

SHANE RESIDENCE

3302 Admiralty Drive
Huntington Beach, CA 92649



STREET FRONT ELEVATION



WATER FRONT ELEVATION

NARRATIVE:
3302 ADMIRALTY DRIVE HUNTINGTON BEACH, CA 92649
CLAUDIA SHANE (OWNER)
PLANS TO DEMOLISH THE EXISTING RESIDENCE AND REPLACE IT
WITH AN ALL NEW CONSTRUCTION TWO STORY SINGLE RESIDENCE.

3 CAR GARAGE: 632 SQFT
1ST FLOOR: 1752 SQFT
2ND FLOOR: 2273 SQFT
COVERED PATIO: 248 SQFT
COVERED PORCH 79 SQFT

CALIFORNIA COASTAL STYLE OF ARCHITECTURE INCLUDING STUCCO EXTERIOR.
CEMENT TILE ROOF, HIGH END ALUMINUM CLAD WINDOW SYSTEMS.
MODERN LANDSCAPING.

HOME DESIGNER:
JIM CALDWELL
HARBOR BAY HOME DESIGN
1614 WARWICK LANE
NEWPORT BEACH, CA 92660
(714) 742-9598

JJAB
DESIGN LLC

2735 DE SOTO AVE.
COSTA MESA, CA 92626
949.274.6585
JJABDESIGN@GMAIL.COM
JASON BLACKMORE

PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

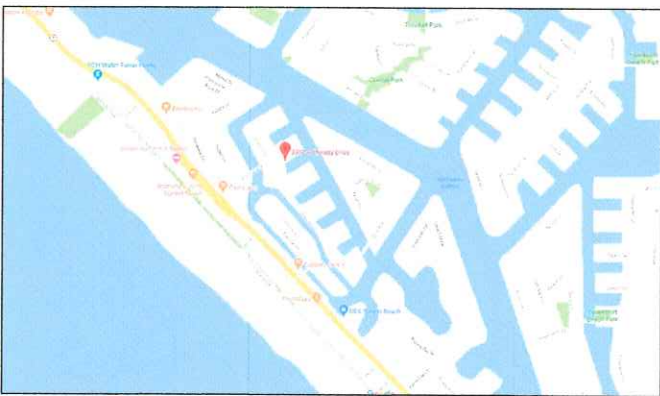
CONTENT
COVER SHEET

PREPARED BY JJB
PROJECT 181003
DATE 11.12.2018
SHEET

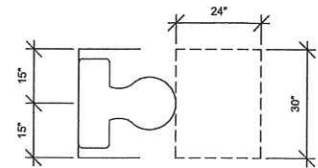
GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 CBC, CEC, CPC, CMC, AND ALL LOCAL CODES AND ORDINANCES & 2016 CALIFORNIA RESIDENTIAL CODE.
2. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. PRIOR TO THE COURSE OF CONSTRUCTION.
4. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL SET OF DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY ON-SITE UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE RESIDENCE OVER SCALED DIMENSIONS.
7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTION, OTHER THEN PLAN CHECK AND BUILDING PERMIT FEES PROVIDED BY THE OWNER.
8. ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES AND GOVERNING AGENCIES.
9. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE DESIGNER AND OWNER HARMLESS FROM ANY CLAIM FOR DAMAGES FOR INJURY OR PROPERTY DAMAGE DURING THE COURSE OF THE CONTRACT.
10. FIRE INSURANCE SHALL BE MAINTAINED BY THE OWNER.
11. TEMPORARY POWER, WATER, WORKERS TOILET FACILITIES AND MATERIAL STORAGE SHALL BE PROVIDED BY THE CONTRACTOR.
12. THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK AND ADJACENT SURFACES FROM DAMAGE DURING COURSE OF CONSTRUCTION AND SHALL REPLACE AND OR REPAIR ANY AND ALL DAMAGES CAUSED BY THE WORKERS OR DUE TO CONSTRUCTION.
13. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES. UPON COMPLETION OF THE WORK ALL AREAS SHALL BE LEFT BROOM SWEEPED AND ALL DEBRIS SHALL BE REMOVED FROM THE SITE.
14. DIMENSIONS ON FLOOR PLANS, SECTIONS AND DETAILS ARE SHOWN TO THE FACE OF STUD, CENTERLINE OF COLUMN, FACE OF MASONRY, FACE.
15. DOOR LOCATIONS NOT ESTABLISHED BY DIMENSIONS SHALL BE CENTERED IN WALL OR BE LOCATED 4 1/2" FROM ADJACENT WALL TO ALLOW FOR DOOR CASING.
16. NAILING FOR DIAPHRAGMS AND SHEAR WALLS MUST BE INSPECTED PRIOR TO COVERING.
17. NAILING INSPECTION IS REQUIRED FOR ALL GYPSUM AND LATH AFTER INSTALLATION BEFORE TAPING AND FINISHING. CORNERS BEADS TO BE NAILED. GYPSUM BOARD SPACING TO BE 3/8" MAXIMUM. GYPSUM AND LATH SHALL BE NAILED TO ALL STUDS AND TO TOP AND BOTTOM PLATES.
18. PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET BEFORE, DURING AND AFTER CONSTRUCTION.
19. THE RESIDENCE COMPLIES WITH STATE ENERGY STANDARDS TITLE 24 PART 6.
20. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
21. RESIDENCE TO COMPLY WITH 2016 CBC REGARDING THE PROTECTION OF PEDESTRIANS DURING CONSTRUCTION. PLUMBING REQUIREMENTS FOR ALL NEW BUILDINGS OR REMODELS THAT INVOLVE PLUMBING FIXTURES ARE REQUIRED TO HAVE THE FLOW RATES AS LISTED BELOW. THE FLOW RATE REQUIREMENTS ARE PER THE 2016 CALIFORNIA PLUMBING CODE SECTION 403.0 & 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.303.
22. BATHROOM / LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE AT 60PSI
23. SINGLE HEAD SHOWER / BATHTUB: 2.0 GALLONS PER MINUTE AT 80PSI. MULTIPLE SHOWER HEADS SERVING ONE SHOWER: THE FLOW RATE OF ALL SHOWER HEADS COMBINED AT 2.0 GALLONS PER MINUTE AT 80PSI. CONTROLLED BY A SINGLE VALVE, OR SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER HEAD OR OUTLET TO BE IN OPERATION AT A TIME.
24. ALL REMODELED HOME ARE TO UPGRADE ALL TOILETS / WATER CLOSETS: 1.28 GALLONS PER FLUSH. URINALS: 0.5 GALLONS PER FLUSH. BATHROOM / LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE AT 60PSI. KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE AT 60PSI. PER 2016 CALIFORNIA GREEN CODE.

