



NEWLAND & TALBERT

BUILDER/DEVELOPER:
THE OLSON COMPANY
SEAL BEACH, CA

ARCHITECT:
KTGY

IRVINE, CA

CIVIL ENGINEERS:
ADVANCED CIVIL GROUP

LAGUNA NIGUEL, CA

LANDSCAPE ARCHITECT:

STUDIO PAD, INC.

LAGUNA HILLS, CA



Architecture + Planning
17911 Von Karman Ave,
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949.851.2133
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The Olson Company
3010 Old Ranch Parkway, Suite 100
Seal Beach, CA 90704

HUNTINGTON BEACH - NEWLAND AND TALBERT
HUNTINGTON BEACH, CA # 2020-0732

Plot Date: 02.03.2022
4th Planning Submittal: 02.02.2022

SHEET INDEX
COVER SHEET

LANDSCAPE ARCHITECTURE

- L - 1 Schematic Landscape Plan
- L - 2 Schematic Open Space Enlargements
- L - 3 Schematic Wall and Fence Plan
- L - 4 Schematic Planting Plan
- L - 5 Schematic Lighting Plan
- L - 6 Schematic Private/Open Space Plan

CIVIL

- Tentative Tract Map - Exhibit A
- Tentative Tract Map -
Grading and Drainage Plan

ARCHITECTURE

- A 0 . 0 Arch'l Sheet Index
- A 1 . 0 Arch'l Site Plan
- A 1 . 1 Fire Access Plan
- A 2 . 0 Composite Elevation T-100
- A 2 . 1 Composite Plans T-100
- A 2 . 2 Composite Elevation T-200
- A 2 . 3 Composite Enhanced Elevation T-200
- A 2 . 4 Composite Building Plan T-200
- A 2 . 5 Composite First Floor Enhanced Plan T-200

- A 3 . 0 Plan 1 - Floor Plan
- A 3 . 1 Plan 1 alt - Floor Plan
- A 3 . 2 Plan 2 - Floor Plan
- A 3 . 3 Plan 3 - Floor Plan
- A 3 . 4 Plan 4 - Floor Plan



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SHEET INDEX

A0.0



MISC. LEGEND

- G - Gas Meters
- E - Electrical Cab.
- C - Cable/Date Cab.
- A/C - Air Condenser Units

Building #	HTOC Near Newland St.	TOS (FF)	Height Difference
1	46.46	46.57	0.11
2	46.46	46.7	0.24
3	46.46	46.34	-0.12
4	46.46	45.72	-0.74
5	46.46	46.27	-0.19
6	46.46	46.54	0.08
7	46.46	46.18	-0.28
8	46.46	45.86	-0.6
9	46.46	45.11	-1.35

Property Address		Legal Description			
8371-8375 Talbert Ave. Huntington Beach, CA 92647		Pin No. Assessor: 167-531-23, 24 TTM No. 19157			
Building Code Summary					
Occupancy	R-3				
Construction Type	Type V-B				
Fire Sprinkler	NFPA 13D				
Building Type	On-Grade				
Number of Stories	2 and 3				
Zoning	Current Zoning	Proposed Zoning			
Current Zoning	RL- Low Density Residential	RM- Medium Density Residential			
Front Yard Setback	15'	15' (provided)			
Side Yard Setback	no less than 3'; no more than 5'	17' (provided)			
		(above 2 stories + 3' for exceeding 25' height)			
Street Side Yard Setback	no less than 6'; no more than 10'	15' (provided)			
Rear Yard Setback	10'	13' (provided)			
		(10' + 3' for exceeding 25' height)			
Site Summary		Site Area			
Gross Site Area	105,889	SF	2.43 AC		
Net Site Area	89,949	SF	2.07 AC		
Dwelling Units*	34	DU	*Density Bonus 10%		
Gross Density	14.0	DU/AC			
Net Density	16.4	DU/AC			
Lot Coverage					
Maximum Lot Coverage	50 %				
Provided Lot Coverage	35 % Provided				
Density					
Permitted Density	15.0 du/ac				
Provided Density	16.4 du/ac *Density Bonus 10%				
Building Height					
Allowed	35'-0"				
Proposed	35'-0"				
Townhomes Plan Summary					
	#	GFA	Beds	% Total GFA	GFA + Garage
P1/P1 alt	4	1,258	3	11.8%	5,032
P2	7	1,586	3	20.6%	11,102
P3	14	1,805	4	41.2%	25,270
P4	9	1,846	3	26.5%	16,614
Total	34			100.0%	58,018
					68,167
Type	#	% Total GFA			
3 bedroom Units	20	58.8%			
4 bedroom Units	14	41.2%			
Total	34	100%			
Bedroom Count					
Type	#	% Total GFA			
3 bedroom total	60	51.7%			
4 bedroom total	56	48.3%			
Total	116	100%			
Parking Summary					
Required	Spaces/ Unit				Req.
Resident	2.0				68
Guest	0.50				17
Total Required Parking	2.5				85
Parking Provided	Spaces/ Unit				Spaces Provided
Garage Spaces	2.0				68
Guest Spaces	0.47				16
Accessible Space	0.03				1
Total Provided Parking	2.50				85
Open Space Summary					
Required					
Open Space (25% of total net unit SF)	14,505 SF	426.6 SF/UNIT			
Open Space Meeting Minimum Code Dimensions					
Common Open Space (min. 10')	8,579 SF	78 %			
Private Open Space (min. 6')	2,456 SF	22 %			
Total Open Space Meeting Minimum Dimensions	11,035 SF	324.6 SF/UNIT			
Open Space NOT Meeting Minimum Code Dimensions					
Private Open Space (less than min. 6' - Aprox. Only)	1,545 SF	8.09 %			
Other Landscape Space (less than min. 10' - Aprox. Only)	17,547 SF	91.91 %			
Total Open Space NOT Meeting Minimum Dimensions	19,092 SF	561.5 SF/UNIT			
Total of All Open Space Categories		30,127 SF			
Building Coverage	31,317 SF	34.82 %			
Pavement Coverage	28,505 SF	31.69 %			
Landscape/Hardscape Coverage	30,127 SF	33.49 %			

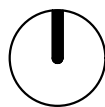


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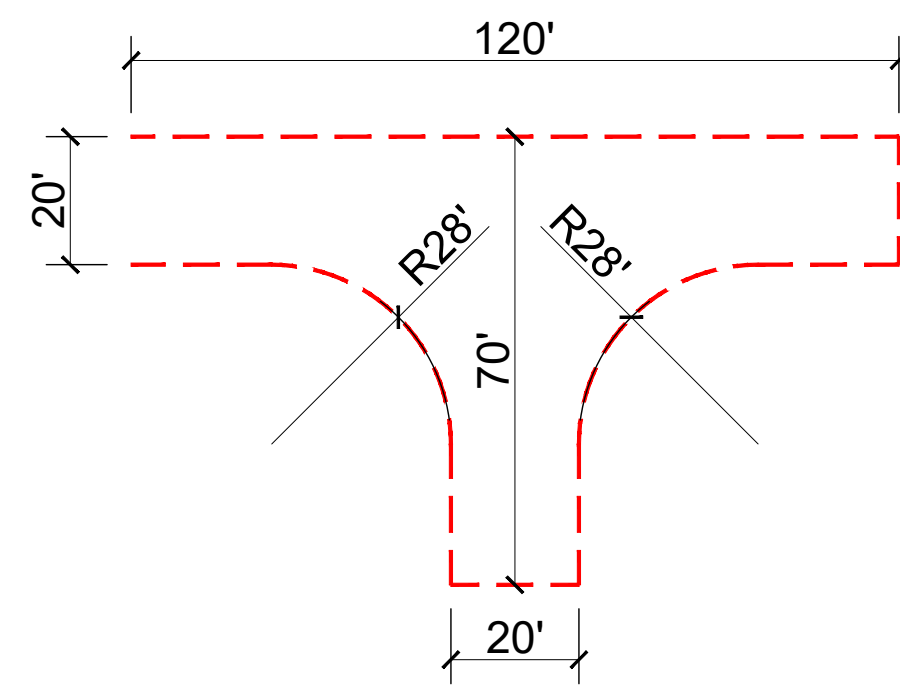


0 15 30 60

SITE PLAN

A1.0

2016 CALIFORNIA FIRE CODE
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

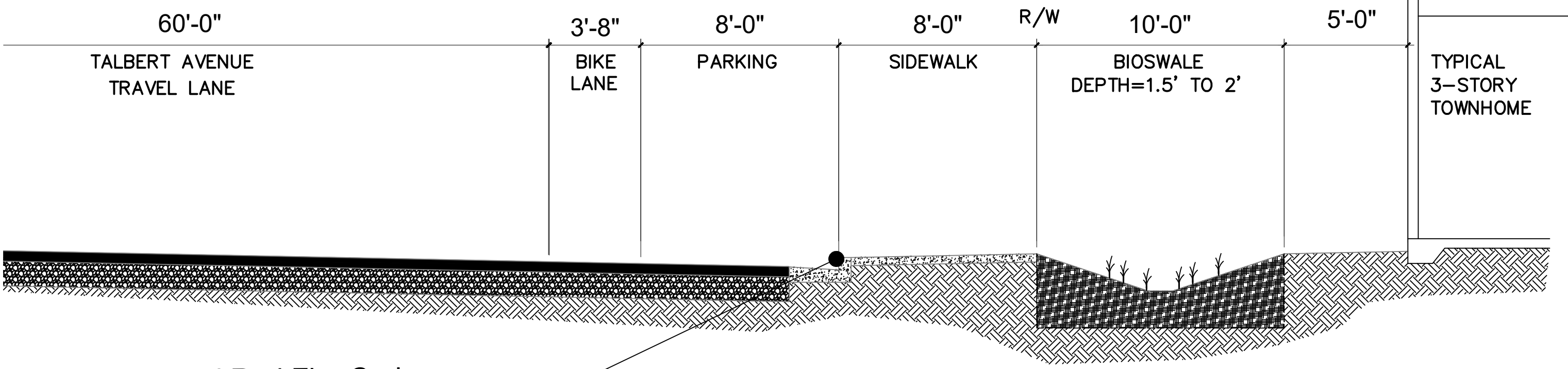


- LEGEND**
- 150' Max Hose Pull From Northside of Site
 - 150' Max Hose Pull From South side of Site
 - Fire Lane Red Curb
 - 6'-0" High stucco over CMU perimeter wall (see sheet L3)
 - 5'-0" High stucco over CMU patio wall (see sheet L3)
 - 3'-6" High stucco over CMU patio wall (see sheet L3)
 - 6'-0" High Vinyl fence (see sheet L3)
 - 5'-6" High tubular steel fence (see sheet L3)

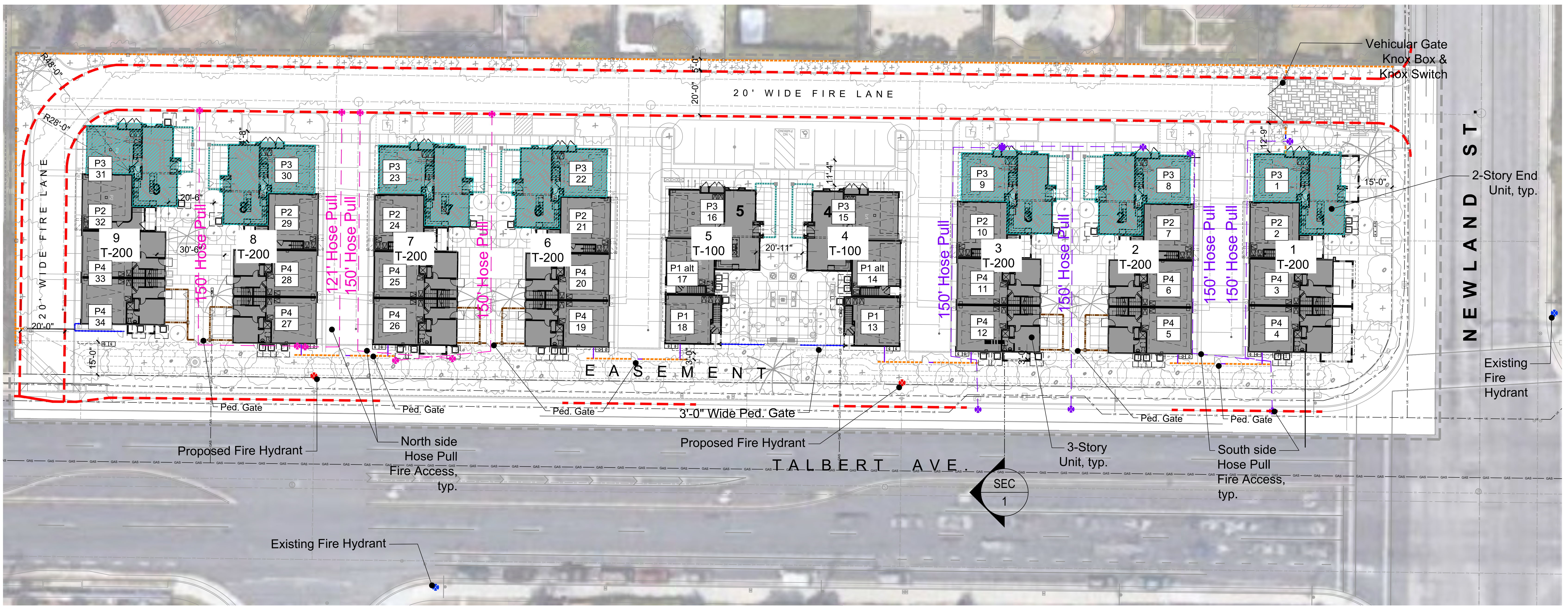
Existing Fire Hydrant (FH) Proposed Fire Hydrant (FH)

Building Code Summary	
Occupancy	R-3
Construction Type	Type V-B
Fire Sprinkler	NFPA 13D
Building Type	On-Grade
Number of Stories	2 and 3

Note: Only painted curb is added.
Everything is existing and not changing.



Painted Red Fire Curb Bioswale Section
Scale: 1/4"=1'-0"



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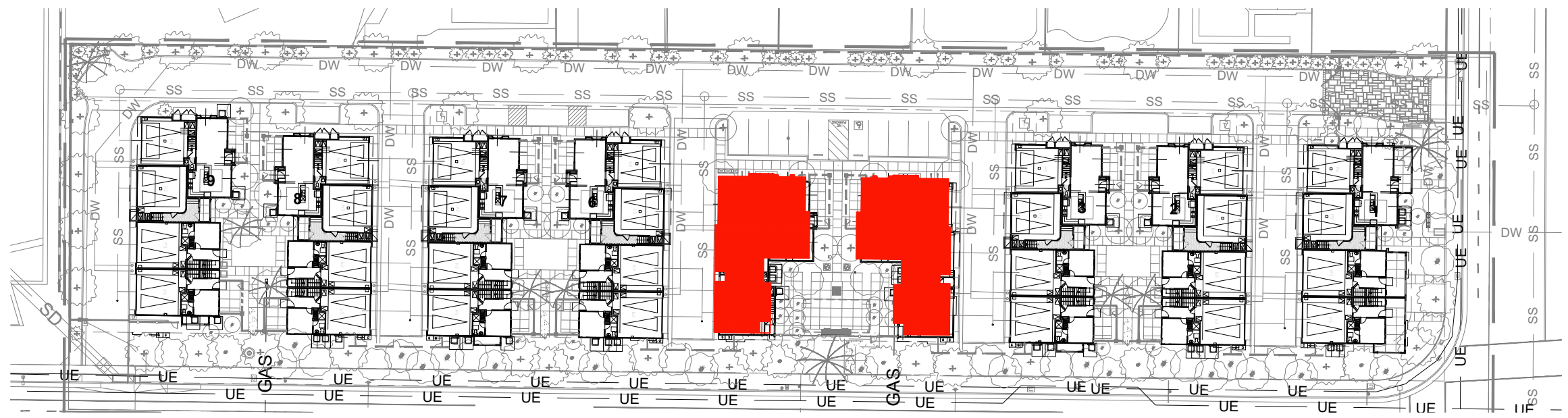
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FIRE ACCESS PLAN



KEY MAP, N.T.S.

