PLANNING DEPARTMENT.
 6. CONTRACTOR SHALL NOT TAP EXISTING MAINS WITHOUT A CERTIFIED WATER INSPECTOR PRESENT. PRESSURE TEST TAPPING SLEEVE IN CERTIFIED WATER INSPECTORS PRESENCE BEFORE TAPPING EXISTING MAIN.
 7. CITY OF HUNTINGTON BEACH WORK PRIOR TO ACCEPTANCE WILL BE LIMITED TO PLAN REVIEW AND CONSTRUCTION INSPECTION. ANY ADDITIONAL WORK BY THE CITY FORCES DEEMED NECESSARY BY CERTIFIED WATER INSPECTORS TO ENSURE COMPLIANCE WITH CITY STANDARDS WILL BE BACKCHARGED TO THE DEVELOPER OR CONTRACTOR. FINAL ACCEPTANCE WILL NOT OCCUR UNTIL REIMBURSEMENT IS RECEIVED.
- NOTE: ANY WATER SERVICE WITH A FITTURE EXCEEDING 20 FEET ABOVE THE TOP OF LOWEST CURB ELEVATION SHALL HAVE BACKFLOW PROTECTION PER CITY OF H.B. STD. PLAN 609A. COMMERCIAL AND INDUSTRIAL REQUIRE PROTECTION ALL THE TIME.
- NEW WATER METER ELEVATION CERTIFICATION**
- THE ENGINEER OF RECORD OR LICENSED SURVEYOR SHALL SURVEY AND STAKE THE LOCATION OF THE PROPOSED WATER SERVICE AND METER AND INCLUDE THE FINISH ELEVATION FOR THE PLACEMENT OF THE NEW WATER METER. PER WATER DIVISION STANDARDS, THE METER SHALL BE LOCATED 7 INCHES BELOW THE FINISH SURFACE MEASURED FROM THE TOP OF FINISH SURFACE TO THE CENTERLINE/FLOW LINE OF THE METER. PRIOR TO THE CONTRACTOR CONSTRUCTING THE ASPHALT PAVEMENT IN THE ALLEY, THE OWNER/DEVELOPER SHALL PROVIDE AN APPROVED WRITTEN CERTIFICATION TO THE PUBLIC WORKS INSPECTOR AND WATER INSPECTOR CERTIFYING THAT THE ELEVATION OF THE NEW WATER METER COMPLIES WITH THE SURVEY DATA.

