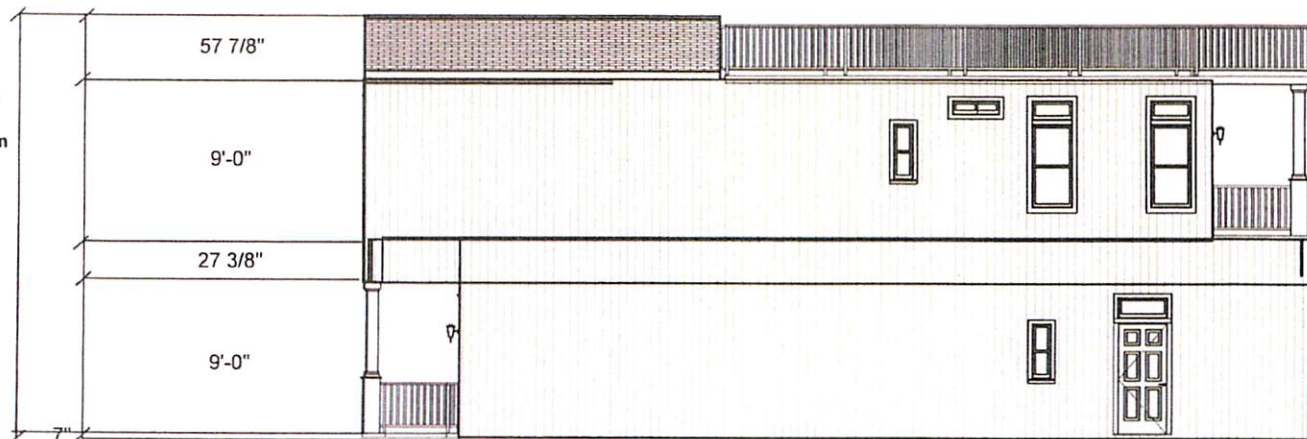




End View

26'-8 1/4"
*Approx. height
from peak to
bottom of I-beam

25'-8 1/4"
*Approx. height
from peak to
bottom of Floor
Joist



Back View

*APPROXIMATE HEIGHTS



Hitch View

57 7/8"
9'-0"

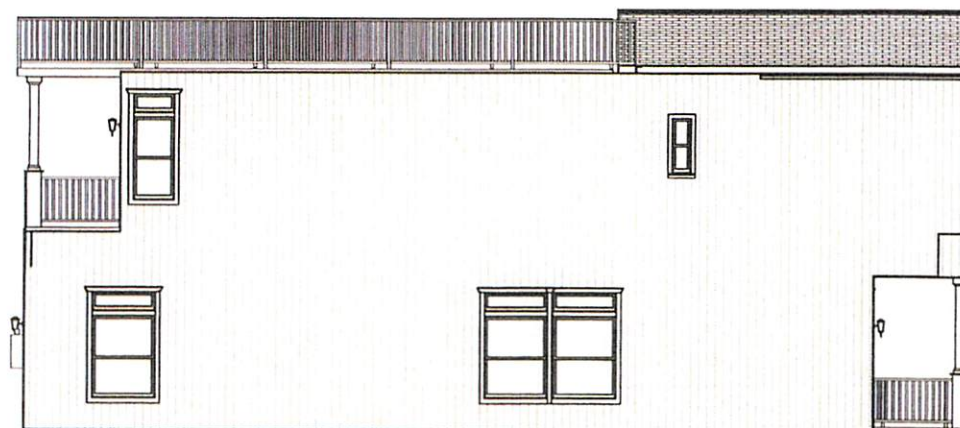
27 3/8"

9'-0"

12" I-beam

26'-8 1/4"
*Approx. height
from peak to
bottom of I-beam

25'-8 1/4"
*Approx. height from
peak to bottom of
Floor Joist



Front View

* 19'-8" x 58'-0"

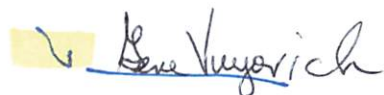
* 4:12 Pitch

* 108" Sidewalls

* Flat Ceiling

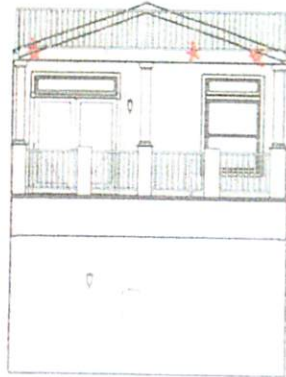
Conceptual drawing only, subject to change