LEGEND

- 1 Stucco, 16/20 Finish
- 2 Low Profile Concrete "S" Roof Tile
- 3 Gable End Faux Vent Recess
- 4 Cantilever Stucco Corbels
- 5 Decorative Shutters
- 6 Vinyl Windows with Muntins
- 7 Stucco Over Foam Corbels

- 8 Fiberglass Entry Doors
- 9 Not Used
- 10 Stucco Foam Faux Sculpted Sill Trim
- 11 Exposed Truss Tails
- 12 Patio Doors and Sliders
- 13 Stucco Arch Soffit
- 14 Stucco Battered Wing-Wall
- 15 Battered Stucco Recess

- 16 Fiber-Cement Wrapped Bay Window
- 17 Metal Guard Railing
- 18 Grille Metal Detail (Where Occurs)
- 19 Decorative Arbor
- 20 Trim Surround with Optional Ceramic Tile Inserts
- 21 Decorative Shaped Stucco Opening Surround with small Crown Trim
- 22 Decorative Sculptured Stucco Hood Awning (Where Occurs)

- 23 Decorative Wood Corbels
- 24 Metal Sectional Garage Door
- 25 Decorative Exterior Lights & Address
- 26 Metal Scupper with Decorative Trim
- 27 Metal Door



RIGHT



REAR



LEFT



FRONT

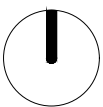


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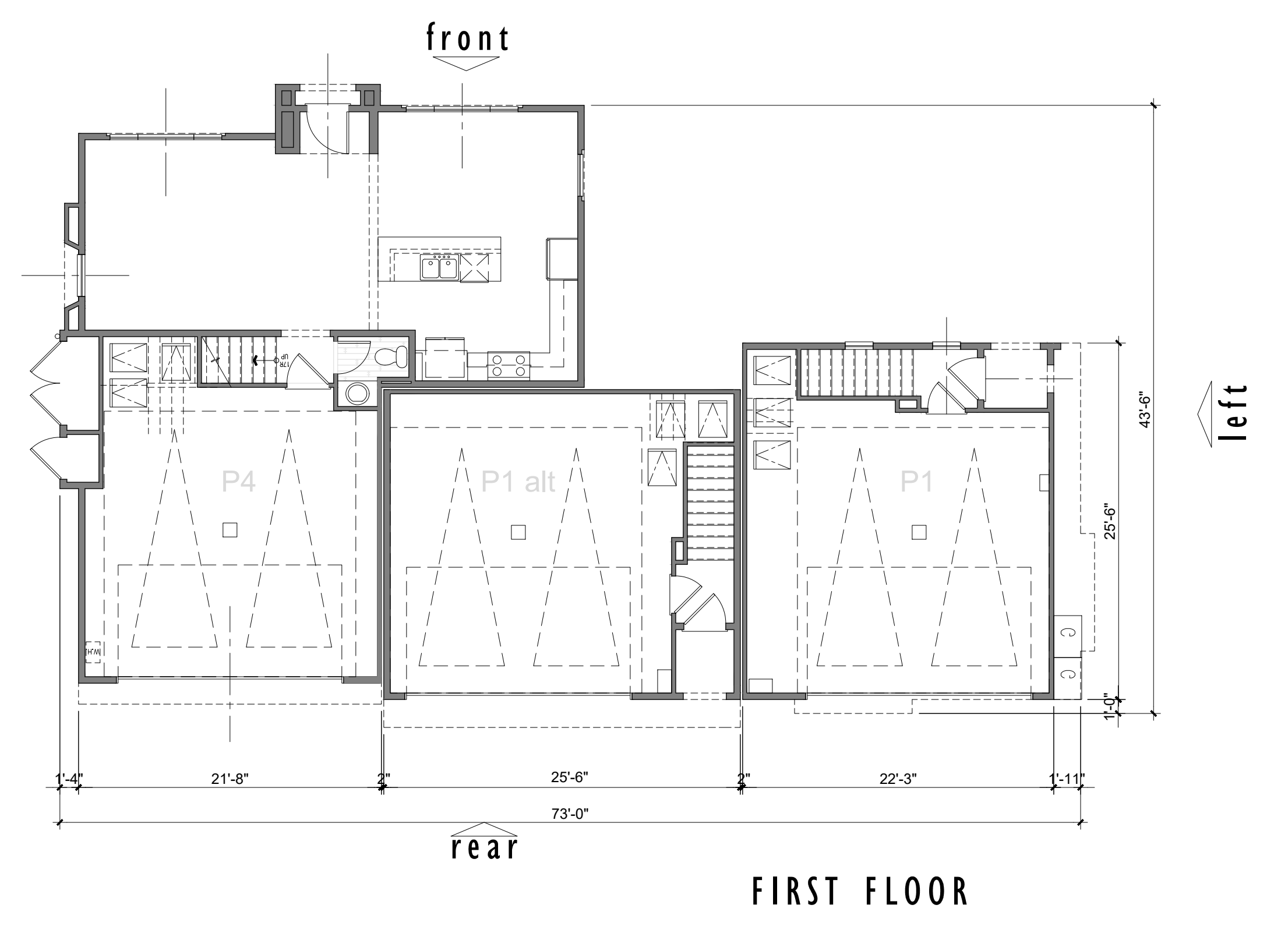
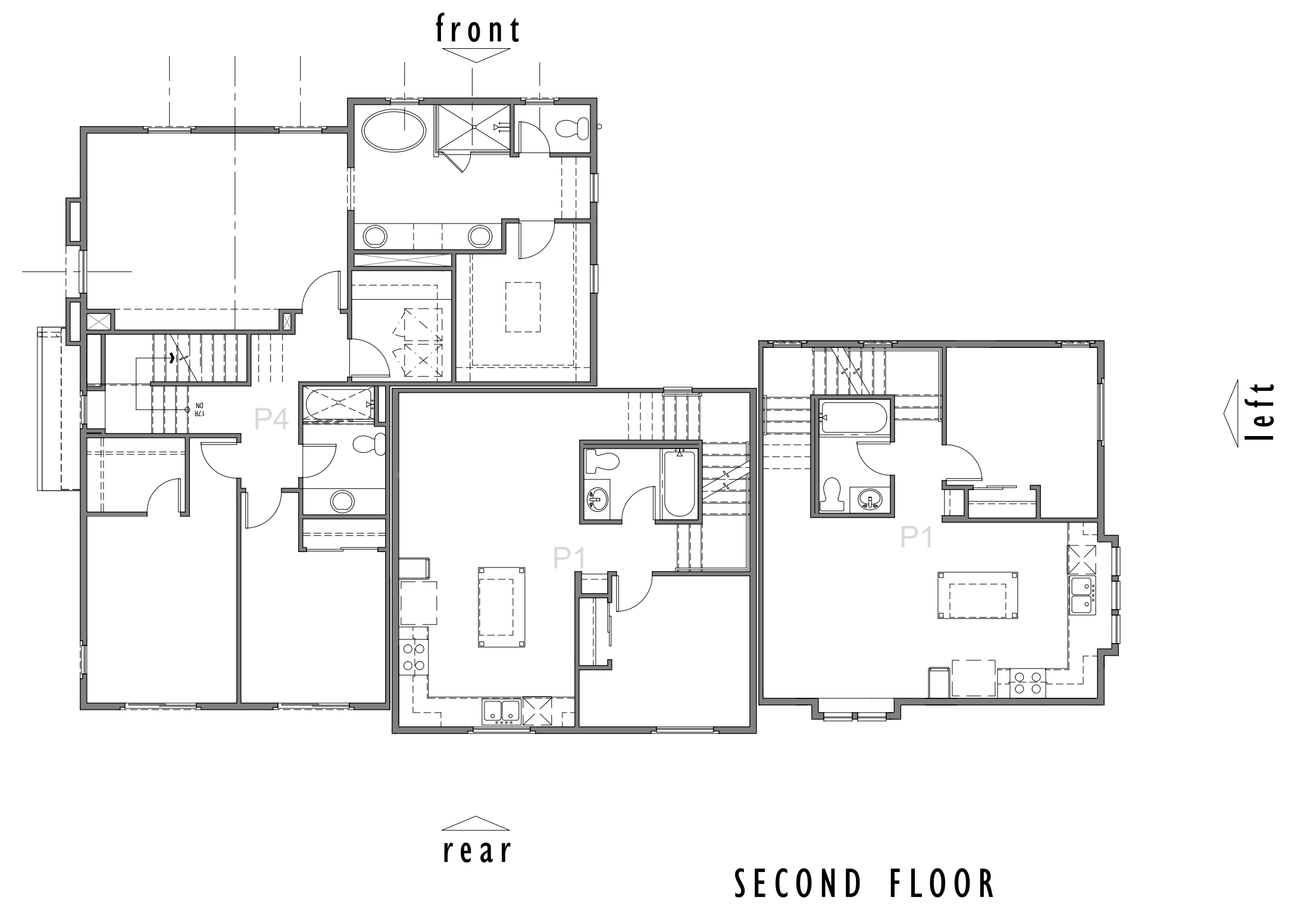
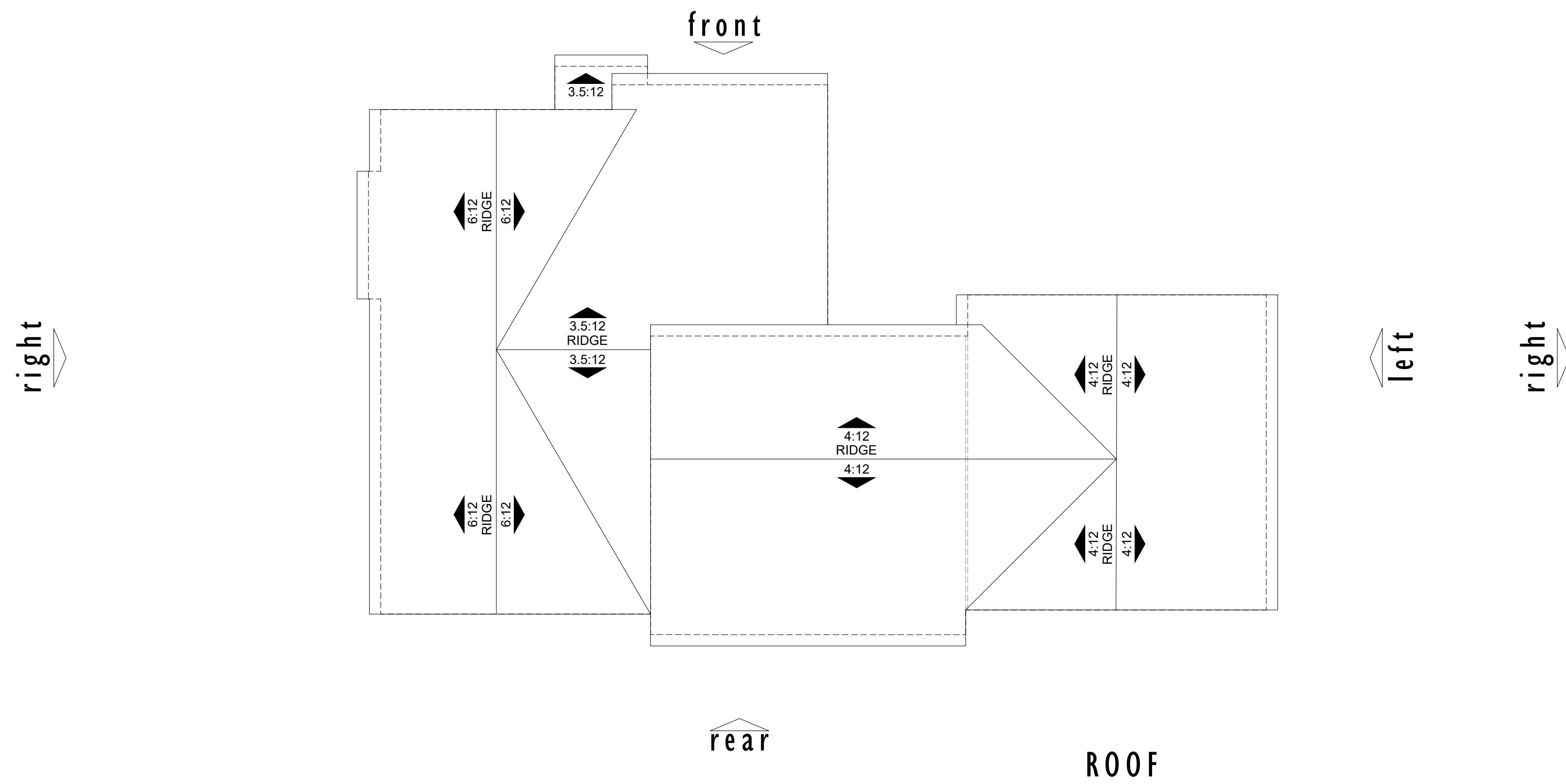
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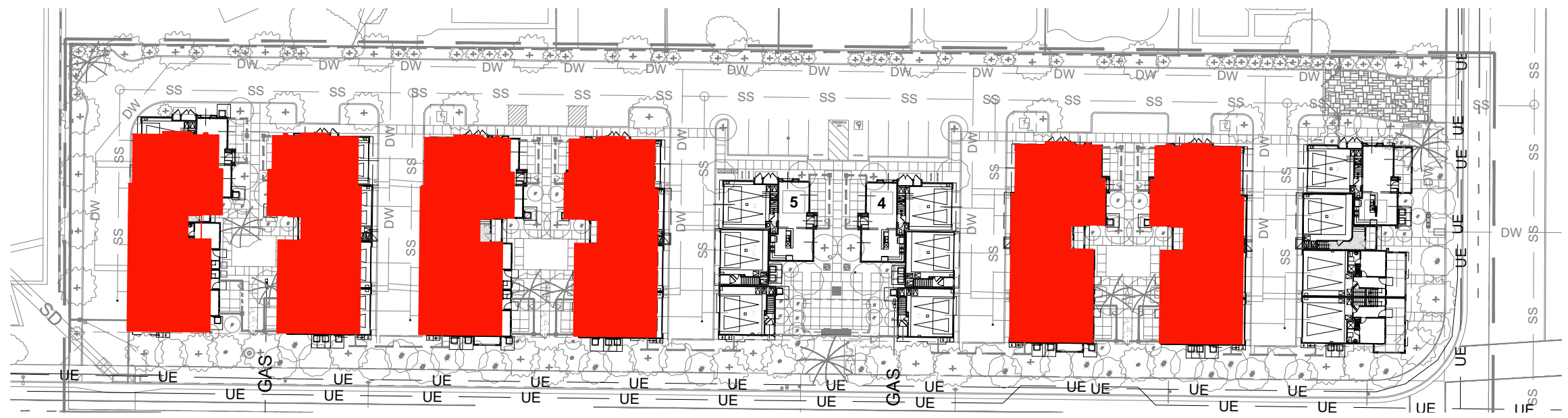


0 4 8 16

T-100 ELEVATIONS
SANTA BARBARA STYLE

A2.0





KEY MAP, N.T.S.