- NPDES GENERAL NOTES**
1. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING INDUSTRY ACCEPTED BEST MANAGEMENT PRACTICES (BMPs). THESE BMPs SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY SUCH AS GRADING THAT MAY CAUSE SOIL DISTURBANCE. THESE BMPs ARE TO BE MAINTAINED YEAR-ROUND OR UNTIL ALL LOOSE SEDIMENT HAS BEEN STABILIZED.
 2. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS. DRAINAGE FACILITIES AND ADJACENT PROPERTIES VIA RUNOFF. STOCKPILED MATERIAL SHALL BE NO MORE THAN 8 FEET IN HEIGHT AND SHALL BE COMPLETELY COVERED WITH A SECURE IMPERMEABLE COVER AT THE END OF EACH WORK DAY. ALL STOCKPILES SHALL BE LOCATED AWAY FROM ANY STORM DRAIN INLETS AND AWAY FROM ANY STORM WATER CONVEYANCE STRUCTURES. AT NO TIME SHALL ANY RAW MATERIAL BE STAGED OR STOCKPILED ON CITY STREETS, SIDEWALKS, AND/OR GUTTERS WITHOUT A VALID OBSTRUCTION PERMIT.
 3. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, AND ADJOINING PROPERTY BY WIND OR RUNOFF.
 4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED ON THE CONSTRUCTION SITE AND SHALL NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE STORM DRAIN SYSTEM.
 5. CONCRETE WASH OUT WATER SHALL BE CONTAINED IN A WATER-TIGHT DEVICE TO PREVENT CEMENT DEPOSITION ONTO THE GROUND AND RUNOFF INTO STREETS, DRAINAGE FACILITIES, AND RECEIVING WATERS.
 6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
 7. AT THE END OF EACH WORK DAY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN COVERED TRASH OR RECYCLE BINS.
 8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT STORMWATER DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIALS OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 9. ALL UNPAVED CONSTRUCTION ENTRANCES AND EXITS SHALL BE PROTECTED USING AN EFFECTIVE COMBINATION OF TRACKING CONTROL BMPs TO MINIMIZE AND/OR ELIMINATE OFF-SITE TRACKING OF SEDIMENT. THESE BMPs SHALL BE MAINTAINED AND INSPECTED DAILY.
 10. ALL TEMPORARY PORTABLE RESTROOMS MUST HAVE A CATCHMENT PAN AND MUST BE LOCATED AT LEAST 50 FEET AWAY FROM ANY STORM DRAIN INLETS.
 11. POLLUTANTS ARE ANY SUBSTANCES INTRODUCED INTO THE ENVIRONMENT THAT ADVERSELY AFFECTS THE USEFULNESS OF A RESOURCE. POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SEDIMENT; SOLID OR LIQUID CHEMICALS SUCH AS: PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDE, HERBICIDE, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE / EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHINGS AND TESTING.
 12. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED MANNER. A DESIGNATED TEMPORARY AREA ON-SITE SHALL BE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
 13. DISCHARGING CONTAMINATED GROUNDWATER, PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING OF CONTAMINATED GROUNDWATER BY DEWATERING ACTIVITY OR POLLUTANT POLLUTION TO FINAL RELEASE.
 14. ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
 15. DISCHARGES OF STORM WATER FROM CONSTRUCTION SITES SHALL NOT BE LADEN WITH SEDIMENT. ALL STORM WATER DISCHARGES MUST BE RELATIVELY FREE OF SEDIMENT.
 16. ALL CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL MEET THE REGULATORY CONSTRUCTION REQUIREMENTS ON THE PROJECT SITE IN COMPLIANCE WITH THE CITY'S MUNICIPAL CODE 14.25, STORMWATER AND URBAN RUNOFF MANAGEMENT AND MUNICIPAL CODE 17.05, GRADING AND EXCAVATION CODE.
- GRADING GENERAL NOTES**
1. ALL GRADING SHALL BE DONE IN COMPLIANCE WITH THE CITY OF HUNTINGTON BEACH REQUIREMENTS.
 2. CITY OF HUNTINGTON BEACH GRADING INSPECTOR IS TO BE NOTIFIED 48 HOURS PRIOR TO ANY GRADING AT THE DEPARTMENT OF PUBLIC WORKS, (714) 536-5431.
 3. DUST SHALL BE CONTROLLED BY WATERING.
 4. REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING, INSPECTION IS REQUIRED.
 5. IMPORT WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
 6. IMPORT SOIL SHALL BE A GRANULAR MATERIAL WITH LOW EXPANSION POTENTIAL AND SHALL BE COMPACTED TO AT LEAST 90%.