RETAILER	CUSTOMER	MODEL #	REVISION	DRAWN BY	
JMS	CABRILLO 17	2C-2444X	-		



End view does not show door on bottom



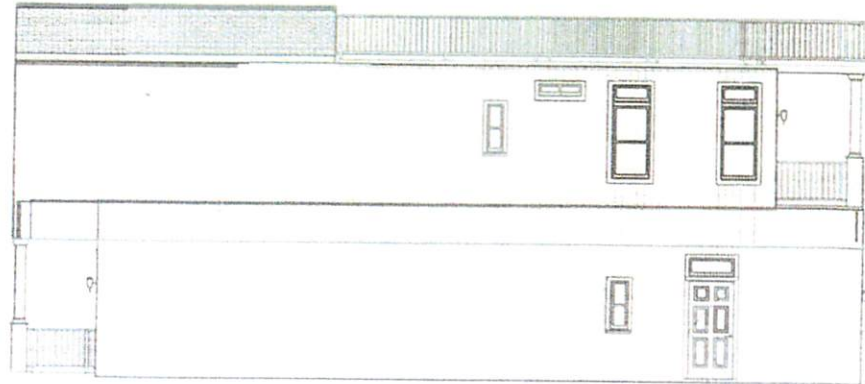


End View

* skip loose
rails & deck



Hitch View



Back View



Front View

****Conceptual drawing only, subject to change****

DATE	ORDER #	RETAILER	CUSTOMER	MODEL #	REVISION	DRAWN BY
		JMS		2C-2444X	-	Josh Garcia



2/18/18



BUSINESS, CONSUMER SERVICES, AND HOUSING AGENCY
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF CODES AND STANDARDS
PROJECT INSPECTION RECORD

APPLICANT:	SO CAL MH CONSTRUCTION	Permit#/DTN	12532612
ADDRESS:	5188 WESTERN WAY SPACE # PERRIS CA 92571	FEES PAID:	\$741.00
		EXPIRES:	08/30/2022
DESCRIPTION OF WORK:	MHI 2 Story 4 pieces per Set up Manual		
LOCATION INFORMATION:	CABRILLO MP -- 21752 PACIFIC COAST HWY 17A; HUNTINGTON BEACH, CA 92646		
PARK ID:	30-0459-MP		
MANUFACTURER:		INSPECTOR:	BILL SIMMONS (714)315-5571
DECAL:	SERIAL NUMBER	INSIGNIA	LENGTH
TYPE OF UNIT:			WIDTH
YEAR:			

****CALL THE INSPECTOR WHEN READY FOR AN INSPECTION****

POST THIS RECORD ON-SITE IN A CONSPICUOUS LOCATION UNTIL PROJECT COMPLETION

INSP. #	COMMENTS	DATE	INSPECTOR	COMMENT
SITE INSPECTION				
1	CORNER MARKERS			
2	SETBACKS and SEPARATIONS			
3	ACCURATE PLOT PLAN			
FOUNDATION/ RETAINING WALL INSPECTIONS				
5	FOOTINGS			
6	SLAB			
7	STEEL REBAR			
8	BOND BEAM			
9	ADDITIONAL SUPPORT PIERS			
UNDERGROUND INSPECTIONS				
11	WATER			
12	ELECTRICAL			
13	GAS			
14	DRAIN/SEWER			
15	BACKFLOW PREVENTER			
16	MISC. UNDERGROUND			
AC / FAU INSPECTIONS				
18	ELECTRICAL			
19	A/C CONDENSER			
20	A/C COIL			
21	VENTING/FIRE STOP			
22	FAU			
FRAMING INSPECTIONS				
24	PLUMBING			
25	ELECTRICAL			
26	MECHANICAL			
27	FRAMING			
28	GAS			

29	SHEAR			
30	INSULATION			
31	DRYWALL/NAILING			
INTERIOR AND EXTERIOR WALL				
33	STUCCO LATH			
34	MISC. SIDING			
ROOF				
36	ROOF DECK AND NAILING/STAPLES			
37	SHEATHING/TRUSS REPAIR			
38	PLMG/MECH VENTS THRU ROOF			
39	FINAL ROOF			
MISCELLANEOUS				
41	GROUNDING ELECTRODE (S)			
42	WORKING CLEARANCE			
43	STAIRS/LANDING			
44	SERVICE PANEL			
FINAL INSPECTION				
50	FINAL INSPECTION			
		Permit #/DTN	12532612	

AREA OFFICES	NORTHERN AREA OFFICE	SOUTHERN AREA OFFICE
	9342 TECH CENTER DRIVE, SUITE 550	3737 MAIN STREET, SUITE 400
	SACRAMENTO, CA 95826-2581	RIVERSIDE, CA 92501-3337
DIAL 1 (800) 952-8356 OPTION 2 and listen for your Area Office		

PLEASE NOTE:

- * WORK MAY NOT BE COVERED PRIOR TO INSPECTION.
- * A COPY OF APPROVED PLANS MUST BE ON-SITE UNTIL PROJECT COMPLETION.
- * SPECIAL INSPECTIONS MAY BE REQUIRED; REFER TO THE APPROVED PLANS.