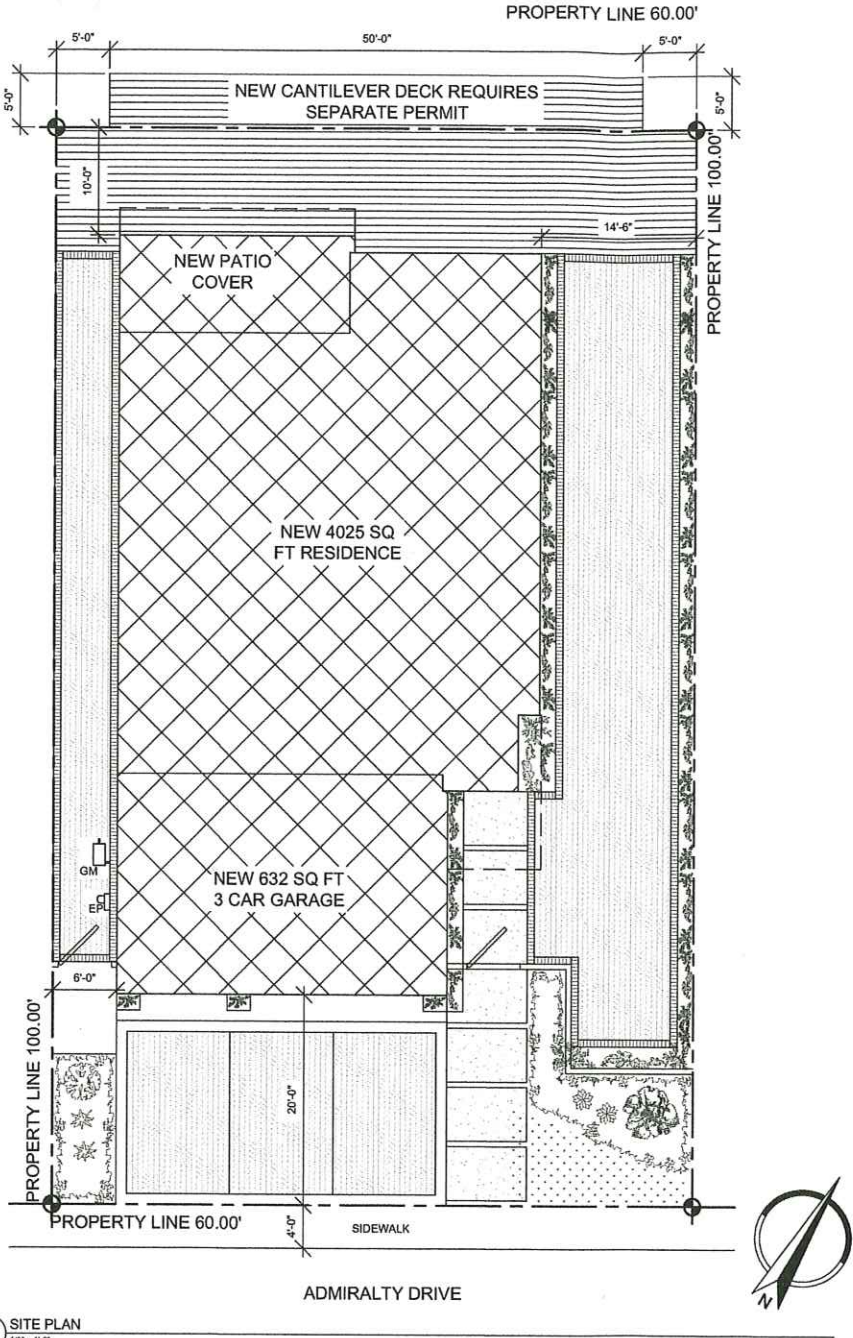
VICINITY MAP



TYPICAL TOILET MINIMUM CLARENCE REQUIREMENTS



CLEARANCE FOR WATER CLOSETS TO BE A MINIMUM OF 24" IN FRONT AND 15" FROM CENTER TO ANY SIDE WALL OR OBSTRUCTION.



1 SITE PLAN
1/8" = 1'-0"

TOTAL LOT COVERAGE

LOT SIZE:	6,000 SQ FT
1ST AND 2ND FLOOR:	1,752 SQ FT
3 CAR GARAGE:	632 SQ FT
OVER HANG GREATER THEN 30"	330 SQ FT
TOTAL COVERED :	2,714 SQ FT
PERCENTAGE COVERED:	45%

20'-0" FRONT SETBACK SOFTSCAPE COVERAGE
(MINIMUM 40% SOFTSCAPE)

SETBACK SIZE:	1,240 SQ FT
HARDSCAPE:	848 SQ FT
SOFTSCAPE :	392 SQ FT
SOFTSCAPE COVERAGE:	46%

ZONING CONFORMANCE MATRIX

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
PARKING	231 & SECTION 210.122	ENCLOSED & 2 OPEN	3 ENCLOSED & 3 OPEN
LANDSCAPING	232	40% OF FRONT YARD SETBACK (20FT) ONE 36" BOX TREE	46% OF FRONT YARD SETBACK (20FT) ONE 36", TWO 24" BOX TREES
SITE COVERAGE	210	MAX=50% COVERAGE SITE=6,000SQFT / 50% COVERAGE=3,000SQFT	MAX=50% COVERAGE SITE=6,000SQFT / 45.1% COVERAGE=2,714SQFT
SETBACK FRONT YARD	210	20FT	20 FT SETBACK TO GARAGE DOOR
SETBACK SIDE YARDS	210	5FT	5FT
SETBACK REAR YEARD	210	10FT	10FT
MAX HEIGHT	210	30FT	30FT
FENCES & WALLS	230	6FT HIGH PROPERTY LINE FENCE@SIDEYARDSEXISTING	6FT HIGH PROPERTY LINE CMU FENCE@SIDEYARDS
		3.5FT HIGH GUARDRAIL @CHANNEL	EXISTING 3.5FT HIGH GUARDRAIL @CHANNEL

SCOPE OF WORK

NEW 2 STORY 4 BEDROOM 3 CAR GARAGE RESIDENTS

GENERAL INFORMATION

JOB ADDRESS:	3302 ADMIRALTY DR HUNTINGTON BEACH, CA 92649	LOT SQ FT:	6,000 SQ FT
TOTAL STORIES:	TWO STORY	NEW TOTAL SQ FT:	4,661 SQ FT
OCCUPANCY TYPE:	GROUP R3/U	1ST FLOOR:	1,752 SQ FT
CONST. TYPE:	VB - SPRINKLER	2ND FLOOR:	2,277 SQ FT
APN:	178-431-37	3 CAR GARAGE:	632 SQ FT

CODE INFORMATION

2016 CALIFORNIA BUILDING CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA BUILDING CODE (PART 2 OF TITLE 24), BASED ON THE 2009 INTERNATIONAL BUILDING CODE.

2016 CALIFORNIA RESIDENTIAL CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA RESIDENTIAL CODE (PART 2.5 OF TITLE 24), BASED ON THE 2009 INTERNATIONAL RESIDENTIAL CODE. ALL NEW RESIDENTIAL BUILDINGS ARE REQUIRED TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER.

2016 CALIFORNIA ELECTRICAL CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA ELECTRICAL CODE (PART 3 OF TITLE 24), BASED ON THE 2008 NATIONAL ELECTRICAL CODE.

2016 CALIFORNIA MECHANICAL CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA MECHANICAL CODE (PART 4 OF TITLE 24), BASED ON 2009 UNIFORM MECHANICAL CODE.

2016 CALIFORNIA PLUMBING CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA PLUMBING CODE (PART 5 OF TITLE 24), BASED ON THE 2009 UNIFORM PLUMBING CODE.

2016 CALIFORNIA ENERGY CODE
NO CHANGES WERE PROPOSED FOR THE 2016 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24) THAT WAS EFFECTIVE ON JANUARY 1, 2016.

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (PART 11 OF TITLE 24). ALL NEW RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS SHALL COMPLY.

PROJECT TEAM

DESIGNER
JJAB DESIGN
JASON BLACKMORE
2736 DE SOTO AVE
COSTA MESA, CA 92626
949.274.6585

SHEET INDEX

ARCHITECTURAL	
A0	COVER SHEET
A1	PROJECT DATA, SITE PLAN
A2	NEW FIRST FLOOR PLAN
A3	NEW SECOND FLOOR PLAN
A4	EXTERIOR ELEVATIONS
A5	EXTERIOR ELEVATIONS
A6	ROOF PLAN
A7	BUILDING SECTION
A8	INFILL COMPLIANCE

LEGEND

2	DEMOLITION KEYNOTE	EXISTING WALL
7	NEW WORK KEYNOTE	DEMOLITION WALL
A	WINDOW TAG	NEW WALL
1	DOOR TAG	NEW DUPLEX
2	SECTION CUT CALLOUT	NEW ARC-FAULT CIRCUIT INTERRUPTER DUPLEX
2	SMOKE DETECTOR - UL 217 RATED	NEW GROUND-FAULT CIRCUIT INTERRUPTER DUPLEX
2	SMOKE/CARBON MONOXIDE DETECTOR - UL 2034/2075 RATED	DOWN LIGHT
CO	VALVE - HOT/COLD/GAS	LIGHT SWITCH
H/C/G		FAN VENT - 50 CFM MIN
		OCCUPANCY SENSOR



