

# McKINNEY RESIDENCE

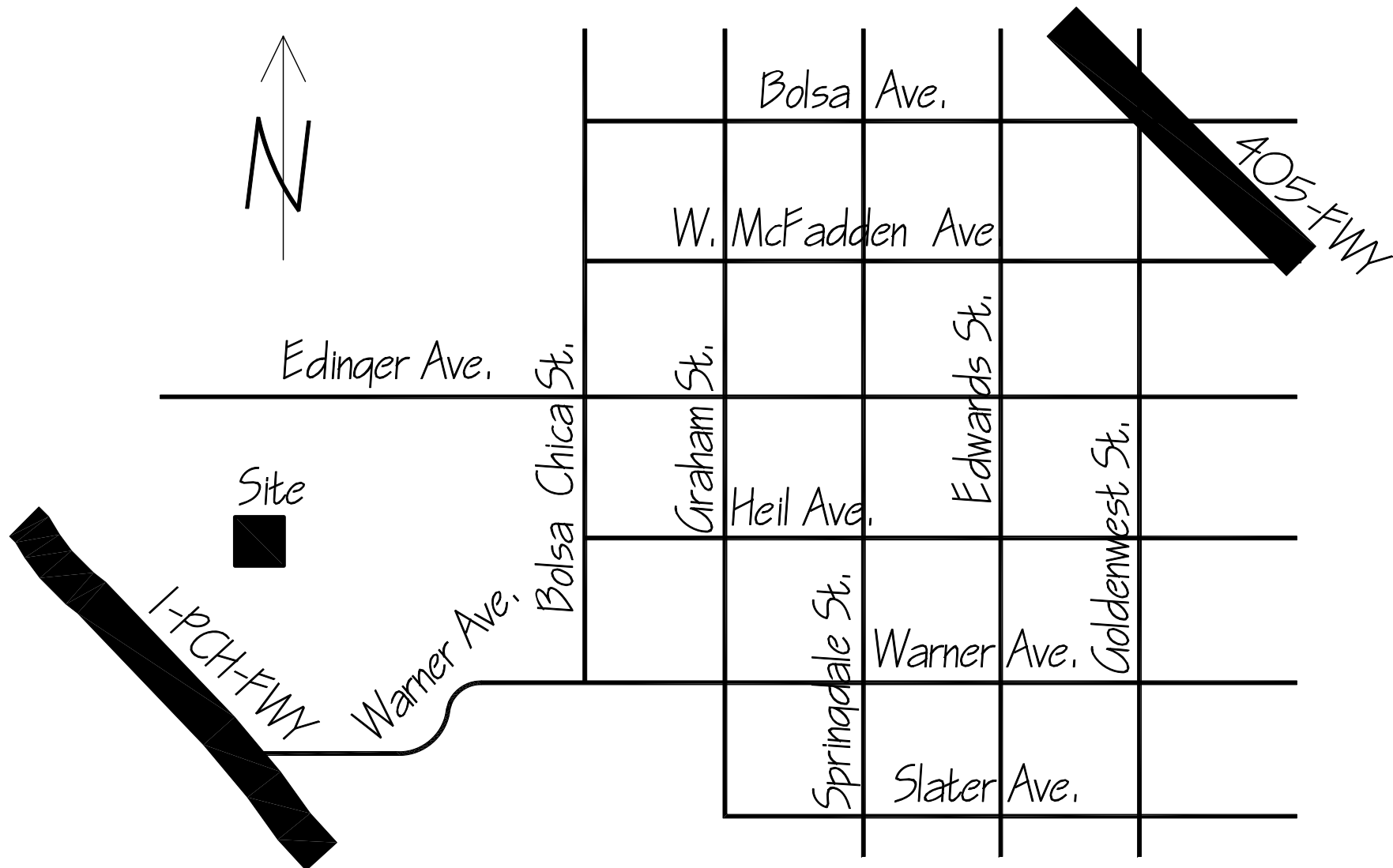
16461 LADONA CIR.  
HUNTINGTON BEACH, CA 92663



## SCOPE OF WORK

- EXISTING T.V. ROOM TO BE CONVERTED INTO NEW BEDROOM
- NEW FIRST FLOOR GUEST/POOL BATHROOM
- NEW SECOND FLOOR BATHROOM
- NEW SECOND FLOOR DECK/COVERED ENTRY
- MODIFICATIONS TO EXISTING DOOR & WINDOWS PER PLAN
- RECONFIGURE EXISTING GARAGE & DRIVEWAY
- FACADE UPDATE PER PLAN
- HARDSCAPE & LANDSCAPE UPDATE PER PLAN
- MODIFY EXISTING & NEW SITE FENCES

## VICINITY MAP



## BUILDING DATA

SQUARE FOOTAGE ANALYSIS:

AREA	EXISTING	PROPOSED	TOTALS
1ST FLOOR LIVING:	1,935 s.f.	67 s.f.	2,002 s.f.
2ND FLOOR LIVING:	1,929 s.f.	67 s.f.	1,996 s.f.
TOTAL FLOOR LIVING:	3,864 s.f.	134 s.f.	3,998 s.f.
GARAGE:	438 s.f.	0 s.f.	438 s.f.
DECK/BALCONY:	565 s.f.	857 s.f.	1,422 s.f.
COVERED ENTRY:	0 s.f.	250 s.f.	250 s.f.

## LOT COVERAGE

LOT SIZE:	7,450 s.f.
EXISTING LOT COVERAGE (w/ DECKS):	33.8%; 2,520 s.f.
PROPOSED LOT COVERAGE (w/ DECKS & COVERED ENTRY):	37.9%; 2,827 s.f.
ALLOWABLE LOT COVERAGE:	50%; 3,725 s.f.

## SETBACKS

FRONT:	15'-0"
SIDES:	5'-0"
REAR:	10'-0"

## MAX. BUILDING HEIGHT

MAX. BUILDING HEIGHT:	30'-0"
EXIST. BUILDING HEIGHT:	21'-10"
MAX. ALLOWABLE HEIGHT INCREASE:	10%=24'-0"
PROPOSED BUILDING HEIGHT:	23'-10"

## LEGAL DESCRIPTION:

PARCEL #	178-041-23
LOT NO.	116
TRACT NO.	5481

GROUP OCCUPANCY:	R-3, SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION:	V-B

## PROJECT DATA:

ZONE:	RL-OZ
USE:	RESIDENTIAL
FIRE SPRINKLERED:	NO

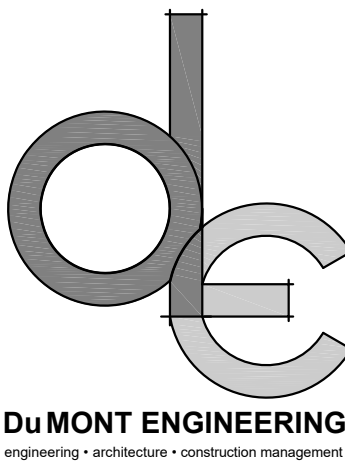
## CODES

I.B.C.	2015
C.B.C.	2016
C.P.C.	2016
C.M.C.	2016
C.E.C.	2016
C.G.B.S.C.	2016

CITY OF HUNTINGTON BEACH MUNICIPAL CODE

## McKINNEY RESIDENCE

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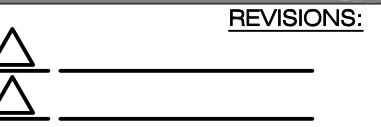
30386 Esperanza  
Rancho Santa Margarita, CA 92688  
949.709.5300  
dumontengineering.com



C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
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A-0.1 DEMO FIRST FLOOR PLAN  
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A-4.4 OUTDOOR SITE WALL ELEVATION/SECTION  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE



Project No.

17-166

Date:

SEPTEMBER 25, 2018

Drawn By:

w. gaudet

Design & Checked By:

K. DuMONT, P.E.

SHEET NO.

C-1.0

COVER SHEET

1  
C-1.0

SCALE: N/A



EXISTING PROPERTY PHOTOS



1



2



3



4



5



6



7

EXISTING SURROUNDING PROPERTIES PHOTOS



8



9



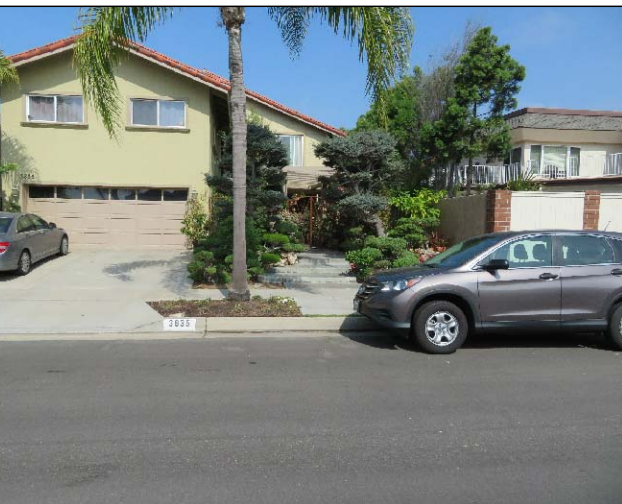
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11



12



13



NOTE: ASSUMED PROPERTY LINES, NO SURVEY COMPLETED  
NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

SITE PLAN NOTES

- SP1 (e) BRICK PILASTER TO REMAIN AND BE REPAVED PER ELEVATION
- SP2 (e) BRICK PILASTER TO BE REMOVED
- SP3 --
- SP4 (e) SITE WALL TO BE REMOVED
- SP5 (N) CONCRETE PAVERS
- SP6 (e) WOODEN FENCE TO BE REMOVED
- SP7 (N) WOOD FENCE PER DETAILS
- SP8 (N) SURFER SHOWER w/ DRAIN
- SP9 (N) DOUBLE 5'-0" x 6'-0" WOOD GATE TO MATCH PROPOSED FENCE
- SP10 (N) 9'-0" x 6'-0" SLIDER WOOD GATE
- SP11 (N) CMU WALL PER PLAN; HEIGHT 42" MAX.
- SP12 (e) CONCRETE DRIVEWAY TO BE REMOVED
- SP13 (e) LANDSCAPE TO REMAIN
- SP14 (e) GRASS TO BE REMOVED
- SP15 9" DRAIN: "NDS" SQUARE ATRIUM GRATE w/ ADAPTER CORRUGATED
- SP16 (N) 4"Ø CURB CORE FOR DRAIN TO DISCHARGE TO STREET
- SP17 (N) 4"Ø FRENCH DRAIN w/ 6"Ø ATRIUM YARD DRAINS
- SP18 (N) 6'-0" TALL WOOD PROPERTY FENCE
- SP19 (e) CMU SITE WALL TO REMAIN

LEGAL DESCRIPTION:  
LOT 116 OF TRACT No. 5481, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 215, PAGES 11 TO 22 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

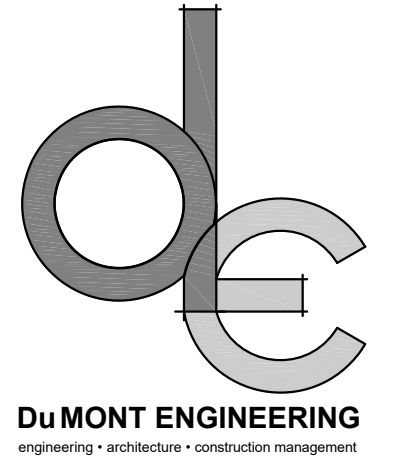
OWNER INFORMATION:  
JEREMY & SARA MCKINNEY  
PHONE: (714) 624-6965  
ADDRESS: 16461 LADONA CIRCLE, HUNTINGTON BEACH, CA 92663  
  
APPLICANT INFORMATION:  
DUMONT ENGINEERING  
PHONE: (949) 709-5300 X103  
ADDRESS: 30386 ESPERANZA, SUITE 100, RANCHO SANTA MARGARITA, CA 92688

WALL LEGEND

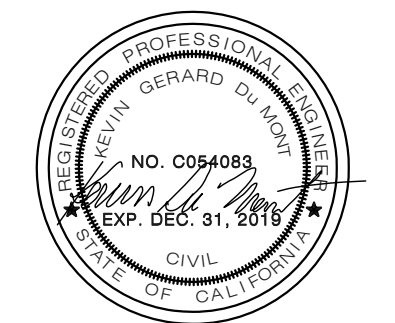
- NEW WALL TO BE CONSTRUCTED
- EXISTING WALL
- WALL TO BE DEMOLISHED
- HALF HIGH WALL

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REVISIONS:	
△	
△	
Project No.	
17-166	
Date:	
SEPTEMBER 25, 2018	
Drawn By:	
w. gaudet	
Design & Checked By:	
K. DuMONT, P.E.	
SHEET NO.	