LEGEND

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STANDARD RIGHT



BAY WINDOW PROJECTION NOT TO EXCEED 2'-6" (CODE 230.68)

REAR



STANDARD LEFT
BUILDING 3, 7, & 9



STANDARD LEFT
BUILDING 2, 6, & 8



BAY WINDOW PROJECTION NOT TO EXCEED 2'-6" (CODE 230.68)

STANDARD FRONT



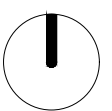
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0 4 8 16

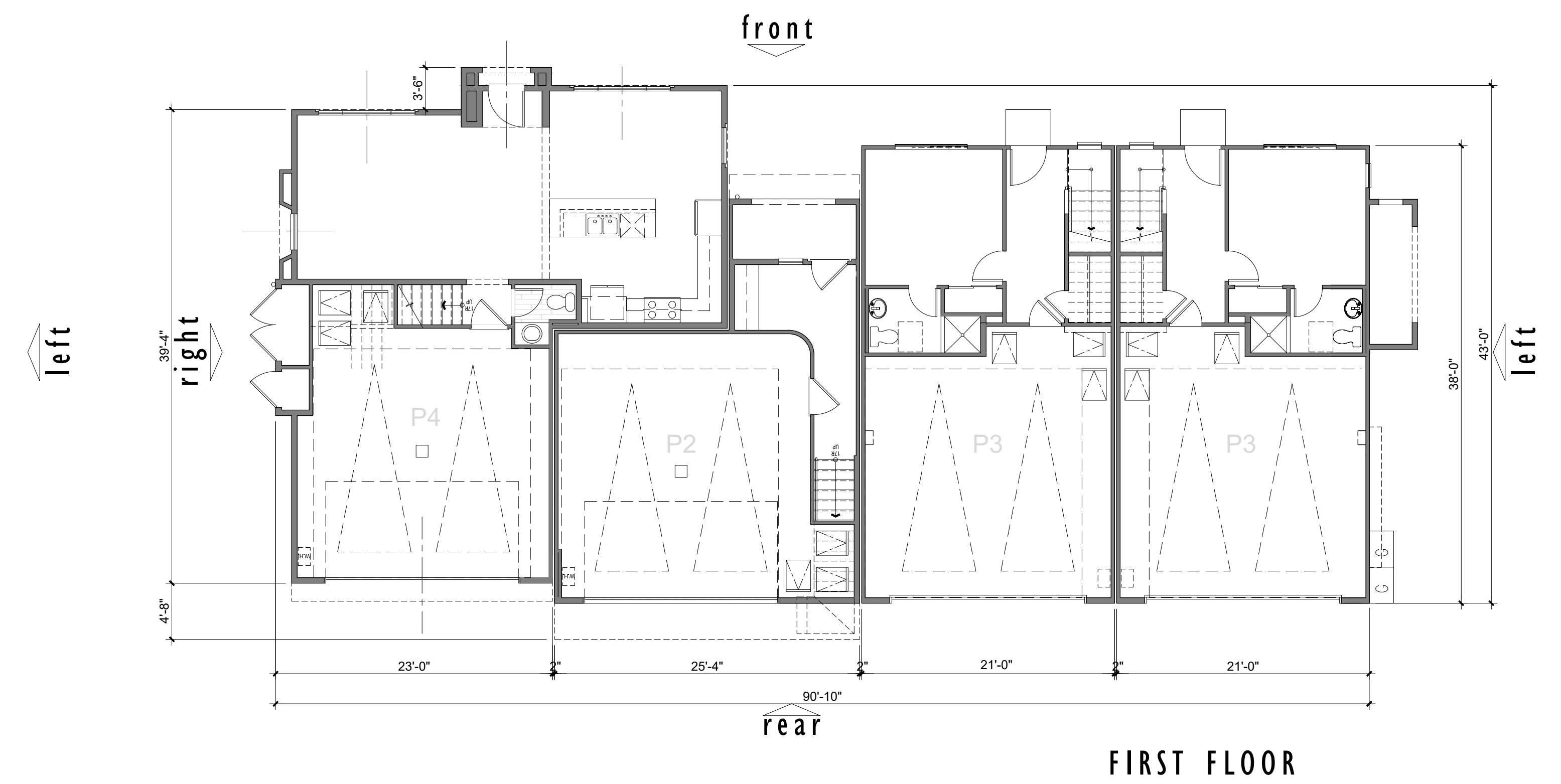
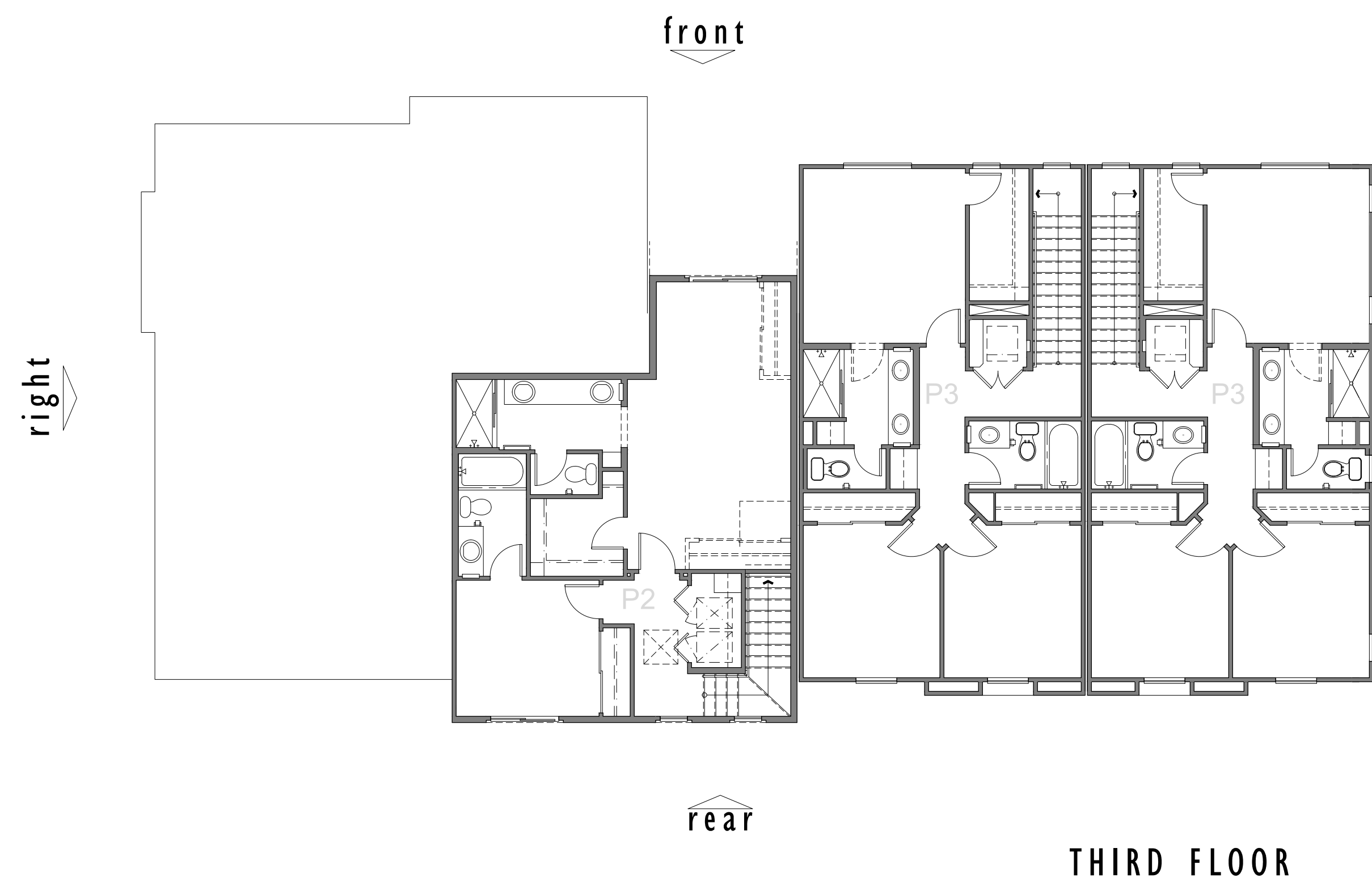
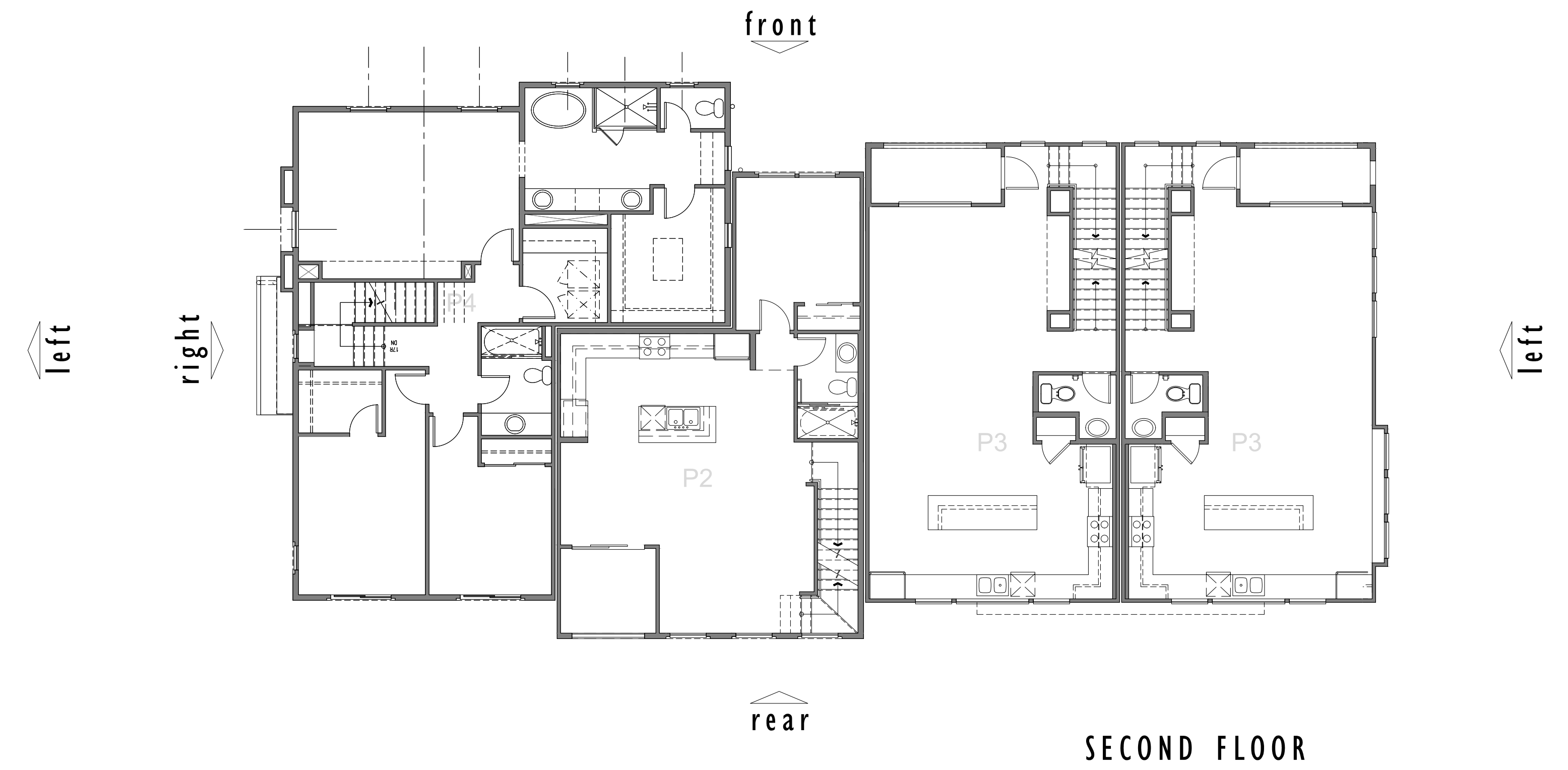
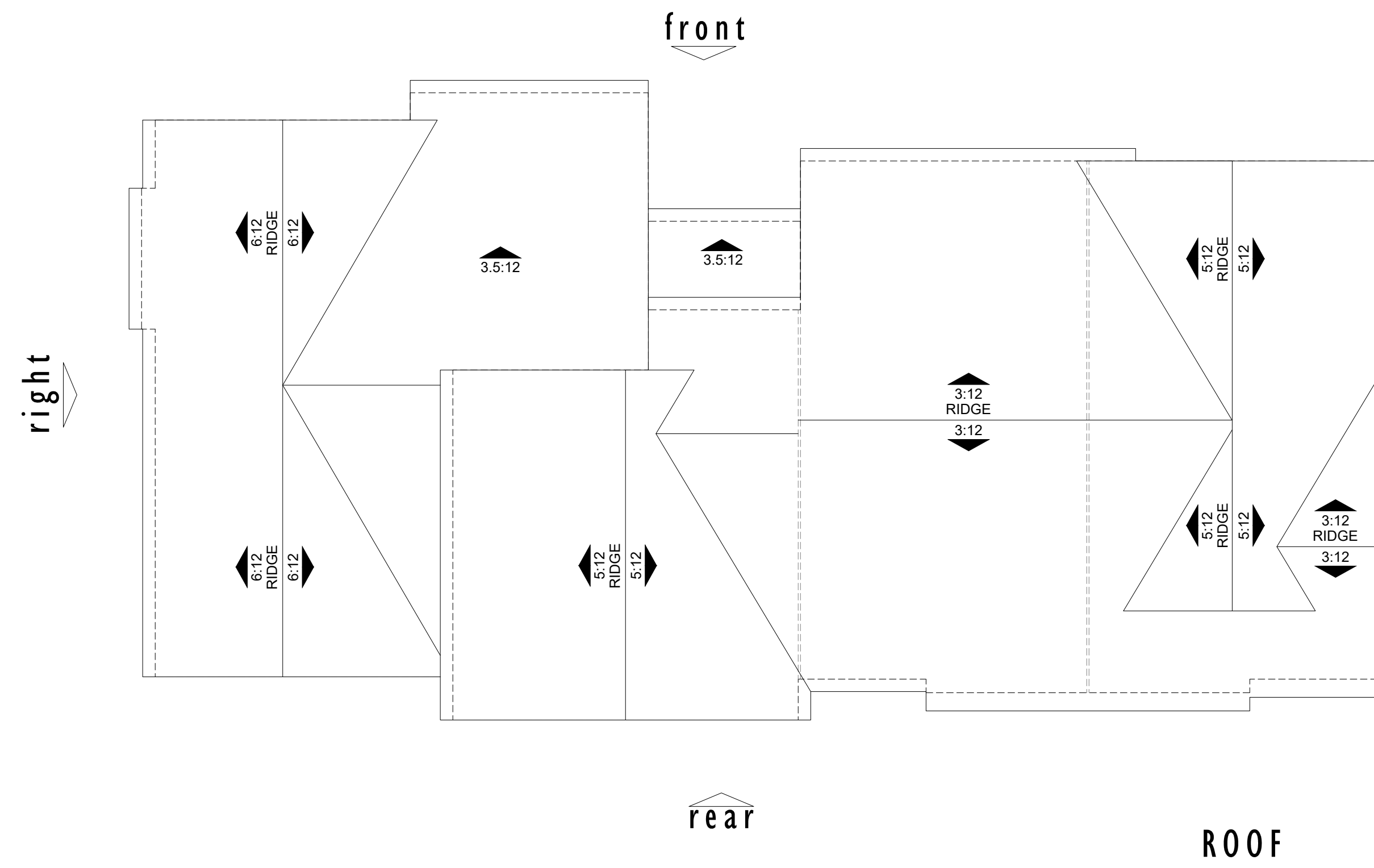
T-200 ELEVATIONS (STANDARD)
SANTA BARBARA STYLE