CONSTRUCTION NOTES - ESTIMATED QUANTITIES			
ITEM	DESCRIPTION	ON-SITE	OFF-SITE
①	PROTECT IN PLACE EXISTING CONCRETE CURB AND GUTTER		60 LF
②	CONSTRUCT NEW 6" CONCRETE DRIVEWAY PER SOILS REPORT RECOMMENDATIONS	980 SF	
③	PROTECT IN PLACE EXISTING CONCRETE SIDEWALK		250 SF
④	PROTECT IN PLACE EXISTING FIRE HYDRANT		1 EACH
⑤	INSTALL DOWNSPOUT PER DETAIL HEREON	4 EACH	
⑥	CONST. 4" PVC (SDR 35) SEWER LATERAL PER STD. 507 & 506, UNLESS THE EXIST. LATERAL IS DEEMED SERVICABLE PER VIDEO INSPECTION.		1 EACH
⑦	PROTECT IN PLACE EXISTING 6" BLOCK WALL/FENCE	200 LF	
⑧	PROTECT IN PLACE EXISTING WATER METER AND SERVICE		1 EACH
⑨	CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD 209	300 SF	
⑩	SAWCUT AND REMOVE EXISTING PAVING. CONSTRUCT TRENCH REMOVAL AND REPLACEMENT PER CITY STD. 606		50 SF
⑪	CONSTRUCT NEW 4" CONCRETE WALKWAY	2,000 SF	
⑫	CONSTRUCT DRAIN BOX INLET PER DETAIL HEREON	2 EACH	
⑬	INSTALL CURB DRAIN WITH 3" SCH. 80 PVC PIPE PER CITY STD. 204		2 EACH
⑭	CONSTRUCT 1" BACKFLOW DEVICE (DCV) PER CITY STD. 609B	1 EACH	
⑮	PROTECT IN PLACE EXISTING RETAINING WALL	1 EACH	
⑯			

THE FOLLOWING ITEMS REQUIRE A SEPARATE PUBLIC WORKS ENCROACHMENT PERMIT: ⑥ ⑨ ⑩ ⑬

(*) THE CITY BUILDING DIVISION WILL BE RESPONSIBLE FOR INSPECTION BEYOND THE WATER METER

THE PW INSPECTOR AND CROSS-CONNECTION CONTROL SPECIALIST WILL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE FINAL LOCATION OF THE DCV.

CERTIFICATION STATEMENT:
THE UNDERSIGNED STATES THAT ALL IMPROVEMENTS SHOWN HEREIN HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE DIMENSIONS, LINES AND ELEVATIONS INDICATED.

ESTIMATE OF EARTHWORK QUANTITIES:
CUT = 0 C.Y. FILL = 0 C.Y. OVEREXCAVATION = 265 C.Y.



INDEX	
1	PRECISE GRADING PLAN
2	EROSION CONTROL PLAN

BLDG# C2018- PW# 18- L# 18-

PRECISE GRADING PLAN
KYLE TRAN
17091 EDGEWATER LN.
HUNTINGTON BEACH, CA 92649

RD#
422
SHEET NO.
1
OF
2



REVISIONS

REV	DATE	BY	DESCRIPTION	APP'D

DEVELOPER/OWNER

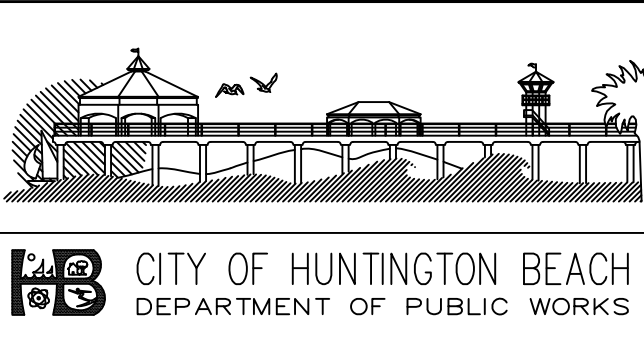
KYLE TRAN
16962 CORAL CAY LN.
HUNTINGTON BEACH, CA 92649
(714) 898-3265

SOILS ENGINEER

PROJ. # , DATE:
GEOTECHNICAL INTERNATIONAL
LAN & ASSOCIATES
LAN N. PHAM, P.E. RGE 686, EXP. 3-31-2019
13139 HARBOR BLVD, GARDEN GROVE, CA 92843
TEL: (714) 414-9215; FAX: (714) 537-7974

REVIEWED BY:

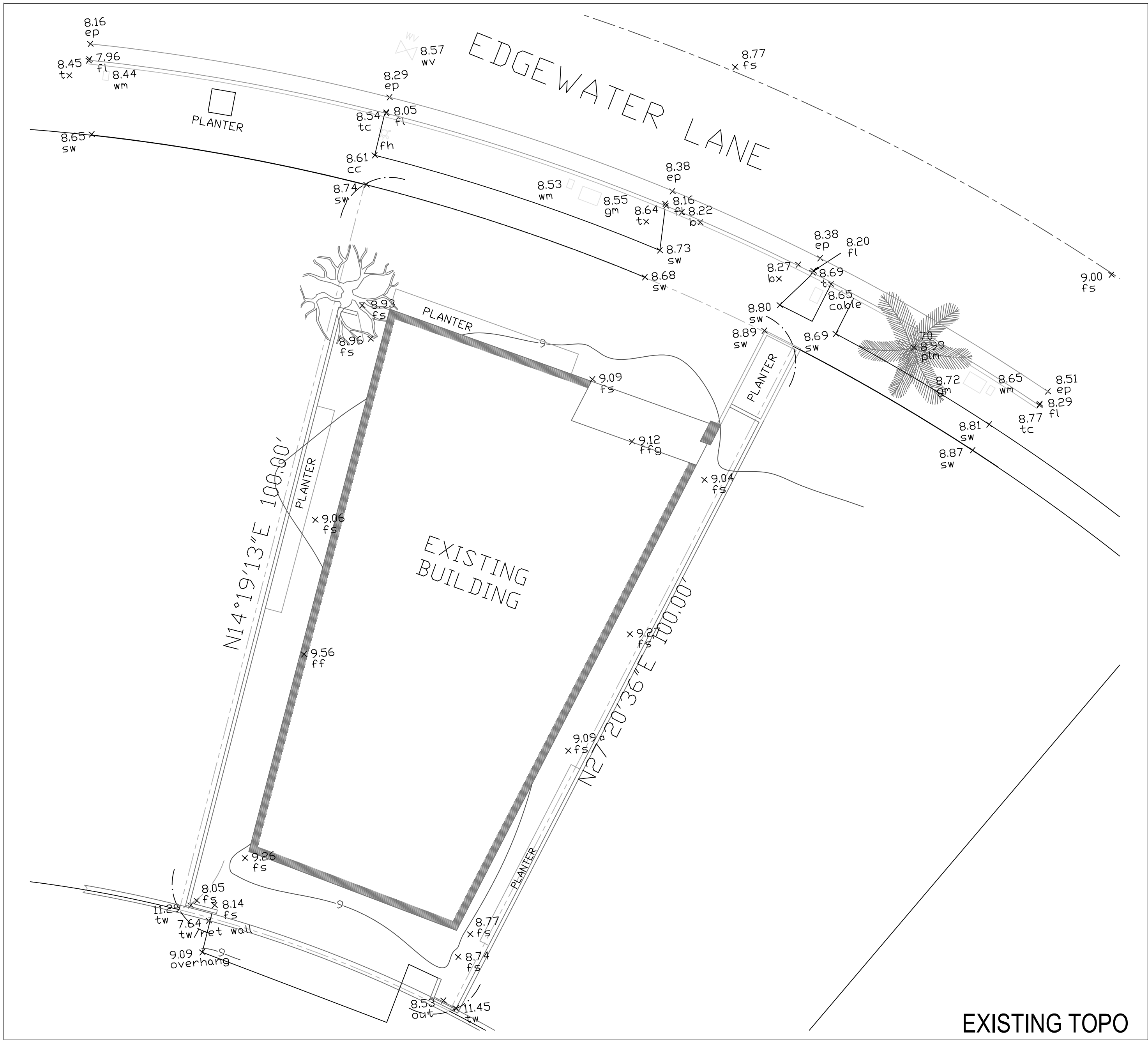
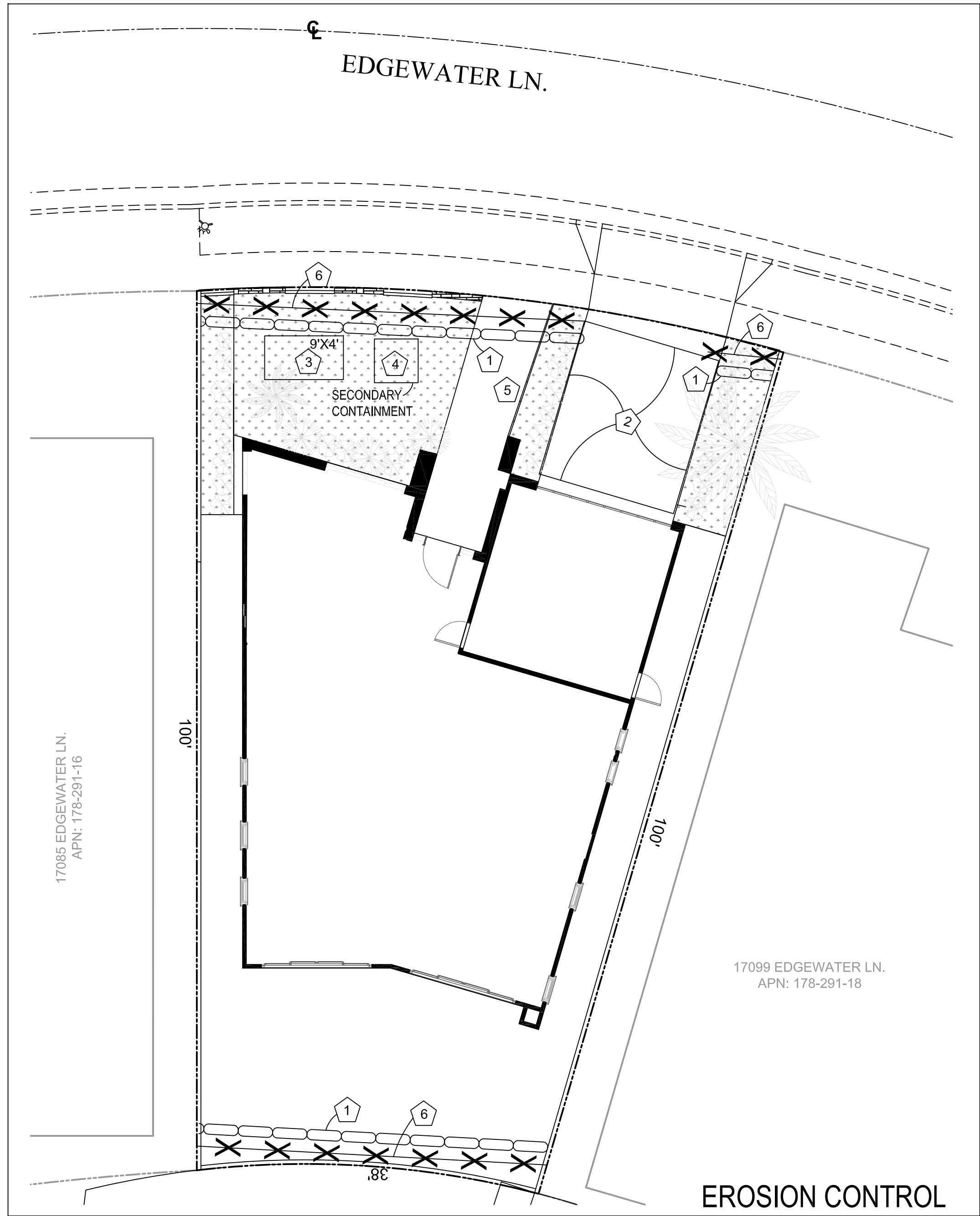
FIRE DEPT.	DATE
REVIEWED BY:	
PLANNING DEPT.	DATE
REVIEWED BY:	
HUNTINGTON BEACH DEPT. OF PUBLIC WORKS	