COMMENTS:

HCD Use Only					
Date	Assignment Number	Insp. Time	Travel Miles	Travel Time	Other



APPLICATION FOR PERMIT TO CONSTRUCT
(SEE REVERSE SIDE OF FORM FOR INSTRUCTIONS AND ADDITIONAL INFORMATION)

CONTRACTOR/OWNER BUILDER DECLARATIONS

Not required for commercial, modular or recreational vehicles

LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C47/B Lic. No. 758794 Exp. Date 2/2023
Contractor SO CAL MH CONST. Date 10/5/2021

OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7001.5): Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is exempt pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7001.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than two hundred dollars (Sec. 7003).

☐ I, as owner of the property, or my employee with wages as their sole compensation, will do the work and the structure is not intended to be let for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. However, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor(s) licensed pursuant to the Contractors License Law.

☐ I am exempt under Sec. 7001.5 of the Contractors License Law.

Date _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury that the following are true:

☐ I have and will maintain a certificate of consent to secure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier WEST AMERICAN INS

Policy Number XWW 58719102 6/21/2022

The state of California has not been completed. The permit is for one hundred dollars (\$100) or less.

☐ I certify that in the performance of the work for which this permit is issued, and no employee or any person in any manner so as to be subject to workers' compensation laws of California, and agree that if I should become subject to workers' compensation provisions of Section 3700 of the Labor Code, I will comply with the provisions of the Labor Code.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (SHOULD) IN ADDITION TO THE LOSS OF EMPLOYMENT, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that I am a duly licensed lending agency for the performance of the work for which this permit is issued (Sec. 3997, Civil Code).

Lenders Name _____

Lenders Address _____

CERTIFICATION

I hereby affirm under penalty of perjury that I am a duly licensed lending agency for the performance of the work for which this permit is issued (Sec. 3997, Civil Code).

J. V. Lake 2/23/22
Signature of Applicant or Agent Date

SECTION 1 - OWNER/APPLICANT INFORMATION

Park Name CABRILLO

Park Address 21752 PACIFIC COAST HWY

City HUNTINGTON BEACH, CA County ORANGE

Zip 92646

Unincorporated _____ Incorporated _____

Park Owner _____

APPLICANT SO CAL MH CONSTRUCTION

☒ CONTRACTOR ☐ OWNER ☐ Other

Address 5188 WESTERN WAY

PERRIS, CA 92571

Tel. No. 951-443-3330

Architect/Engineer _____ Lic. No. _____

Address _____ Tel. No. _____

SECTION 2 - DESCRIPTION OF WORK AND VALUATION

MHI

2 STORY PER FLEETWOOD SET UP

MANUAL

FLEETWOOD

19'8" X 58'

4 pieces

Valuation \$ 37,000

SECTION 3 - ACCESSORY BUILDINGS or STRUCTURES

☐ NEW ☐ REINSTALL Standard Plan Approval No. _____

☐ Awning

☐ Carport

☐ Porch

☐ Cabana

☐ Other (specify) _____

OWNER _____

Tel. No. _____

Address _____

RESIDENT _____

Tel. No. _____

Lot No. _____

SECTION 4 - MANUFACTURED HOME/MOBILEHOME INSTALLATION

Owner JMS

Tel. No. 657-900-2052

Address 21752 PACIFIC COAST HWY HUNTINGTON BEACH, CA

Resident _____

Lot No. 17A

Serial Number(s) _____

Manufacturer Name/ FLEETWOOD

Date of MFG 2021

Model Name _____

Insigina/HUD

Label No. _____

SECTION 5 - PARK OWNER, OPERATOR OR MANAGER SIGNATURE

APPROVED _____

Bene Vuyovich
(Signature Required)

1-19-22
Date

DEPARTMENT USE ONLY

ID. No. 30-0459

☒ MF ☐ AS ☐ M:II

Closed By _____

Date Closed _____

COLLECTION INFORMATION

Collection # Online

Fee Rec'd 741

Collection # 2/24/22

Assigned to SMITH

Routed By DK

Upon Department approval to release, and payment of fees, this permit is issued only for items valuated below.

