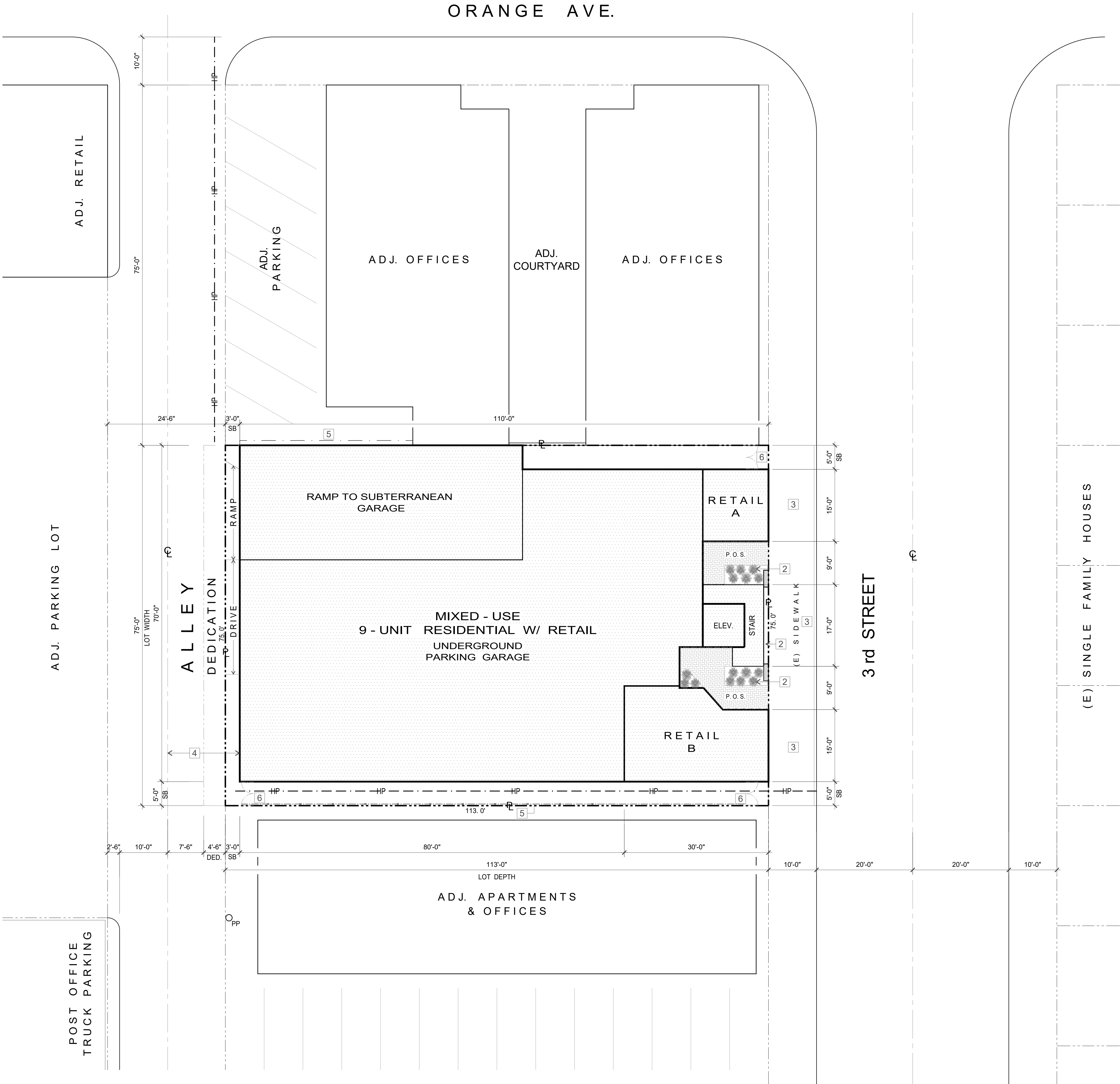




Zoning Conformance Matrix			
Mixed-Use 321 3rd Street, Huntington Beach Downtown Specific Plan Dist. #1			
SUBJECT	CODE #	CODE	PROPOSED
Allowable Uses	3-43	Figure 3-23	Office / Retail
Minimum Parcel Size	3.3.1.5	25' street frontage & 2,500 sf net area	75' & 8,475 s.f.
Maximum Density	3.3.1.7	Site area ≥ 3 (25-foot wide) lots: 50 du/ac	50 du/ac
Maximum Building Height	3.3.1.8	≥ 8,000 sf net site area: 45' & 4 stories	45' & 4 Stories
Upper Story Setback	3.3.1.9	10' average	10' average @ 25' AFF
Front Yard Setback	3.3.1.10	0' – Max. 5'	0' – 1'
Interior Side Yard Setback	3.3.1.11	0'	0'-5'
Exterior Side Yard Setback	3.3.1.11	Equal to front setback	N/A
Corner Setback	3.3.1.12	25'	N/A
Rear Yard Setback	3.3.1.13	3'	3'
Public Open Space	3.3.1.15	3% = 255 sf	355 sf
Storefront	3.3.1.16	65% ground floor	Provided
Private Open Space	3.2.16.1	Minimum 60 sf	234'-984'

KEYNOTES

- 1 PAVERS (180 SF)
- 2 PLANTERS
- 3 REPLACE CONC. SIDEWALK
- 4 NEW ASPHALT PAVING
- 5 (E) FENCE P.I.P.
- 6 W.I. GATES

STATISTICS

LEGAL : LOTS 19, 21, 23 BLOCK
HUNTINGTON TRACT
APN : 024 - 144 - 10
NET LOT : 8,475 SF (.19 ACRE)
ZONING : DTSP DIST. #1, MIXED-USE CONDO /
APARTMENTS : 9 UNITS 21, 100 SF
RETAIL : 2 UNITS 755 SF
SUBTERRANEAN PKG. GARAGE : 7,900 SF
AT-GRADE PKG. GARAGE : 6,200 SF

PARKING			
TYPE	# UNITS	FACTOR	SPACES
2 - BEDROOM	3	2	6
3 - BEDROOM	6	2.33	14
GUEST	9	.25	5
RETAIL	755 SF	333	3
			28
LOCATION :			
SUBTERRANEAN			18
AT GRADE			10
			28