2735 DE SOTO AVE.
COSTA MESA, CA 92626
949.274.6585
JJABDESIGN@GMAIL.COM
JASON BLACKMORE

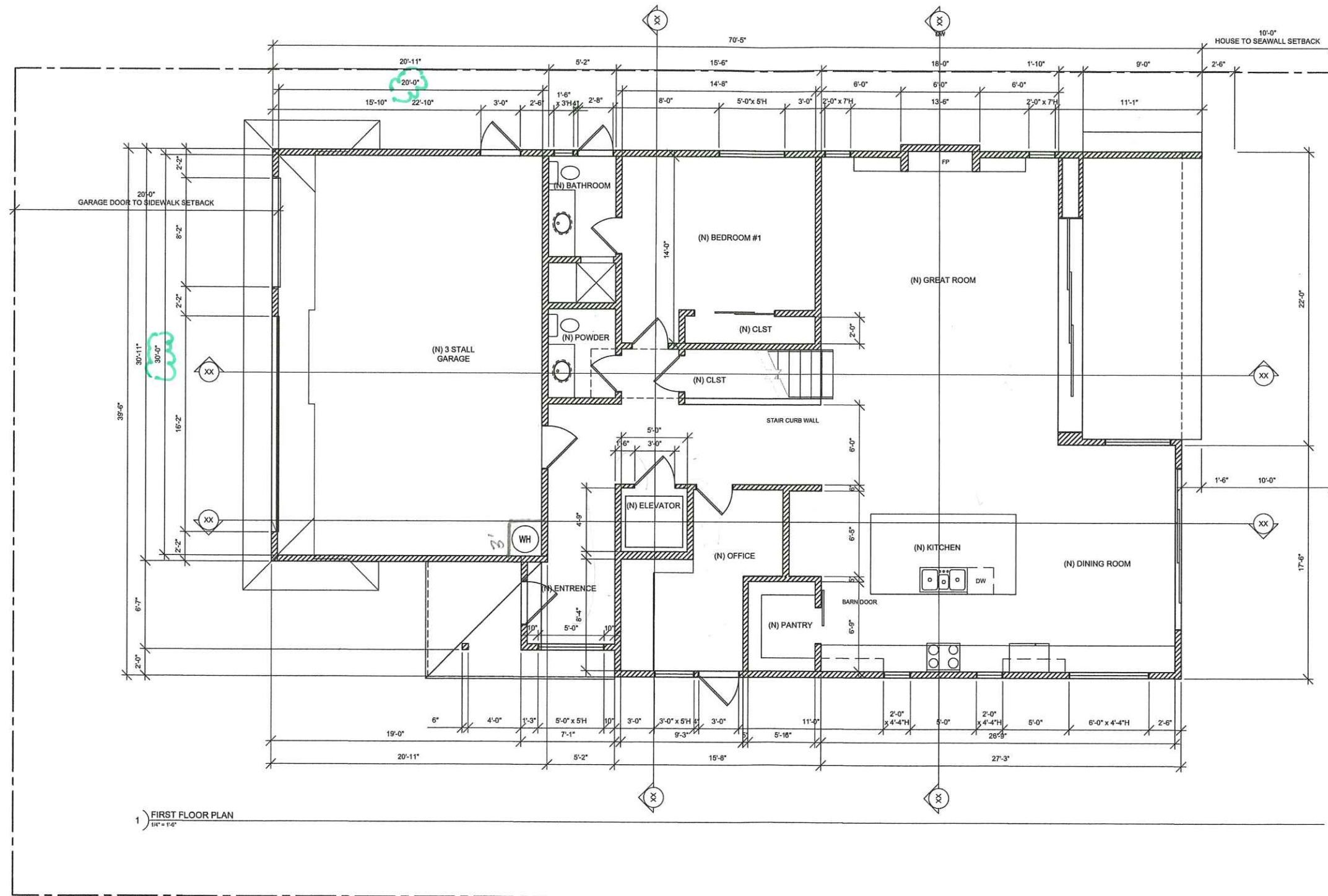
Jason Blackmore

PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
SITE PLAN

PREPARED BY JJAB
PROJECT 181003
DATE 11.12.2018
SHEET

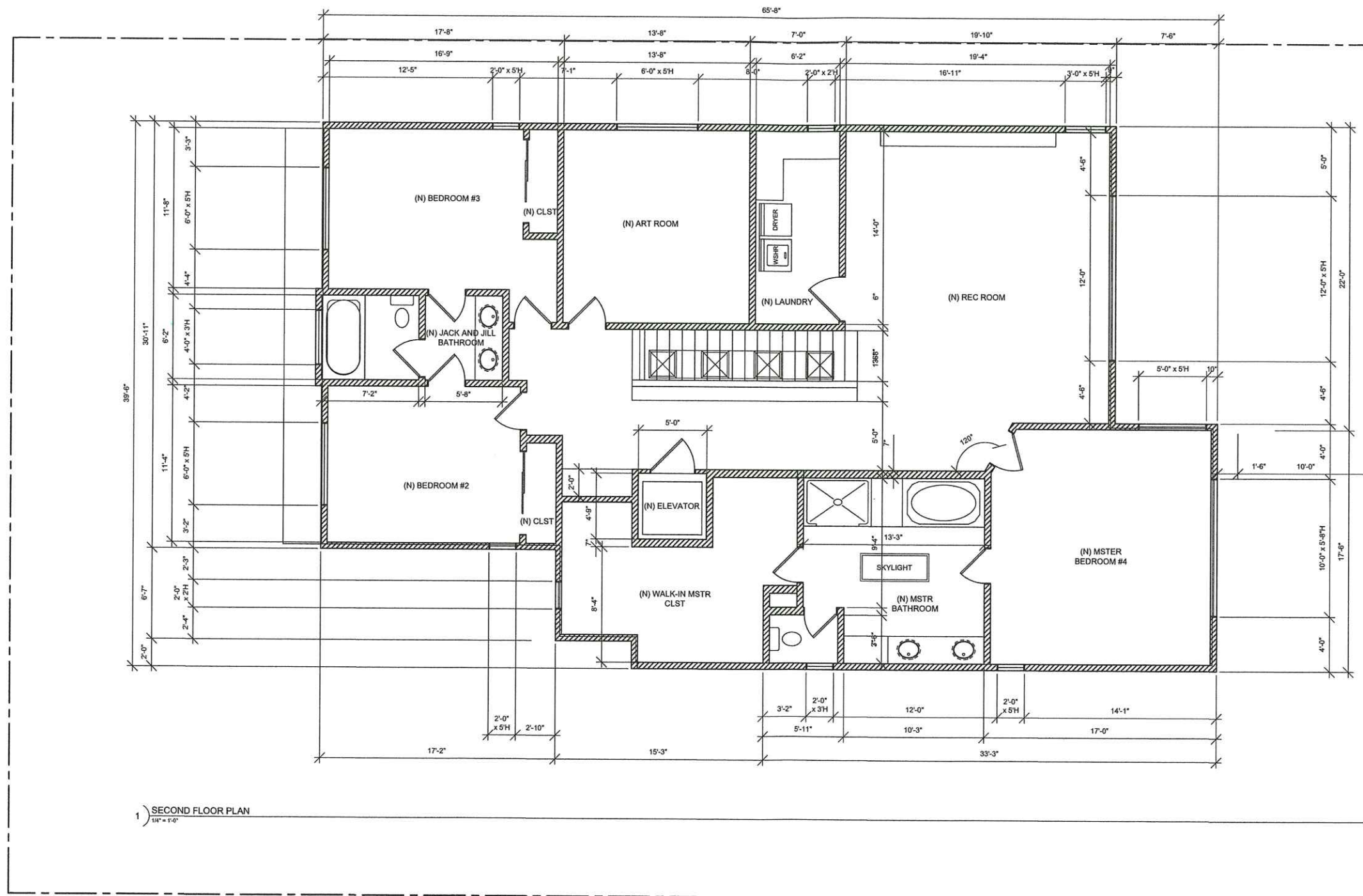



PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
FIRST FLOOR PLAN

PREPARED BY JJB
PROJECT 181003