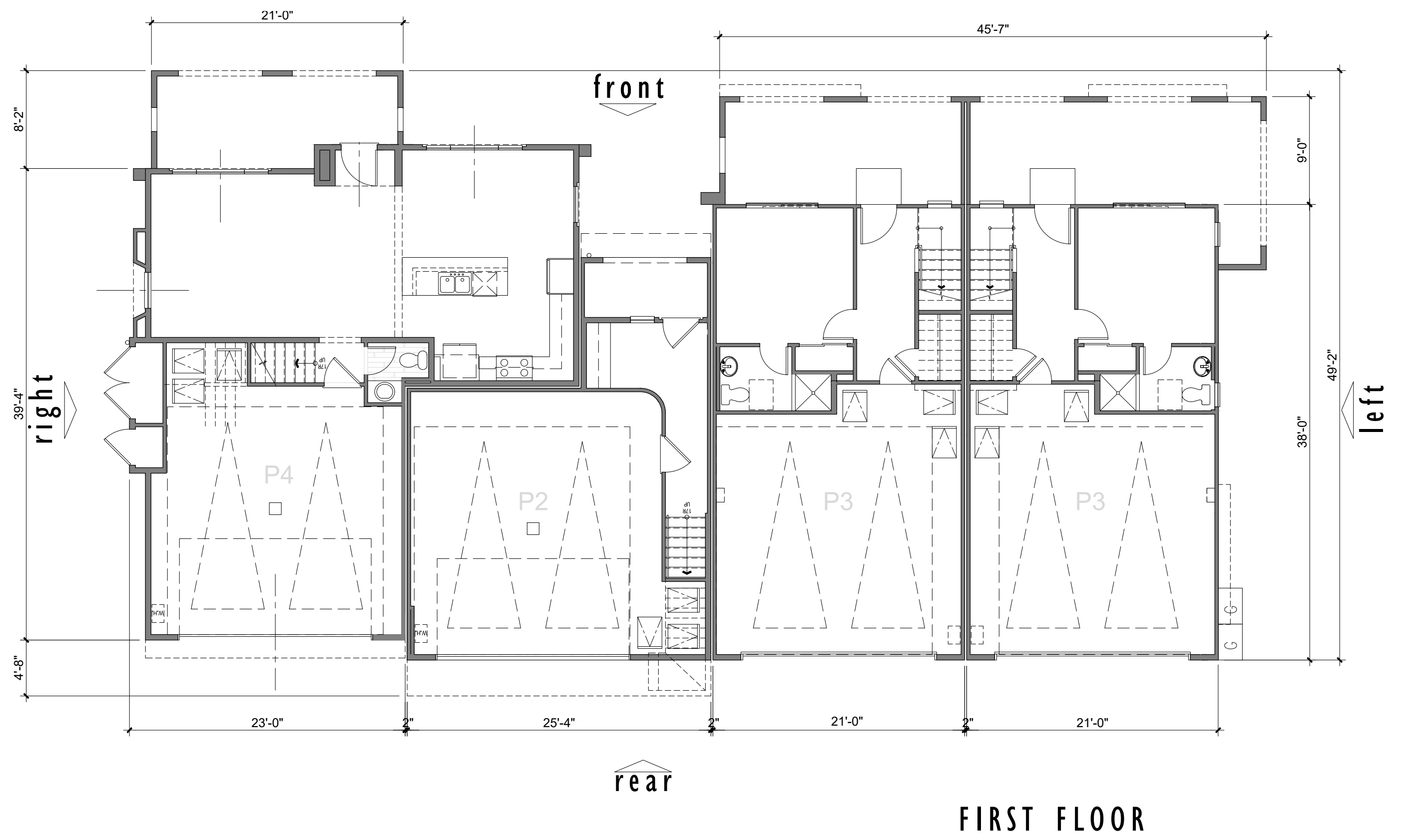
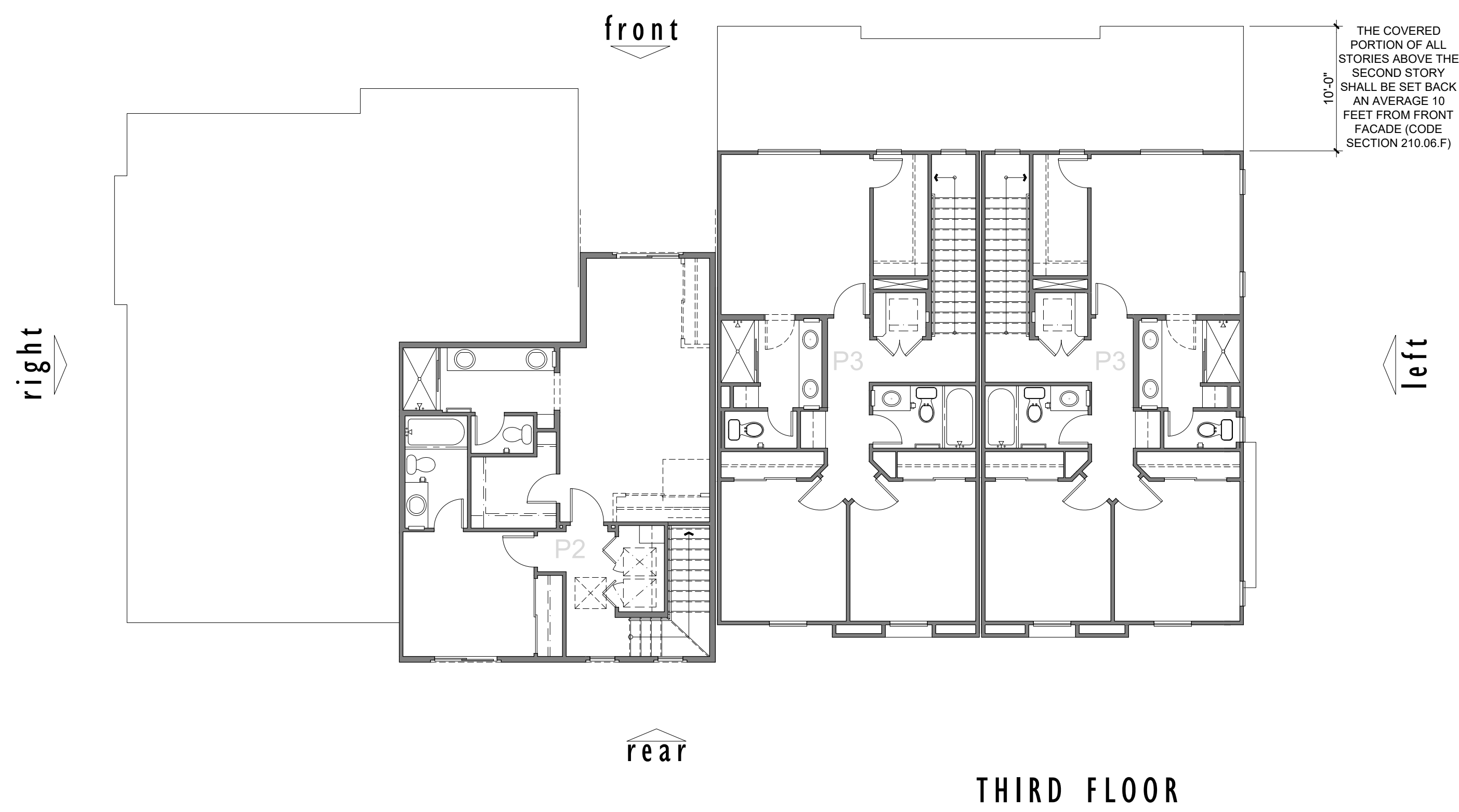
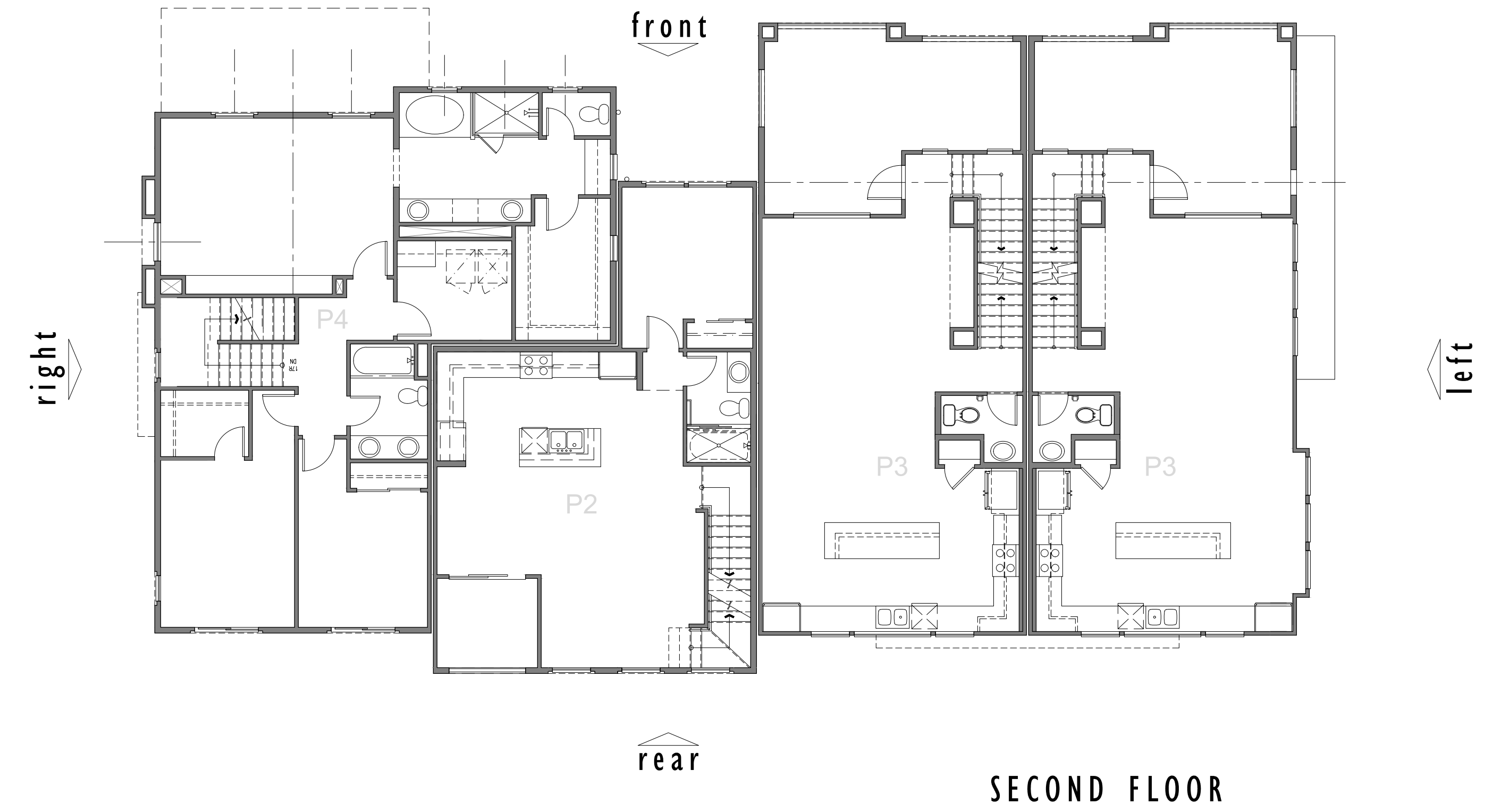
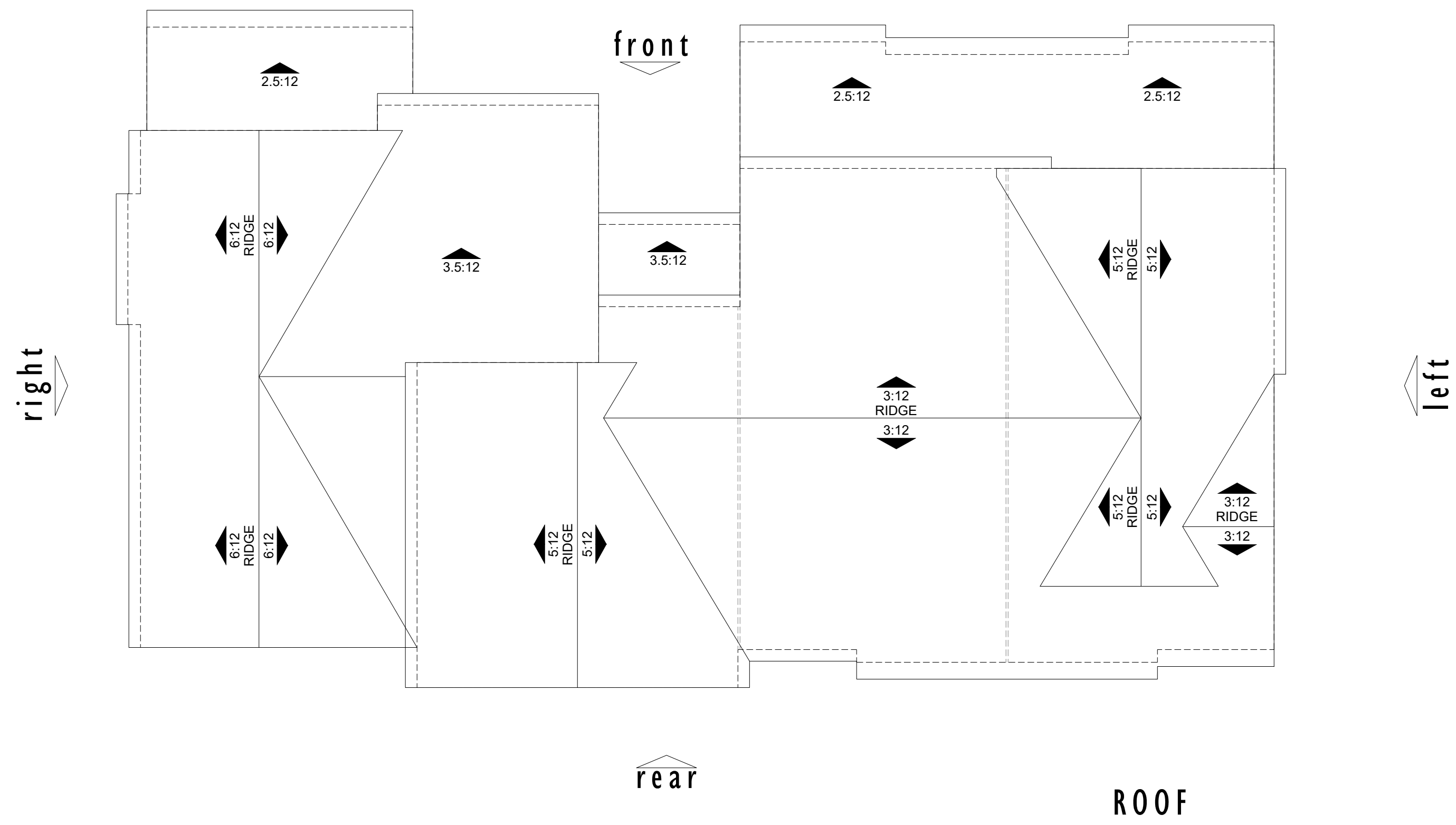
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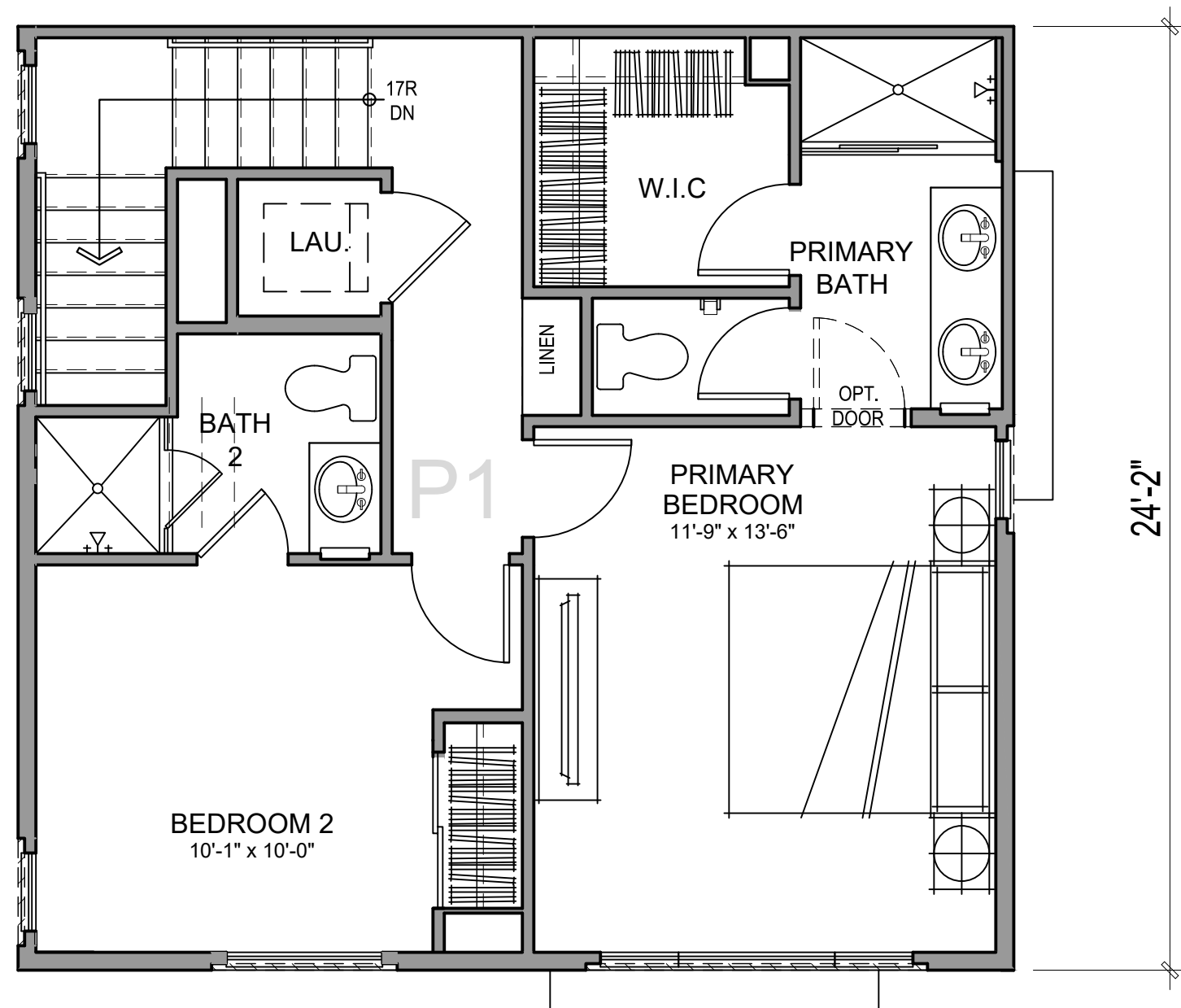