CONSTRUCTION : TYPE VA, FS
OCCUPANCY : R2, U, B

PUBLIC OPEN SPACE (P. O. S.)
3% = 255 SF 30% LANDSCAPE = 76 SF
REFER TO SHT. A2 FOR PROPOSED AREA

HOSE PULL

OWNER :
3rd STREET PARTNERS, LLC
1112 PARK ST.
HUNTINGTON BEACH, CA 92648
(949) 677 - 6880

APPLICANT :
JEFF BERGSMA, TEAM DESIGN
221 MAIN ST.
HUNTINGTON BEACH, CA 92648
(949) 887 - 9542

SITE PLAN



THIS DRAWING IS
SOLE PROPERTY
AND COPYRIGHT ©
OF THE ARCHITECT

DATE: 10/19/22
SCALE: 1" = 10'
CAD FILE : 321-AS

LICENSED ARCHITECT
JEFF BERGSMA
221085
STATE OF CALIFORNIA

321 3rd ST
MIXED-USE

321 3rd ST
HUNTINGTON BEACH,
CALIFORNIA

TEAM
DESIGN

221 MAIN STREET SUITE S
HUNTINGTON BEACH, CA 92648
JEFF@TEAMDESIGNHB.COM

SITE PLAN

AS

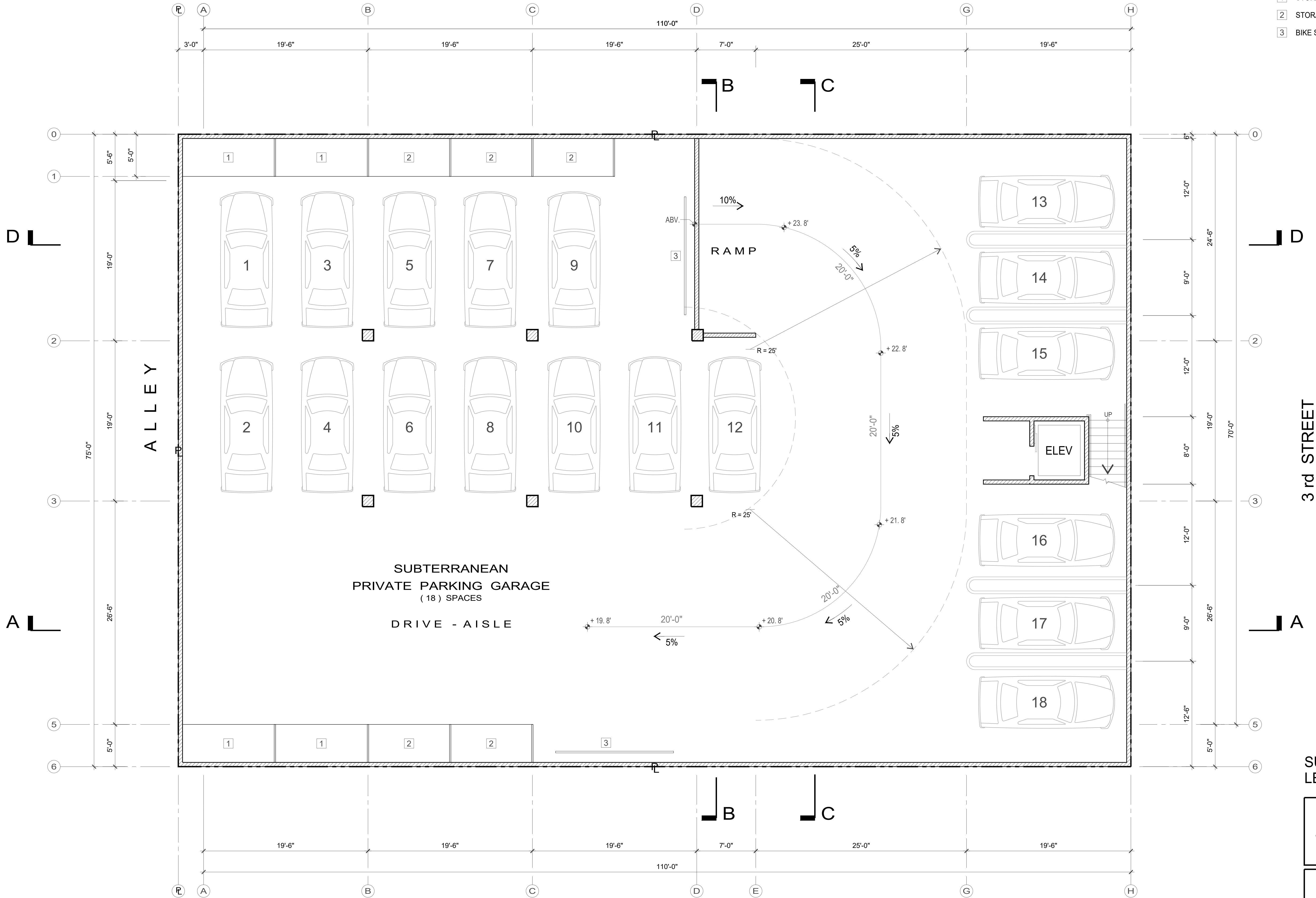
KEYNOTES

- 1

STORAGE (4) 56 SF
- 2

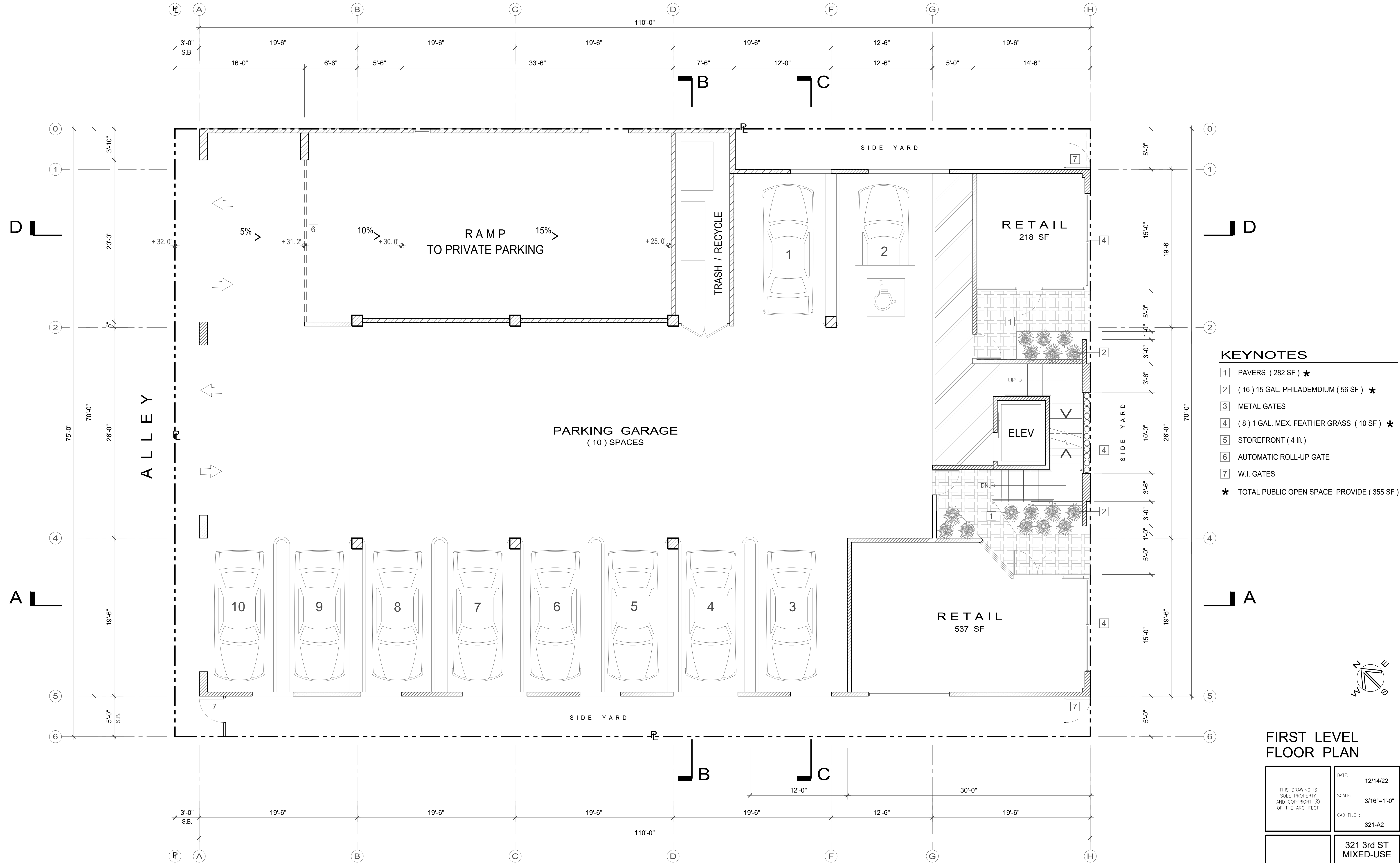
STORAGE (5) 50 SF
- 3

BIKE STORAGE (24) BIKES



SUBTERRANEAN
LEVEL FLOOR PLAN

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 9/21/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A1
JEFF BERGSMAS ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM DESIGN 221 MAIN STREET SUITE S HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	SUBTERRANEAN FLOOR PLAN A1



- KEYNOTES**
- 1 PAVERS (282 SF) *
 - 2 (16) 15 GAL. PHILADEMDIUM (56 SF) *
 - 3 METAL GATES
 - 4 (8) 1 GAL. MEX. FEATHER GRASS (10 SF) *
 - 5 STOREFRONT (4 ft)
 - 6 AUTOMATIC ROLL-UP GATE
 - 7 W.I. GATES
 - * TOTAL PUBLIC OPEN SPACE PROVIDE (355 SF)

FIRST LEVEL FLOOR PLAN

THIS DRAWING IS
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AND COPYRIGHT ©
OF THE ARCHITECT

DATE: 12/14/22

SCALE: 3/16"=1'-0"

CAD FILE : 321-A2

JEFF BERGSMA
ARCHITECT

321 3rd ST
MIXED-USE

321 3rd ST
HUNTINGTON BEACH
CALIFORNIA

TEAM
D • E • S • I • G • N

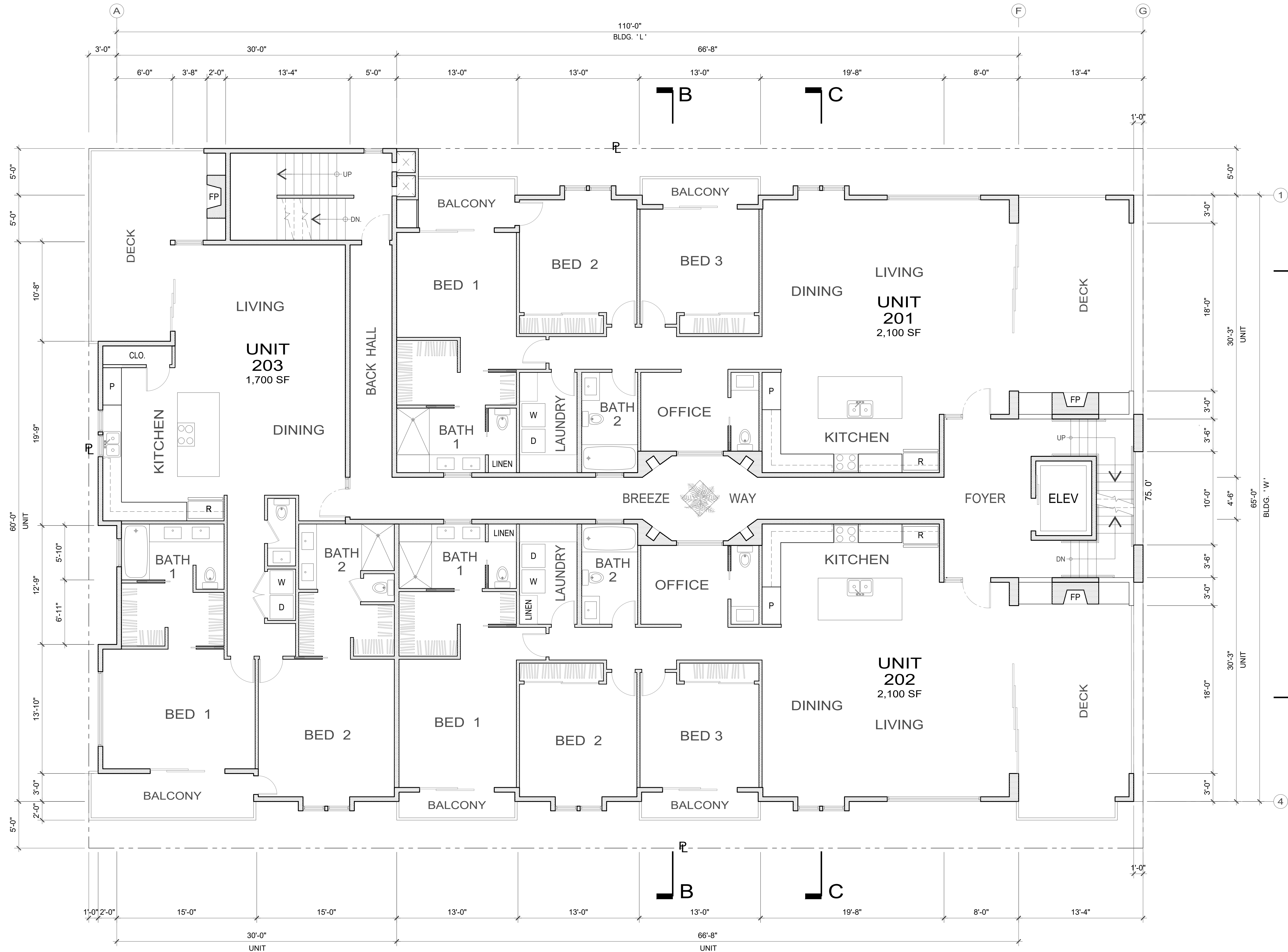
7 1 4 5 3 6 5 8 8 8
221 MAIN STREET SUITE 5
HUNTINGTON BEACH, CA 92648
JEFF@TEAMDESIGNHB.COM

FIRST LEVEL
FLOOR PLAN

A2

D

A

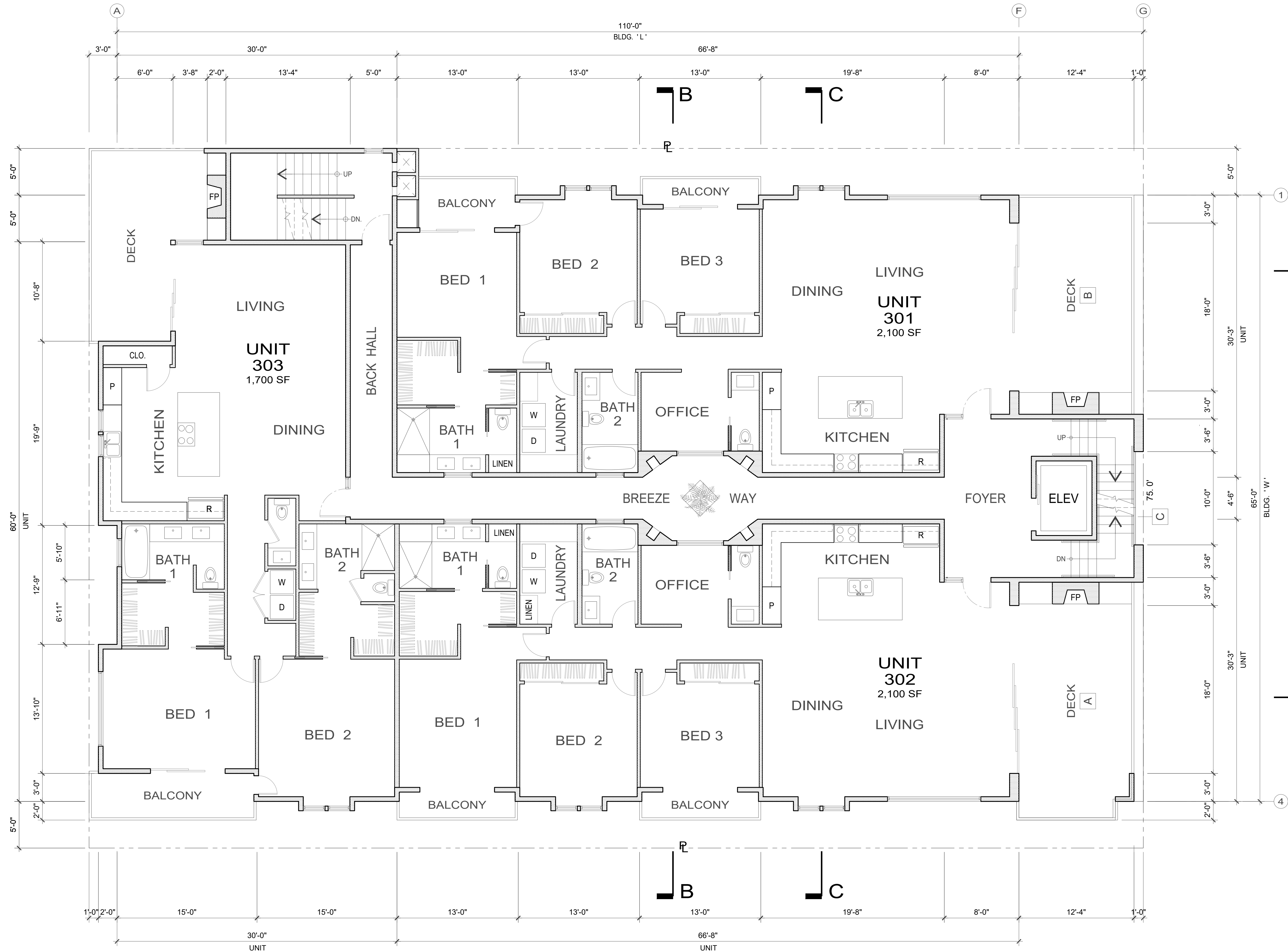


SECOND LEVEL
FLOOR PLAN

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/14/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A3
JEFF BERGSMAS ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNH6.COM	SECOND LEVEL FLOOR PLAN A3

D L

A L



STEP BACK CALC.