PERMIT # 12532612

MH ACC./S _____

MP _____

SI/SG _____

MHI 538

MS/ _____

TEC- SH _____

PLCK 203

SMI _____

SSUE _____

TOTAL 741

DIVISION PROCESS RECORD

Application _____

Local Planning _____

Local File _____

Local Hearin _____

Public Works 13

Environmenta Impact _____

Negative Cooperation _____

School Impact Fees _____

Date 2/28/22

Issued By Jal Padilla

Expires 8/28/22

LOT PLOT PLAN AND PARK INFORMATION	
A) Park Name <u>CABRILLO</u> Homeowner Name <u>JMS</u> Homeowner Address <u>21752 PACIFIC COAST Sp# 17A</u> City <u>HUNTINGTON BEACH, CA</u> Zip <u>92646</u> B) Design Information: Home Amperage: _____ Pedestal Amperage: _____ Home Voltage: <u>220</u> Pedestal Voltage: <u>220</u> Home Roof Load: <u>20</u> PSF Roof Load for locality: <u>15</u> PSF C) Is the park located in a snow area requiring 30 lb or greater roof loading? ☐ YES ☒ NO D) The lot line corners at the front and rear are clearly and permanently marked pursuant to Title 25 of the California Code of Regulations, Sections 1104 or 2104 in the following manner: <u>PINS & REBAR</u> NOTE: Each lot line corner shall be <u>clearly and permanently</u> marked prior to installation and inspection.	STATEMENT OF RESPONSIBILITY (ORIGINAL SIGNATURE REQUIRED) As the park owner or operator, or as his or her authorized representative, I hereby certify that the information provided on this plot plan relative to the location of the manufactured home, all related accessory structure locations and separate and complete park and homeowner information is true, accurate and complete. Lot corners have been identified as in item D above. Signature of Park Owner, Operator, or Manager State of California Department of Housing and Community Development Division of Codes and Standards Northern Area Office 9342 Tech Center Drive, Suite 550 Sacramento, CA 95826 Southern Area Office 3737 Main St. Ste 400 Riverside, CA 92501

Existing Structure

home

Corner Marker

Existing Structure

wood porch

Corner Marker

Existing Structure

wood shed

Corner Marker

Indicate distances to all lot lines

4' 6"

3' 4"

3' 4"

4'

10'

2'

1' 6"

2' 6"

19' 8"

58'

CHECK ONE BOX

☒ Home above Grade

☐ Home below Grade

MANUFACTURED HOME

Approval of these plans is conditional upon the applicant's compliance with all applicable local, state and federal codes and regulations. This approval is not a guarantee of safety or quality. The applicant is responsible for obtaining all necessary permits and for ensuring that the work is done in accordance with the approved plans and applicable codes. This approval is void if the work is not done in accordance with the approved plans and applicable codes. This approval is void if the work is not done in accordance with the approved plans and applicable codes.

FEB 28 2012

State of California
Department of Housing and Community Development
Division of Codes and Standards

Width and length of lot: 33' x 64'

Width and length of home: 19' 8" x 58'