- ☐ 23 Decorative Wood Corbels
- ☐ 24 Metal Sectional Garage Door
- ☐ 25 Decorative Exterior Lights & Address
- ☐ 26 Metal Scupper with Decorative Trim
- ☐ 27 Metal Door

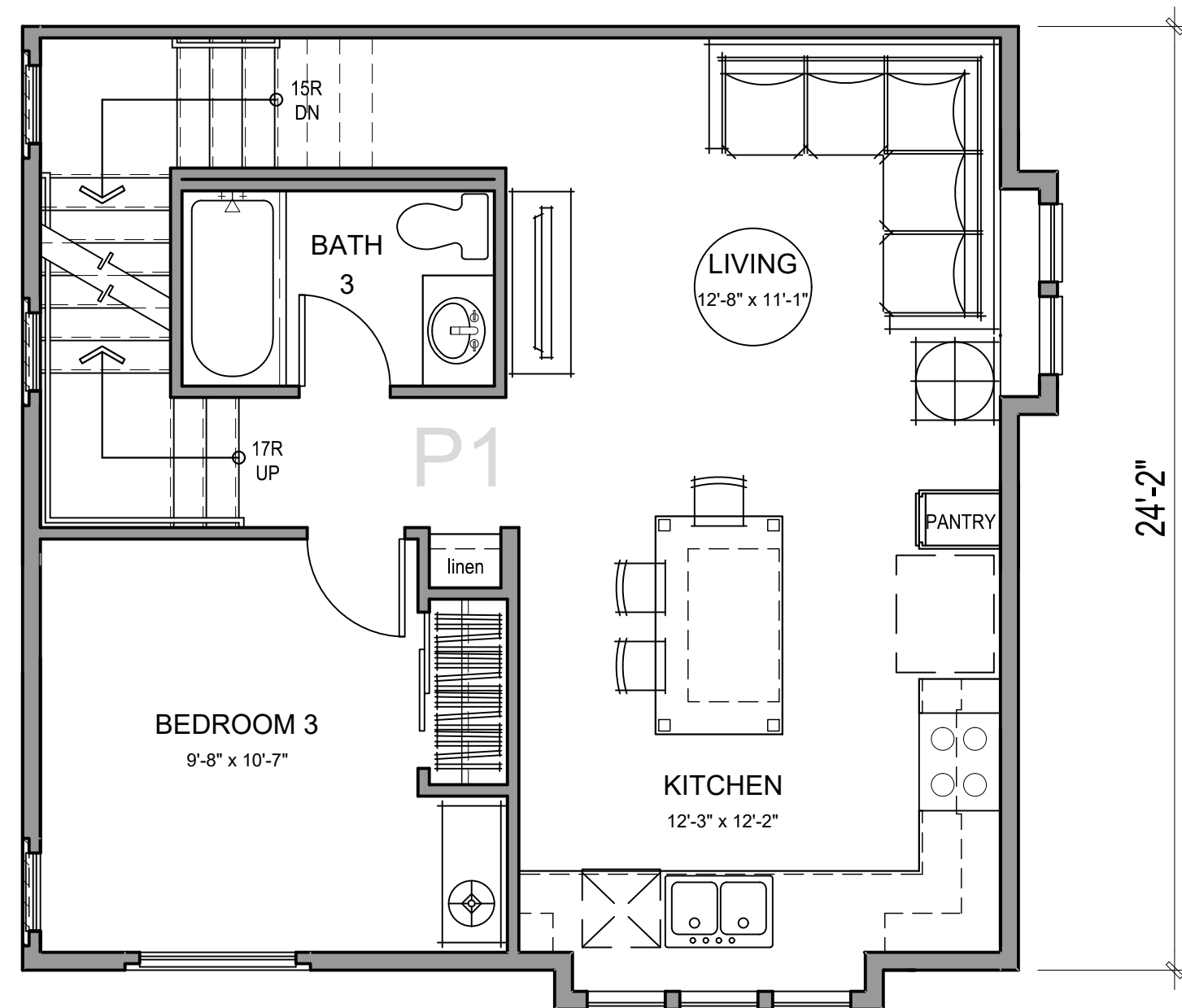




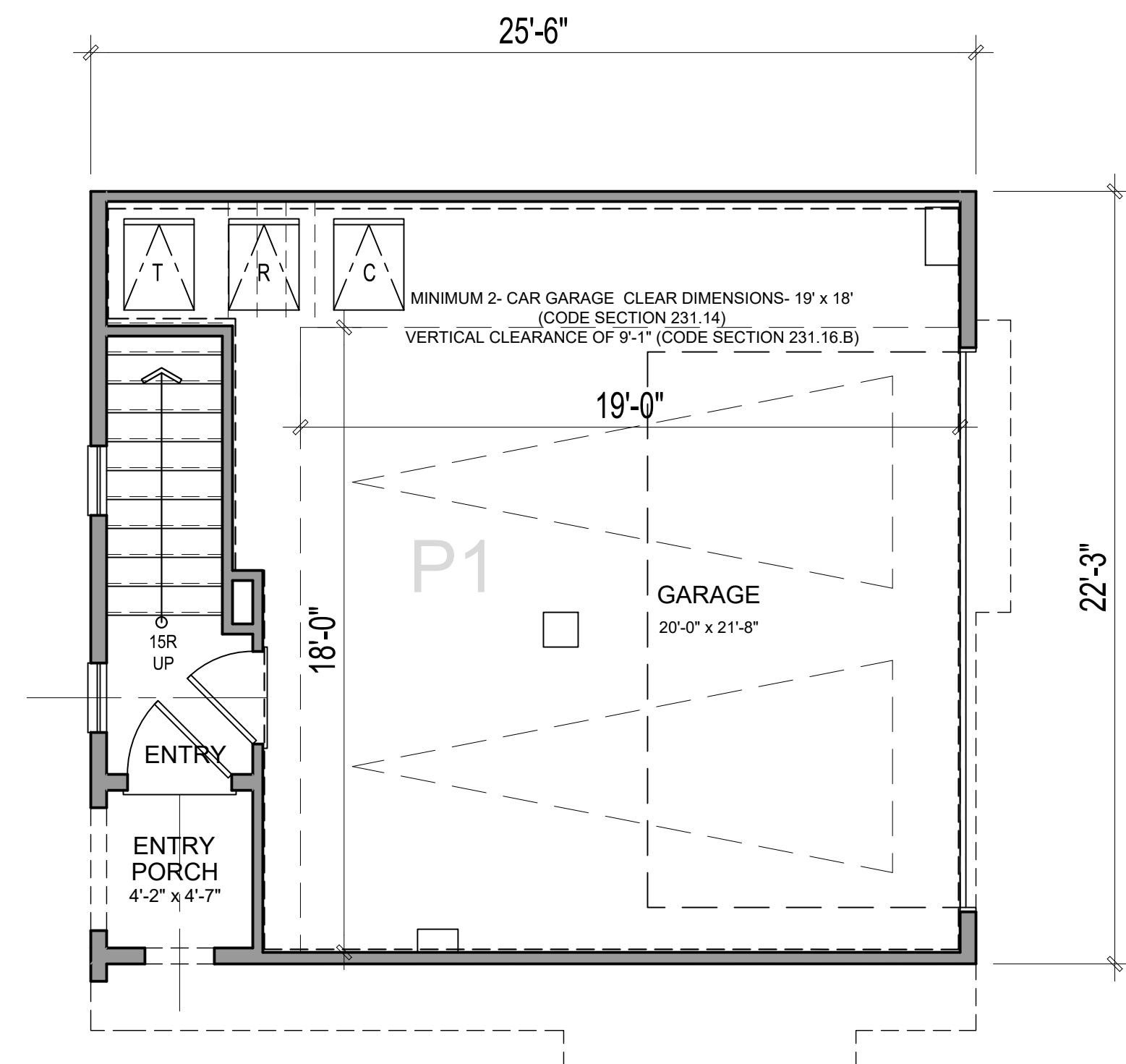




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P1 - GROSS AREA	
1ST FLOOR	81 SQ. FT.
2ND FLOOR	616 SQ. FT.
3RD FLOOR	561 SQ. FT.
TOTAL LIVING	1258 SQ. FT.
PORCH	23 SQ. FT.
GARAGE	488 SQ. FT.