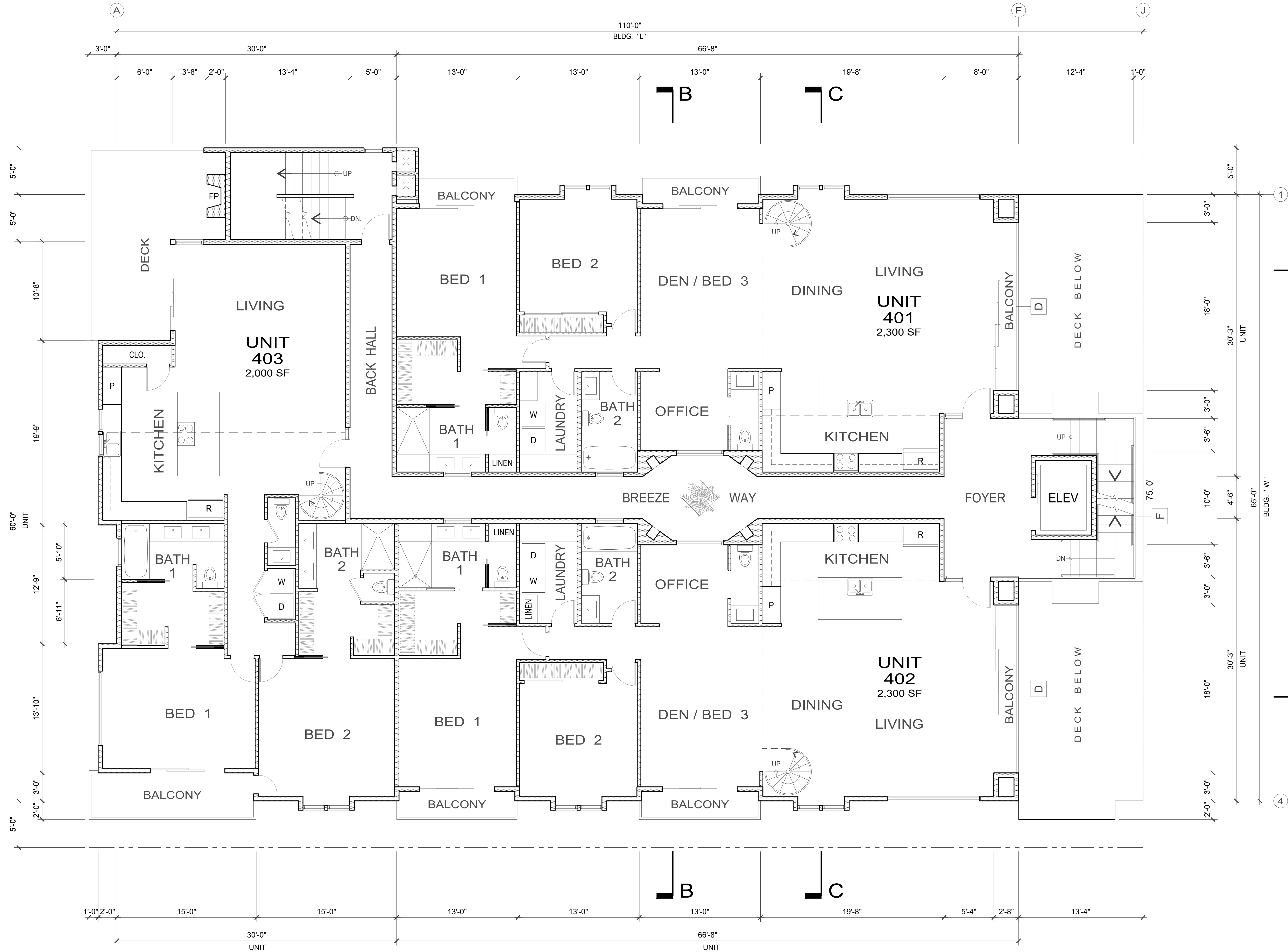
- A 320 SF
 - B 320 SF
 - C 10 SF
- 650 SF / 65 lf = 10'-0"

THIRD LEVEL FLOOR PLAN

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/14/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A4
JEFF BERGSM ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	THIRD LEVEL FLOOR PLAN A4

D

A

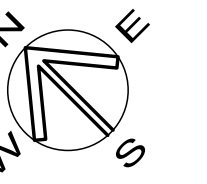
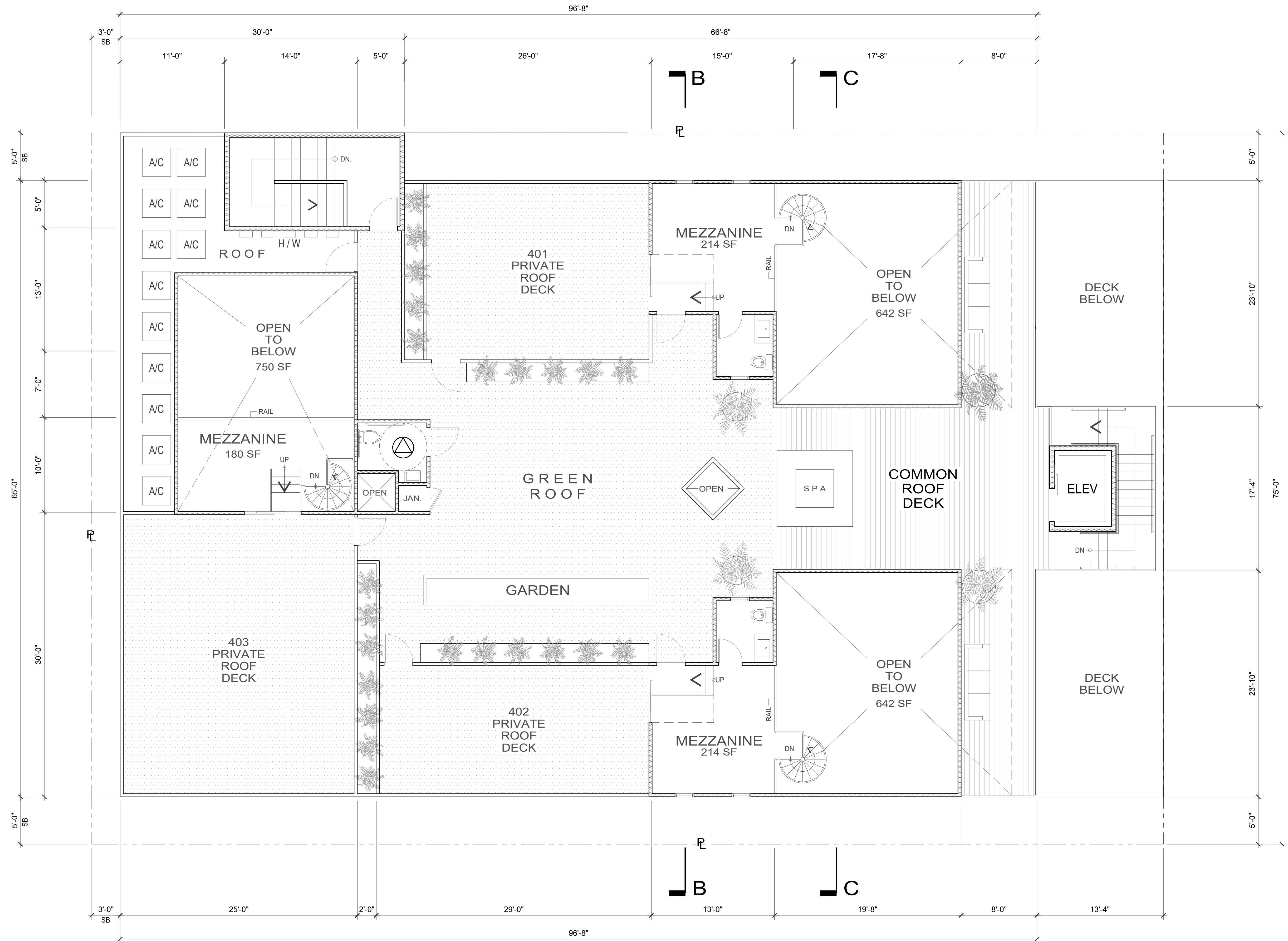


FOURTH LEVEL FLOOR PLAN

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/14/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A5
JEFF BERGSMAS ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM DESIGN 714.536.5888 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	FOURTH LEVEL FLOOR PLAN A5

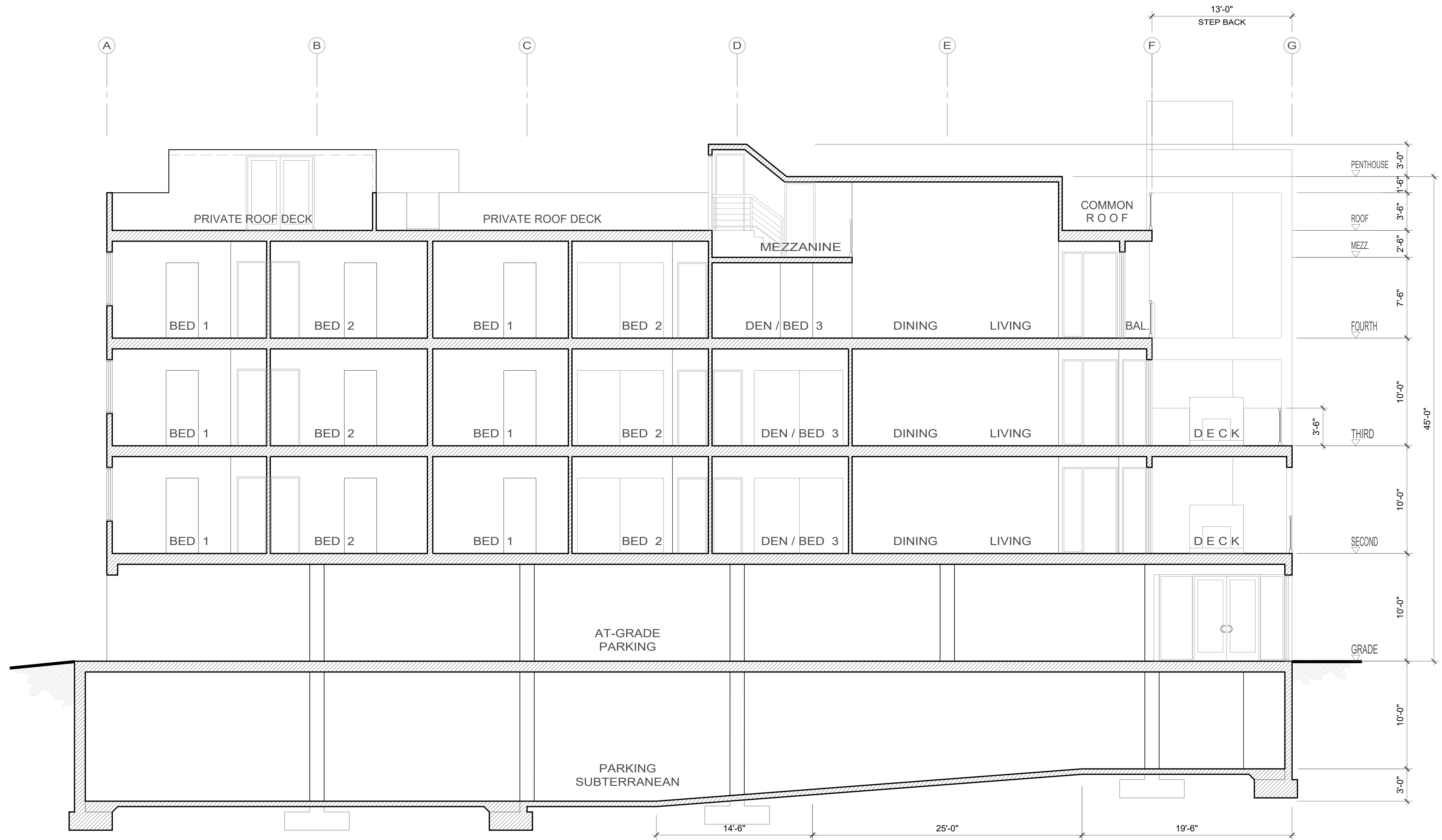
D L

A L



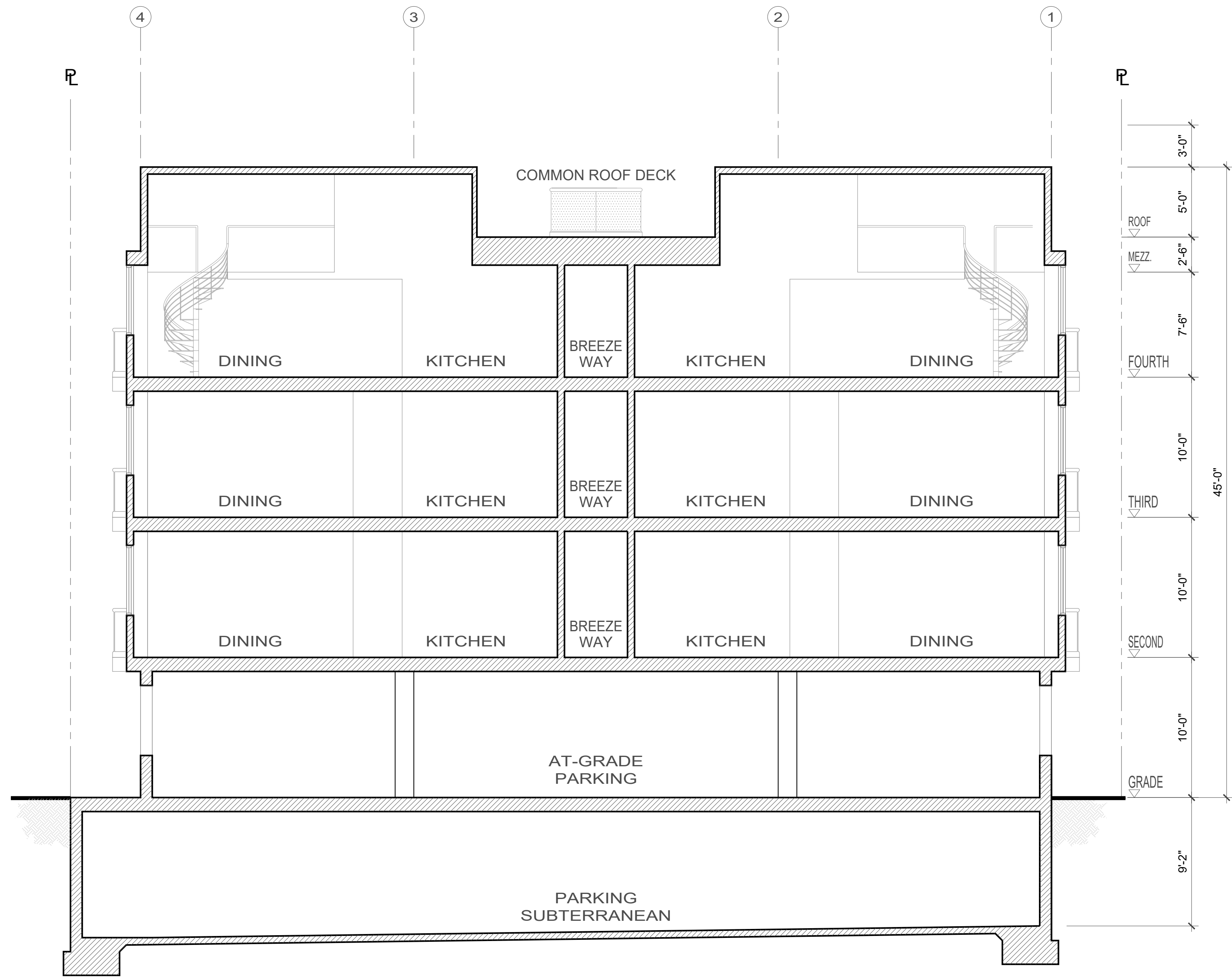
ROOF DECK PLAN

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 8/08/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A6
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 714.536.5888 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	ROOF PLAN A6