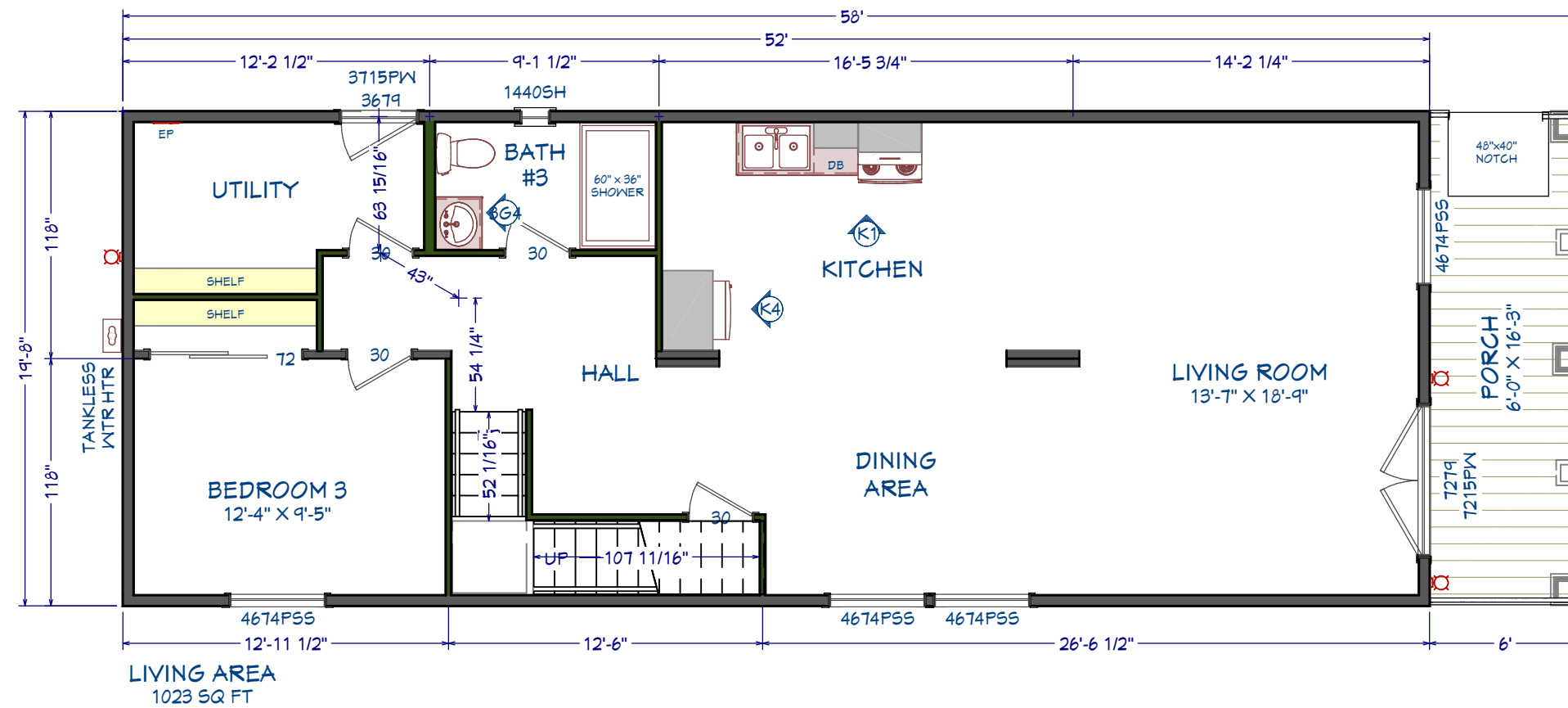
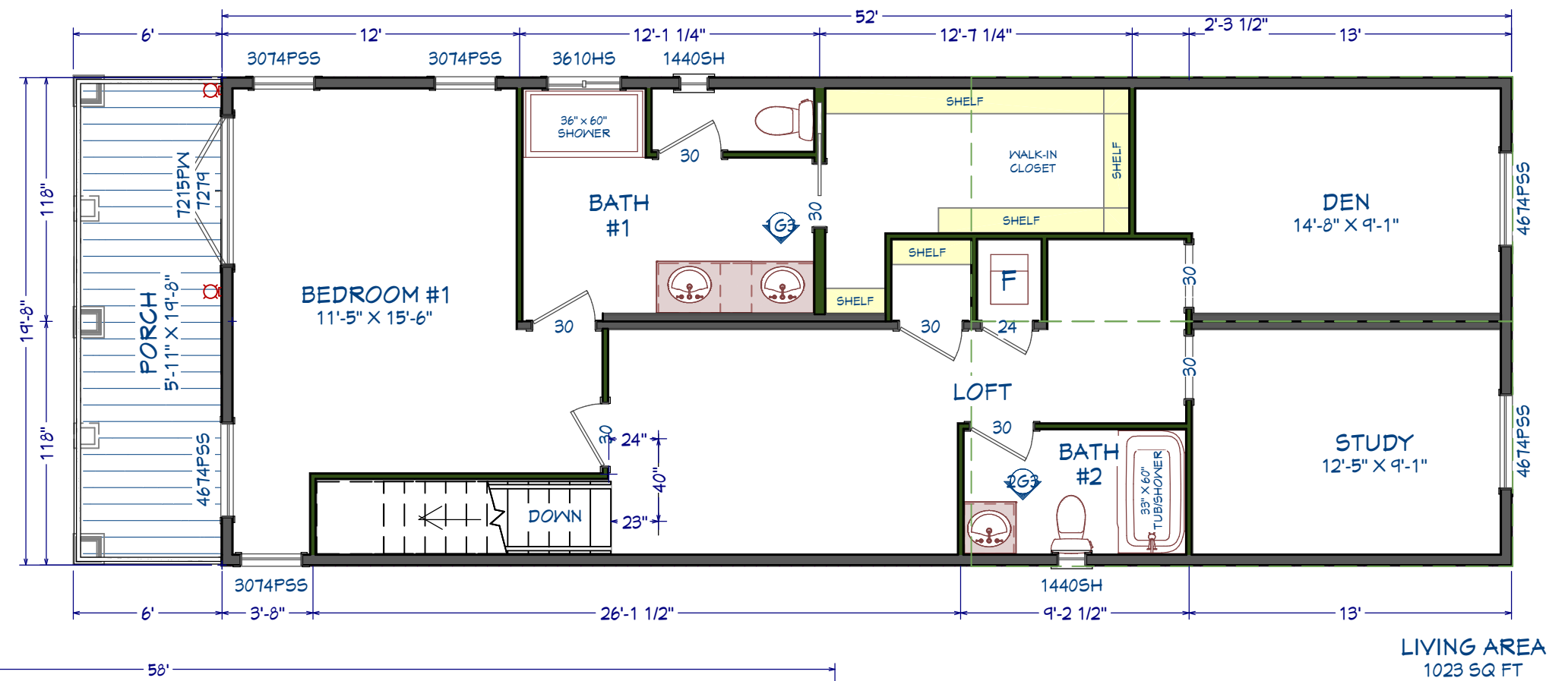
STREET

1. Draw any proposed structure(s) and existing structures on the diagram above at the approximate location and identify the type of structures (e.g. deck, awning, etc). Indicate the distance from the lot line to the proposed structure. Also indicate the length and width of the structure.