DATE 11.12.2018
SHEET

PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

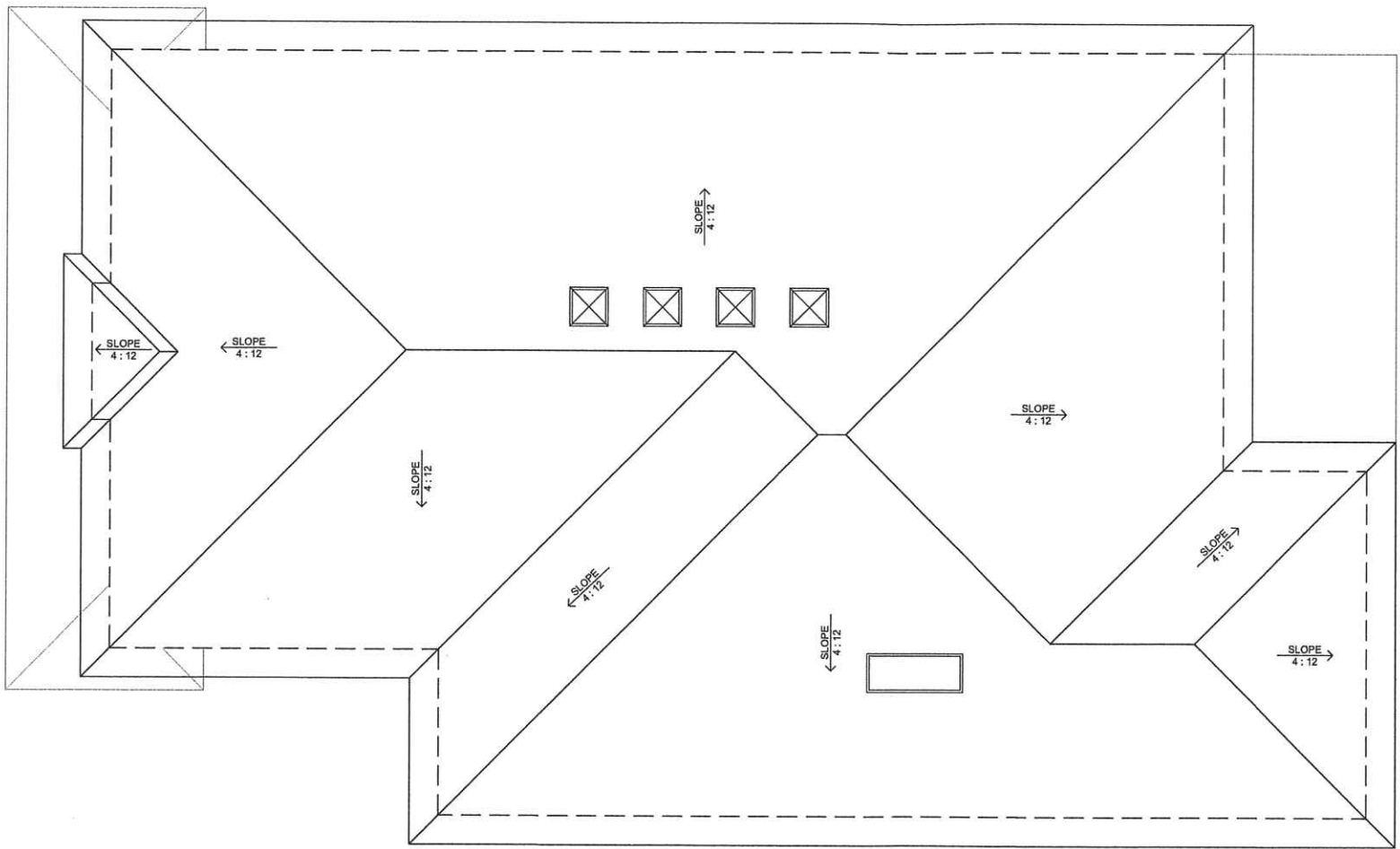
CONTENT
FIRST FLOOR PLAN

2ND

PREPARED BY JJAB
PROJECT 181003
DATE 11.12.2018
SHEET



2735 DE SOTO AVE.
COSTA MESA, CA 92626
949.274.6585
JJABDESIGN@GMAIL.COM
JASON BLACKMORE



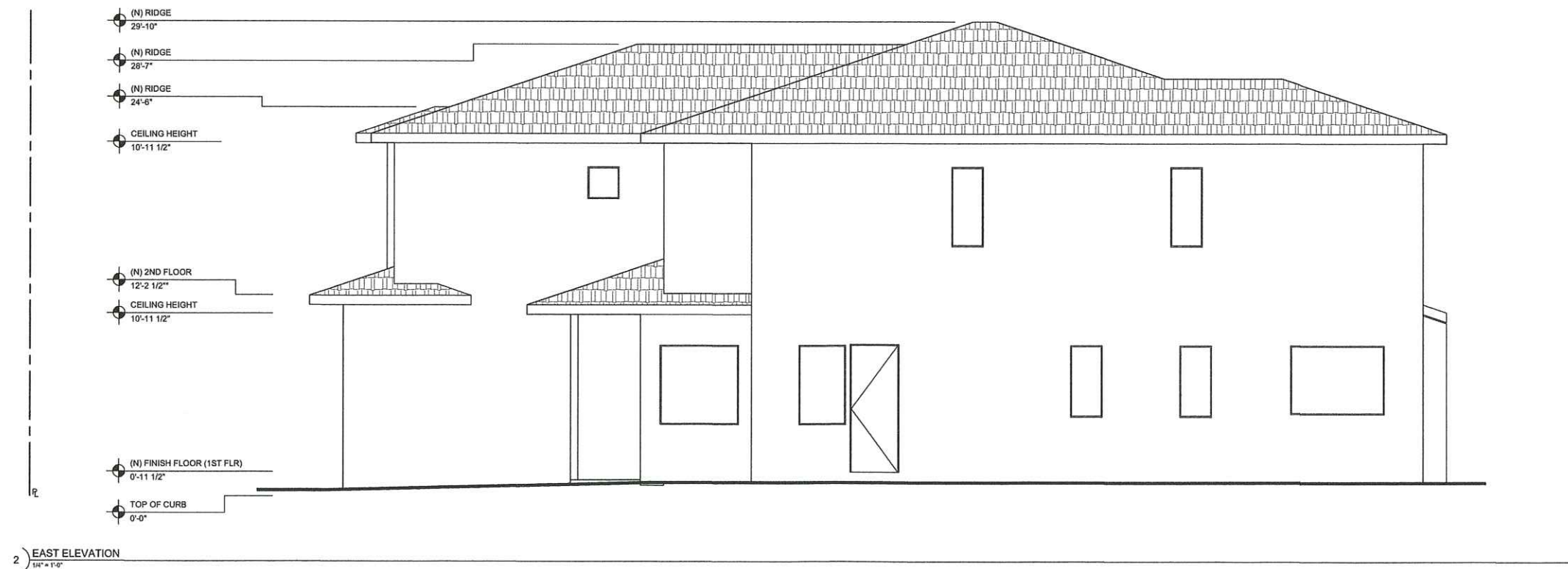
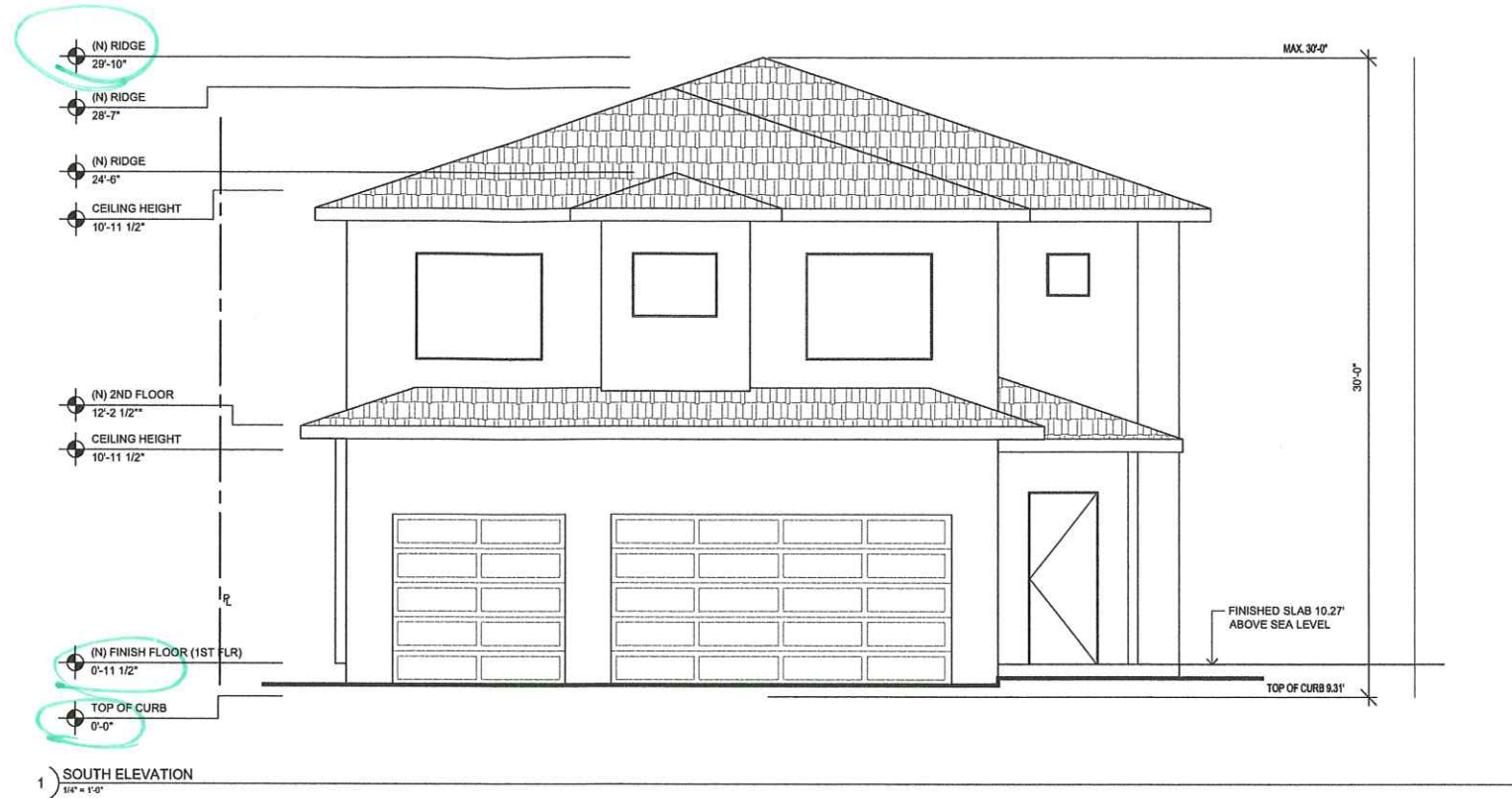
1) ROOF NEW WORK PLAN
1/4" = 1'-0"

PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
ROOF PLAN

PREPARED BY	JJB
PROJECT	181003
DATE	11.12.2018
SHEET	

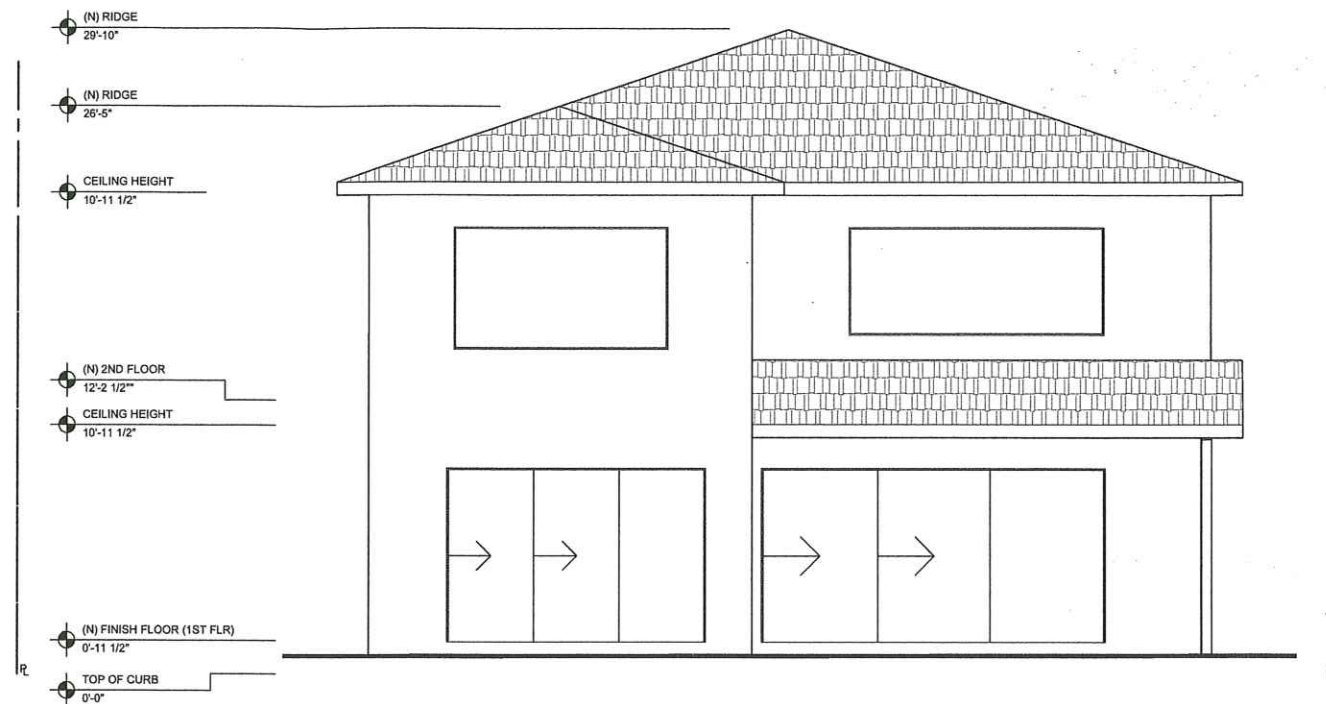



PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

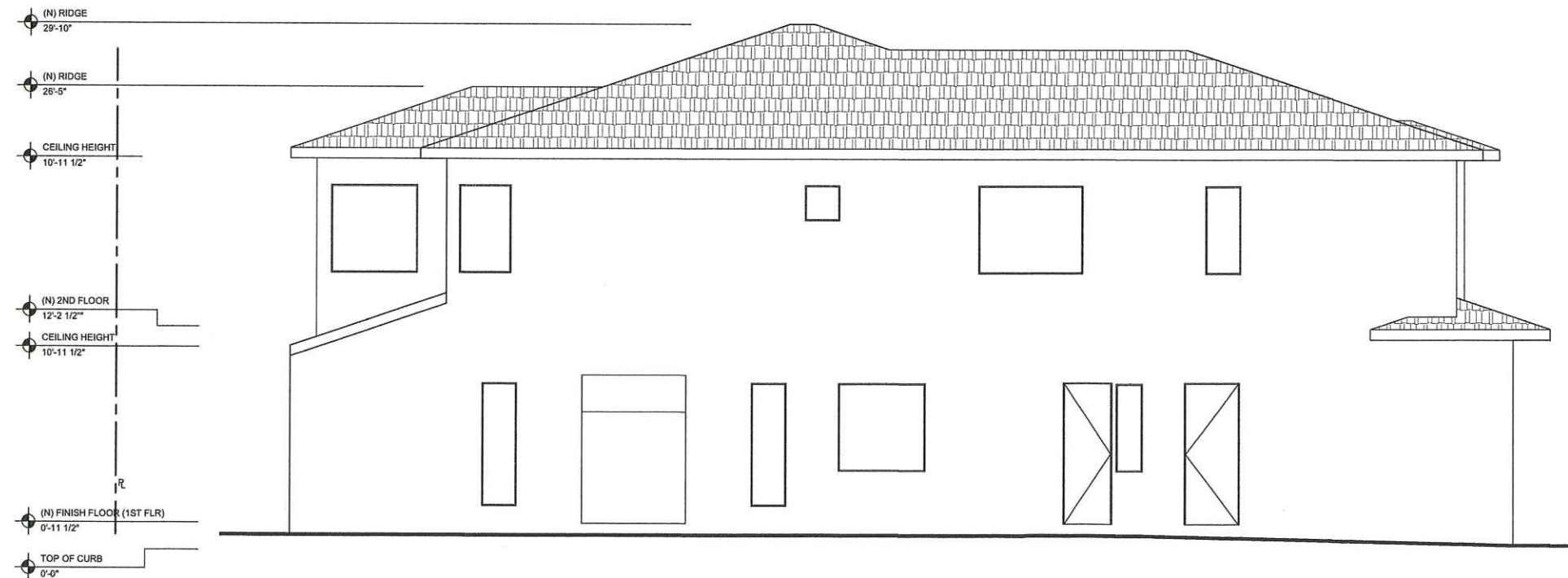
CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
ELEVATIONS