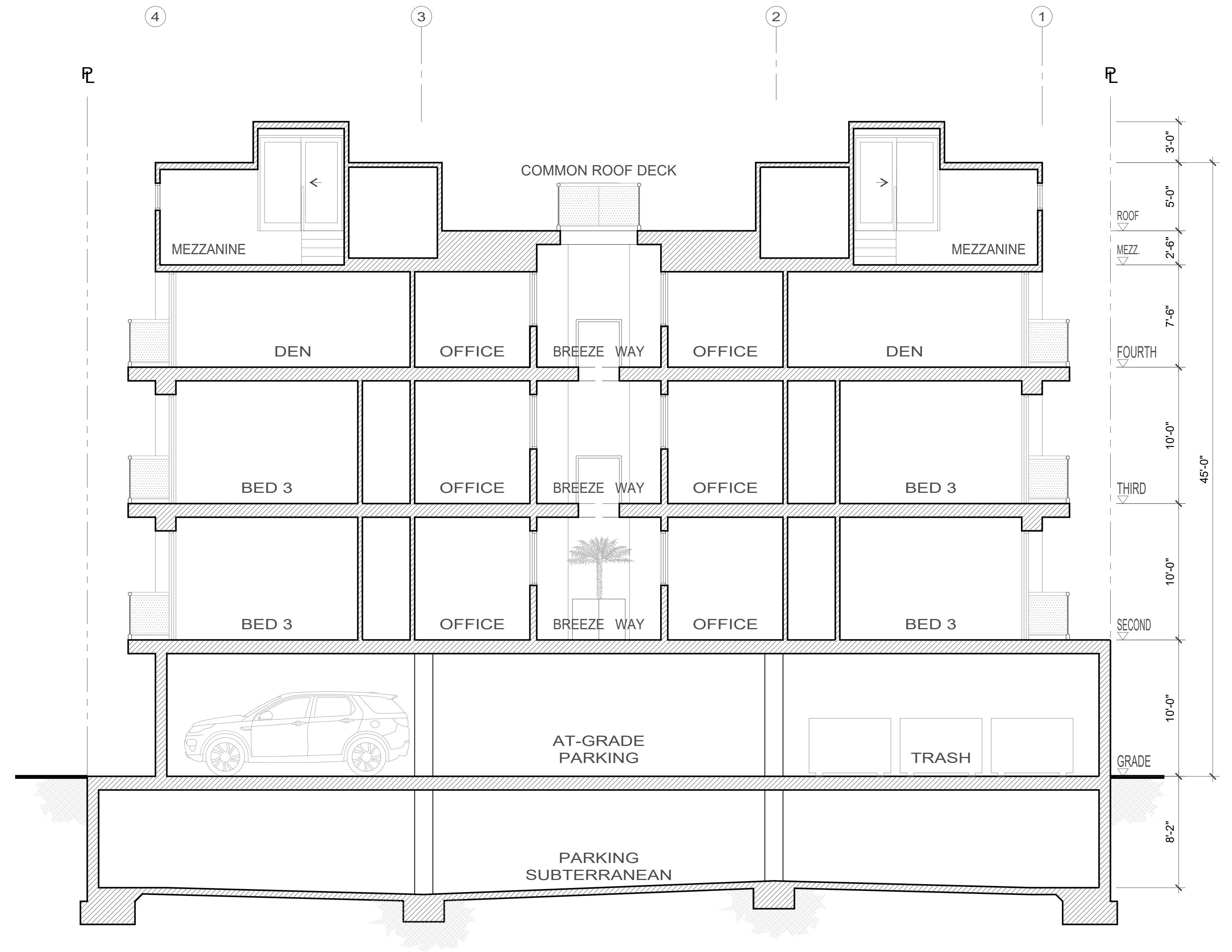


SECTION

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 9/07/22
	SCALE: 3/16"=1'-0"
	CAD FILE : 321-A7
JEFF BERGSMA ARCHITECT	321 3rd ST MIXED-USE
	321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	BUILDING SECTION
	A7



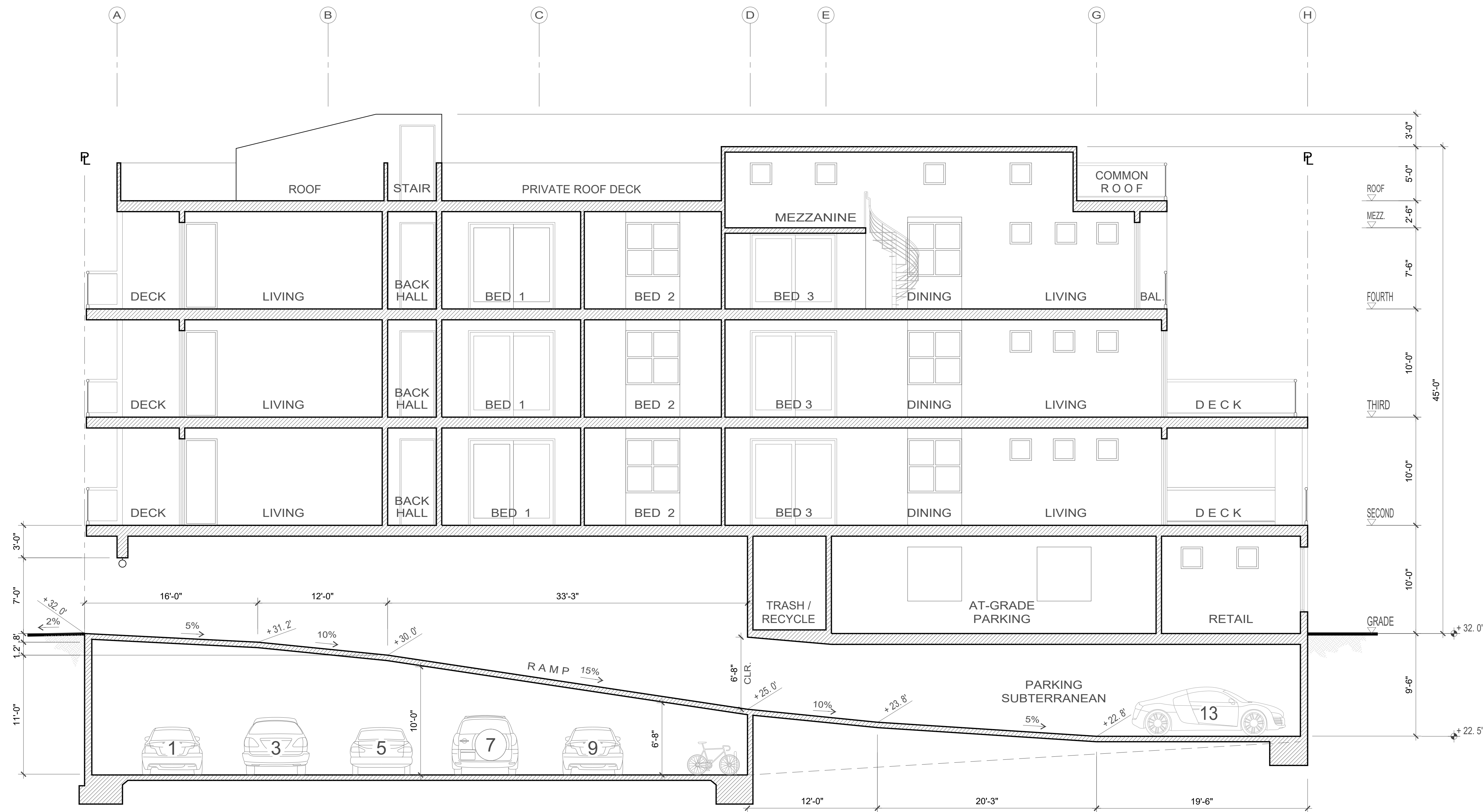
SECTION 'C - C'



SECTION 'B - B'

SECTIONS

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 10/02/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A8
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGN8.COM	BUILDING SECTIONS A8



SECTION 'D - D'

SECTION

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 9/30/22 SCALE: 3/16"=1'-0" CAD FILE : 321-A9
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 714.536.5888 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	SITE PLAN A9



KEYNOTES

- 1 PLASTER - OFF WHITE
- 2 BRICK TILE - VARIED GREY
- 3 GLASS GUARD RAIL
- 4 CLEAR GLASS
- 5 WOOD SIDING
- 6 METAL AWNING
- 7 METAL MESH - GREY
- 8 6' H W.I. GATE - DARK GREY
- 9 WOOD SOFFIT

SOUTH ELEVATION
(3rd STREET)

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/23/22 SCALE: 1/4"=1'-0" CAD FILE : 321-A10
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM DESIGN 714.536.5888 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	ELEVATION A10

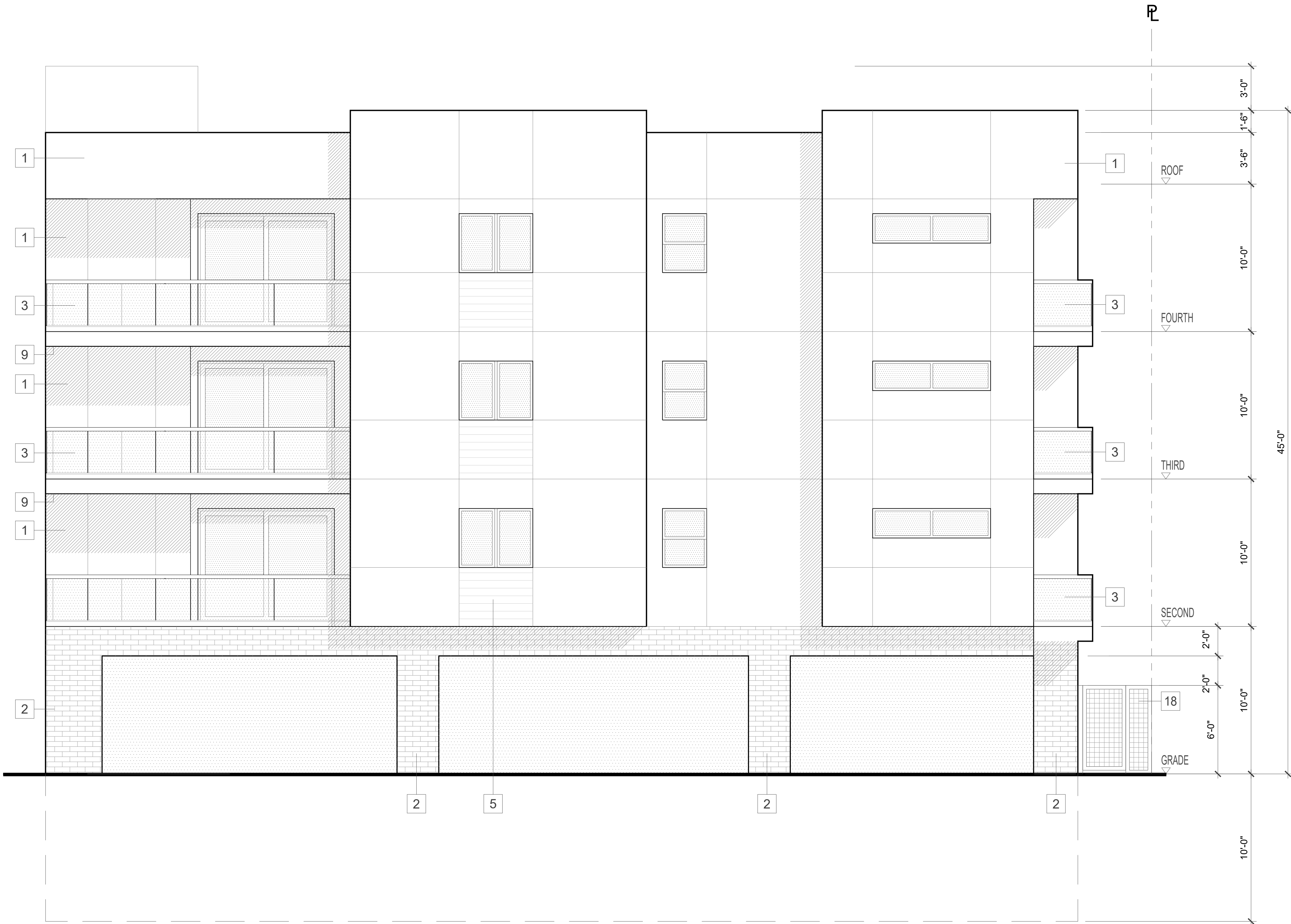


KEYNOTES

- 1 PLASTER - OFF WHITE
- 2 BRICK TILE - VARIED GREY
- 3 GLASS GUARD RAIL
- 4 CLEAR GLASS
- 5 WOOD SIDING
- 6 METAL AWNING
- 7 METAL MESH - GREY
- 8 6' H W.I. GATE - DARK GREY
- 9 WOOD SOFFIT