SP-0.1

EXISTING/DEMO SITE PLAN

SITE PLAN - GENERAL NOTES



ZONING CODE COMPLIANCE

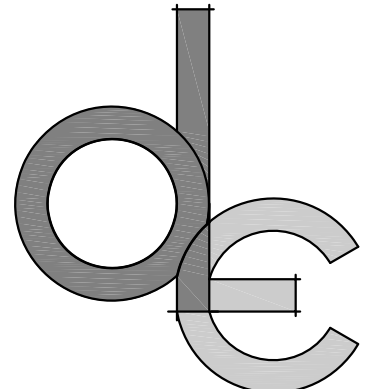
SUBJECT	CODE SECTION	REQUIRED	PROPOSED
SETBACKS			
FRONT YARD	210.06	MIN. 15'-0"	15'-0"
BACK YARD		MIN. 5'-0"	5'-0"
SIDE YARD		MIN. 10'-0"	10'-0"
BUILDING HEIGHT	210.06	30'-0"	23'-10"
SITE COVERAGE	210.06	MAX. 50% OF ENTIRE SITE LOT SIZE: 7,450 sq.ft. 50%=3,725 sq.ft.	32.9%=2,455 sq.ft.
LANDSCAPING	232.08	MIN. 8% OF ENTIRE SITE SITE: 7,450 sq.ft. 8%=596 sq.ft.	12.60%=936.30 sq.ft.
GARAGE SETBACKS	210.06	FRONT ENTRY: 20'-0" OF SETBACK	FRONT ENTRY: 15'-1 1/2" OF SETBACK
OFF STREET PARKING	231.04	5 OR MORE BEDROOMS: MIN. 2 ENCLOSED & 3 OPEN	2 ENCLOSED & 3 OPEN
DRIVEWAY WIDTH	231.18	MIN. 10'-0"	20'-10"

SITE PLAN NOTES

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REFACED PER ELEVATION
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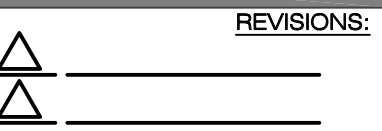


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Project No. 17-166

Date: SEPTEMBER 25, 2018

Drawn By: w. gaudet

Design & Checked By: K. DuMONT, P.E.

SHEET NO.

SP-1.0

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SCALE: 1/8"=1'-0"

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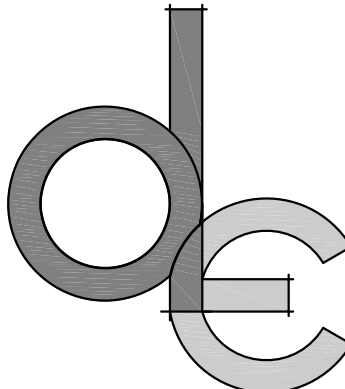
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REVISIONS:

Project No.	17-166
Date:	SEPTEMBER 25, 2018
Drawn By:	w. gaudet
Design & Checked By:	K. DuMONT, P.E.

SHEET NO.

SP-1.1

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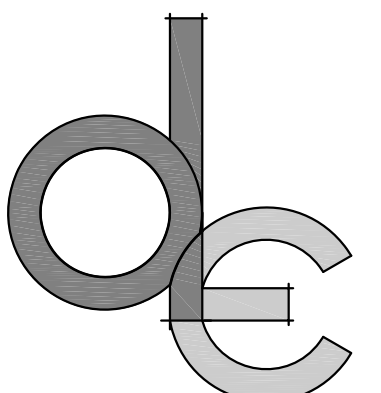
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SITE PLAN - GENERAL NOTES



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REVISIONS:
1
2

Project No.

17-166

Date:

SEPTEMBER 25, 2018

Drawn By:

w. gaudet

Design & Checked By:

K. DuMONT, P.E.

SHEET NO.

A-0.1

ARCHITECTURAL PLAN NOTES

A1	(N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A52	--
A2	--	A53	--
A3	(N) AWNING ROOF TO BE SELECTED BY OWNER	A54	(N) CABINETS TO BE SELECTED BY OWNER
A4	(N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK	A55	--
A5	(e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A56	--
A6	PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"	A57	--
A7	--	A58	(e) ROOFING TO BE REMOVED
A8	(N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER	A59	(e) ROOF OVERHANG TO BE REMOVED
A9	--	A60	(e) DECK TO BE REMOVED
A10	(N) LAMP TO BE SELECTED BY OWNER	A61	(e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN
A11	--	A62	(e) FLAT ROOF AND ROOFING TO REMAIN
A12	(N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE	A63	(e) WINDOW TO BE REMOVED
A13	(N) HARDITRIM SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER ESR NUMBER: ESR-1844	A64	ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT
A14	(N) RESYSTA SIDING "RESYSTA 1206 12" 6" WIDTH. STAIN: "FVG C51 WALNUT"	A65	(e) DOOR TO BE REMOVED
A15	(N) DOUBLE 6" STUD WALL	A66	(N) DOOR TO BE SELECTED BY OWNER
A16	(e) 2x STUD WALL TO BE REMOVED	A67	--
A17	(N) 2x STUD WALL	A68	(e) GARAGE DOOR TO BE REMOVED
A18	(e) 6" STUD WALL TO REMAIN	A69	(N) MESA GARAGE DOOR "MODERN ALUMINUM"
A19	(N) 6" STUD WALL	A70	--
A20	--	A71	(N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING
A21	(N) 2x STUD WALL TO FILL IN (e) OPENING	A72	(N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM. COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201
A22	--	A73	--
A23	INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTHING & INSULATION.	A74	(e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.
A24	ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION	A75	--
A25	(N) 5" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A76	(N) WINDOW TO BE SELECTED BY OWNER
A26	(N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A77	GLAZING ON WINDOWS SHALL BE TEMPERED.
A27	(N) 5/8" TYPE "X" GYP. BOARD CEILING.	A78	--
A28	ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS.	A79	(e) GUARDRAIL TO BE REMOVED
A29	--	A80	--
A30	--	A81	CLASS "A" DEX-O-TEX DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757
A31	--	A82	(N) BUILT-UP/ CRICKET ROOFING, SLOPED 1/4" PER FOOT MIN.
A32	--	A83	(N) 2"x2" ZURN "FD2240" DECK DRAIN
A33	--	A84	--
A34	--	A85	LINE OF WALL OR FLOOR ABOVE
A35	--	A86	LINE OF WALL OR FLOOR BELOW
A36	--	A87	(e) STAIR TO BE MODIFIED
A37	--	A88	--
A38	--	A89	EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2.
A39	--	A90	GUARDS AND WINDOWS FALL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES
A40	--	A91	(N) CR. SR5 STANDOFF RAILING SYSTEM. GUARDRAIL w/ TEMPERED SMOKE GLASS. 42" MIN. A.F.F. PER PLAN; SHALL COMPLY w/ C.B.C. 2016 REQUIREMENTS #ICC RATED ESR NUMBER: ESR-3269
A41	--		or DuMONT ENGINEERING APPROVED EQUAL (CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL EXPENSES TO ENGINEER AS A RESULT OF SUBSTITUTIONS)
A42	--	A92	(N) WOOD FENCE PER PLAN
A43	--	A93	(e) WOOD FENCE PER PLAN
A44	(N) TUB/ SHOWER TO BE SELECTED BY OWNER. WALLS @ 72" MIN. ABOVE DRAIN. TILE TO BE SELECTED BY OWNER. WALLS TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.	A94	(e) BRICK WALL PER PLAN
A45	(N) SURFER SHOWER TO BE SELECTED BY OWNER		
A46	(N) TOILET TO BE SELECTED BY OWNER		
A47	--		
A48	--		
A49	(N) BATHROOM SINK w/ FAUCET TO BE SELECTED BY OWNER		
A50	--		
A51	--		