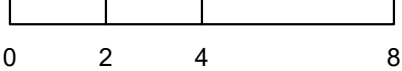


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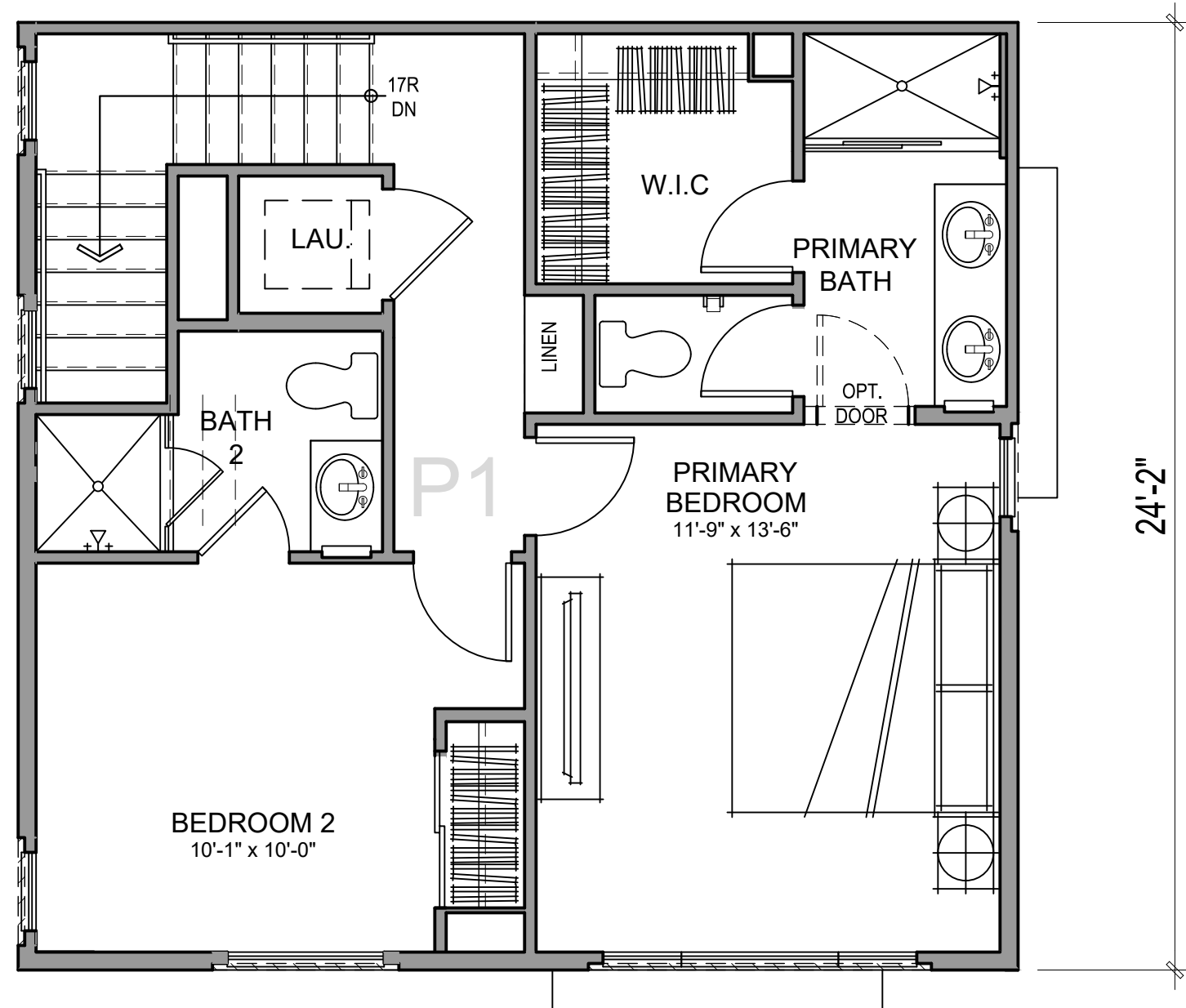
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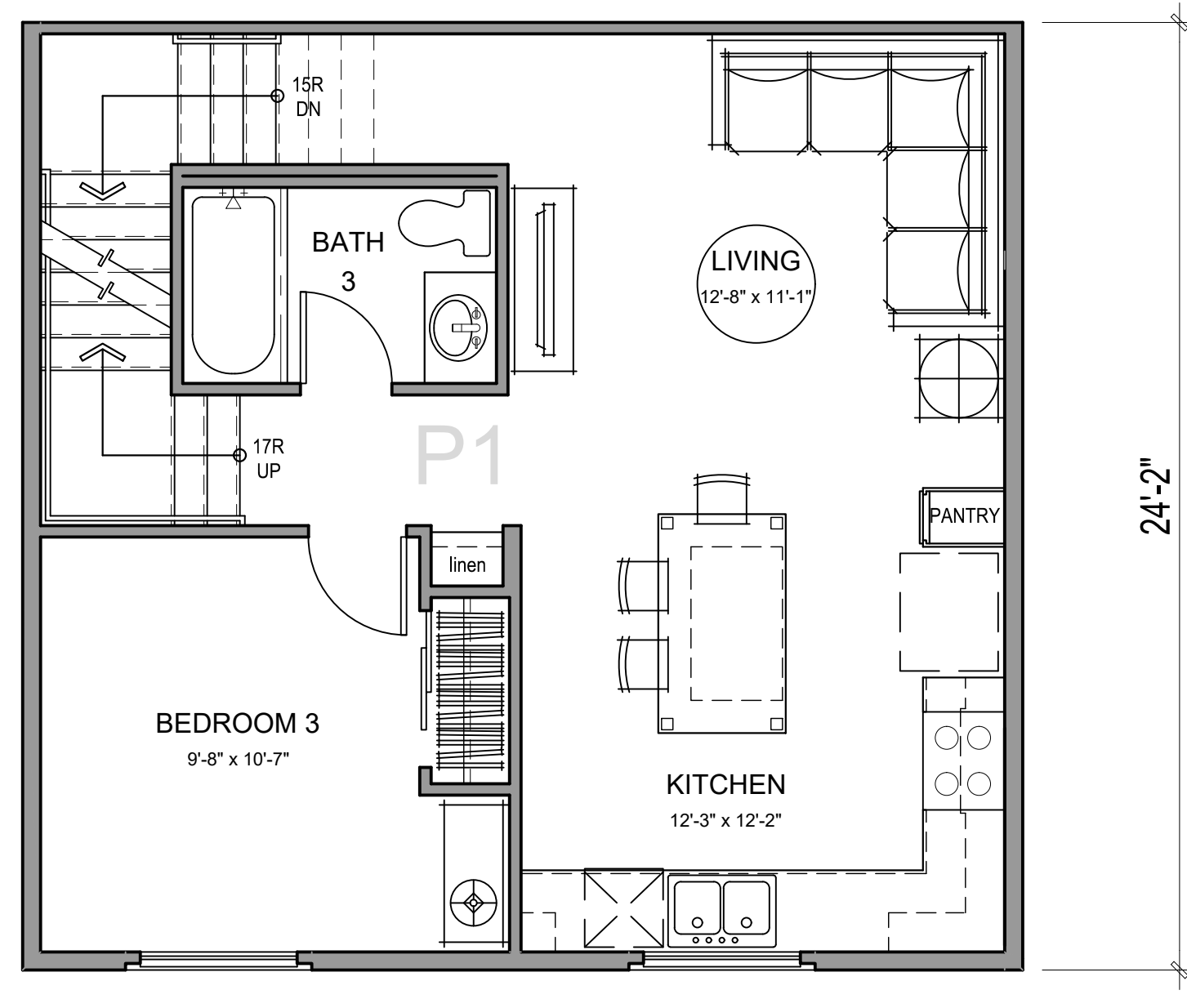


PLAN 1

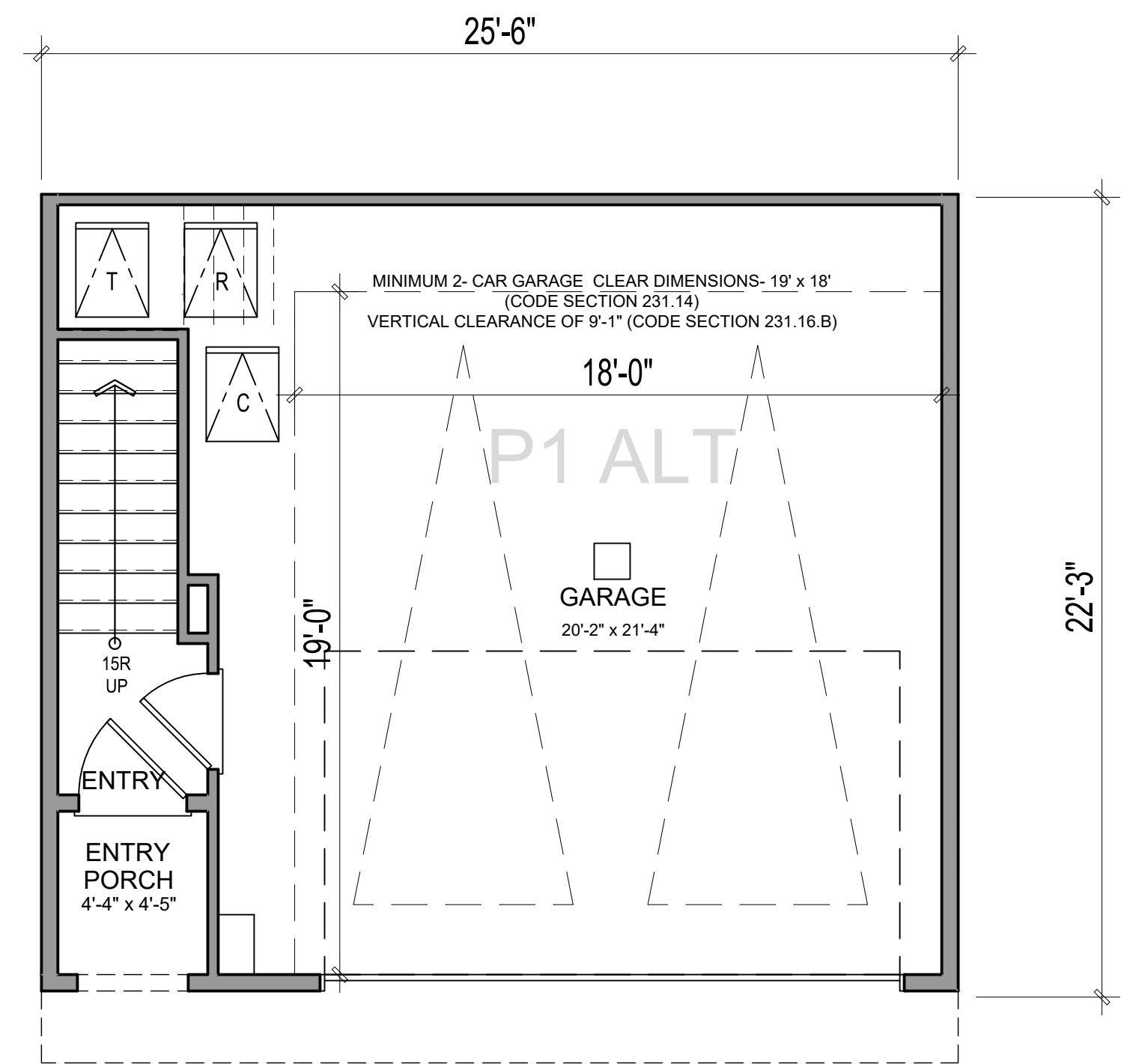
A3.0



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

P1 ALT - GROSS AREA	
1ST FLOOR	81 SQ. FT.
2ND FLOOR	616 SQ. FT.
3RD FLOOR	561 SQ. FT.
TOTAL LIVING	1258 SQ. FT.
PORCH	23 SQ. FT.
GARAGE	488 SQ. FT.

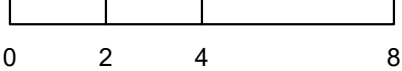


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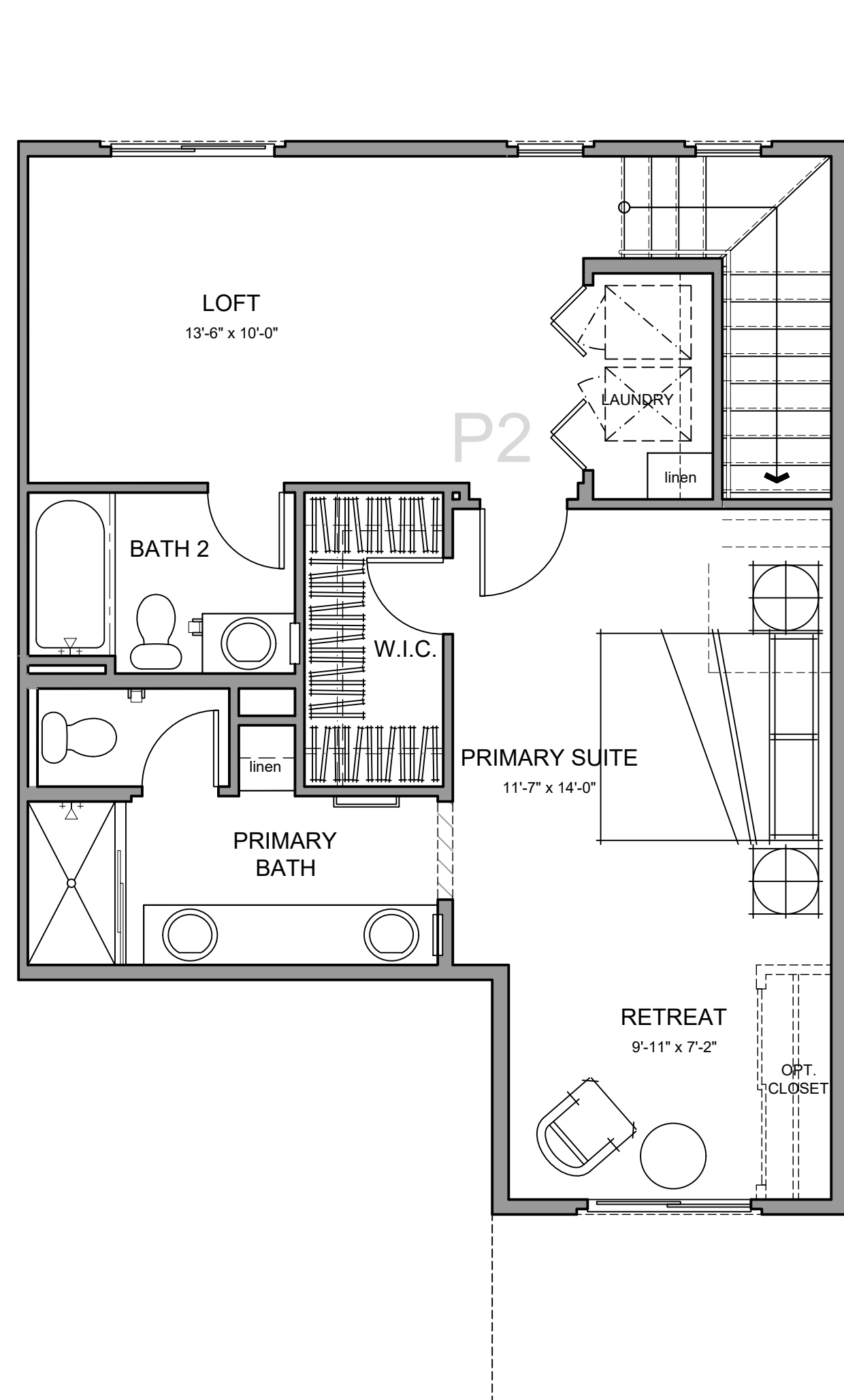
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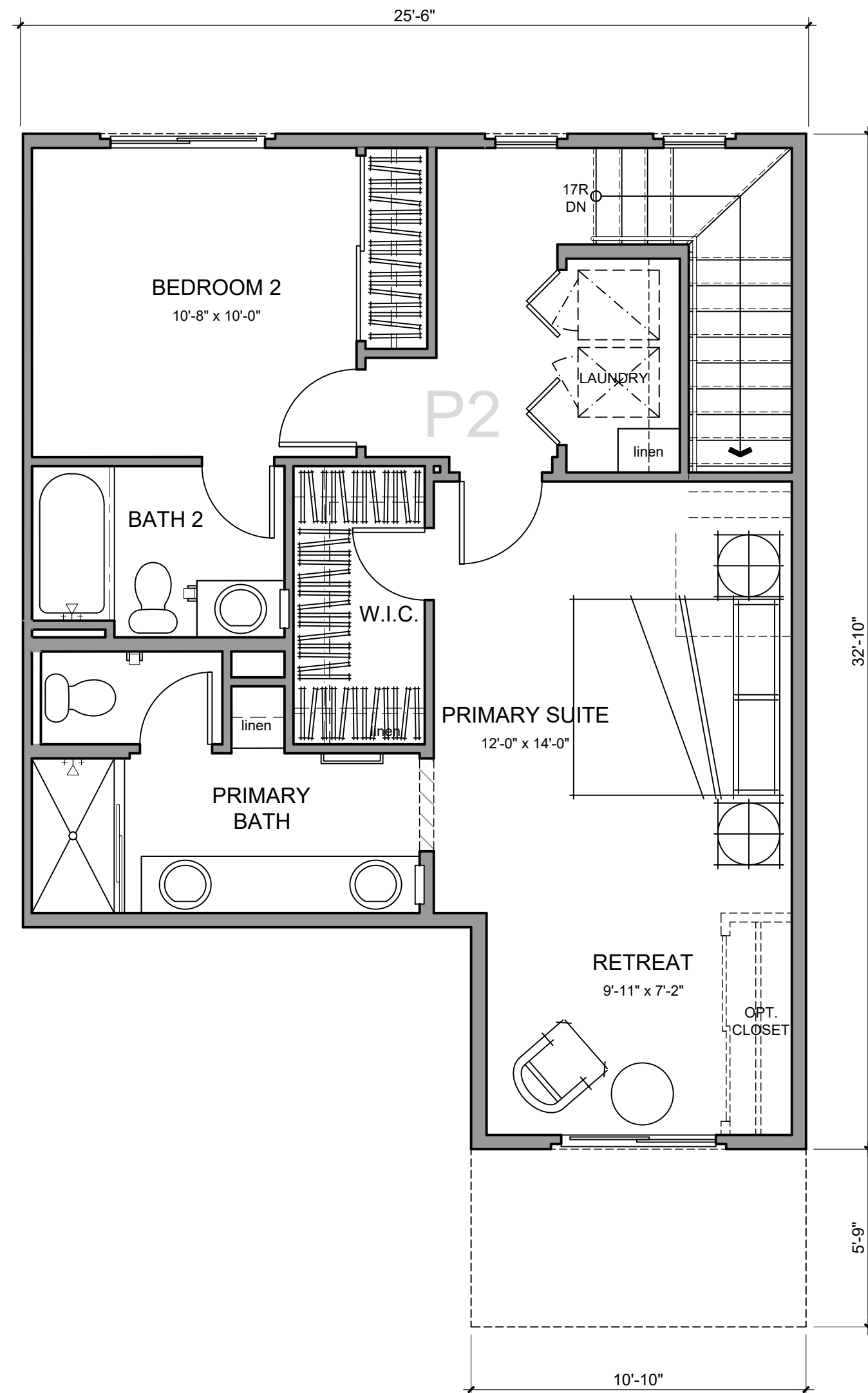