WEST ELEVATION
(SIDE)

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/23/22 SCALE: 1/4"=1'-0" CAD FILE : 321 A-11
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHIB.COM	ELEVATION A11



NORTH ELEVATION
(ALLEY)

KEYNOTES

- 1 PLASTER - OFF WHITE
- 2 BRICK TILE - VARIED GREY
- 3 GLASS GUARD RAIL
- 4 CLEAR GLASS
- 5 WOOD SIDING
- 6 METAL AWNING
- 7 METAL MESH - GREY
- 8 6' H W.I. GATE - DARK GREY
- 9 WOOD SOFFIT

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/23/22 SCALE: 1/4"=1'-0" CAD FILE : 321-A12
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	ELEVATION A12



KEYNOTES

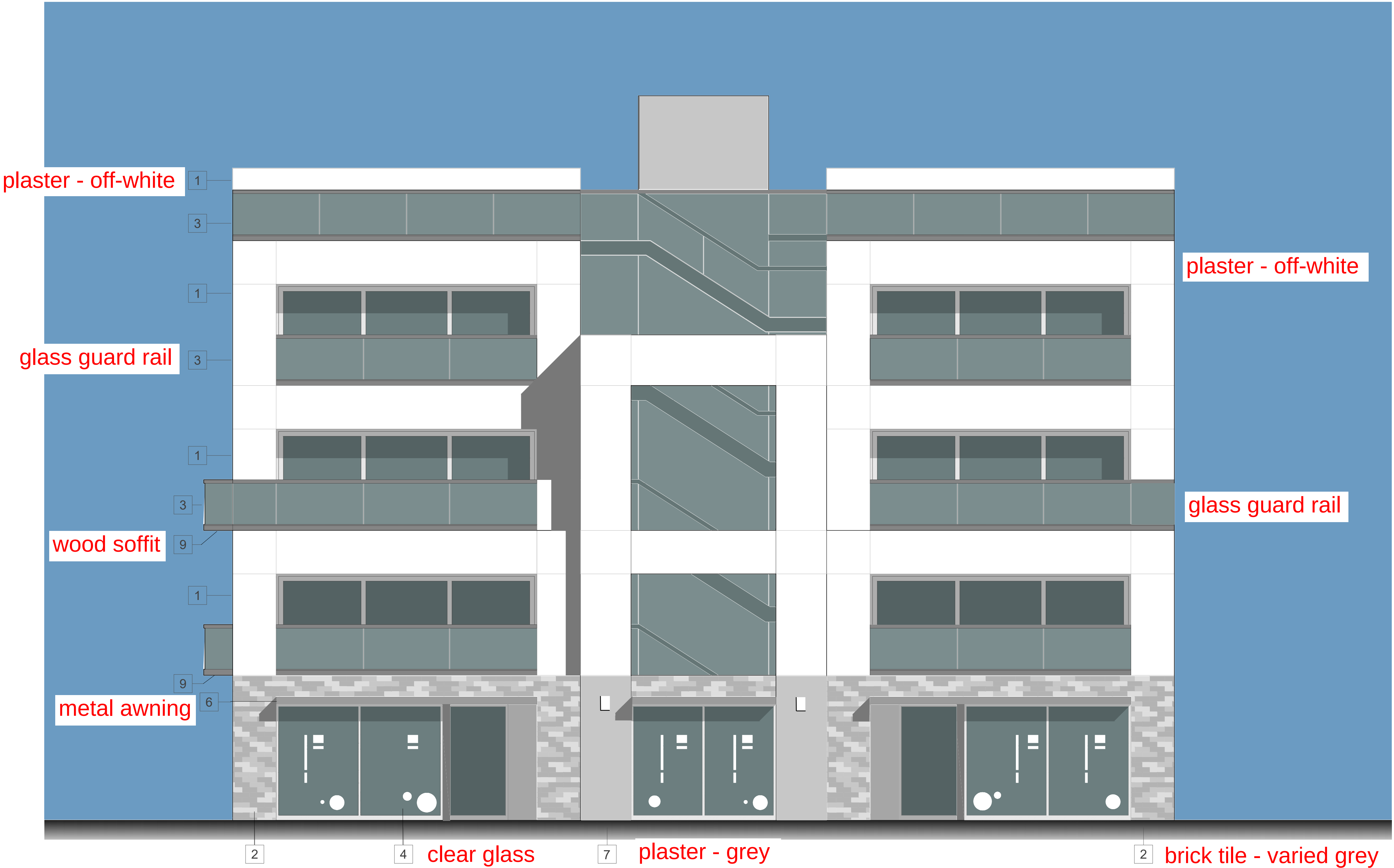
- 1 PLASTER - OFF WHITE
- 2 BRICK TILE - VARIED GREY
- 3 GLASS GUARD RAIL
- 4 CLEAR GLASS
- 5 WOOD SIDING
- 6 METAL AWNING
- 7 METAL MESH - GREY
- 8 6' H W.I. GATE - DARK GREY
- 9 WOOD SOFFIT

EAST ELEVATION
(SIDE)

THIS DRAWING IS SOLE PROPERTY AND COPYRIGHT © OF THE ARCHITECT	DATE: 12/23/22 SCALE: 1/4"=1'-0" CAD FILE : 321-A13
JEFF BERGSMAN ARCHITECT	321 3rd ST MIXED-USE 321 3rd ST HUNTINGTON BEACH CALIFORNIA
TEAM D • E • S • I • G • N 7 1 4 5 3 6 5 8 8 221 MAIN STREET SUITE 5 HUNTINGTON BEACH, CA 92648 JEFF@TEAMDESIGNHB.COM	ELEVATION A13

KEYNOTES

- 1 PLASTER - OFF WHITE
- 2 BRICK TILE - VARIED GREY
- 3 GLASS GUARD RAIL
- 4 CLEAR GLASS
- 5 WOOD SIDING
- 6 METAL AWNING - GREY
- 7 PLASTER - GREY
- 8 6" H W.I. GATE - DARK GREY
- 9 WOOD SOFFIT



SOUTH ELEVATION

321 3rd Street
Huntington Beach
C a l i f o r n i a

KEYNOTES	
1	PLASTER - OFF WHITE
2	BRICK TILE - VARIED GREY
3	GLASS GUARD RAIL
4	CLEAR GLASS
5	WOOD SIDING
6	METAL AWNING - GREY
7	PLASTER - GREY
8	6' H W.I. GATE - DARK GREY
9	WOOD SOFFIT

plaster - off-white

plaster - off-white

glass guard rail

wood soffit

brick tile - varied grey

wood siding

plaster - grey

brick tile - varied grey

WEST ELEVATION
(SIDE)

KEYNOTES

- | | |
|---|----------------------------|
| 1 | PLASTER - OFF WHITE |
| 2 | BRICK TILE - VARIED GREY |
| 3 | GLASS GUARD RAIL |
| 4 | CLEAR GLASS |
| 5 | WOOD SIDING |
| 6 | METAL AWNING - GREY |
| 7 | PLASTER - GREY |
| 8 | 6' H W.I. GATE - DARK GREY |
| 9 | WOOD SOFFIT |

plaster - off-white

glass guard rail

wood soffit

brick tile - varied grey

wood siding

NORTH ELEVATION
(ALLEY)



EAST ELEVATION
(SIDE)

TENTATIVE TRACT MAP NO. 19166
IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
BOUNDARY MAP

ENGINEER:
JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com
JOB NO.: 21-2485

DANIEL RUBIO
P.L.S. 8239 EXP. 12/31/21

DATE

PROJECT ADDRESS :
300/321 3RD STREET

LEGAL DESCRIPTION :
REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOTS 17, 19, AND 21 IN BLOCK 303 MAP OF HUNTINGTON BEACH FILED IN BOOK 3 PAGE 36 OF M.M. RECORDS OF ORANGE COUNTY.

APN: 024-114-10

BASIS OF BEARINGS :
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 5019R1 AND STATION GPS NO. 5022R1, BEING NORTH 31°3'06" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR

BENCHMARK :
BENCHMARK: HB-266-89
DESCRIBED BY OCS 1989 AT THE NORTHERLY PORTION OF THE INTERSECTION OF LAKE STREET AND ATLANTA AVENUE AND ORANGE AVENUE, IN HUNTINGTON BEACH, SET AT THE SOUTHEASTERLY CORNER OF A 4.5 FT. BY 22 FT. CATCH BASIN, 56.3 FT. NORTHWESTERLY OF THE CENTERLINE PROD. OF LAKE STREET, 36.3 FT. NORTHEASTERLY OF THE CENTERLINE OF ORANGE AVENUE, 4 FT. BEHIND CURB FACE.
ELEVATION = 34.572 FEET (NAVD88), 2005 YEAR LEVELED O.C.S. 1995 ADJUSTMENT

FLOOD ZONE :
ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

COMMUNITY PANEL NO: 065034 0261 J
MAP NO: 06059C0261J
EFFECTIVE DATE: DECEMBER 3, 2009
DATUM: NAVD 1988

OWNER/SUBDIVIDER:
3RD STREET REAL ESTATE PARTNERS, LLC
21030 PACIFIC CITY CIRCLE, #3204
HUNTINGTON BEACH, CA 92648
PHONE: (314) 496-8870
EMAIL: KEVIN.J.KELLEY@OUTLOOK.COM
CONTACT: KEVIN KELLEY

ARCHITECT :
TEAM DESIGN
221 MAIN STREET, SUITE S,
HUNTINGTON BEACH, CA 92648
PHONE: (714) 536-5888
EMAIL: JEFF@TEAMDESIGNHB.COM
CONTACT: JEFF BERGSMAN