WALL LEGEND

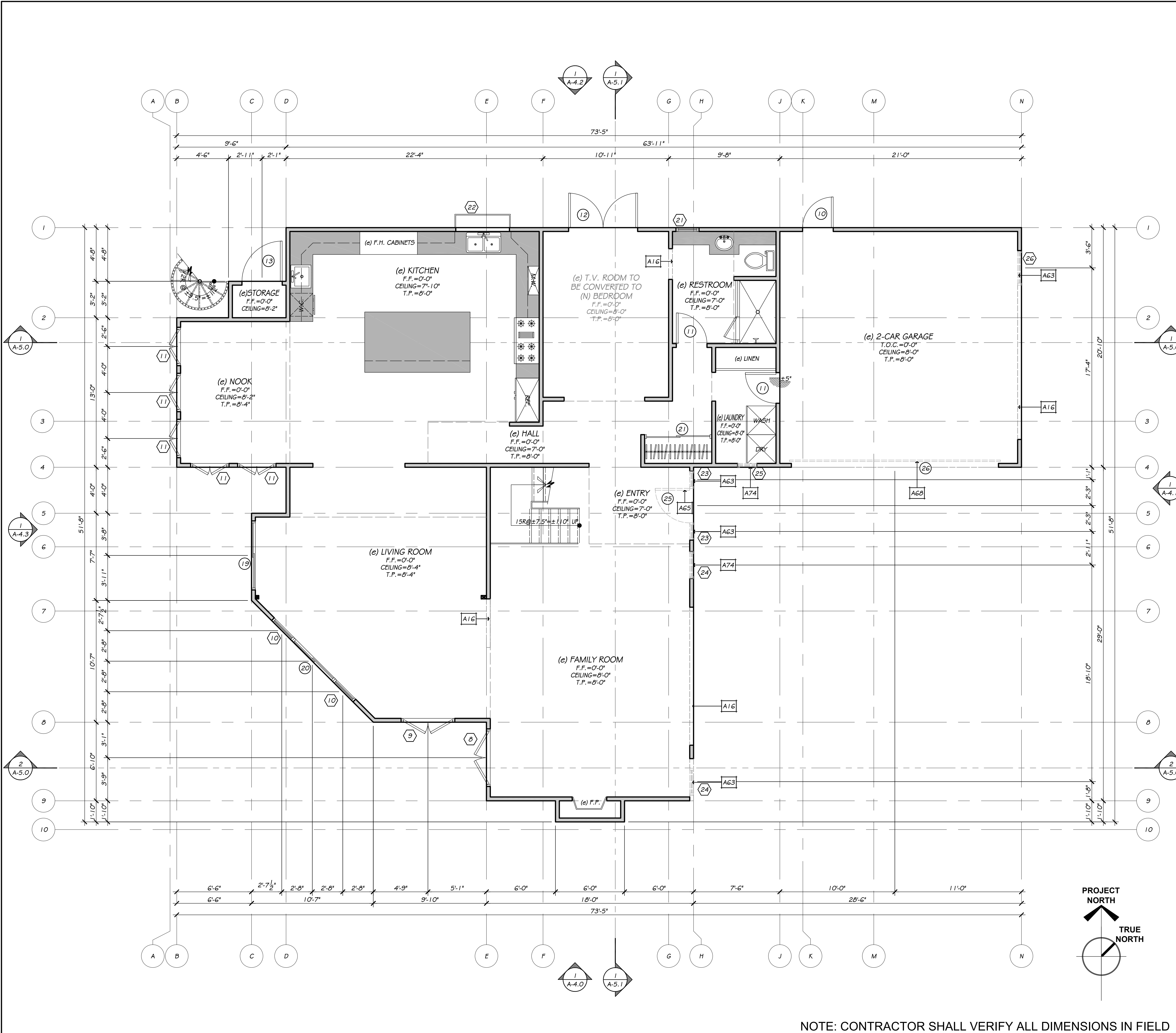
NEW WALL TO BE CONSTRUCTED
EXISTING WALL
WALL TO BE DEMOLISHED
HALF HIGH WALL

GENERAL NOTES

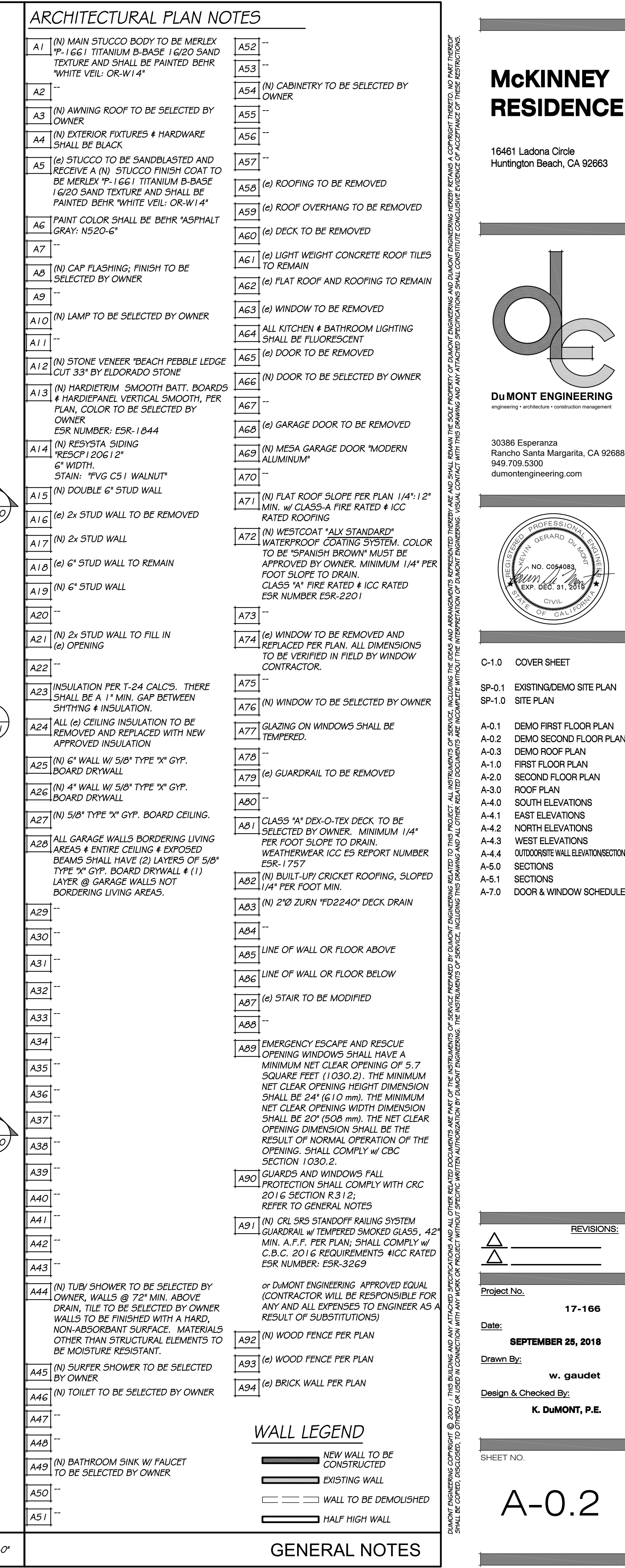
NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

EXISTING/DEMO FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"







## GENERAL NOTES

A-0.2



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P-0.1 EXISTING/DEMO SITE PLAN  
P-1.0 SITE PLAN

- 0.1 DEMO FIRST FLOOR PLAN
- 0.2 DEMO SECOND FLOOR PLAN
- 0.3 DEMO ROOF PLAN
- 1.0 FIRST FLOOR PLAN
- 2.0 SECOND FLOOR PLAN
- 3.0 ROOF PLAN
- 4.0 SOUTH ELEVATIONS
- 4.1 EAST ELEVATIONS
- 4.2 NORTH ELEVATIONS
- 4.3 WEST ELEVATIONS
- 4.4 OUTDOOR SITE WALL ELEVATION SECTION
- 5.0 SECTIONS
- 5.1 SECTIONS
- 7.0 DOOR & WINDOW SCHEDULE

## REVISIONS:

Project No. \_\_\_\_\_

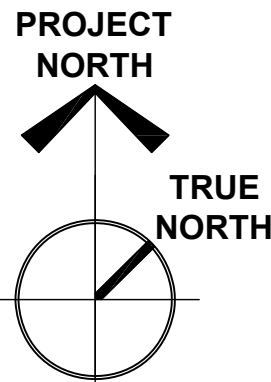
Date: **SEPTEMBER 25, 2018**

w. gaudet

**K. DuMONT, P.E.**

SHEET NO.

A-0.3







NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

## EXISTING/DEMO ROOF PLAN

SCALE: 1/4"=1'-0"

### WALL LEGEND

 NEW WALL TO BE CONSTRUCTED  
 EXISTING WALL  
 WALL TO BE DEMOLISHED  
 HALF HIGH WALL

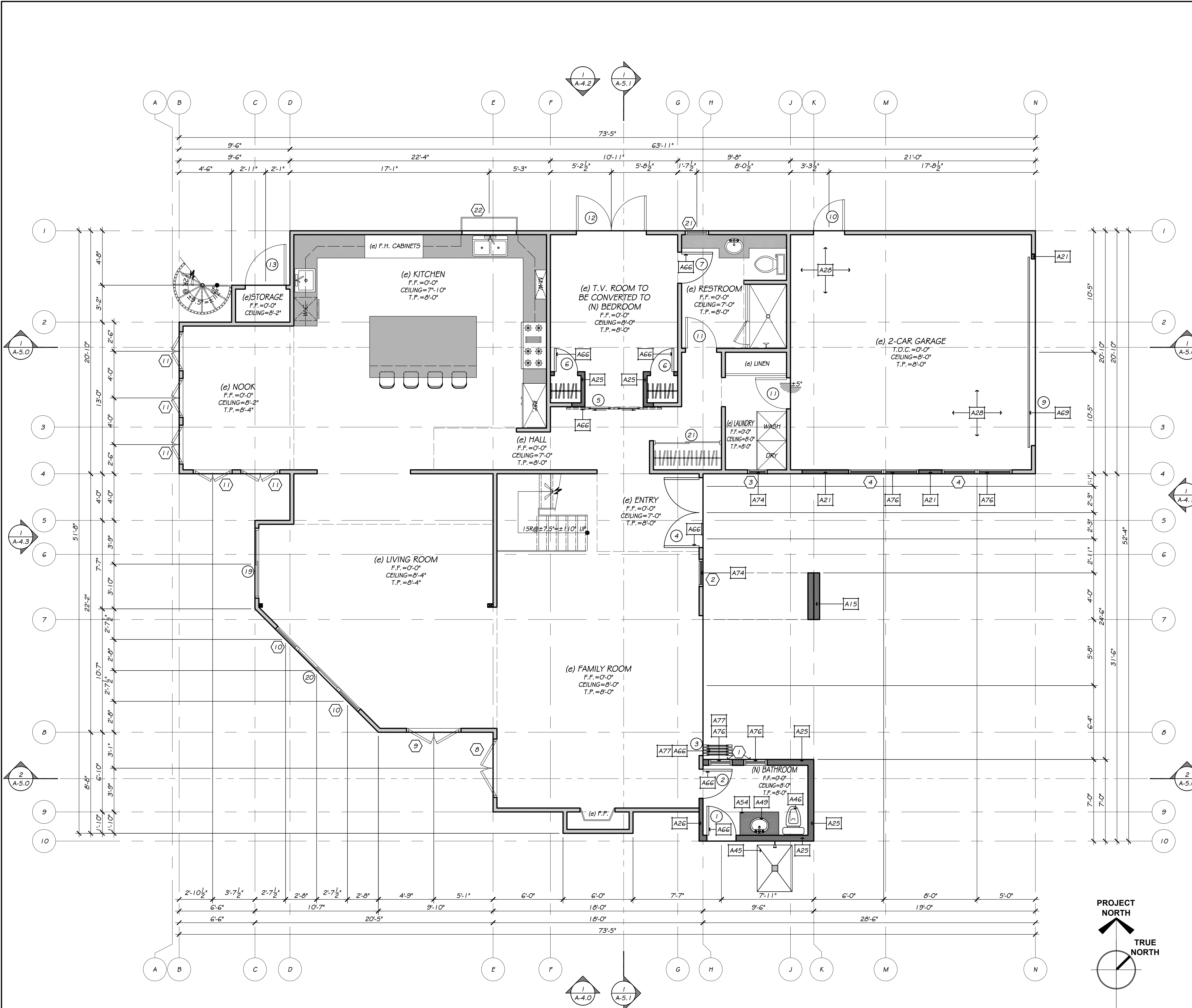
## GENERAL NOTES

## ARCHITECTURAL PLAN NOTES

A1	(N) MAIN STUCCO BODY TO BE MERLEX "P-1661" TITANIUM B-BASE 1/620 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A52	--	
A2	--	A53	--	
A3	(N) AWNING ROOF TO BE SELECTED BY OWNER	A54	--	(N) CABINETRY TO BE SELECTED BY OWNER
A4	(N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK	A55	--	
A5	(e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661" TITANIUM B-BASE 1/620 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A56	--	
A6	PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"	A57	--	
A7	--	A58	--	(e) ROOFING TO BE REMOVED
A8	(N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER	A59	--	(e) ROOF OVERHANG TO BE REMOVED
A9	--	A60	--	(e) DECK TO BE REMOVED
A10	(N) LAMP TO BE SELECTED BY OWNER	A61	--	(e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN
A11	--	A62	--	(e) FLAT ROOF AND ROOFING TO REMAIN
A12	(N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELORADO STONE	A63	--	(e) WINDOW TO BE REMOVED
A13	(N) HARDIETRIM SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER ESR NUMBER: ESR-1844	A64	--	ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT
A14	(N) RESYSTIA SIDING "RESCPI 120612" 6" WIDTH, STAIN: "FVG 51" WALNUT	A65	--	(e) DOOR TO BE REMOVED
A15	(N) DOUBLE 6" STUD WALL	A66	--	(N) DOOR TO BE SELECTED BY OWNER
A16	(e) 2x STUD WALL TO BE REMOVED	A67	--	
A17	(N) 2x STUD WALL	A68	--	(e) GARAGE DOOR TO BE REMOVED
A18	(e) 6" STUD WALL TO REMAIN	A69	--	(N) MESA GARAGE DOOR "MODERN ALUMINUM"
A19	(N) 6" STUD WALL	A70	--	
A20	--	A71	--	(N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING
A21	(N) 2x STUD WALL TO FILL IN (e) OPENING	A72	--	(N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM, COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER, MINIMUM 1/4" PER FOOT SLOPE TO DRAIN, MINIMUM CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201
A22	--	A73	--	
A23	INSULATION PER T-24 CALCS. THERE SHALL BE A 1" MIN. GAP BETWEEN SITTING & INSULATION.	A74	--	(e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.
A24	ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION	A75	--	
A25	(N) 6" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A76	--	(N) WINDOW TO BE SELECTED BY OWNER
A26	(N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A77	--	GLAZING ON WINDOWS SHALL BE TEMPERED.
A27	(N) 5/8" TYPE "X" GYP. BOARD CEILING.	A78	--	
A28	ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS.	A79	--	(e) GUARDRAIL TO BE REMOVED
A29	--	A80	--	
A30	--	A81	--	CLASS "A" DEX-O-TEX DECK TO BE SELECTED BY OWNER, MINIMUM 1/4" PER FOOT SLOPE TO DRAIN, WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757
A31	--	A82	--	(N) BUILT-UP CRICKET ROOFING, SLOPE 1/4" PER FOOT MIN.
A32	--	A83	--	(N) 2"x8" FUR "FD2240" DECK DRAIN
A33	--	A84	--	
A34	--	A85	--	LINE OF WALL OR FLOOR ABOVE
A35	--	A86	--	LINE OF WALL OR FLOOR BELOW
A36	--	A87	--	(e) STAIR TO BE MODIFIED
A37	--	A88	--	
A38	--	A89	--	EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2.
A39	--	A90	--	GUARDS AND WINDOWS FLL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES
A40	--	A91	--	(N) CLR SRS STANDOFF RAILING SYSTEM GUARDRAIL w/ TEMPERED SMOKED GLASS, MIN. A.F.F. PER PLAN; SHALL COMPLY w/ C.B.C. 2016 REQUIREMENTS WCC RATE ESR NUMBER: ESR-3269
A41	--		--	or d/MONT ENGINEERING: APPROVED EQUAL (CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL EXPENSES TO ENGINEER AS RESULT OF SUBSTITUTIONS)
A42	(N) TUB/ SHOWER TO BE SELECTED BY OWNER, WALLS @ 72" MIN. ABOVE DRAIN, TILE TO BE SELECTED BY OWNER WALLS TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.	A92	--	(N) WOOD FENCE PER PLAN
A43	--	A93	--	(e) WOOD FENCE PER PLAN
A44	(N) SURFER SHOWER TO BE SELECTED BY OWNER	A94	--	(e) BRICK WALL PER PLAN
A45	(N) TOLFT TO BE SELECTED BY OWNER		--	