PREPARED BY JJAB
PROJECT 181003
DATE 11.12.2018
SHEET

3 NORTH ELEVATION
1/4" = 1'-0"



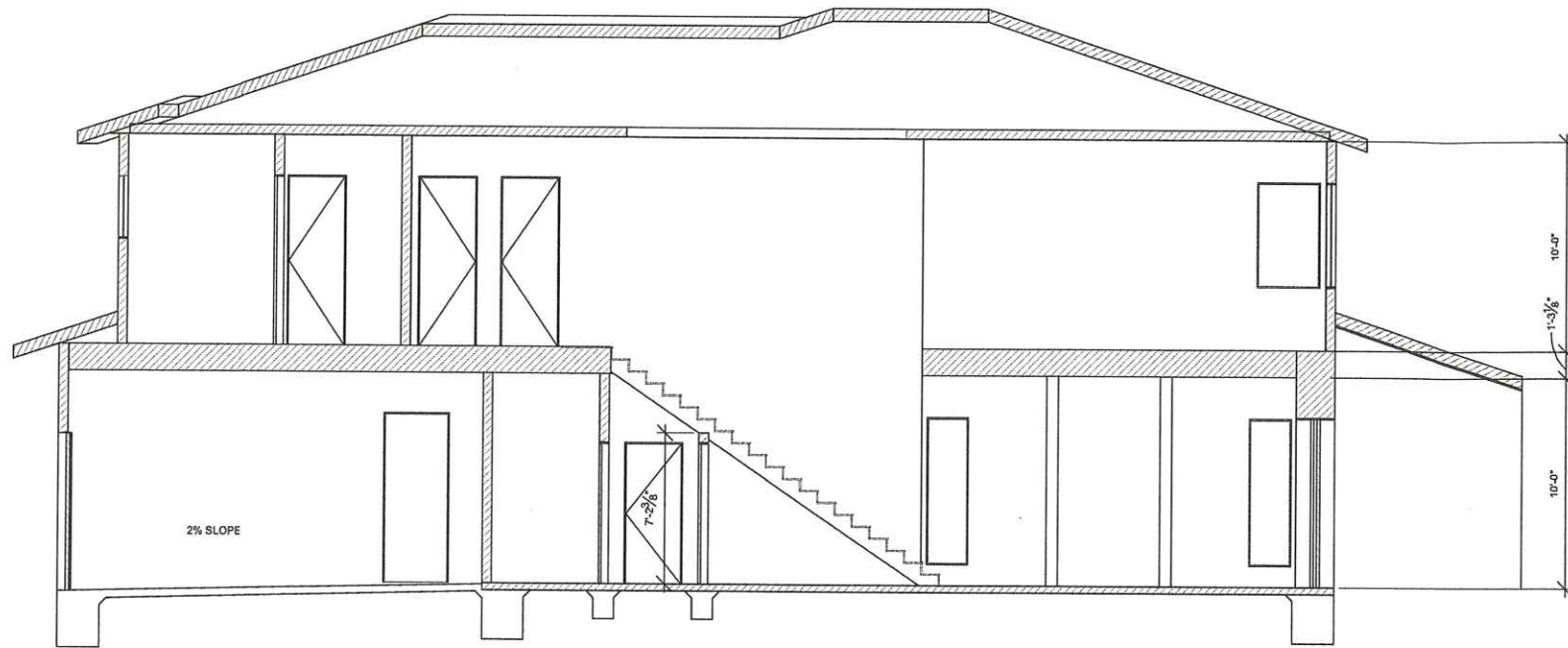
4 WEST ELEVATION
1/4" = 1'-0"

PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

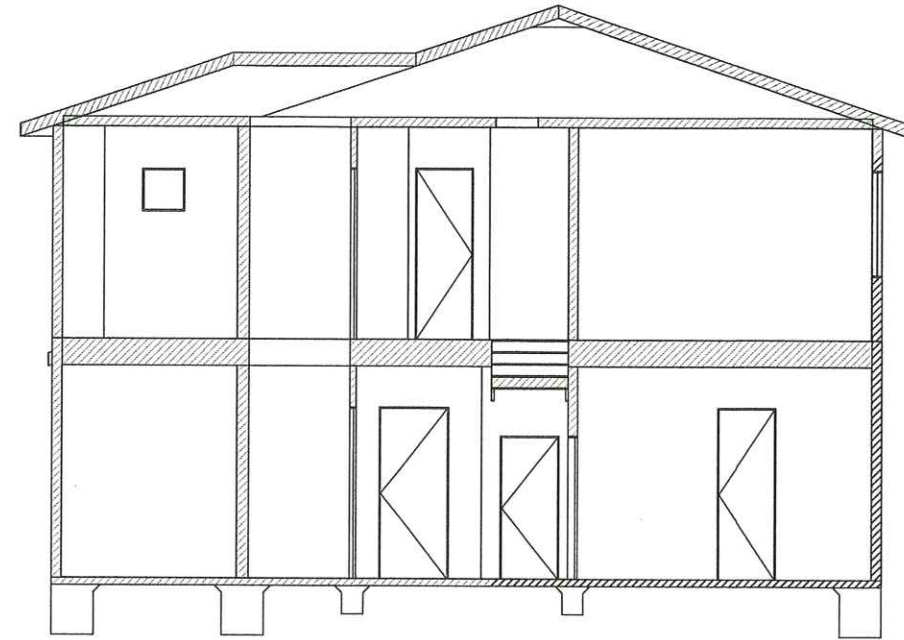
CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
ELEVATIONS