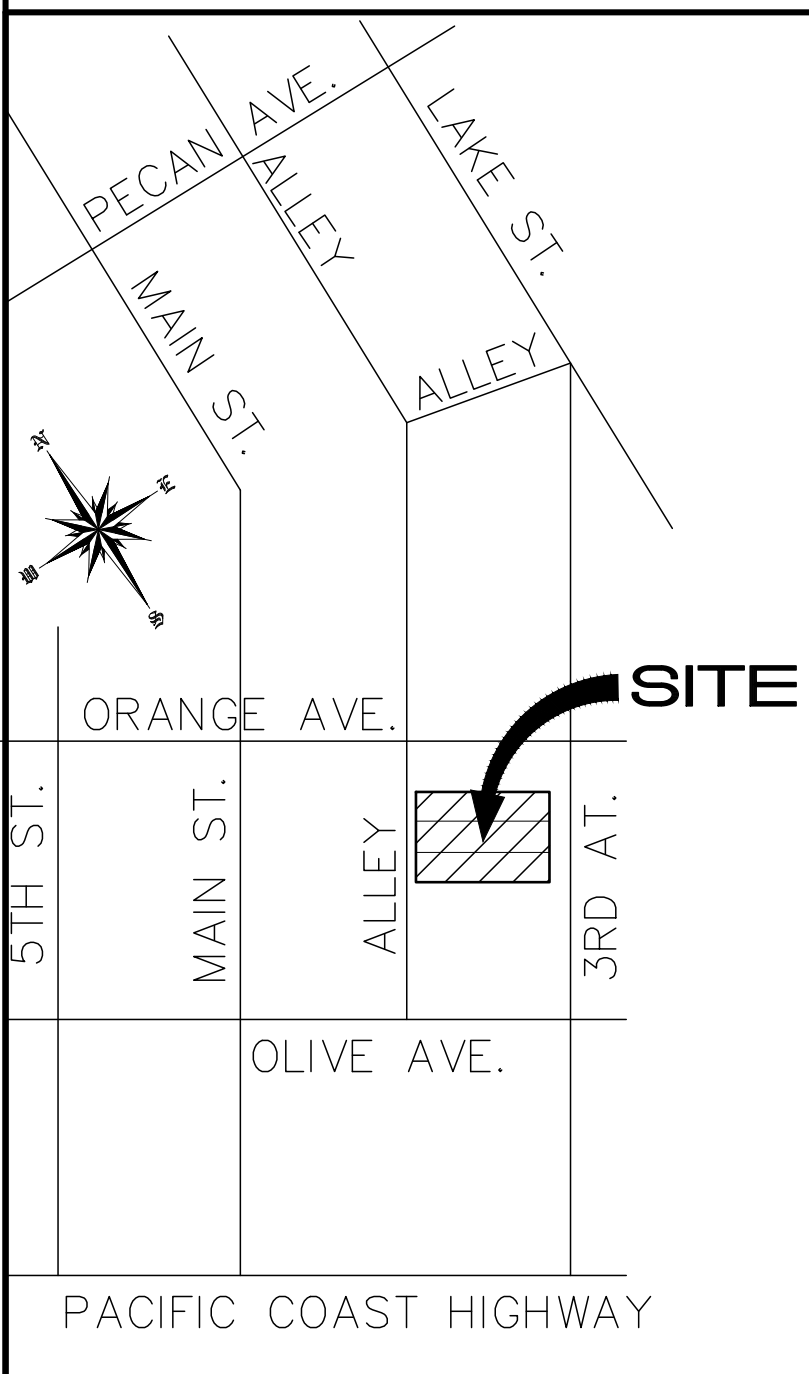
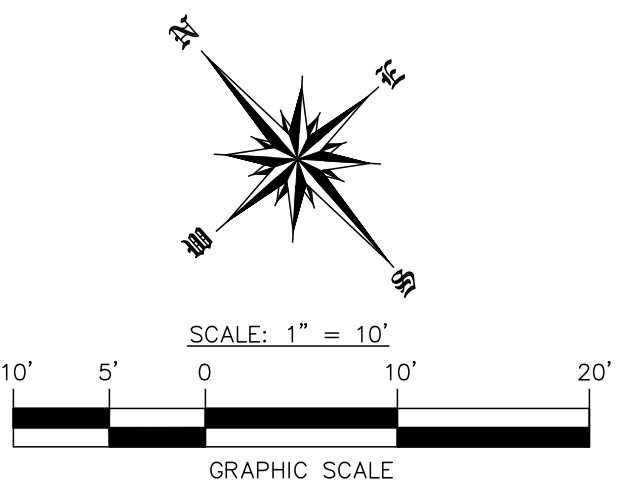
SURVEY BY:
JONES, CAHL & ASSOCIATES
18090 BEACH BLVD., SUITE #12
HUNTINGTON BEACH, CA 92648
TELEPHONE: (714) 848-0566
FAX: (714) 848-6322
E-MAIL: JCA@JONESCAHL.COM
CONTACT: DANIEL RUBIO, P.E., P.L.S.

UTILITY PROVIDERS:
WATER DISTRICT: CITY OF HUNTINGTON BEACH
SANITATION DISTRICT AREA: CITY OF HUNTINGTON BEACH
ELECTRICAL PROVIDER: SOUTHERN CALIFORNIA EDISON
GAS PROVIDER: SOUTHERN CALIFORNIA GAS
CABLE PROVIDER: TIME WARNER CABLE

GENERAL NOTES:
1. DATE OF PREPARATION: NOVEMBER 2022
2. GROSS ACREAGE: 8,815.79 S.F. = 0.202 ACRES
3. EXISTING ZONING: SP5, DTSP DISTRICT #1
4. GENERAL PLAN LAND USE: MIXED USE, M-SP (30-50 DU/AC)
5. SITE IS CURRENTLY VACANT
6. ALL DIMENSIONS ARE APPROXIMATE.
7. ALL IMPROVEMENTS REQUIRED BY THE CITY OF HUNTINGTON BEACH SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.

TENTATIVE TRACT MAP NO. 19166

IN THE CITY OF HUNTINGTON BEACH
DATE: NOVEMBER 2, 2022
PROPOSED BOUNDARY
SHEET 1 OF 4



VICINITY MAP
NOT TO SCALE

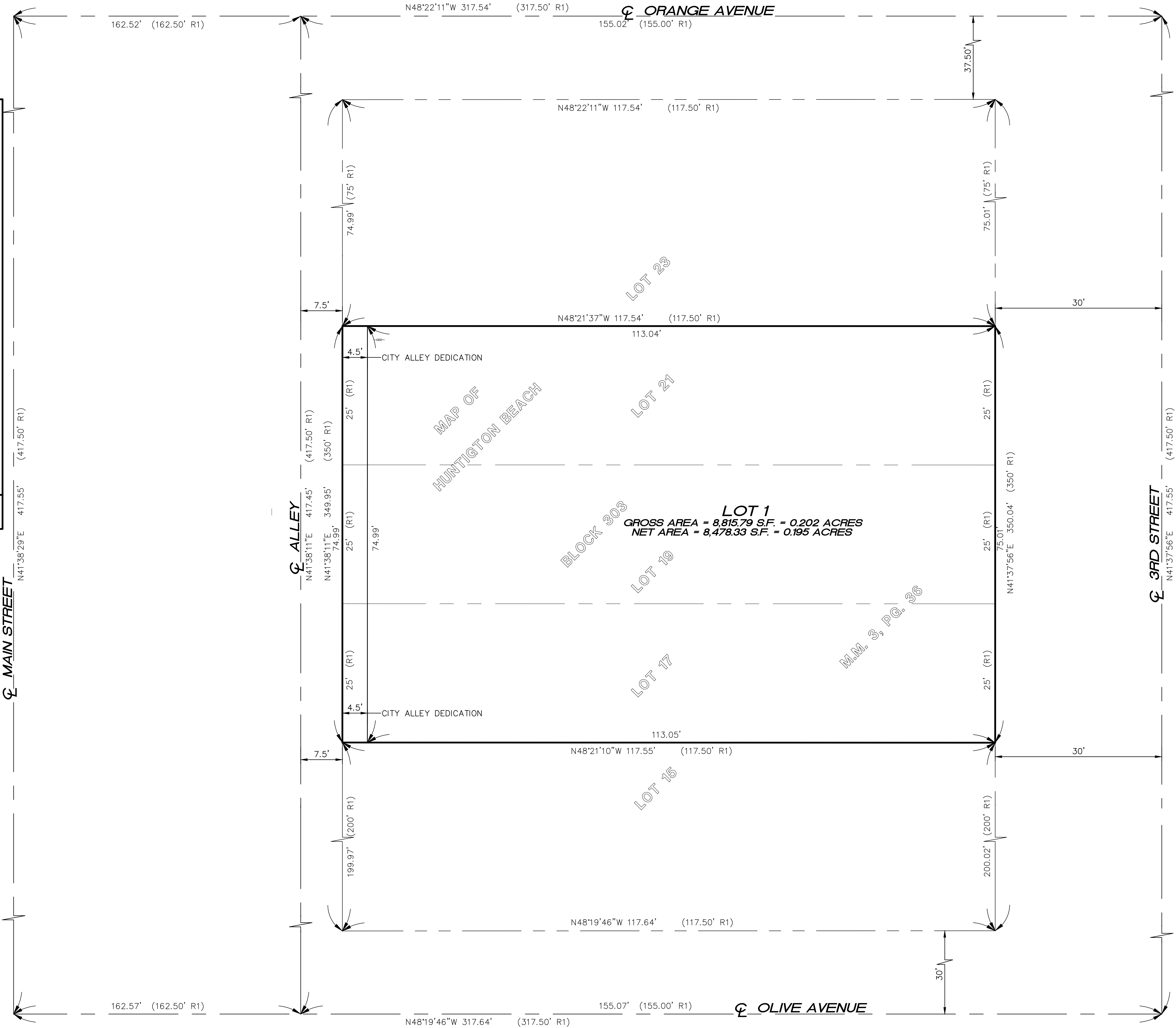
LEGEND	
(xxx,xxx)	EXISTING ELEVATIONS
(xxx)	EXISTING CONTOUR
---	PROPERTY LINE
---	ORIGINAL LOT LINE
- X -	CHAIN LINK FENCE
- S -	SEWER LINE
- W -	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
*	PALM TREE
AC	ASPHALTIC CONCRETE
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CP	SURVEY CONTROL POINT
+ ED	EXTRA DEPTH FOOTING
ED VLT	EDISON VAULT
ELEC BOX	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GH SPK	GEARHEAD SPIKE
GTE VLT	GTE VAULT
H.P.	HIGH POINT
IRR VLV	IRRIGATION VALVE
INV	INVERT
LF	LINEAR FEET
LS	LANDSCAPE AREA
L.S.	LUMP SUM
MH	MANHOLE
NG	NATURAL GRADE
PP	POWER POLE
SF	SQUARE FEET
SMH	SEWER MANHOLE
STRP DRAIN	STRIP DRAIN
SW	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF STEP
TSW	TOP OF STEM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

REVISIONS

NO.	DATE	DESCRIPTION	BY

REFERENCES

R1- INDICATES RECORD DATA PER MAP OF HUNTINGTON BEACH, MAIN STREET SECTION M.M. 3/43



TENTATIVE TRACT MAP NO. 19166
IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
EXISTING TOPOGRAPHY

ENGINEER:
JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com
JOB NO.: 21-2485

DANIEL RUBIO DATE
P.L.S. 8239 EXP. 12/31/21

PROJECT ADDRESS :
300/321 3RD STREET

LEGAL DESCRIPTION :
REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 17, 19, AND 21 IN BLOCK 303 MAP OF HUNTINGTON BEACH FILED IN BOOK 3 PAGE 36 OF M.M. RECORDS OF ORANGE COUNTY.

APN: 024-114-10

BASIS OF BEARINGS :
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 5019R1 AND STATION GPS NO. 5022R1, BEING NORTH 31°3'06" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR

BENCHMARK :
BENCHMARK: HB-266-89
DESCRIBED BY 005-1989 AT THE NORTHERLY PORTION OF THE INTERSECTION OF LAKE STREET AND ATLANTA AVENUE AND ORANGE AVENUE, IN HUNTINGTON BEACH, SET AT THE SOUTHEASTERLY CORNER OF A 4.5 FT. BY 22 FT. CATCH BASIN, 56.3 FT. NORTHWESTERLY OF THE CENTERLINE PROD. OF LAKE STREET, 36.3 FT. NORTHEASTERLY OF THE CENTERLINE OF ORANGE AVENUE, 4 FT. BEHIND CURB FACE.

ELEVATION = 34.572 FEET (NAVD88), 2005 YEAR LEVELED O.C.S. 1995 ADJUSTMENT

FLOOD ZONE :
ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

COMMUNITY PANEL NO: 065034 0261 J
MAP NO: 06059C0261J
EFFECTIVE DATE: DECEMBER 3, 2009
DATUM: NAVD 1988

OWNER/SUBDIVIDER:
3RD STREET REAL ESTATE PARTNERS, LLC
21030 PACIFIC CITY CIRCLE, #3204
HUNTINGTON BEACH, CA 92648
PHONE: (314) 496-8870
EMAIL: KEVIN.J.KELLEY@OUTLOOK.COM
CONTACT: KEVIN KELLEY

ARCHITECT :
TEAM DESIGN
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PHONE: (714) 536-5888
EMAIL: JEFF@TEAMDESIGNHB.COM
CONTACT: JEFF BERGSMAN