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NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

### ARCHITECTURAL PLAN NOTES

A1	(N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A52	--
A2	--	A53	--
A3	(N) AWNING ROOF TO BE SELECTED BY OWNER	A54	(N) CABINETS TO BE SELECTED BY OWNER
A4	(N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK	A55	--
A5	(e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A56	--
A6	PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"	A57	--
A7	--	A58	(e) ROOFING TO BE REMOVED
A8	(N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER	A59	(e) ROOF OVERHANG TO BE REMOVED
A9	--	A60	(e) DECK TO BE REMOVED
A10	(N) LAMP TO BE SELECTED BY OWNER	A61	(e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN
A11	--	A62	(e) FLAT ROOF AND ROOFING TO REMAIN
A12	(N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE	A63	(e) WINDOW TO BE REMOVED
A13	(N) HARDITRIM SMOOTH BATT, BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER ESR NUMBER: ESR-1844	A64	ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT
A14	(N) RESYSTA SIDING "RESCP" 206 12" 6" WIDTH, STAIN: "FVG C51 WALNUT"	A65	(e) DOOR TO BE REMOVED
A15	(N) DOUBLE 6" STUD WALL	A66	(N) DOOR TO BE SELECTED BY OWNER
A16	(e) 2x STUD WALL TO BE REMOVED	A67	--
A17	(N) 2x STUD WALL	A68	(e) GARAGE DOOR TO BE REMOVED
A18	(e) 6" STUD WALL TO REMAIN	A69	(N) MESA GARAGE DOOR "MODERN ALUMINUM"
A19	(N) 6" STUD WALL	A70	--
A20	--	A71	(N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING
A21	(N) 2x STUD WALL TO FILL IN (e) OPENING	A72	(N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM, COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER, MINIMUM 1/4" PER FOOT SLOPE TO DRAIN, CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201
A22	--	A73	--
A23	INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTTING & INSULATION.	A74	(e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.
A24	ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION	A75	--
A25	(N) 5" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A76	(N) WINDOW TO BE SELECTED BY OWNER
A26	(N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A77	GLAZING ON WINDOWS SHALL BE TEMPERED.
A27	(N) 5/8" TYPE "X" GYP. BOARD CEILING.	A78	--
A28	ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS.	A79	(e) GUARDRAIL TO BE REMOVED
A29	--	A80	--
A30	--	A81	CLASS "A" DEX-O-TEX DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757
A31	--	A82	(N) BUILT-UP "FD2240" CRICKET ROOFING, SLOPED 1/4" PER FOOT MIN.
A32	--	A83	(N) 2"x8" ZURN "FD2240" DECK DRAIN
A33	--	A84	--
A34	--	A85	LINE OF WALL OR FLOOR ABOVE
A35	--	A86	LINE OF WALL OR FLOOR BELOW
A36	--	A87	(e) STAIR TO BE MODIFIED
A37	--	A88	--
A38	--	A89	EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2.
A39	--	A90	GUARDS AND WINDOWS FALL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES
A40	--	A91	(N) CR. SR5 STANDOFF RAILING SYSTEM, GUARDRAIL w/ TEMPERED SMOKE GLASS, 42" MIN. A.F.F. PER PLAN; SHALL COMPLY w/ C.B.C. 2016 REQUIREMENTS #ICC RATED ESR NUMBER: ESR-3269
A41	--		or DuMONT ENGINEERING APPROVED EQUAL (CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL EXPENSES TO ENGINEER AS A RESULT OF SUBSTITUTIONS)
A42	--	A92	(N) WOOD FENCE PER PLAN
A43	--	A93	(e) WOOD FENCE PER PLAN
A44	(N) TUBY SHOWER TO BE SELECTED BY OWNER, WALLS @ 72" MIN. ABOVE DRAIN, TILE TO BE SELECTED BY OWNER, WALLS TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.	A94	(e) BRICK WALL PER PLAN
A45	(N) SURFER SHOWER TO BE SELECTED BY OWNER		
A46	(N) TOILET TO BE SELECTED BY OWNER		
A47	--		
A48	--		
A49	(N) BATHROOM SINK w/ FAUCET TO BE SELECTED BY OWNER		
A50	--		
A51	--		

### WALL LEGEND

---	NEW WALL TO BE CONSTRUCTED
---	EXISTING WALL
---	WALL TO BE DEMOLISHED
---	HALF HIGH WALL

### GENERAL NOTES

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## McKINNEY RESIDENCE

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dumontengineering.com

C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
SP-1.0 SITE PLAN

A-0.1 DEMO FIRST FLOOR PLAN  
A-0.2 DEMO SECOND FLOOR PLAN  
A-0.3 DEMO ROOF PLAN  
A-1.0 FIRST FLOOR PLAN  
A-2.0 SECOND FLOOR PLAN  
A-3.0 ROOF PLAN  
A-4.0 SOUTH ELEVATIONS  
A-4.1 EAST ELEVATIONS  
A-4.2 NORTH ELEVATIONS  
A-4.3 WEST ELEVATIONS  
A-4.4 OUTDOOR SITE WALL ELEVATION/SECTION  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE

### REVISIONS:

1	
2	

Project No. **17-166**

Date: **SEPTEMBER 25, 2018**

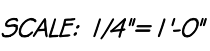
Drawn By: **w. gaudet**

Design & Checked By: **K. DuMONT, P.E.**





SHEET NO.

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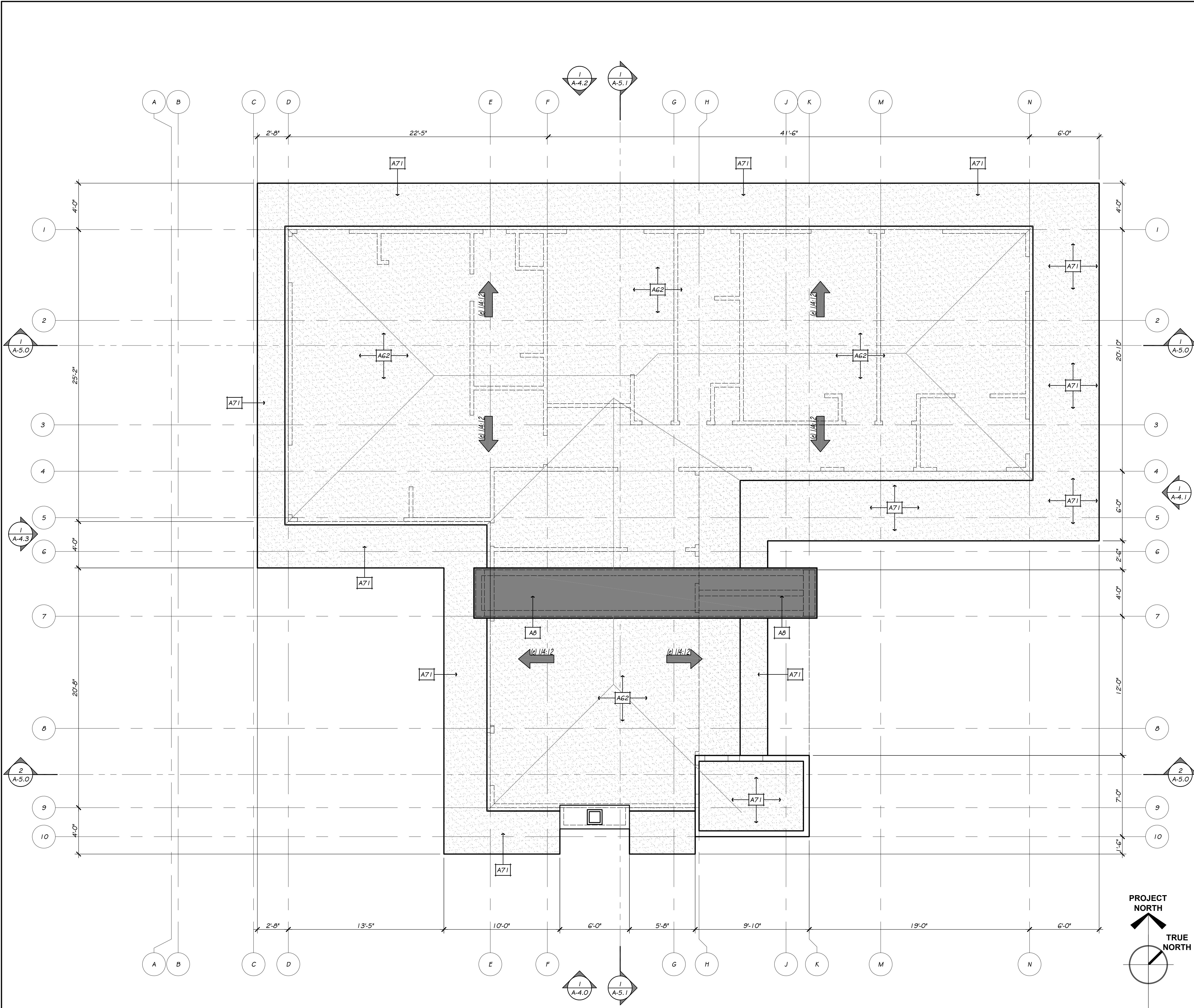