2. Indicate the exact distances from structures on adjacent lots if located within 10 (ten) feet of your lot line.

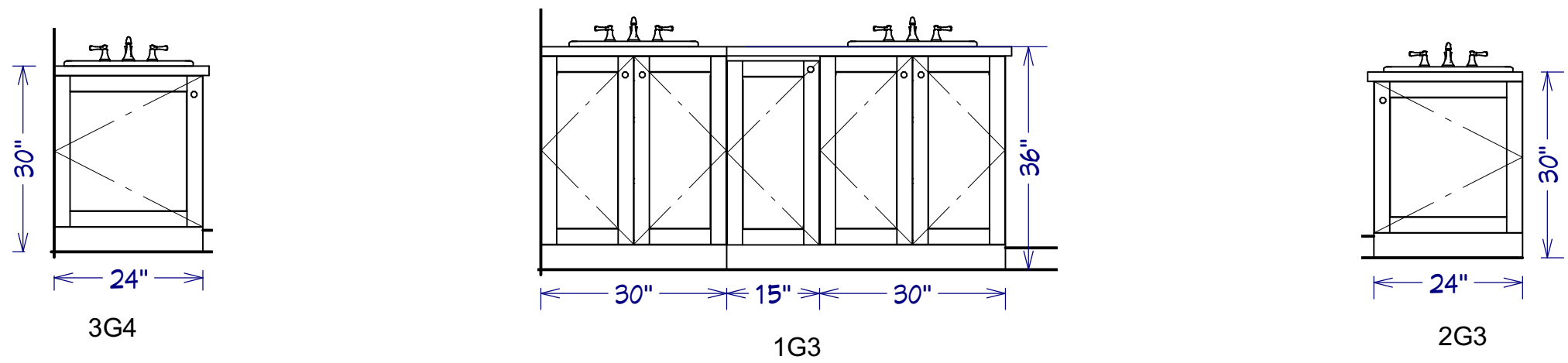
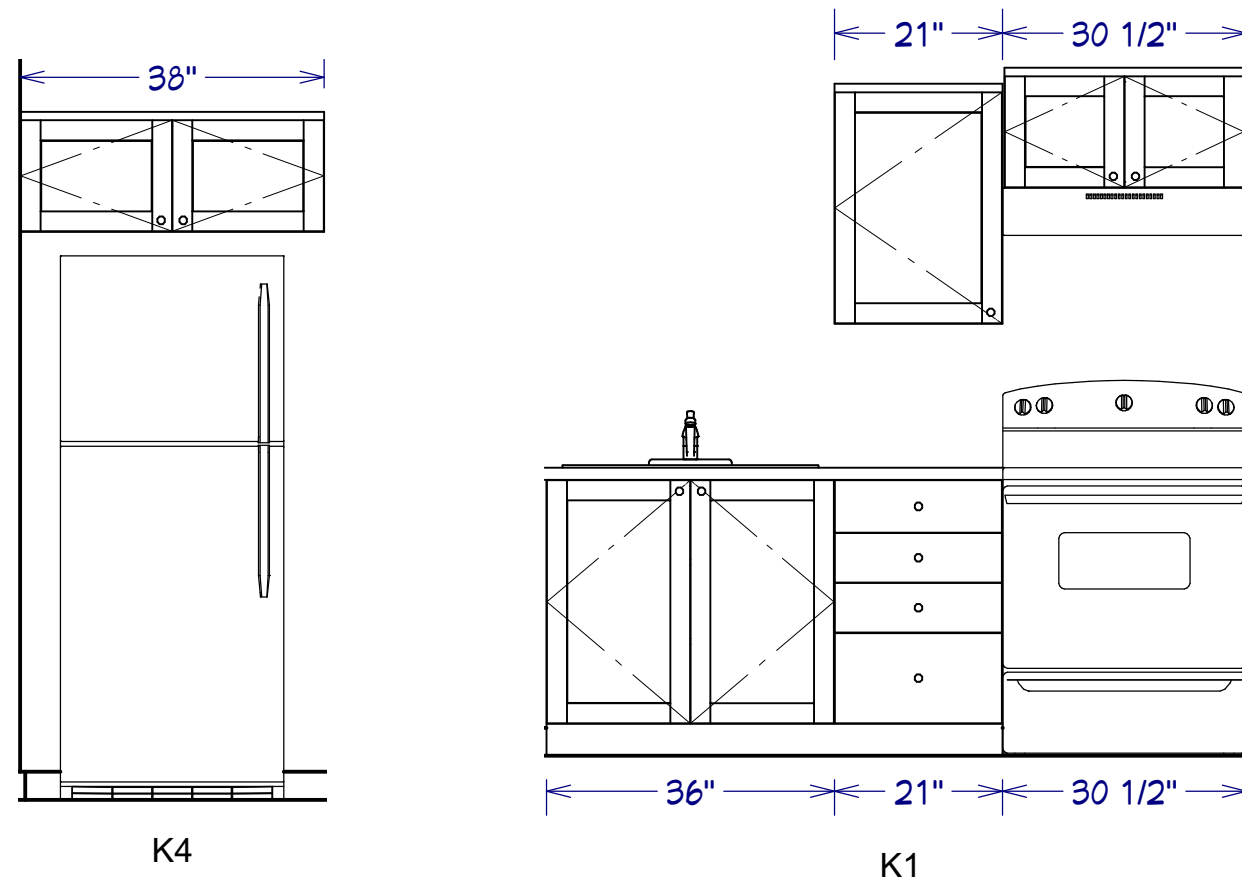
3. Enter length & width of the manufactured home (including eaves) and length & width of lot