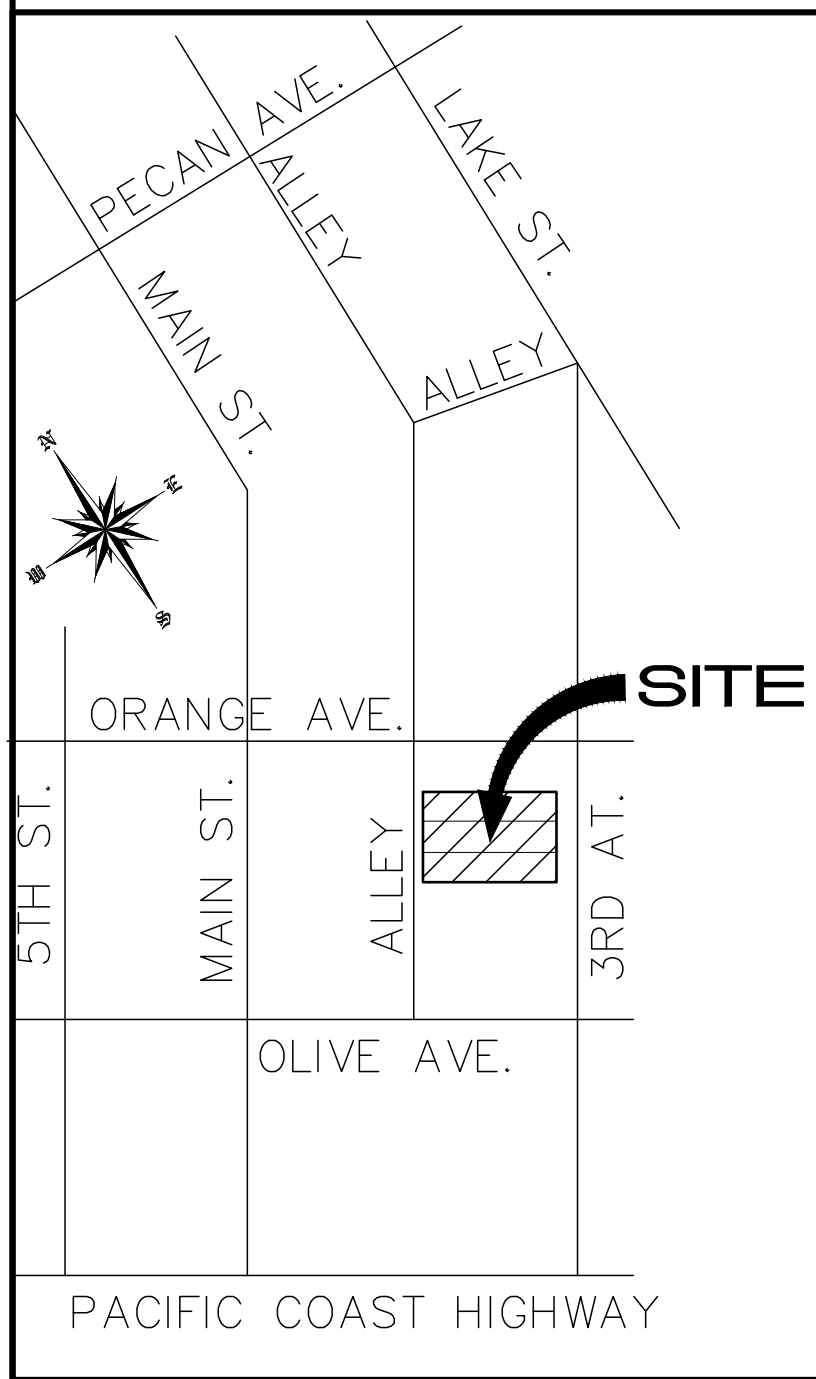
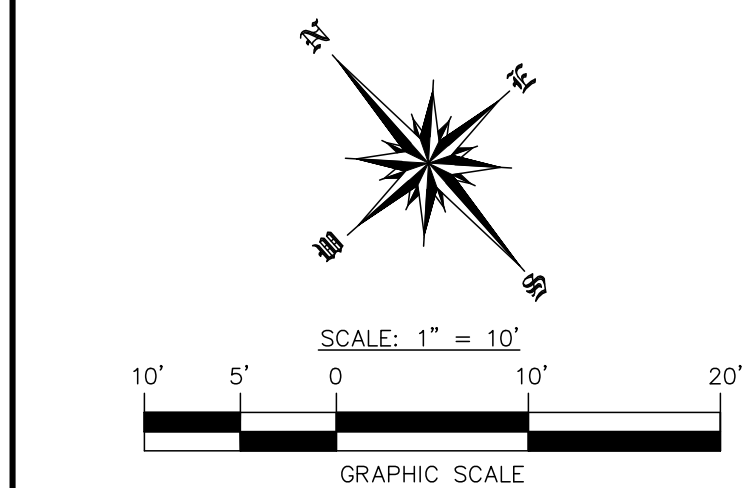
SURVEY BY:
JONES, CAHL & ASSOCIATES
18090 BEACH BLVD., SUITE #12
HUNTINGTON BEACH, CA 92648
TELEPHONE: (714) 848-0566
FAX: (714) 848-6322
E-MAIL: JCA@JONESCAHL.COM
CONTACT: DANIEL RUBIO, P.E., P.L.S.

UTILITY PROVIDERS:
WATER DISTRICT: CITY OF HUNTINGTON BEACH
SANITATION DISTRICT AREA: CITY OF HUNTINGTON BEACH
ELECTRICAL PROVIDER: SOUTHERN CALIFORNIA EDISON
GAS PROVIDER: SOUTHERN CALIFORNIA GAS
CABLE PROVIDER: TIME WARNER CABLE

GENERAL NOTES:
1. DATE OF PREPARATION: NOVEMBER 2022
2. GROSS ACREAGE: 8,815.79 S.F. = 0.202 ACRES
3. EXISTING ZONING: SP5, DTSP DISTRICT #1
4. GENERAL PLAN LAND USE: MIXED USE, M-SP (30-50 DU/AC)
5. SITE IS CURRENTLY VACANT
6. ALL DIMENSIONS ARE APPROXIMATE.
7. ALL IMPROVEMENTS REQUIRED BY THE CITY OF HUNTINGTON BEACH SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.

TENTATIVE TRACT MAP NO. 19166

IN THE CITY OF HUNTINGTON BEACH
DATE: NOVEMBER 2, 2022
EXISTING TOPOGRAPHY
SHEET 2 OF 4



VICINITY MAP
NOT TO SCALE

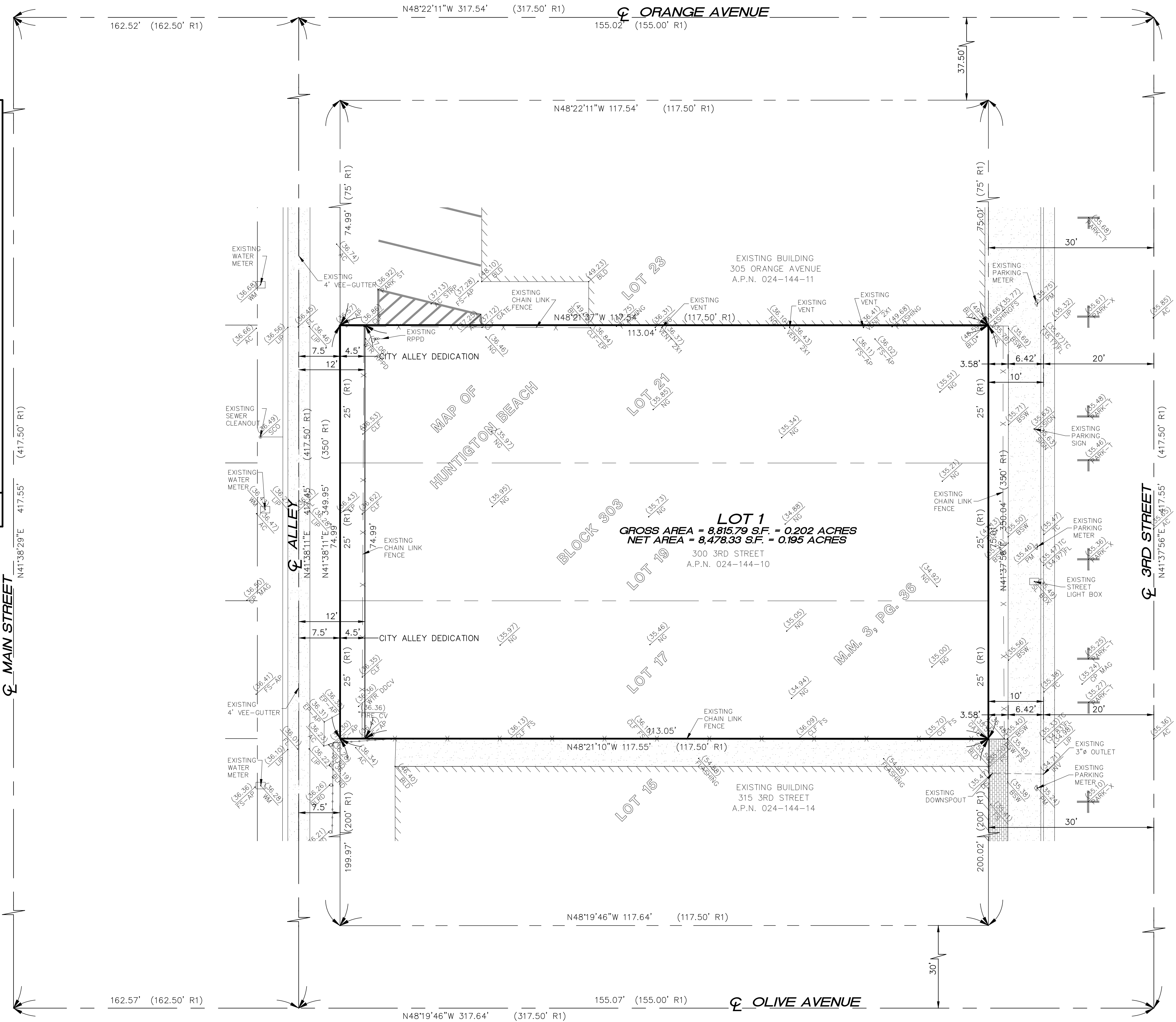
LEGEND	
(xxx.xx)	EXISTING ELEVATIONS
(xxx)	EXISTING CONTOUR
---	PROPERTY LINE
---	ORIGINAL LOT LINE
- X -	CHAIN LINK FENCE
- S -	SEWER LINE
- W -	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
*	PALM TREE
AC	ASPHALTIC CONCRETE
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CP	SURVEY CONTROL POINT
ED	EXTRA DEPTH FOOTING
ED VLT	EDISON VAULT
ELEC BOX	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GH SPK	GEARHEAD SPIKE
GTE VLT	GTE VAULT
H.P.	HIGH POINT
IRR VLV	IRRIGATION VALVE
INV	INVERT
LF	LINEAR FEET
LS	LANDSCAPE AREA
LUMP SUM	LUMP SUM
MH	MANHOLE
NG	NATURAL GRADE
PP	POWER POLE
SF	SQUARE FEET
SMH	SEWER MANHOLE
STRP DRAIN	STRIP DRAIN
SW	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF STEP
TSW	TOP OF STEM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

REVISIONS

NO.	DATE	DESCRIPTION	BY

REFERENCES

R1- INDICATES RECORD DATA PER MAP OF HUNTINGTON BEACH, MAIN STREET SECTION M.M. 3/43



ENGINEER:

JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com
JOB NO.: 21-2485

DANIEL RUBIO
P.L.S. 8239 EXP. 12/31/21

PROJECT ADDRESS :
300/321 3RD STREET

LEGAL DESCRIPTION:
REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY
OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 17, 19, AND 21 IN BLOCK 303 MAP OF HUNTINGTON
BEACH FILED IN BOOK 3 PAGE 36 OF M.M. RECORDS OF
ORANGE COUNTY.

APN: 024-114-10

BASIS OF BEARINGS :

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 5019R1 AND STATION GPS NO. 5022R1, BEING NORTH 31°3'06" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR

BENCHMARK :

BENCHMARK: HB-266-89
DESCRIBED BY OCS 1989 AT THE NORTHERLY PORTION OF THE
INTERSECTION OF LAKE STREET AND ATLANTA AVENUE AND
ORANGE AVENUE, IN HUNTINGTON BEACH, SET AT THE
SOUTHEASTERLY CORNER OF A 4.5 FT. BY 22 FT. CATCH
BASIN, 56.3 FT. NORTHWESTERLY OF THE CENTERLINE PROD OF
LAKE STREET, 36.3 FT. NORTHEASTERLY OF THE CENTERLINE
OF ORANGE AVENUE, 4 FT. BEHIND CURB FACE.

ELEVATION = 34.572 FEET (NAVD88), 2005 YEAR LEVELED
O.C.S. 1995 ADJUSTMENT

FLOOD ZONE :

ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE
 0.2% ANNUAL CHANCE FLOODPLAIN.