A-2.0

 NEW WALL TO BE CONSTRUCTED  
 EXISTING WALL  
 WALL TO BE DEMOLISHED  
 HALF HIGH WALL





NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

ARCHITECTURAL PLAN NOTES

- |     |   |     |  |
|-----|---|-----|--|
| A1  | (N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1 G/20 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL- OR-W14"  | A52 | --   |
| A2  | --  | A53 | --   |
| A3  | (N) AWNING ROOF TO BE SELECTED BY OWNER   | A54 | (N) CABINETY TO BE SELECTED BY OWNER   |
| A4  | (N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK   | A55 | --   |
| A5  | (e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1 G/20 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL- OR-W14"                 | A56 | --   |
| A6  | PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"  | A57 | --   |
| A7  | --  | A58 | (e) ROOFING TO BE REMOVED  |
| A8  | (N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER  | A59 | (e) ROOF OVERHANG TO BE REMOVED  |
| A9  | --  | A60 | (e) DECK TO BE REMOVED   |
| A10 | (N) LAMP TO BE SELECTED BY OWNER  | A61 | (e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN   |
| A11 | --  | A62 | (e) FLAT ROOF AND ROOFING TO REMAIN  |
| A12 | (N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE  | A63 | (e) WINDOW TO BE REMOVED   |
| A13 | (N) HARDIETRIM SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER<br>ESR NUMBER: ESR-1844   | A64 | ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT   |
| A14 | (N) RESYSTA SIDING "RESCH" 206 12" 6" WIDTH<br>STAIN: "FVG C51 WALNUT"  | A65 | (e) DOOR TO BE REMOVED   |
| A15 | (N) DOUBLE 6" STUD WALL   | A66 | (N) DOOR TO BE SELECTED BY OWNER   |
| A16 | (e) 2x STUD WALL TO BE REMOVED  | A67 | --   |
| A17 | (N) 2x STUD WALL  | A68 | (e) GARAGE DOOR TO BE REMOVED  |
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| A19 | (N) 6" STUD WALL  | A70 | --   |
| A20 | --  | A71 | (N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-5 FIRE RATED & ICC RATED ROOFING   |
| A21 | (N) 2x STUD WALL TO FILL IN (e) OPENING   | A72 | (N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM. COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201   |
| A22 | --  | A73 | --   |
| A23 | INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTTING & INSULATION.   | A74 | (e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.   |
| A24 | ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION  | A75 | --   |
| A25 | (N) 5" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL   | A76 | (N) WINDOW TO BE SELECTED BY OWNER   |
| A26 | (N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL   | A77 | GLAZING ON WINDOWS SHALL BE TEMPERED.  |
| A27 | (N) 5/8" TYPE "X" GYP. BOARD CEILING.   | A78 | --   |
| A28 | ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS. | A79 | (e) GUARDRAIL TO BE REMOVED  |
| A29 | --  | A80 | --   |
| A30 | --  | A81 | CLASS "A" DEX-O-TEX DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757  |
| A31 | --  | A82 | (N) BUILT-UP/ CRICKET ROOFING, SLOPED 1/4" PER FOOT MIN.   |
| A32 | --  | A83 | (N) 2"x8" ZURN "FD2240" DECK DRAIN   |
| A33 | --  | A84 | --   |
| A34 | --  | A85 | LINE OF WALL OR FLOOR ABOVE  |
| A35 | --  | A86 | LINE OF WALL OR FLOOR BELOW  |
| A36 | --  | A87 | (e) STAIR TO BE MODIFIED   |
| A37 | --  | A88 | --   |
| A38 | --  | A89 | EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2. |
| A39 | --  | A90 | GUARDS AND WINDOWS FALL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES   |
| A40 | --  | A91 | (N) CR. SR5 STANDOFF RAILING SYSTEM. GUARDRAIL w/ TEMPERED SMOCK GLASS. 42" MIN. A.F.F. PER PLAN; SHALL COMPLY w/ C.B.C. 2016 REQUIREMENTS #ICC RATED ESR NUMBER: ESR-3269   |
| A41 | --  |     | or DuMONT ENGINEERING APPROVED EQUAL (CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL EXPENSES TO ENGINEER AS A RESULT OF SUBSTITUTIONS)  |
| A42 | --  | A92 | (N) WOOD FENCE PER PLAN  |
| A43 | --  | A93 | (e) WOOD FENCE PER PLAN  |
| A44 | (N) TUB/ SHOWER TO BE SELECTED BY OWNER. WALLS @ 72" MIN. ABOVE DRAIN. TILE TO BE SELECTED BY OWNER   | A94 | (e) BRICK WALL PER PLAN  |
| A45 | (N) SURFER SHOWER TO BE SELECTED BY OWNER   |     |  |
| A46 | (N) TOILET TO BE SELECTED BY OWNER  |     |  |
| A47 | --  |     |  |
| A48 | --  |     |  |
| A49 | (N) BATHROOM SINK W/ FAUCET TO BE SELECTED BY OWNER   |     |  |
| A50 | --  |     |  |
| A51 | --  |     |  |

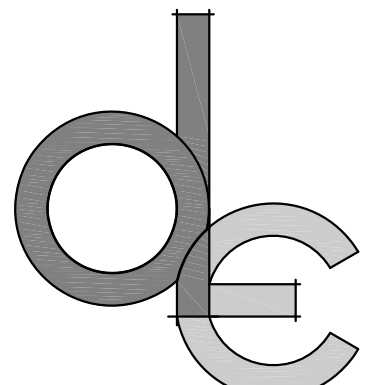
WALL LEGEND

- NEW WALL TO BE CONSTRUCTED
- EXISTING WALL
- WALL TO BE DEMOLISHED
- HALF HIGH WALL

GENERAL NOTES

McKINNEY RESIDENCE

16461 Ladona Circle  
Huntington Beach, CA 92663



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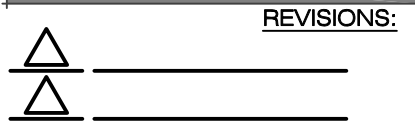
30386 Esperanza  
Rancho Santa Margarita, CA 92688  
949.709.5300  
dumontengineering.com



C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
SP-1.0 SITE PLAN

A-0.1 DEMO FIRST FLOOR PLAN  
A-0.2 DEMO SECOND FLOOR PLAN  
A-0.3 DEMO ROOF PLAN  
A-1.0 FIRST FLOOR PLAN  
A-2.0 SECOND FLOOR PLAN  
A-3.0 ROOF PLAN  
A-4.0 SOUTH ELEVATIONS  
A-4.1 EAST ELEVATIONS  
A-4.2 NORTH ELEVATIONS  
A-4.3 WEST ELEVATIONS  
A-4.4 OUTDOOR SITE WALL ELEVATION/SECTION  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE



Project No.

Date:

Drawn By:

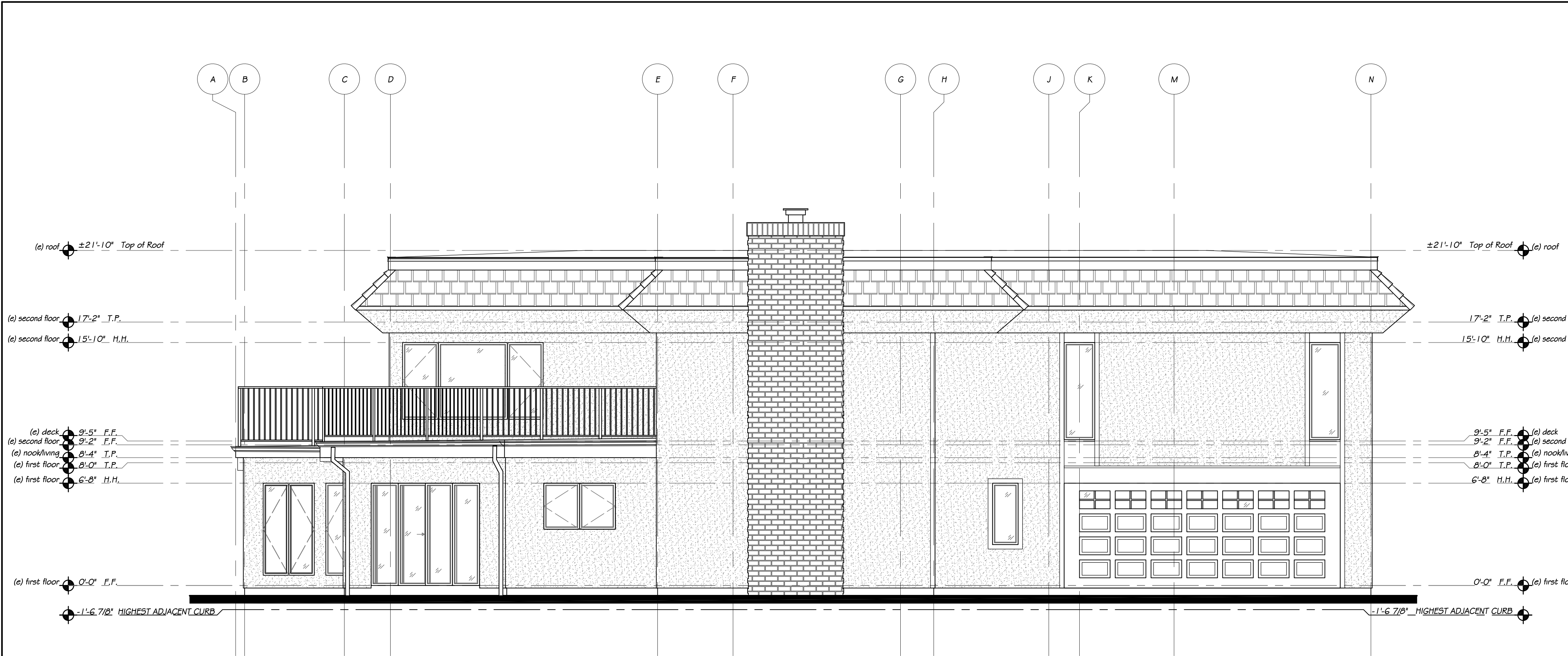
Design & Checked By:

K. DuMONT, P.E.

SHEET NO.

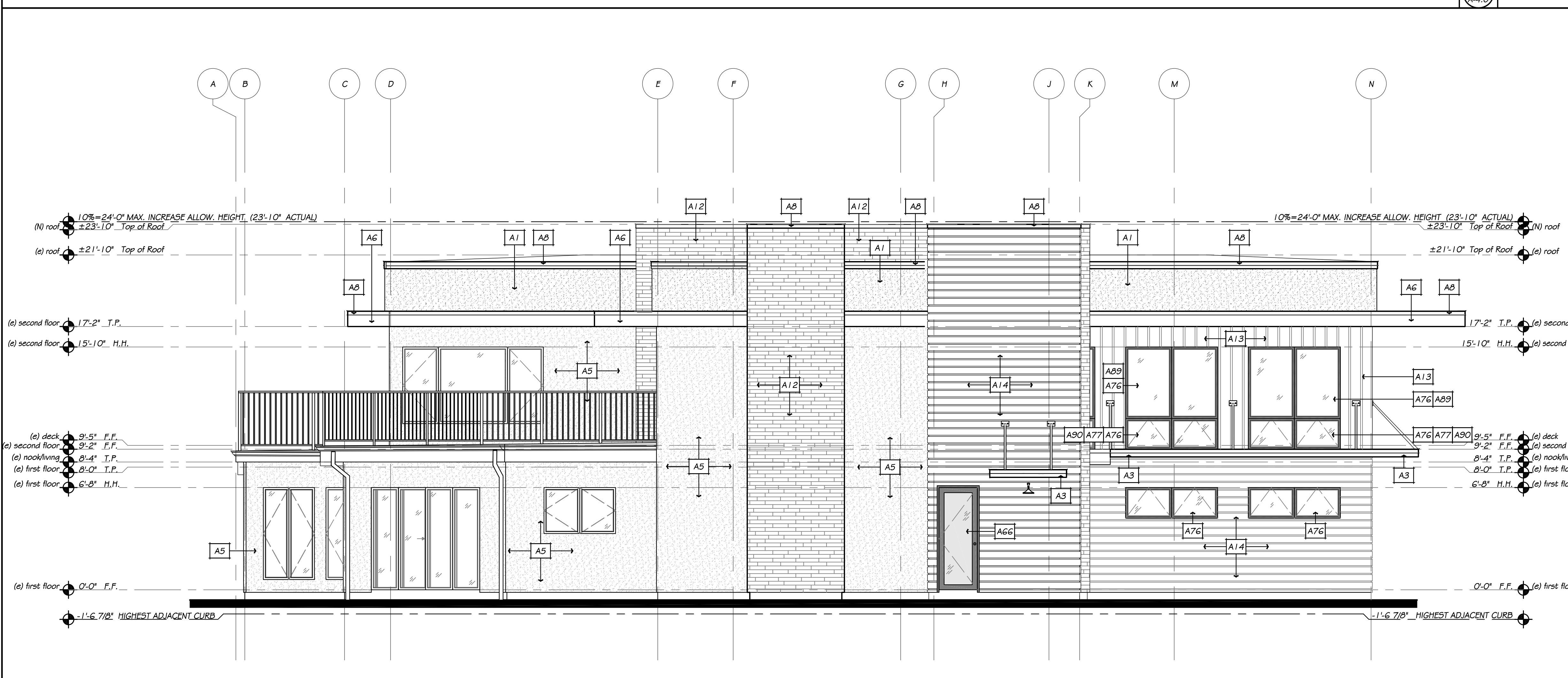
A-3.0





EXISTING SOUTH BUILDING ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTH BUILDING ELEVATION

SCALE: 1/4"=1'-0"