4. No vegetation is allowed under the manufactured home or habitable accessory structure. Lot must be properly graded to ensure that water cannot accumulate beneath the manufactured home.



****Conceptual drawing only, subject to change****

DATE	ORDER #	RETAILER	CUSTOMER	MODEL #	REVISION	DRAWN BY	
08/24/2021	-	JMS	ADDISON	2C-2444X	-	Josh Garcia	

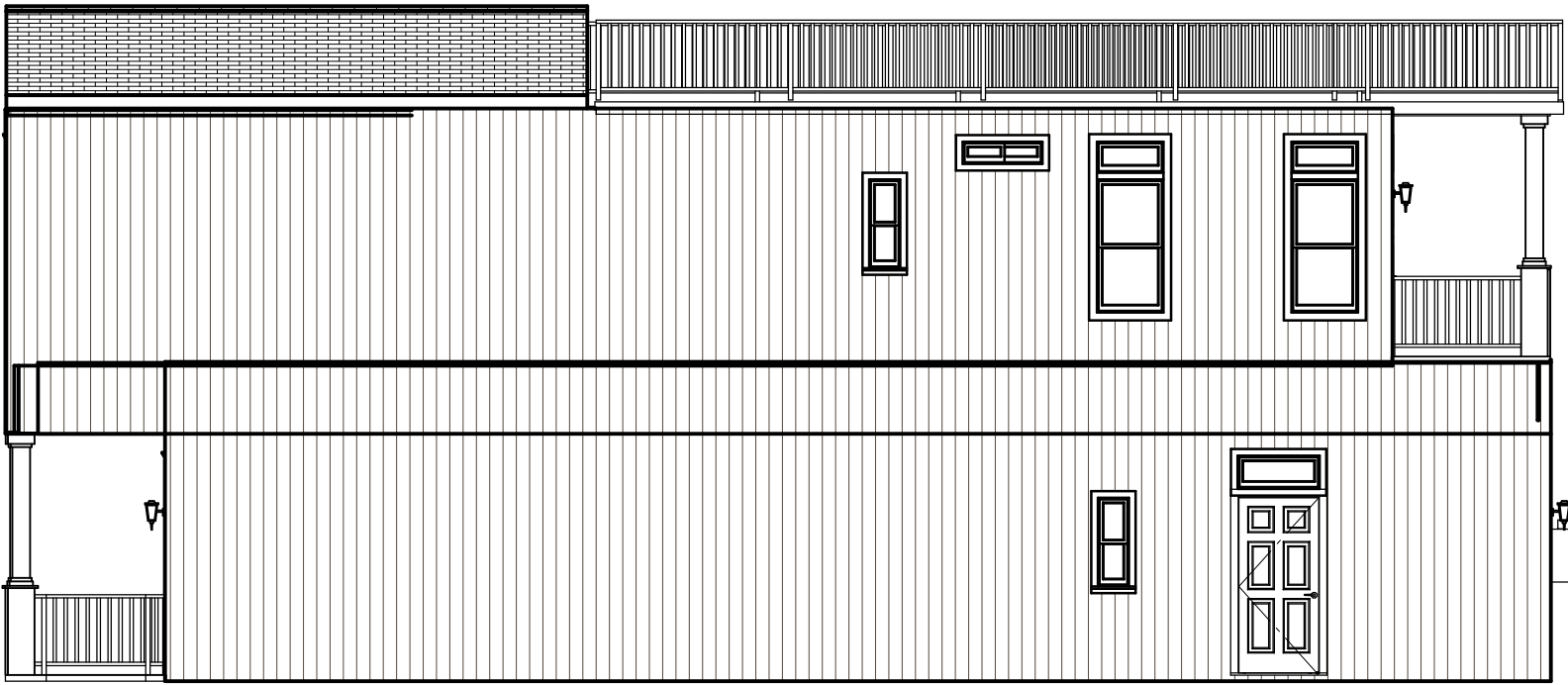