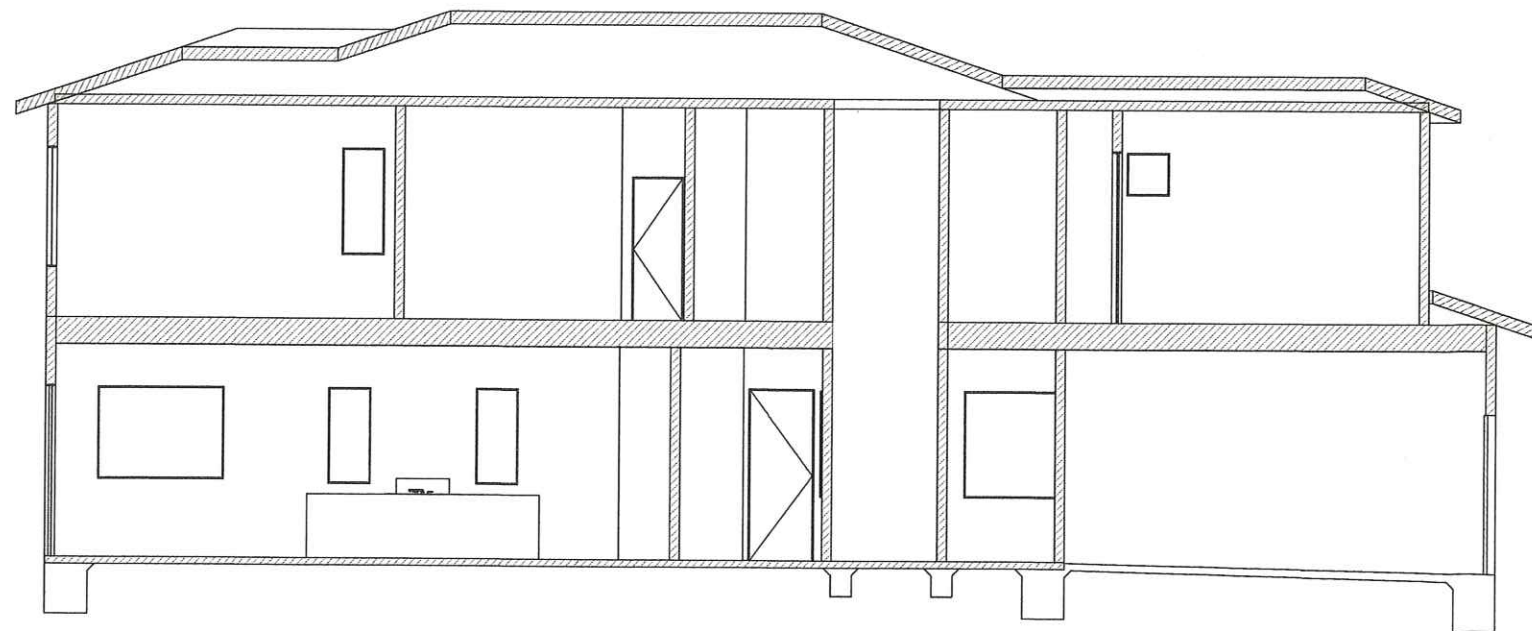
PREPARED BY JJB
PROJECT 181003
DATE 11.12.2018
SHEET

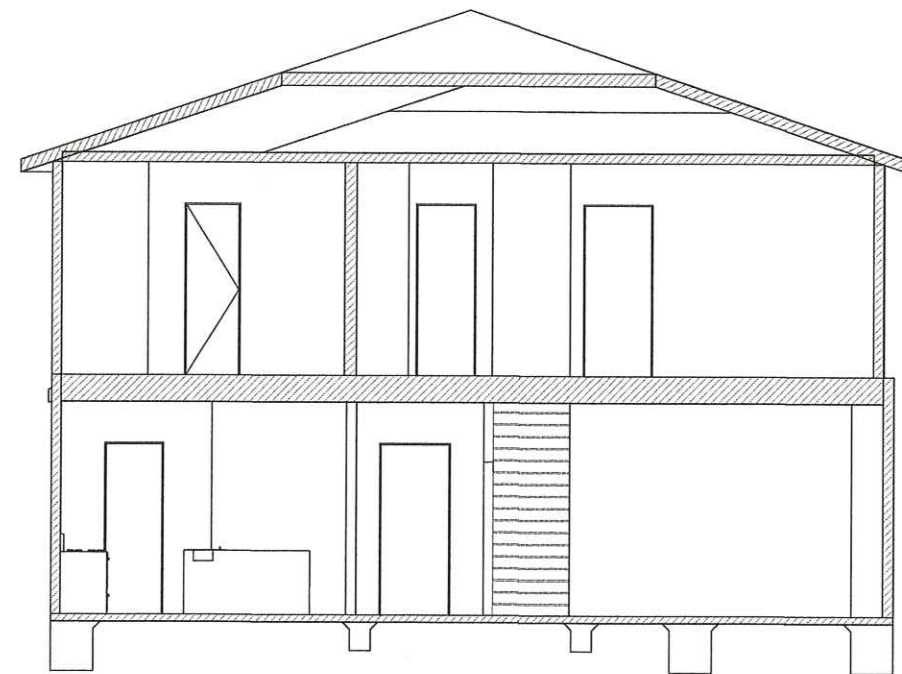
1) SECTION
1/4" = 1'-0"



2) SECTION
1/4" = 1'-0"



3) SECTION
1/4" = 1'-0"



4) SECTION
1/4" = 1'-0"

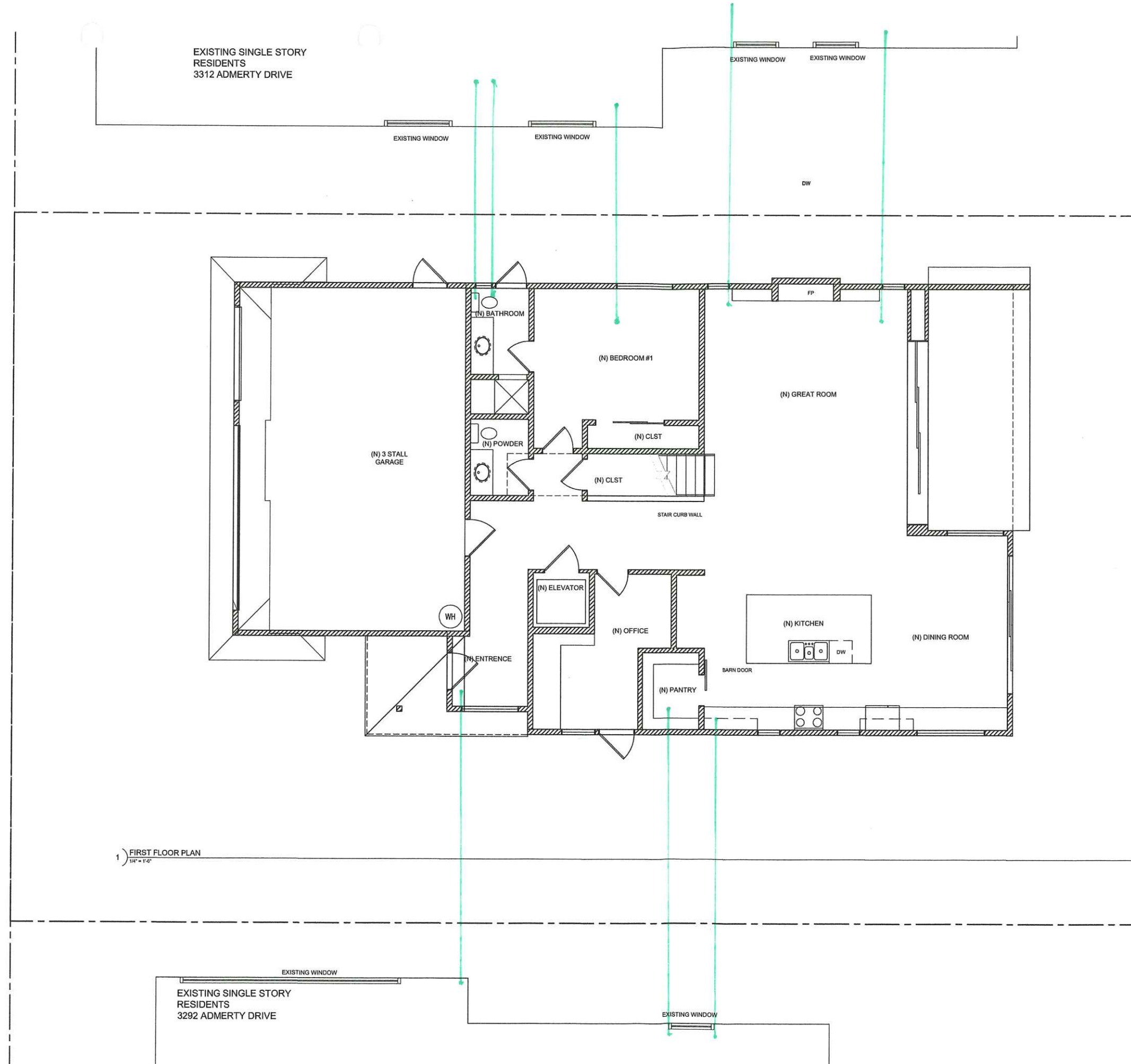
PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