ARCHITECTURAL PLAN NOTES

- |   |  |
|---|--|
| A1 (N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"   | A52 --   |
| A2 --   | A53 --   |
| A3 (N) AWNING ROOF TO BE SELECTED BY OWNER  | A54 (N) CABINETS TO BE SELECTED BY OWNER   |
| A4 (N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK  | A55 --   |
| A5 (e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"                            | A56 --   |
| A6 PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"   | A57 --   |
| A7 --   | A58 (e) ROOFING TO BE REMOVED  |
| A8 (N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER   | A59 (e) ROOF OVERHANG TO BE REMOVED  |
| A9 --   | A60 (e) DECK TO BE REMOVED   |
| A10 (N) LAMP TO BE SELECTED BY OWNER  | A61 (e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN   |
| A11 --  | A62 (e) FLAT ROOF AND ROOFING TO REMAIN  |
| A12 (N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE  | A63 (e) WINDOW TO BE REMOVED   |
| A13 (N) HARDIE TRIM SMOOTH BATT. BOARDS & HARDIE PANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER   | A64 ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT   |
| A14 (N) RESYSTA SIDING "RESCH 1206 12" 6" WIDTH, STAIN: "FVG C51 WALNUT"  | A65 (e) DOOR TO BE REMOVED   |
| A15 (N) DOUBLE 6" STUD WALL   | A66 (N) DOOR TO BE SELECTED BY OWNER   |
| A16 (e) 2x STUD WALL TO BE REMOVED  | A67 --   |
| A17 (N) 2x STUD WALL  | A68 (e) GARAGE DOOR TO BE REMOVED  |
| A18 (e) 6" STUD WALL TO REMAIN  | A69 (N) MESA GARAGE DOOR "MODERN ALUMINUM"   |
| A19 (N) 6" STUD WALL  | A70 --   |
| A20 --  | A71 (N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING   |
| A21 (N) 2x STUD WALL TO FILL IN (e) OPENING   | A72 (N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM. COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201   |
| A22 --  | A73 --   |
| A23 INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTHING & INSULATION.   | A74 (e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.   |
| A24 ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION  | A75 --   |
| A25 (N) 5" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL   | A76 (N) WINDOW TO BE SELECTED BY OWNER   |
| A26 (N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL   | A77 GLAZING ON WINDOWS SHALL BE TEMPERED.  |
| A27 (N) 5/8" TYPE "X" GYP. BOARD CEILING.   | A78 --   |
| A28 ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS.         | A79 (e) GUARDRAIL TO BE REMOVED  |
| A29 --  | A80 --   |
| A30 --  | A81 CLASS "A" DEX-O-TEX DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757  |
| A31 --  | A82 (N) BUILT-UP "D2240" CRICKET ROOFING, SLOPED 1/4" PER FOOT MIN.  |
| A32 --  | A83 (N) 2"x8" ZURN "D2240" DECK DRAIN  |
| A33 --  | A84 --   |
| A34 --  | A85 LINE OF WALL OR FLOOR ABOVE  |
| A35 --  | A86 LINE OF WALL OR FLOOR BELOW  |
| A36 --  | A87 (e) STAIR TO BE MODIFIED   |
| A37 --  | A88 --   |
| A38 --  | A89 EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2. |
| A39 --  | A90 GUARDS AND WINDOWS FALL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES   |
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| A41 --  | or DUMONT ENGINEERING APPROVED EQUAL (CONTRACTOR) WILL BE RESPONSIBLE FOR ANY AND ALL EXPENSES TO ENGINEER AS A RESULT OF SUBSTITUTIONS)   |
| A42 --  | A92 (N) WOOD FENCE PER PLAN  |
| A43 --  | A93 (e) WOOD FENCE PER PLAN  |
| A44 (N) TUB/ SHOWER TO BE SELECTED BY OWNER. WALLS @ 72" MIN. ABOVE DRAIN. TILE TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. | A94 (e) BRICK WALL PER PLAN  |
| A45 (N) SURFER SHOWER TO BE SELECTED BY OWNER   |  |
| A46 (N) TOILET TO BE SELECTED BY OWNER  |  |
| A47 --  |  |
| A48 --  |  |
| A49 (N) BATHROOM SINK W/ FAUCET TO BE SELECTED BY OWNER   |  |
| A50 --  |  |
| A51 --  |  |

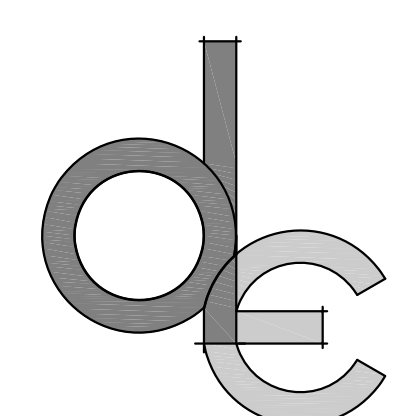
WALL LEGEND

- NEW WALL TO BE CONSTRUCTED
- EXISTING WALL
- WALL TO BE DEMOLISHED
- HALF HIGH WALL

GENERAL NOTES

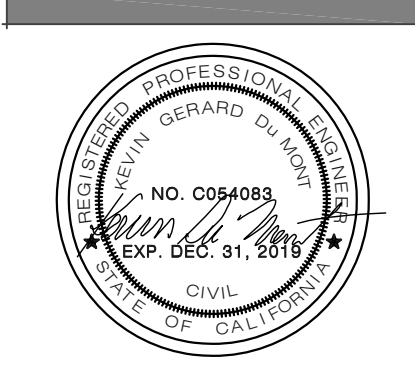
McKINNEY RESIDENCE

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C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
SP-1.0 SITE PLAN

A-0.1 DEMO FIRST FLOOR PLAN  
A-0.2 DEMO SECOND FLOOR PLAN  
A-0.3 DEMO ROOF PLAN  
A-1.0 FIRST FLOOR PLAN  
A-2.0 SECOND FLOOR PLAN  
A-3.0 ROOF PLAN  
A-4.0 SOUTH ELEVATIONS  
A-4.1 EAST ELEVATIONS  
A-4.2 NORTH ELEVATIONS  
A-4.3 WEST ELEVATIONS  
A-4.4 OUTDOOR SITE WALL ELEVATION (SECTION)  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE

REVISIONS:

Project No. **17-166**  
Date: **SEPTEMBER 25, 2018**  
Drawn By: **w. gaudet**  
Design & Checked By: **K. DuMONT, P.E.**

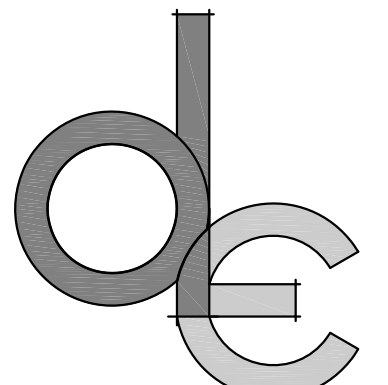
SHEET NO.

**A-4.0**



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C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
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A-3.0 ROOF PLAN  
A-4.0 SOUTH ELEVATIONS  
A-4.1 EAST ELEVATIONS  
A-4.2 NORTH ELEVATIONS  
A-4.3 WEST ELEVATIONS  
A-4.4 OUTDOOR SITE WALL ELEVATION/SECTION  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE

REVISIONS:  
1  
2

Project No.

17-166

Date:

SEPTEMBER 25, 2018

Drawn By:

w. gaudet

Design & Checked By:

K. DuMONT, P.E.

SHEET NO.

A-4.1

ARCHITECTURAL PLAN NOTES

- A1 (N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"
- A2 --
- A3 (N) AWNING ROOF TO BE SELECTED BY OWNER
- A4 (N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK
- A5 (e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1/2" SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"
- A6 PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"
- A7 --
- A8 (N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER
- A9 --
- A10 (N) LAMP TO BE SELECTED BY OWNER
- A11 --
- A12 (N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE
- A13 (N) HARDIETRIM SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER  
ESR NUMBER: ESR-1844
- A14 (N) RESYSTA SIDING  
RESYSTA 206 12"  
6" WIDTH  
STAIN: "FVG C51 WALNUT"
- A15 (N) DOUBLE 6" STUD WALL
- A16 (e) 2x STUD WALL TO BE REMOVED
- A17 (N) 2x STUD WALL
- A18 (e) 6" STUD WALL TO REMAIN
- A19 (N) 6" STUD WALL
- A20 --
- A21 (N) 2x STUD WALL TO FILL IN (e) OPENING
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- A23 INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTHING & INSULATION.
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- A29 --
- A30 --
- A31 --
- A32 --
- A33 --
- A34 --
- A35 --
- A36 --
- A37 --
- A38 --
- A39 --
- A40 --
- A41 --
- A42 --
- A43 --
- A44 (N) TUBY SHOWER TO BE SELECTED BY OWNER, WALLS @ 72" MIN. ABOVE DRAIN, TILE TO BE SELECTED BY OWNER WALLS TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- A45 (N) SURFER SHOWER TO BE SELECTED BY OWNER
- A46 (N) TOILET TO BE SELECTED BY OWNER
- A47 --
- A48 --
- A49 (N) BATHROOM SINK W/ FAUCET TO BE SELECTED BY OWNER
- A50 --
- A51 --
- A52 --
- A53 --
- A54 (N) CABINETRY TO BE SELECTED BY OWNER
- A55 --
- A56 --
- A57 --
- A58 (e) ROOFING TO BE REMOVED
- A59 (e) ROOF OVERHANG TO BE REMOVED
- A60 (e) DECK TO BE REMOVED
- A61 (e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN
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- A63 (e) WINDOW TO BE REMOVED
- A64 ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT
- A65 (e) DOOR TO BE REMOVED
- A66 (N) DOOR TO BE SELECTED BY OWNER
- A67 --
- A68 (e) GARAGE DOOR TO BE REMOVED
- A69 (N) MESA GARAGE DOOR "MODERN ALUMINUM"
- A70 --
- A71 (N) FLAT ROOF SLOPE PER PLAN 1/4":12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING
- A72 (N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM. COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201
- A73 --
- A74 (e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.
- A75 --
- A76 (N) WINDOW TO BE SELECTED BY OWNER
- A77 GLAZING ON WINDOWS SHALL BE TEMPERED.
- A78 --
- A79 (e) GUARDRAIL TO BE REMOVED
- A80 --
- A81 CLASS "A" DECK-TOX DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757
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- A87 (e) STAIR TO BE MODIFIED
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- A92 (N) WOOD FENCE PER PLAN
- A93 (e) WOOD FENCE PER PLAN
- A94 (e) BRICK WALL PER PLAN

WALL LEGEND

- NEW WALL TO BE CONSTRUCTED
- EXISTING WALL
- WALL TO BE DEMOLISHED
- HALF HIGH WALL

GENERAL NOTES

EXISTING EAST BUILDING ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED EAST BUILDING ELEVATION

SCALE: 1/4"=1'-0"



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Huntington Beach, CA 92663



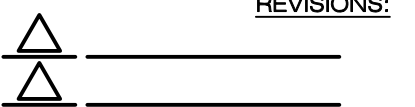
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Rancho Santa Margarita, CA 92688  
949.709.5300  
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SP-0.1 EXISTING/DEMO SITE PLAN  
SP-1.0 SITE PLAN

- A-0.1 DEMO FIRST FLOOR PLAN
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- A-0.3 DEMO ROOF PLAN
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- A-3.0 ROOF PLAN
- A-4.0 SOUTH ELEVATIONS
- A-4.1 EAST ELEVATIONS
- A-4.2 NORTH ELEVATIONS
- A-4.3 WEST ELEVATIONS
- A-4.4 OUTDOORSITE WALL ELEVATION/SECTION
- A-5.0 SECTIONS
- A-5.1 SECTIONS
- A-7.0 DOOR & WINDOW SCHEDULE

## REVISIONS:



Project No. \_\_\_\_\_

Date: \_\_\_\_\_

Drawn By:

w. gaudet

**K. DuMONT, P.E.**

SHEET NO. \_\_\_\_\_

A-4.2

A1	(N) MAIN STUCCO BODY TO BE MERLEX "P-1661" TITANIUM B-BASE 1/620 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A52
A2	--	A53
A3	(N) AWNING ROOF TO BE SELECTED BY OWNER	A54
A4	(N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK	A55
A5	(e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661" TITANIUM B-BASE 1/620 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A56
A6	PAINAT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-G"	A57
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A9	--	A60
A10	(N) LAMP TO BE SELECTED BY OWNER	A61
A11	--	A62
A12	(N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE	A63
A13	(N) HANDRIPE SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER ESR NUMBER: ESR-1844	A64
A14	(N) RESYSTA SIDING "RESCP120612" 6" WIDTH. STAIN: "FVG C51 WALNUT"	A65
A15	(N) DOUBLE 6" STUD WALL	A66
A16	(e) 2x STUD WALL TO BE REMOVED	A67
A17	(N) 2x STUD WALL	A68
A18	(e) 6" STUD WALL TO REMAIN	A69
A19	(N) 6" STUD WALL	A70
A20	--	A71
A21	(N) 2x STUD WALL TO FILL IN (e) OPENING	A72
A22	--	A73
A23	INSULATION PER T-24 CALCS. THERE SHALL BE A 1" MIN. GAP BETWEEN SITTING & INSULATION.	A74
A24	ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION	A75
A25	(e) 6" WALL W/ 5/8" TYPE "X" GYP. BOARD DR/WALL	A76
		A77
		A78
		A79