****Conceptual drawing only, subject to change****

DATE	ORDER #	RETAILER	CUSTOMER	MODEL #	REVISION	DRAWN BY	
08/24/2021	-	JMS	ADDISON	2C-2444X	-	Josh Garcia	



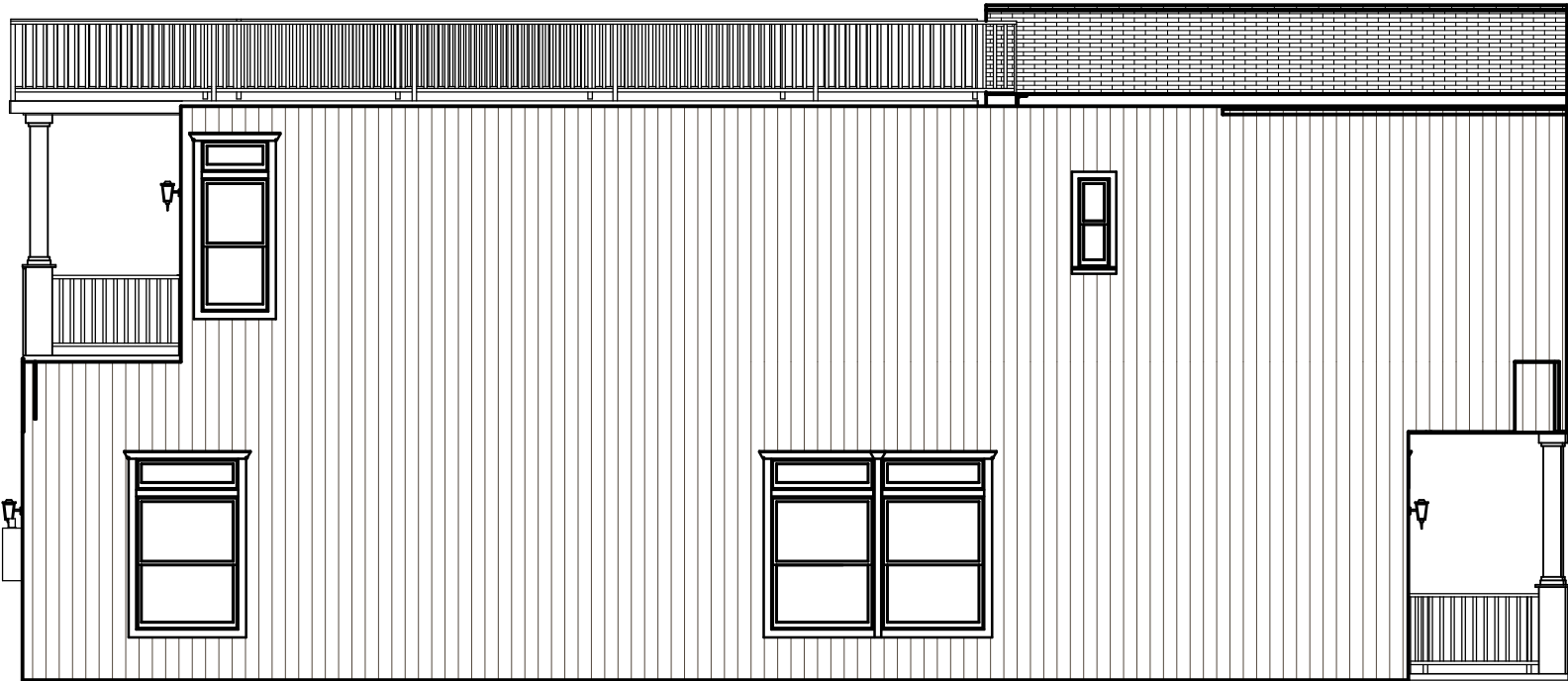
End View



Back View



Hitch View



Front View

****Conceptual drawing only, subject to change****

DATE	ORDER #	RETAILER	CUSTOMER	MODEL #	REVISION	DRAWN BY	
08/24/2021	-	JMS	ADDISON	2C-2444X	-	Josh Garcia	