LY PHAN, P.E.
RCE 63381, EXP. 9-30-2020
2014 W. CRONE AVE.
ANAHEIM, CA 92804
TEL. (714) 487-7037



DRAWN BY:	TT	DATE	10/2018
DESIGNED BY:	LP	DATE	10/2018
CHECKED BY:	LP	DATE	10/2018
PREPARED UNDER THE SUPERVISION OF:			
R.C.E. NO.: 63381 EXP. DATE: 09/30/2020			



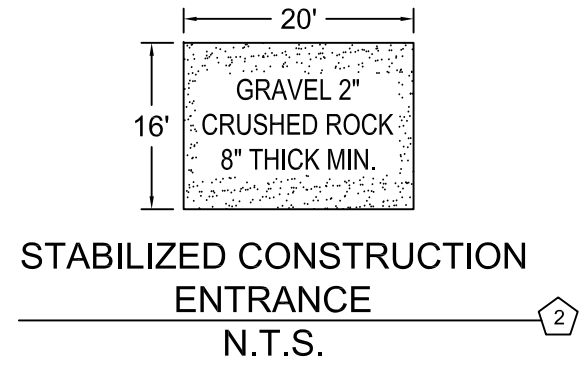
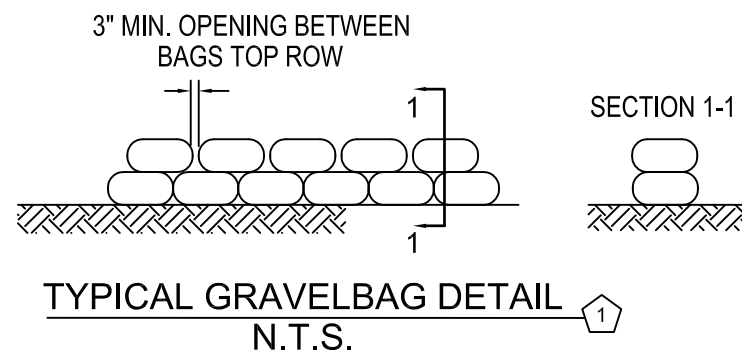
- EROSION CONTROL NOTES**
- EROSION CONTROL IS REQUIRED FOR GRADING OPERATIONS DURING "DRY SEASON" REQUIREMENTS (MAY 1 THROUGH SEPTEMBER 30) AND FOR "WET SEASON" REQUIREMENTS (OCTOBER 1 THROUGH APRIL 30). APPROVED PLANS ARE REQUIRED FOR ALL ROUGH GRADING OPERATIONS. IN CASE OF EMERGENCY CALL:
 - LY PHAN, PE (RESPONSIBLE PERSON) AT (714) 487-7037 (24 HOUR PHONE NO.) LP & ASSOCIATES (FIRM)
 - THE DESIGN CIVIL ENGINEER WILL SUPERVISE EROSION CONTROL WORK AND ENSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS (IF REQUIRED). THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMP'S AS NEEDED TO PROTECT ALL EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM EVENT IS DEFINED AS A NATIONAL WEATHER SERVICE FORECASTED, 50% CHANCE OF RAIN).
 - EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER.
 - ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
 - AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, SILT FENCES, AND DESILTING BASINS, ETC.
 - GRADED AREAS AROUND THE TRACT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION. DESILTING BASINS ARE TO BE CONSTRUCTED AS GRADING OF INDIVIDUAL GRADING AREAS ARE COMPLETE PER ROUGH GRADING PLANS.
 - THE CITY ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THIS PLAN AS DEEMED NECESSARY.
 - INFORMATION ON THIS PLAN IS FOR EROSION CONTROL ONLY. ALL OTHER INFORMATION IS SUBJECT TO CHANGE.
 - TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
 - AREAS SHALL BE MAINTAINED IN SUCH A STATE THAT FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).

- NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR DURING THE "WET SEASON", UNLESS ADEQUATE TEMPORARY/PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE NEAREST PRACTICAL STREET, STORM DRAIN OR NATURAL WATER COURSE.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHANNLED INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.
- CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TO THIS SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT BE LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.
- SLOPES CONSTRUCTED PRIOR TO OCTOBER 1 SHALL BE TREATED FOR EROSION CONTROL PRIOR TO OCTOBER 15. SLOPES CONSTRUCTED AFTER OCTOBER 1 SHALL BE TREATED FOR EROSION CONTROL AS THE CONSTRUCTION OF SLOPE PROGRESSES IN INCREMENTS OF 25 FEET OR LESS MEASURED VERTICALLY.
- FILL AREAS WHILE BEING BROUGHT UP TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; GRADED BERMS AROUND AREAS TO ELIMINATE EROSION OF FILL SLOPES BY SURFACE RUNOFF; CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN TOE OF SLOPE DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE; AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND MAINTAINED ON THOSE FILL AREAS WHERE EARTH-WORK OPERATIONS ARE NOT IN PROGRESS.
- TOP OF CUT BROW DITCHES, WHERE REQUIRED ON THE PLANS, SHALL BE CONSTRUCTED PRIOR TO EXCEEDING 12 FEET OF CUT MEASURED VERTICALLY.
- CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS THAT HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATION, AND THAT ARE SUBJECT TO RUNOFF DURING THE PERIOD FROM THE BEGINNING OF THE "WET SEASON". THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES; BRUSH BARRIERS AND SILT FENCES. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.
- CITY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.

EROSION CONTROL NOTES	
ITEM	DESCRIPTION
1	INSTALL TYPICAL GRAVELBAG PER DETAIL HEREON
2	CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON
3	MATERIAL STAGING AREA PER CASQA WM-1 DETAIL
4	PORTABLE TOILET PER CASQA WM-9 DETAIL
5	CONCRETE WASH OUT AREA PER CASQA WM-8 DETAIL
6	INSTALL 6 FEET HEIGHT TEMPORARY FENCE WITH GREEN SCREEN

THE FOLLOWING BMP'S, WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION BMP HANDBOOK FOR NON-STORMWATER MANAGEMENT AND MATERIAL MANAGEMENT

- NS-1 WATER CONSERVATION PRACTICES
- NS-3 PAVING AND GRINDING OPERATIONS
- NS-6 ILLICIT CONNECTION/DISCHARGE
- NS-9 VEHICLE AND EQUIPMENT FUELING
- NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- NS-14 MATERIAL AND EQUIPMENT USE



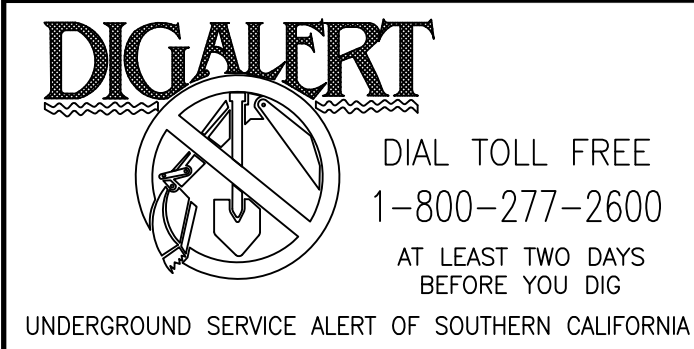
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INDICATED.

INITIALS _____ R.C.# _____ DATE _____



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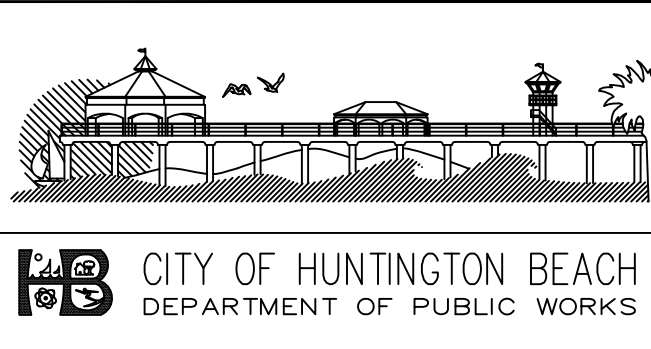


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REV.	DATE	BY	DESCRIPTION	APP'VD

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