## GENERAL NOTES

### EXISTING NORTH BUILDING ELEVATION

SCALE: 1/4"=1'-0"

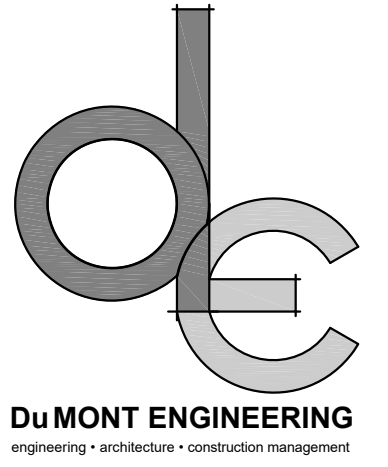
## PROPOSED NORTH BUILDING ELEVATION

SCALE: 1/4"=1'-0"



McKINNEY  
RESIDENCE

16461 Ladona Circle  
Huntington Beach, CA 92663



30386 Esperanza  
Rancho Santa Margarita, CA 92688  
949.709.5300  
dumontengineering.com



C-1.0	COVER SHEET
SP-0.1	EXISTING/DEMO SITE PLAN
SP-1.0	SITE PLAN
A-0.1	DEMO FIRST FLOOR PLAN
A-0.2	DEMO SECOND FLOOR PLAN
A-0.3	DEMO ROOF PLAN
A-1.0	FIRST FLOOR PLAN
A-2.0	SECOND FLOOR PLAN
A-3.0	ROOF PLAN
A-4.0	SOUTH ELEVATIONS
A-4.1	EAST ELEVATIONS
A-4.2	NORTH ELEVATIONS
A-4.3	WEST ELEVATIONS
A-4.4	OUTDOOR SITE WALL ELEVATION
A-5.0	SECTIONS
A-5.1	SECTIONS
A-7.0	DOOR & WINDOW SCHEDULE

ARCHITECTURAL PLAN NOTES

A1	(N) MAIN STUCCO BODY TO BE MERLEX "P-1661 TITANIUM B-BASE 1 G/20 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A52	--
A2	--	A53	--
A3	(N) AWNING ROOF TO BE SELECTED BY OWNER	A54	(N) CABINETS TO BE SELECTED BY OWNER
A4	(N) EXTERIOR FIXTURES & HARDWARE SHALL BE BLACK	A55	--
A5	(e) STUCCO TO BE SANDBLASTED AND RECEIVE A (N) STUCCO FINISH COAT TO BE MERLEX "P-1661 TITANIUM B-BASE 1 G/20 SAND TEXTURE AND SHALL BE PAINTED BEHR "WHITE VEIL: OR-W14"	A56	--
A6	PAINT COLOR SHALL BE BEHR "ASPHALT GRAY: N520-6"	A57	--
A7	--	A58	(e) ROOFING TO BE REMOVED
A8	(N) CAP FLASHING; FINISH TO BE SELECTED BY OWNER	A59	(e) ROOF OVERHANG TO BE REMOVED
A9	--	A60	(e) DECK TO BE REMOVED
A10	(N) LAMP TO BE SELECTED BY OWNER	A61	(e) LIGHT WEIGHT CONCRETE ROOF TILES TO REMAIN
A11	--	A62	(e) FLAT ROOF AND ROOFING TO REMAIN
A12	(N) STONE VENEER "BEACH PEBBLE LEDGE CUT 33" BY ELDORADO STONE	A63	(e) WINDOW TO BE REMOVED
A13	(N) HARDIETRIM SMOOTH BATT. BOARDS & HARDIEPANEL VERTICAL SMOOTH, PER PLAN, COLOR TO BE SELECTED BY OWNER ESR NUMBER: ESR-1844	A64	ALL KITCHEN & BATHROOM LIGHTING SHALL BE FLUORESCENT
A14	(N) RESYSTA SIDING RESYSTA 1206 12" 6" WIDTH STAIN: "FVG C51 WALNUT"	A65	(e) DOOR TO BE REMOVED
A15	(N) DOUBLE 6" STUD WALL	A66	(N) DOOR TO BE SELECTED BY OWNER
A16	(e) 2x STUD WALL TO BE REMOVED	A67	--
A17	(N) 2x STUD WALL	A68	(e) GARAGE DOOR TO BE REMOVED
A18	(e) 6" STUD WALL TO REMAIN	A69	(N) MESA GARAGE DOOR "MODERN ALUMINUM"
A19	(N) 6" STUD WALL	A70	--
A20	--	A71	(N) FLAT ROOF SLOPE PER PLAN 1/4": 12" MIN. w/ CLASS-A FIRE RATED & ICC RATED ROOFING
A21	(N) 2x STUD WALL TO FILL IN (e) OPENING	A72	(N) WESTCOAT "ALX STANDARD" WATERPROOF COATING SYSTEM. COLOR TO BE "SPANISH BROWN" MUST BE APPROVED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. CLASS "A" FIRE RATED & ICC RATED ESR NUMBER ESR-2201
A22	--	A73	--
A23	INSULATION PER T-24 CALC'S. THERE SHALL BE A 1" MIN. GAP BETWEEN SHYTHING & INSULATION.	A74	(e) WINDOW TO BE REMOVED AND REPLACED PER PLAN. ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW CONTRACTOR.
A24	ALL (e) CEILING INSULATION TO BE REMOVED AND REPLACED WITH NEW APPROVED INSULATION	A75	--
A25	(N) 5" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A76	(N) WINDOW TO BE SELECTED BY OWNER
A26	(N) 4" WALL W/ 5/8" TYPE "X" GYP. BOARD DRYWALL	A77	GLAZING ON WINDOWS SHALL BE TEMPERED.
A27	(N) 5/8" TYPE "X" GYP. BOARD CEILING.	A78	--
A28	ALL GARAGE WALLS BORDERING LIVING AREAS & ENTIRE CEILING & EXPOSED BEAMS SHALL HAVE (2) LAYERS OF 5/8" TYPE "X" GYP. BOARD DRYWALL & (1) LAYER @ GARAGE WALLS NOT BORDERING LIVING AREAS.	A79	(e) GUARDRAIL TO BE REMOVED
A29	--	A80	--
A30	--	A81	CLASS "A" DECK-TO-TEXTURE DECK TO BE SELECTED BY OWNER. MINIMUM 1/4" PER FOOT SLOPE TO DRAIN. WEATHERWEAR ICC E5 REPORT NUMBER ESR-1757
A31	--	A82	(N) BUILT-UP CRICKET ROOFING, SLOPED 1/4" PER FOOT MIN.
A32	--	A83	(N) 2" ZURN "FD2240" DECK DRAIN
A33	--	A84	--
A34	--	A85	LINE OF WALL OR FLOOR ABOVE
A35	--	A86	LINE OF WALL OR FLOOR BELOW
A36	--	A87	(e) STAIR TO BE MODIFIED
A37	--	A88	--
A38	--	A89	EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" (610 mm). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" (508 mm). THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. SHALL COMPLY w/ CBC SECTION 1030.2.
A39	--	A90	GUARDS AND WINDOWS FALL PROTECTION SHALL COMPLY WITH CRC 2016 SECTION R312; REFER TO GENERAL NOTES
A40	--	A91	(N) CR. SR5 STANDOFF RAILING SYSTEM. GUARDRAIL w/ TEMPERED SHOKED GLASS. 42" MIN. A.F.F. PER PLAN; SHALL COMPLY w/ C.B.C. 2016 REQUIREMENTS #ICC RATED ESR NUMBER: ESR-3269
A41	--	A92	(N) WOOD FENCE PER PLAN
A42	--	A93	(e) WOOD FENCE PER PLAN
A43	--	A94	(e) BRICK WALL PER PLAN
A44	(N) TUBY SHOWER TO BE SELECTED BY OWNER. WALLS @ 72" MIN. ABOVE DRAIN. TILE TO BE SELECTED BY OWNER. WALLS TO BE FINISHED WITH A HARD, NON-ABSORBANT SURFACE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.		
A45	(N) SURFER SHOWER TO BE SELECTED BY OWNER		
A46	(N) TOILET TO BE SELECTED BY OWNER		
A47	--		
A48	--		
A49	(N) BATHROOM SINK W/ FAUCET TO BE SELECTED BY OWNER		
A50	--		
A51	--		

WALL LEGEND

NEW WALL TO BE CONSTRUCTED
EXISTING WALL
WALL TO BE DEMOLISHED
HALF HIGH WALL

GENERAL NOTES

EXISTING WEST BUILDING ELEVATION

SCALE: 1/4"=1'-0"

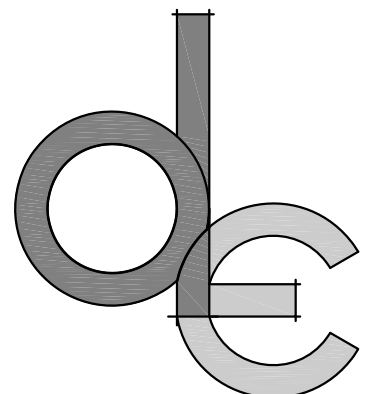
PROPOSED WEST BUILDING ELEVATION

SCALE: 1/4"=1'-0"



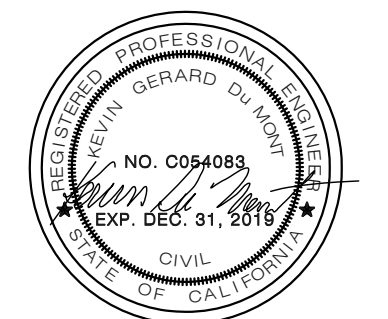
McKINNEY  
RESIDENCE

16461 Ladona Circle  
Huntington Beach, CA 92663



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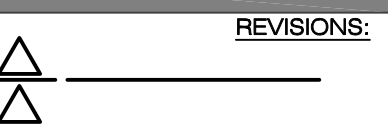
30386 Esperanza  
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C-1.0 COVER SHEET

SP-0.1 EXISTING/DEMO SITE PLAN  
SP-1.0 SITE PLAN

A-0.1 DEMO FIRST FLOOR PLAN  
A-0.2 DEMO SECOND FLOOR PLAN  
A-0.3 DEMO ROOF PLAN  
A-1.0 FIRST FLOOR PLAN  
A-2.0 SECOND FLOOR PLAN  
A-3.0 ROOF PLAN  
A-4.0 SOUTH ELEVATIONS  
A-4.1 EAST ELEVATIONS  
A-4.2 NORTH ELEVATIONS  
A-4.3 WEST ELEVATIONS  
A-4.4 OUTDOOR SITE WALL ELEVATION/SECTION  
A-5.0 SECTIONS  
A-5.1 SECTIONS  
A-7.0 DOOR & WINDOW SCHEDULE



Project No.

Date:

Drawn By:

Design & Checked By:

K. DuMONT, P.E.

SHEET NO.