PLAN 1 ALT

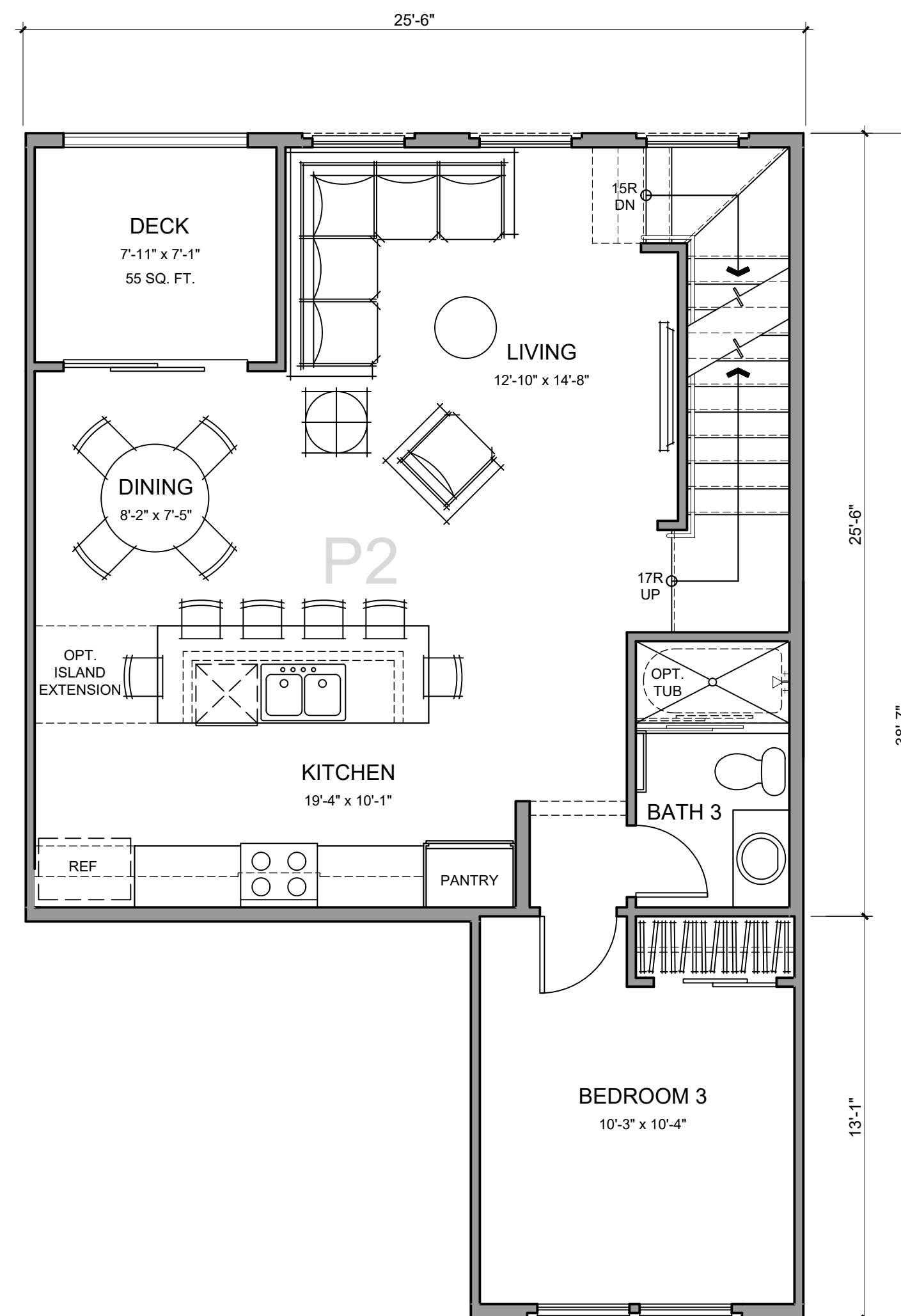
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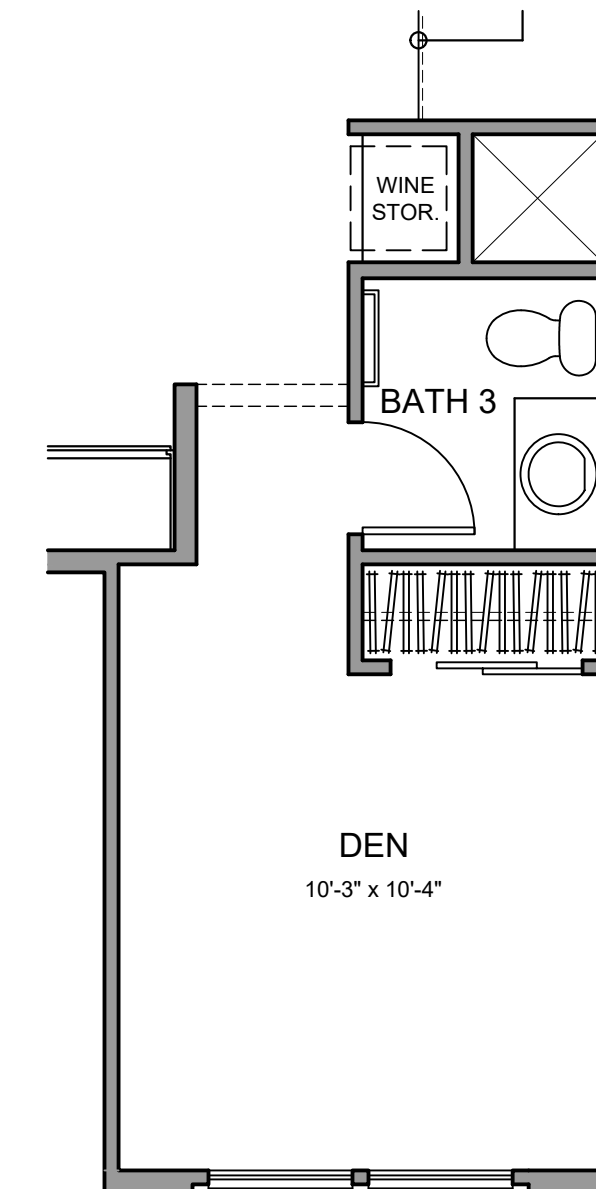
THIRD FLOOR:
LOFT OPTION



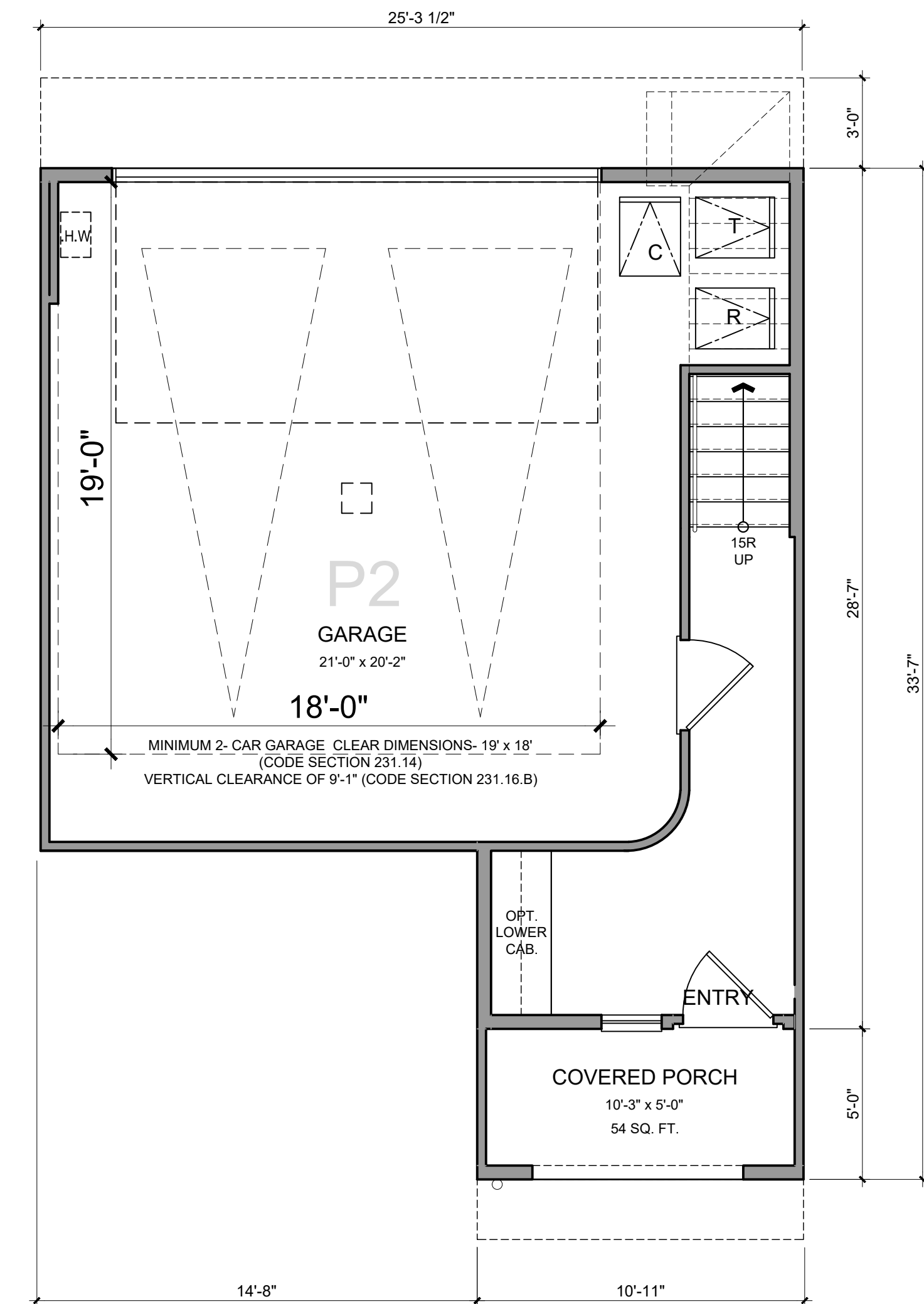
THIRD FLOOR



SECOND FLOOR



DEN OPTION



FIRST FLOOR

P2 - GROSS AREA	
1ST FLOOR	171 SQ. FT.
2ND FLOOR	729 SQ. FT.
3RD FLOOR	676 SQ. FT.
TOTAL LIVING	1575 SQ. FT.
PORCH	54 SQ. FT.
GARAGE	508 SQ. FT.
DECK	55 SQ. FT.

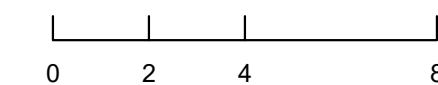


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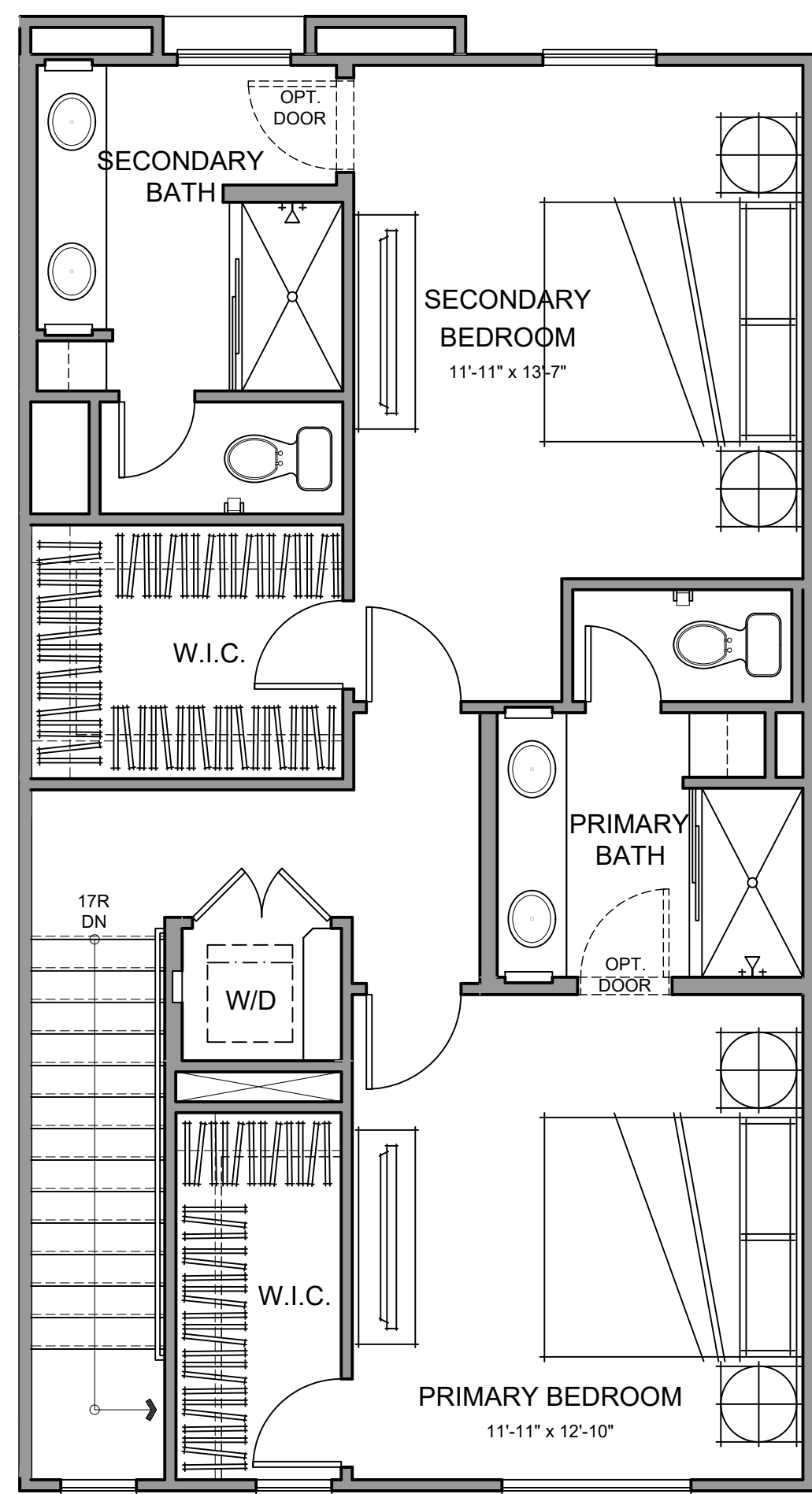
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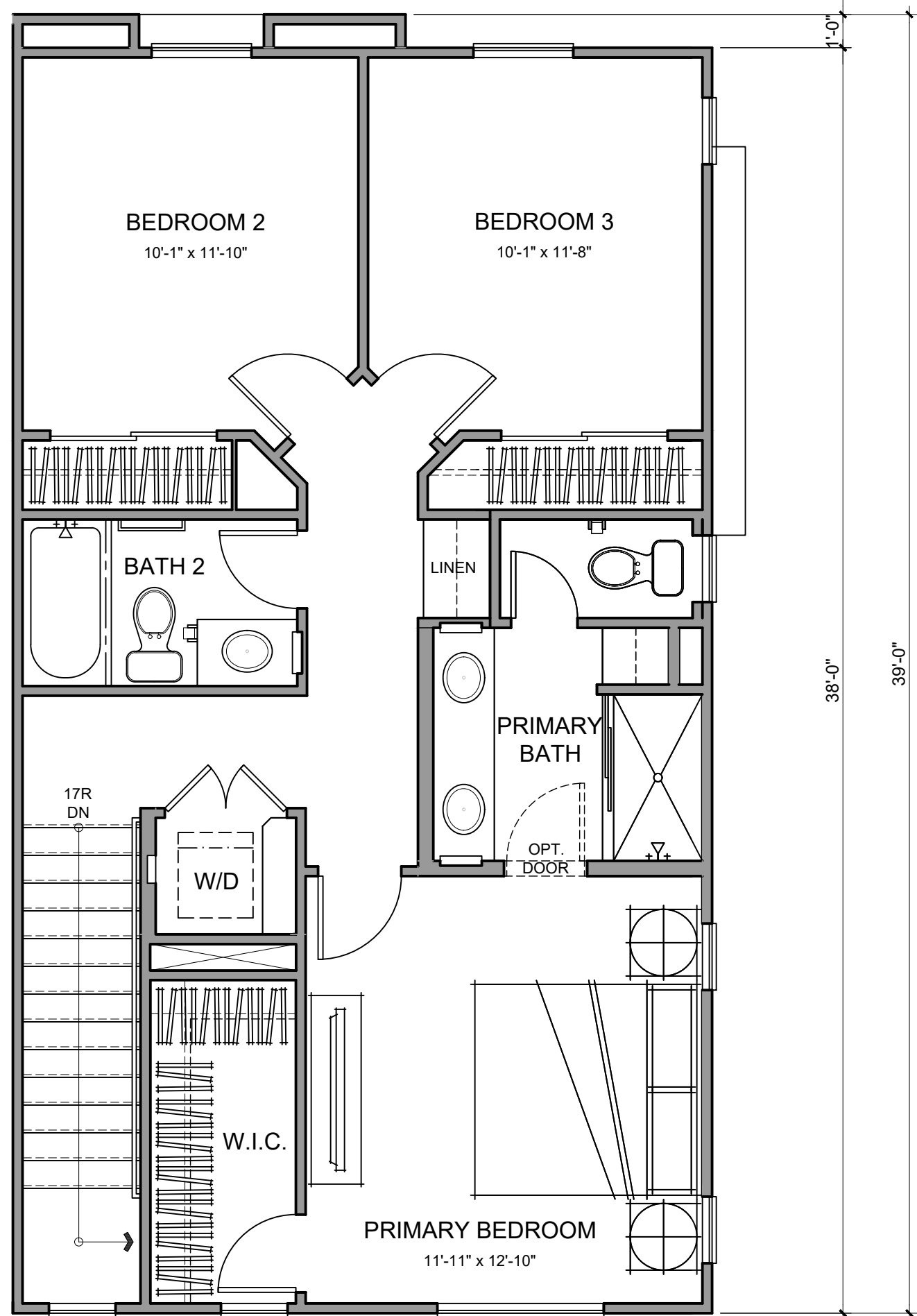