COMMUNITY PANEL NO: 065034 0261 J
MAP NO: 06059C0261J

EFFECTIVE DATE: DECEMBER 3, 2009
 DATUM: NAVD 1988

OWNER/SUBDIVIDER:

OWNER/SUBDIVIDER:
3RD STREET REAL ESTATE PARTNERS, LLC
21030 PACIFIC CITY CIRCLE, #3204
HUNTINGTON BEACH, CA 92648
PHONE: (314) 496-8870
EMAIL: KEVIN.J.KELLEY@OUTLOOK.COM

CONTACT: KEVIN KELLEY

ARCHITECT :

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PHONE: (714) 536-5888
EMAIL: JEFF@TEAMDESIGNHB.COM

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FAX: (714) 848-6322
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SURVEY BY:

ARCHITECT: TEAM DESIGN 227 MAIN STREET, SUITE S, HUNTINGTON BEACH, CA 92648 PHONE: (714) 536-5888 EMAIL: JEFF@TEAMDESIGNHB.COM CONTACT: JEFF BERGSMAN	OWNER/DT: JONES, CAHL & ASSOCIATES 18090 BEACH BLVD., SUITE #12 HUNTINGTON BEACH, CA 92648 TELEPHONE: (714) 848-0566 FAX: (714) 848-6322 E-MAIL: JCA@JONESCAHL.COM CONTACT: DANIEL RUBIO P.E. P.L.S.
--	---

UTILITY PROVIDERS:

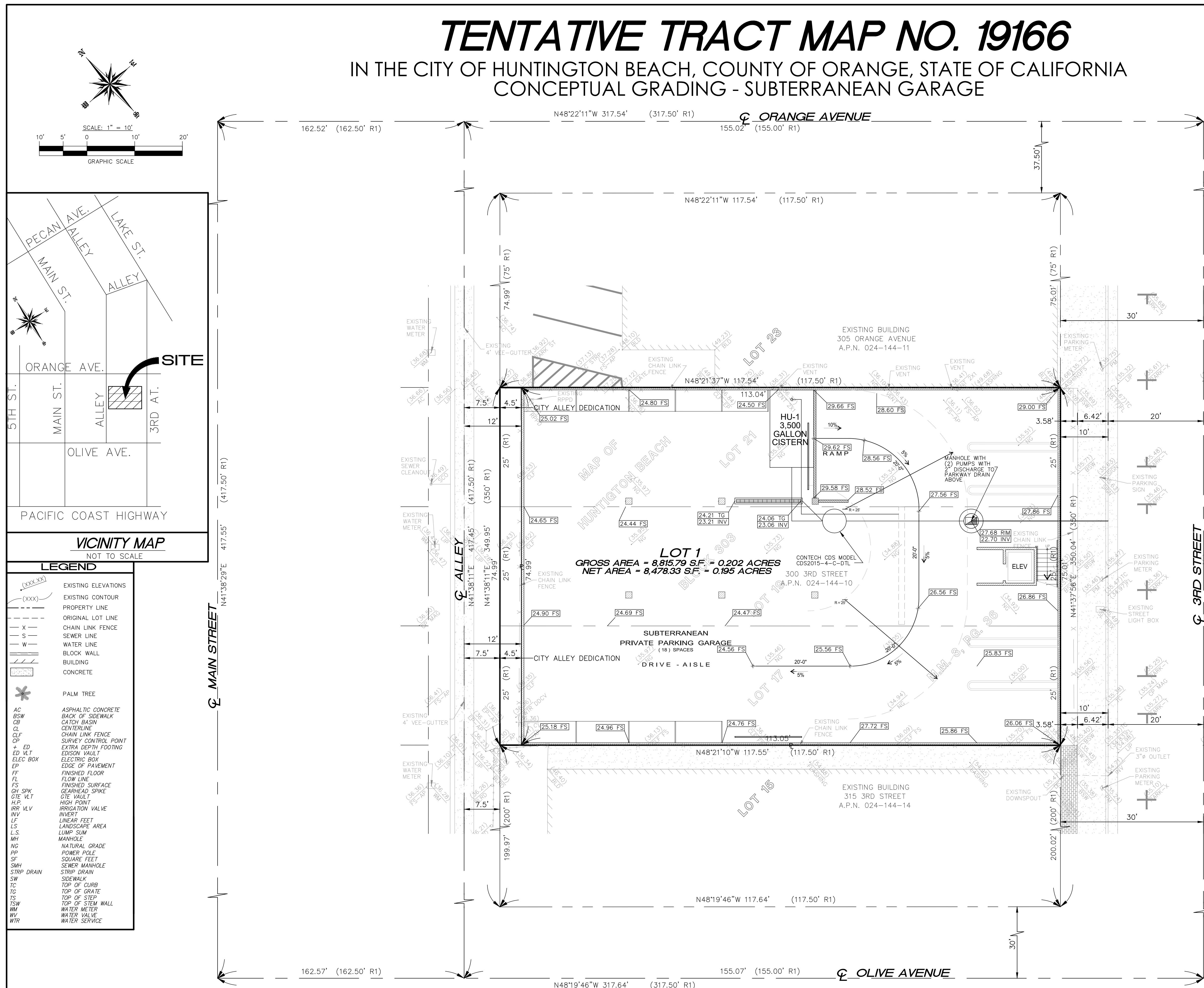
WATER DISTRICT:	CITY OF HUNTINGTON BEACH
SANITATION DISTRICT AREA:	CITY OF HUNTINGTON BEACH
ELECTRICAL PROVIDER:	SOUTHERN CALIFORNIA EDISON
GAS PROVIDER:	SOUTHERN CALIFORNIA GAS
CABLE PROVIDER:	TIME WARNER CABLE

GENERAL NOTES:

1. DATE OF PREPARATION: NOVEMBER 2022
2. GROSS ACREAGE: 8,815.79 S.F. = 0.202 ACRES
3. EXISTING ZONING: SP5, DTSP DISTRICT #1
4. GENERAL PLAN LAND USE:
MIXED USE, M-SP (30-50 DU/AC)
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TENTATIVE TRACT MAP NO. 19166

IN THE CITY OF HUNTINGTON BEACH
DATE: NOVEMBER 2, 2022
CONCEPTUAL GRADING - SUBTERRANEAN GARAGE
SHEET 3 OF 4



REVISIONS

REVISIONS			
			
			
NO.	DATE	DESCRIPTION	BY

REFERENCES

R1- INDICATES RECORD DATA PER MAP OF HUNTINGTON BEACH,
MAIN STREET SECTION M.M. 3/43

TENTATIVE TRACT MAP NO. 19166
IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
CONCEPTUAL GRADING - GROUND LEVEL

ENGINEER:
JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
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e-mail: jca@jonescahl.com
JOB NO.: 21-2485

DANIEL RUBIO DATE
P.L.S. 8239 EXP. 12/31/21

PROJECT ADDRESS :
300/321 3RD STREET

LEGAL DESCRIPTION :
REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOTS 17, 19, AND 21 IN BLOCK 303 MAP OF HUNTINGTON BEACH FILED IN BOOK 3 PAGE 36 OF M.M. RECORDS OF ORANGE COUNTY.

APN: 024-114-10

BASIS OF BEARINGS :
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BENCHMARK :
BENCHMARK: HB-266-89
DESCRIBED BY 005-1989 AT THE NORTHERLY PORTION OF THE INTERSECTION OF LAKE STREET AND ATLANTA AVENUE AND ORANGE AVENUE, IN HUNTINGTON BEACH, SET AT THE SOUTHEASTERLY CORNER OF A 4.5 FT. BY 22 FT. CATCH BASIN, 56.3 FT. NORTHWESTERLY OF THE CENTERLINE PROD. OF LAKE STREET, 36.3 FT. NORTHEASTERLY OF THE CENTERLINE OF ORANGE AVENUE, 4 FT. BEHIND CURB FACE.
ELEVATION = 34.572 FEET (NAVD88), 2005 YEAR LEVELED O.C.S. 1995 ADJUSTMENT

FLOOD ZONE :
ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

COMMUNITY PANEL NO: 065034 0261 J
MAP NO: 06059C0261J
EFFECTIVE DATE: DECEMBER 3, 2009
DATUM: NAVD 1988

OWNER/SUBDIVIDER:
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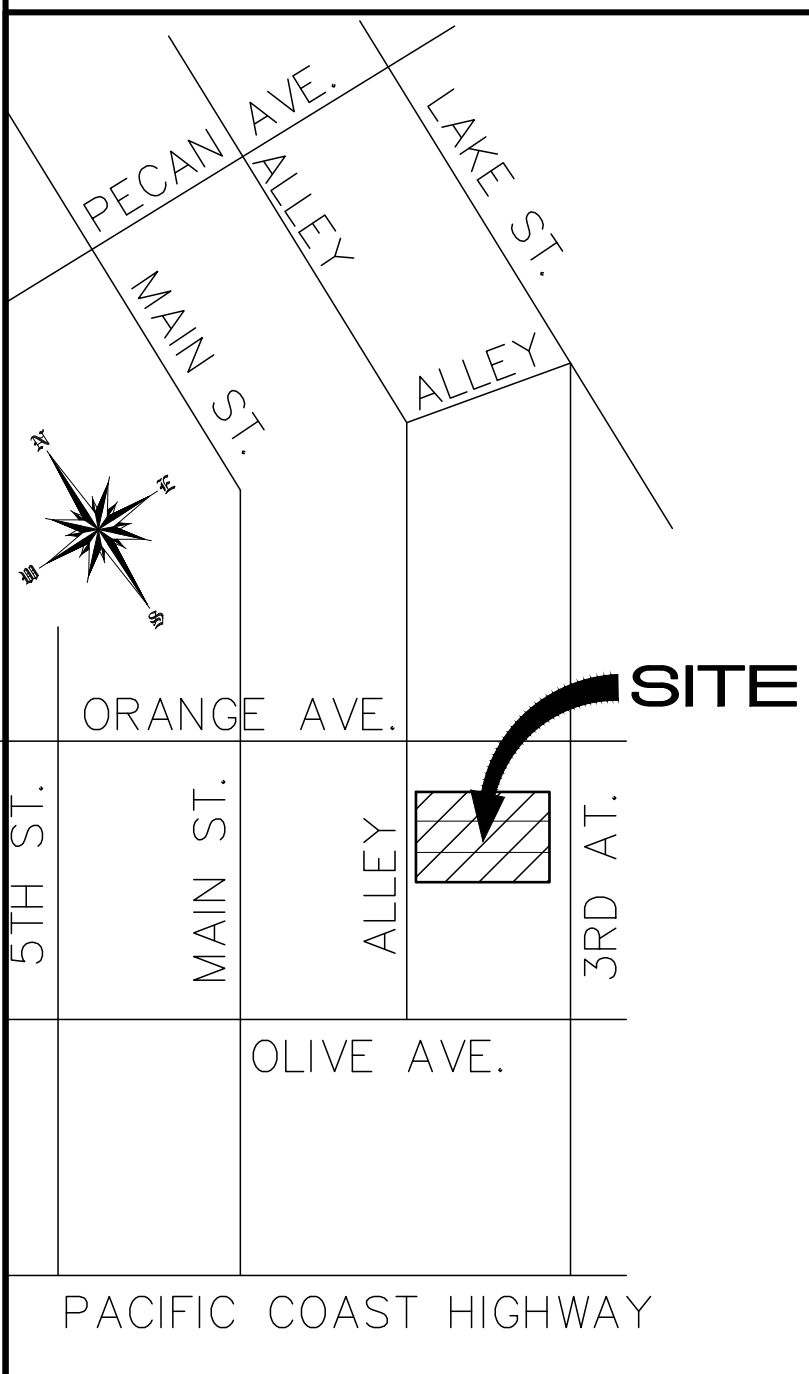
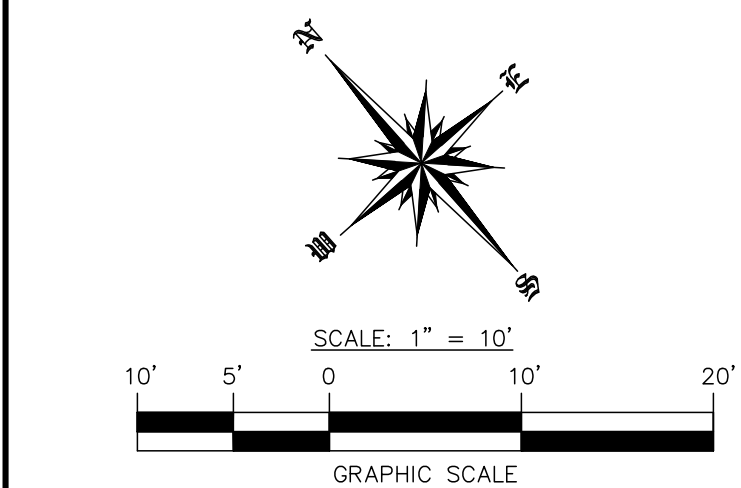
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SANITATION DISTRICT AREA: CITY OF HUNTINGTON BEACH
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GAS PROVIDER: SOUTHERN CALIFORNIA GAS
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GENERAL NOTES:
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TENTATIVE TRACT MAP NO. 19166

IN THE CITY OF HUNTINGTON BEACH
DATE: NOVEMBER 2, 2022
CONCEPTUAL GRADING - GROUND LEVEL
SHEET 4 OF 4



LEGEND	
(xxx.xx)	EXISTING ELEVATIONS
(xxx)	EXISTING CONTOUR
---	PROPERTY LINE
---	ORIGINAL LOT LINE
-X-	CHAIN LINK FENCE
-S-	SEWER LINE
-W-	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
*	PALM TREE
AC	ASPHALTIC CONCRETE
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CP	SURVEY CONTROL POINT
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ELEC BOX	ELECTRIC BOX
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GH SPK	GEARHEAD SPIKE
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IRR VLV	IRRIGATION VALVE
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LF	LINEAR FEET
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MH	MANHOLE
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SMH	SEWER MANHOLE
STRIP DRAIN	STRIP DRAIN
SW	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF STEP
TSW	TOP OF STEM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

REVISIONS			
△			
△			
NO.	DATE	DESCRIPTION	BY

REFERENCES
R1- INDICATES RECORD DATA PER MAP OF HUNTINGTON BEACH, MAIN STREET SECTION M.M. 3/43