A-4.4

ARCHITECTURAL PLAN NOTES

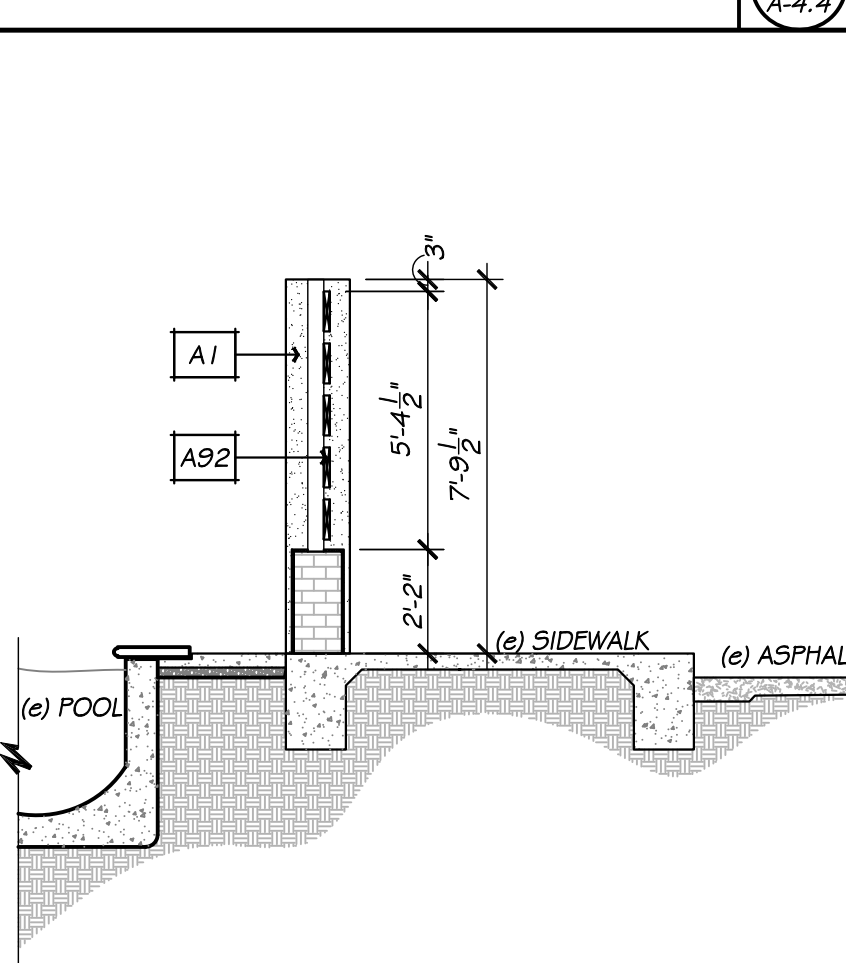
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- A78 --
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WALL LEGEND

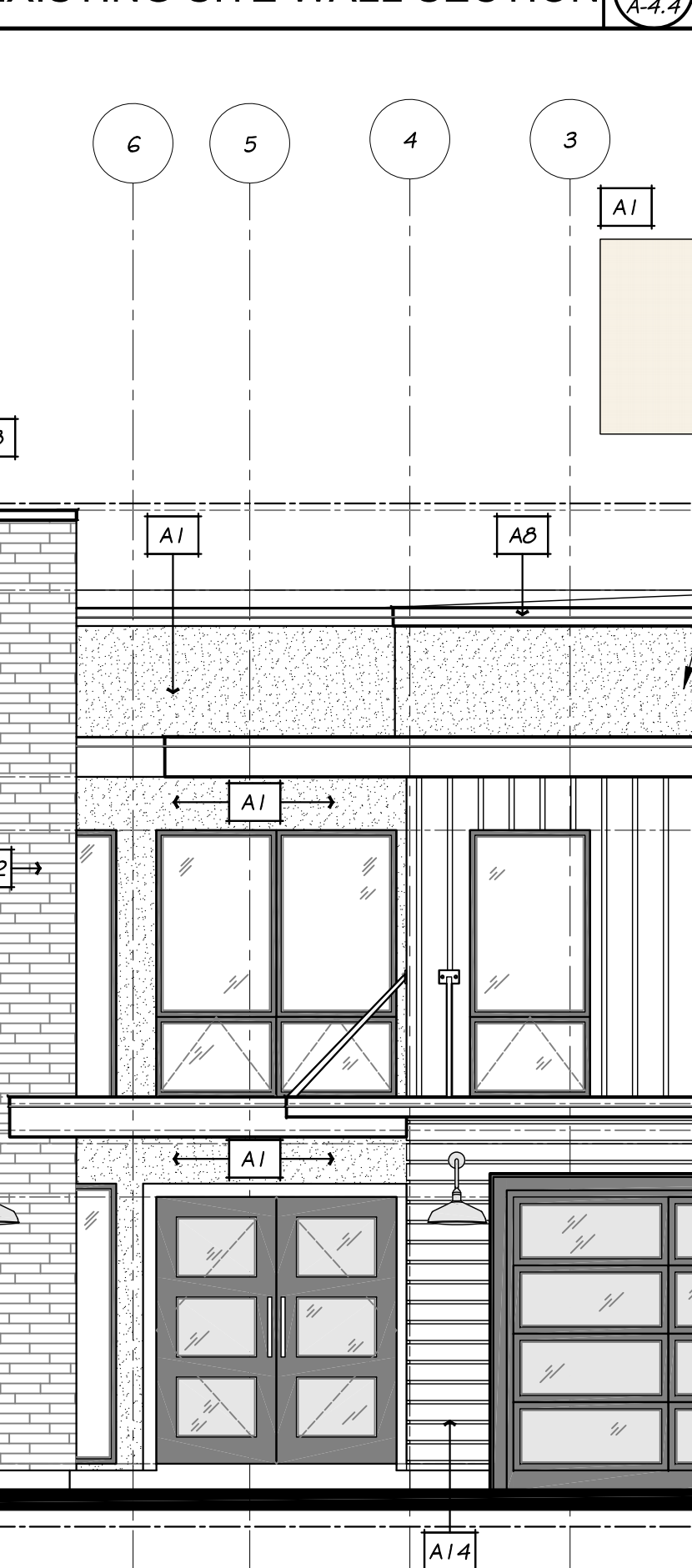
- NEW WALL TO BE CONSTRUCTED
- EXISTING WALL
- WALL TO BE DEMOLISHED
- HALF HIGH WALL

GENERAL NOTES

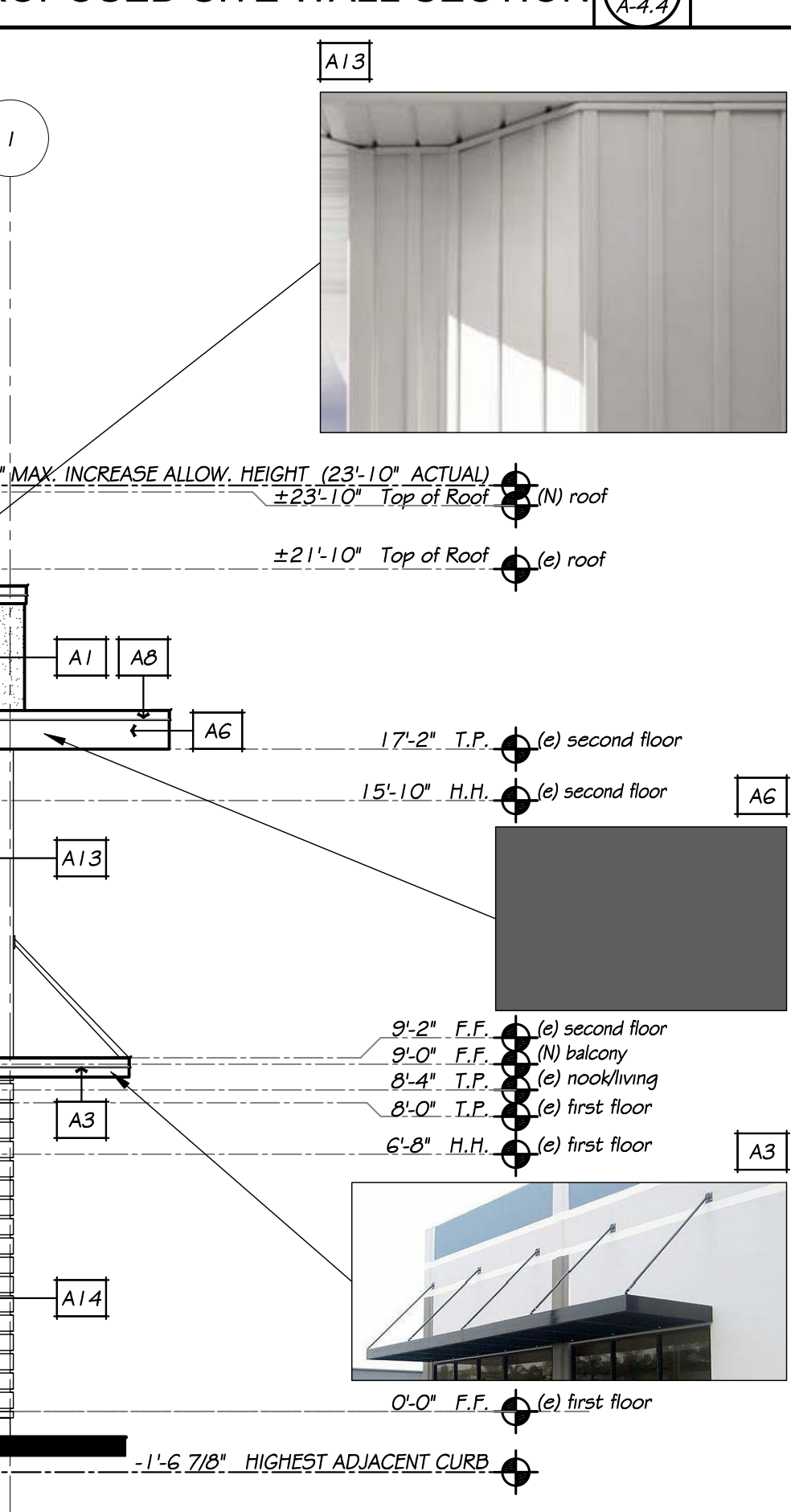
PROPOSED SITE WALL ELEVATION



EXISTING SITE WALL SECTION



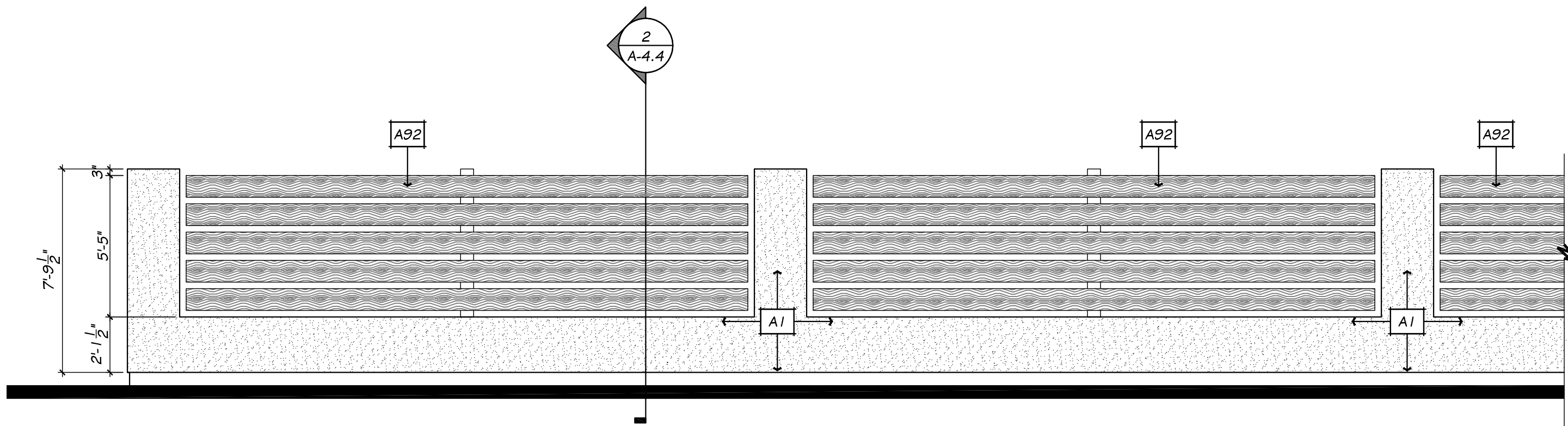
PROPOSED SITE WALL SECTION



PROPOSED PAINT & MATERIALS ELEVATION

DETAIL

SCALE: 1/4"=1'-0"



DETAIL

SCALE: 1/4"=1'-0"