CONTENT
SECTIONS

PREPARED BY JJAB
PROJECT 181003
DATE 11.12.2018
SHEET

[Signature]



PROJECT
NEW 4 BEDROOM
3 CAR GARAGE
3302 ADMIRALTY DRIVE
HUNTINGTON, BCH, CA 92649

CLIENT
CLAUDIA SHANE
3302 ADMIRALTY DRIVE
HUNTINGTON BCH, CA 92649

ADJACENT WINDOW LOCATIONS

PREPARED BY	JJB
PROJECT	181003
DATE	11.12.2018
SHEET	

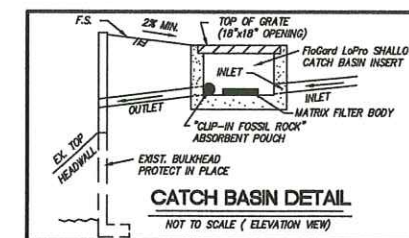
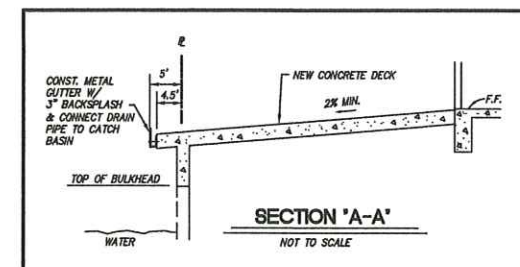
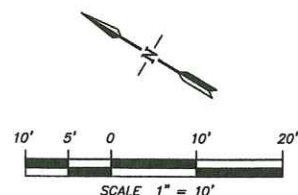
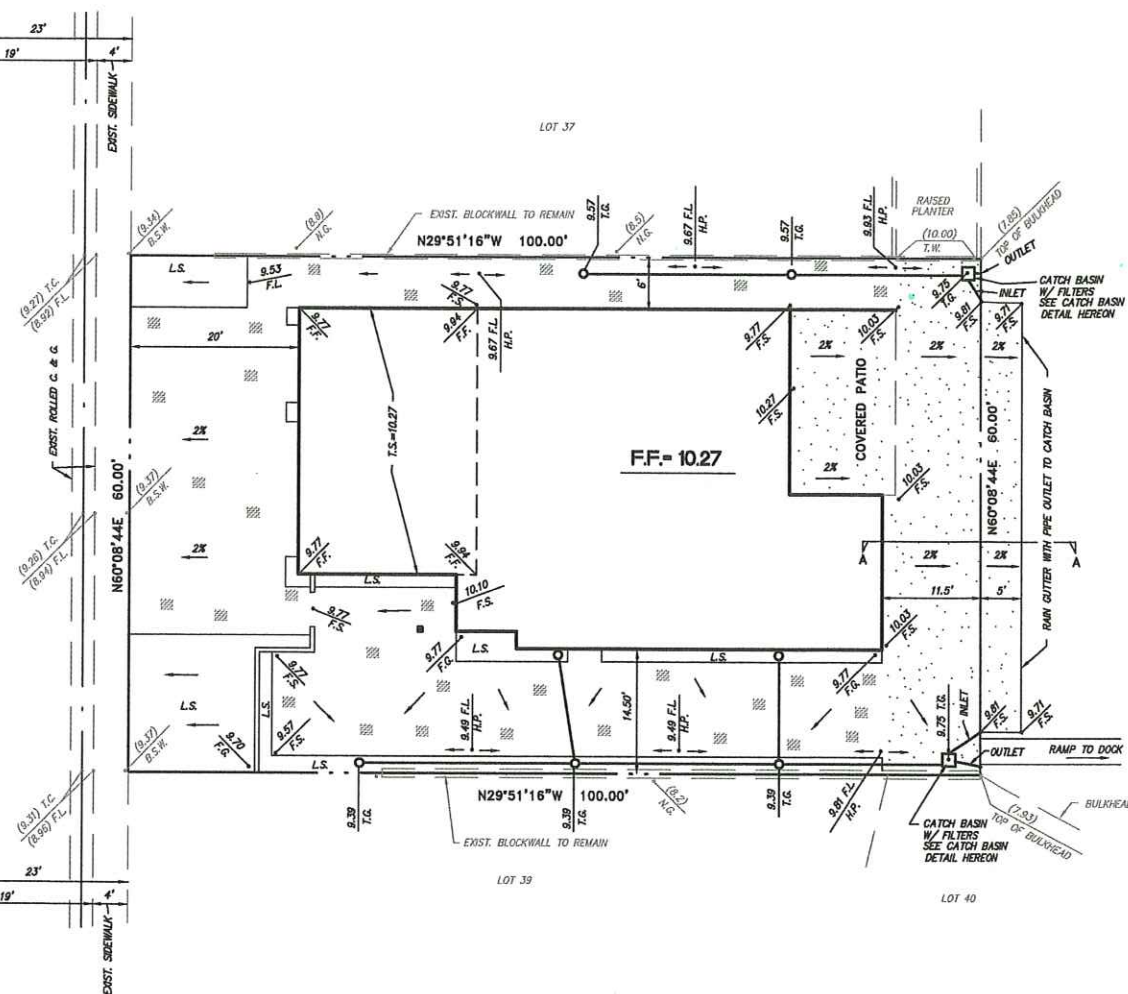
LEGEND:

F.F. FINISH FLOOR
T.S. TOP OF STEM WALL
T.C. TOP OF CURB
F.L. FLOWLINE
F.S. FINISH SURFACE
N.G. NATURAL GROUND
(H+M) EXIST. GRADE
B.S.W. BACK OF SIDEWALK
E.P. EDGE OF PAVEMENT
CONC. CONCRETE
H.P. HIGH POINT
T.W. TOP OF WALL
T.G. TOP OF GRATE INLET
WV. WIRE
F.H. FIRE HYDRANT
M.H. MANHOLE
W.V. WATER VALVE BOX
W.M. WATER METER BOX
L.S. LANDSCAPE AREA
C & G CURB & GUTTER
F.G. FINISH GRADE

CONCRETE
PAVERS

ADMIRALTY DRIVE

CHANNEL LANE



LEGAL DESCRIPTION:

LOT 39 OF TRACT NO. 4499,
M.M. 161/71-15, RECORDS OF
ORANGE COUNTY, CA.

OWNER:

CLAUDIA SHANE
16292 TISSURY CIRCLE
HUNTINGTON BEACH, CA. 92649

EMERALD ENGINEERING

18600 MAIN STREET, SUITE 160
HUNTINGTON BEACH, CA. 92648
(714) 848-4551

DESIGNED: D.O.B. SCALE: 1" = 10'
DRAWN: D.O.B. DATE: NOVEMBER 2018
CHECKED: 1546

SHANE RESIDENCE

CONCEPTUAL DRAINAGE PLAN

3302 ADMIRALTY DRIVE

HUNTINGTON BEACH

CALIFORNIA

DWG. NO. 1546-D

SHEET 1 OF 1

REV.

BENCH MARK: G-978

ELEV. = 10.256

(NAD83 / 1995 OCS Adj.) YEAR LEVELED 2005
DESCRIBED BY OCS 2003-FOUND 3 3/4" USGS BRONZED BENCHMARK DISK
STAMPED "G-978 1984", SET IN THE SOUTHWESTERLY CORNER OF A CONCRETE
MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION
OF PACIFIC COAST HIGHWAY AND BROADWAY, 14.4 FT. SOUTHERLY OF THE
CENTERLINE OF BROADWAY, 75.8 FT. EASTERLY OF THE NORTHERLY LANES
ALONG POH AND 3.3 FT. NORTHWESTERLY OF THE SOUTHWESTERLY END OF
THE GUARD RAIL ALONG THE BRIDGE. MONUMENT IS SET LEVEL WITH SIDEWALK.