PLAN 2

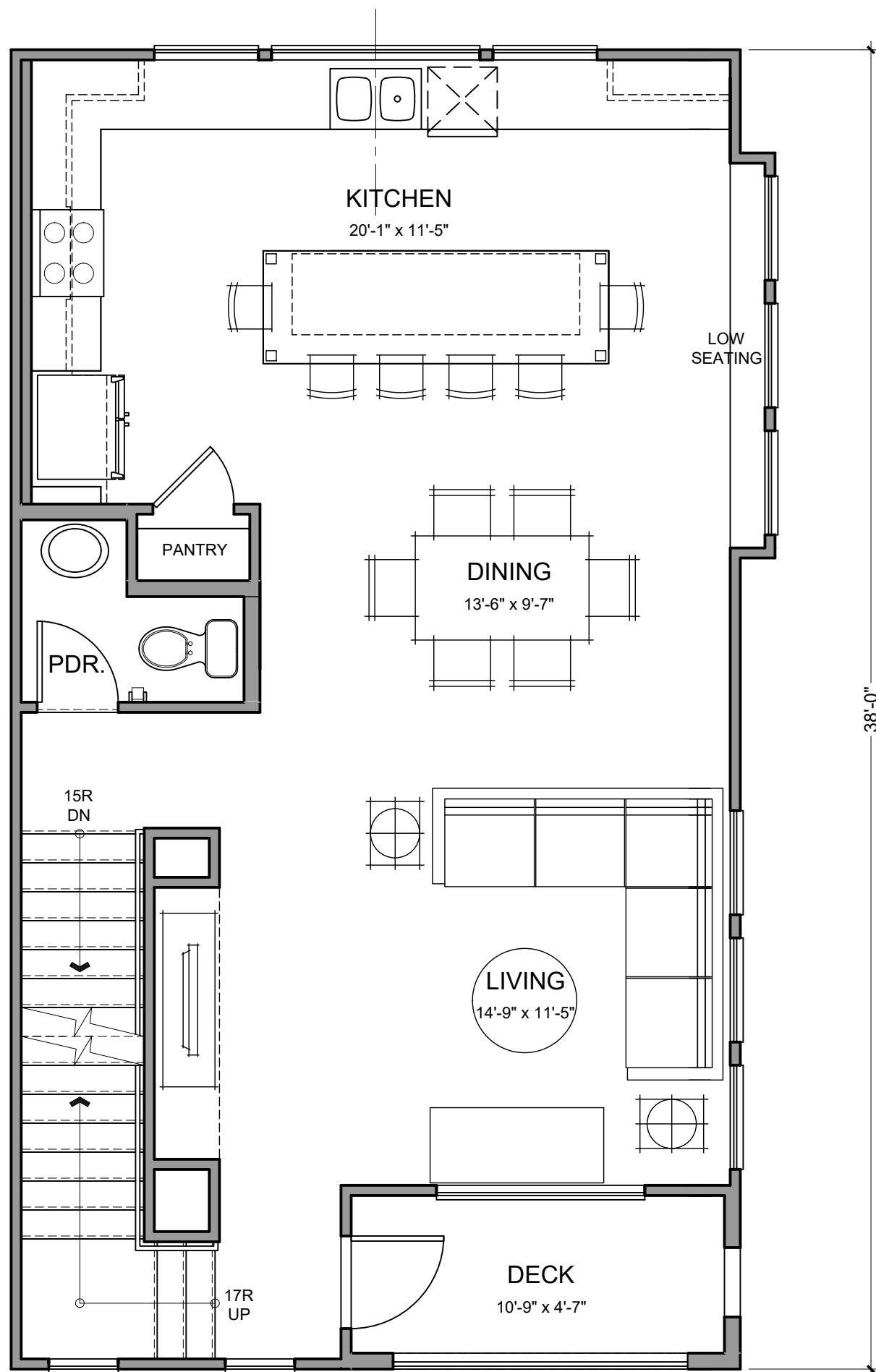
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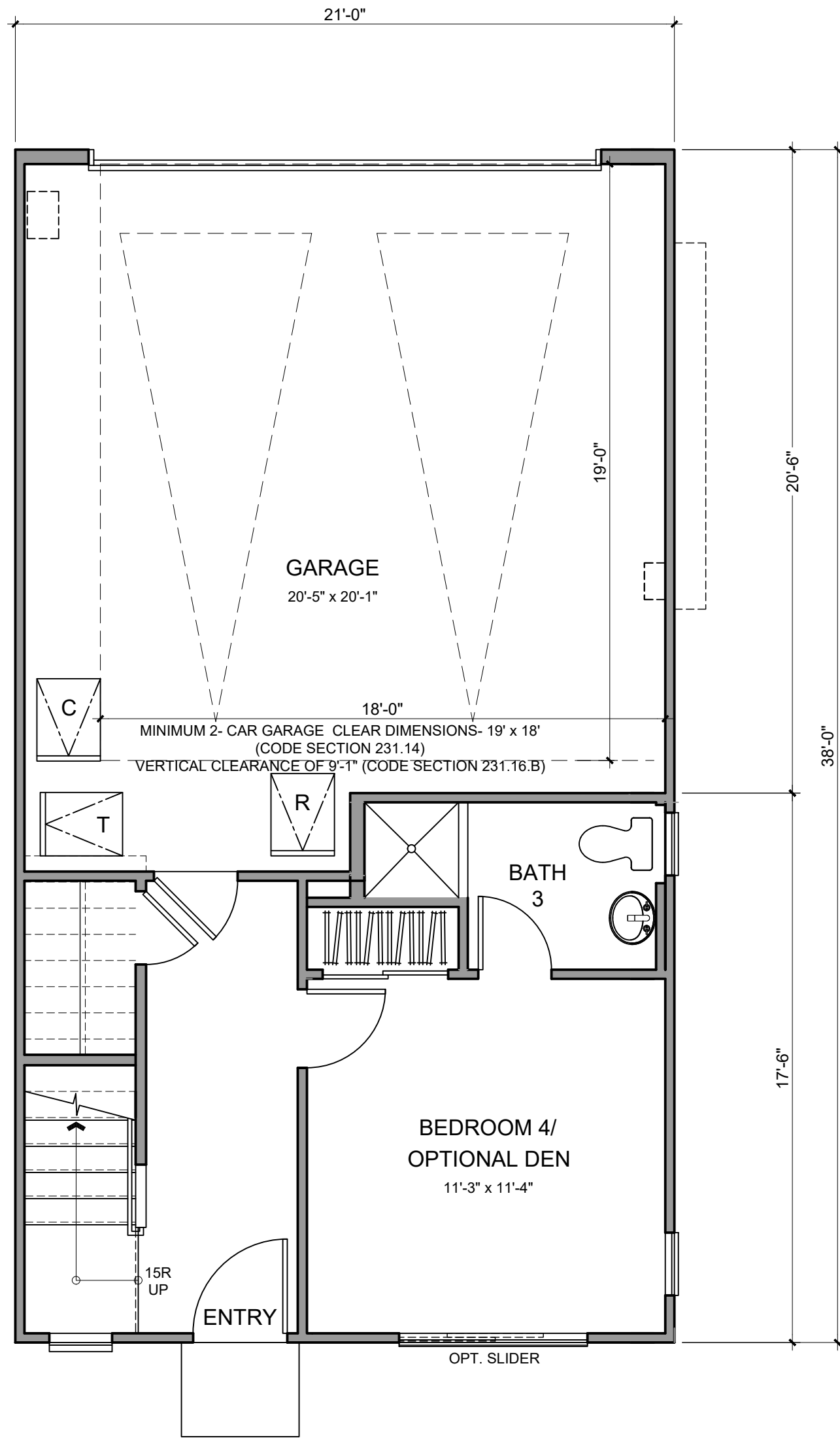
THIRD FLOOR:
DUAL MASTER OPTION



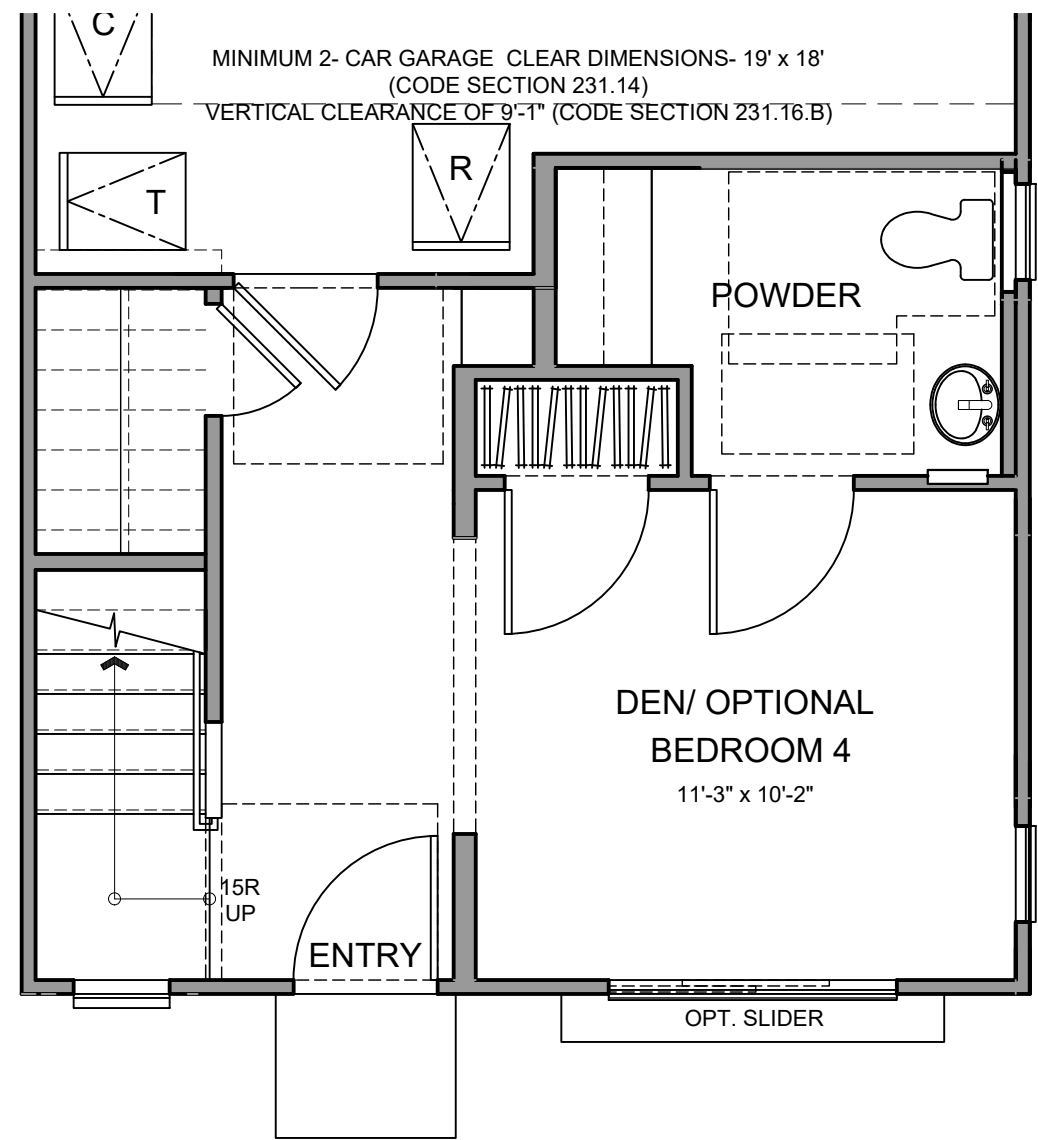
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



FIRST FLOOR - ACCESSIBLE UNIT

P3 - GROSS AREA	
1ST FLOOR	337 SQ. FT.
2ND FLOOR	742 SQ. FT.
3RD FLOOR	727 SQ. FT.
TOTAL LIVING	1805 SQ. FT.
GARAGE	337 SQ. FT.
DECK	49 SQ. FT.

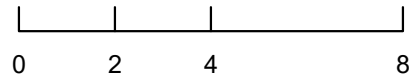


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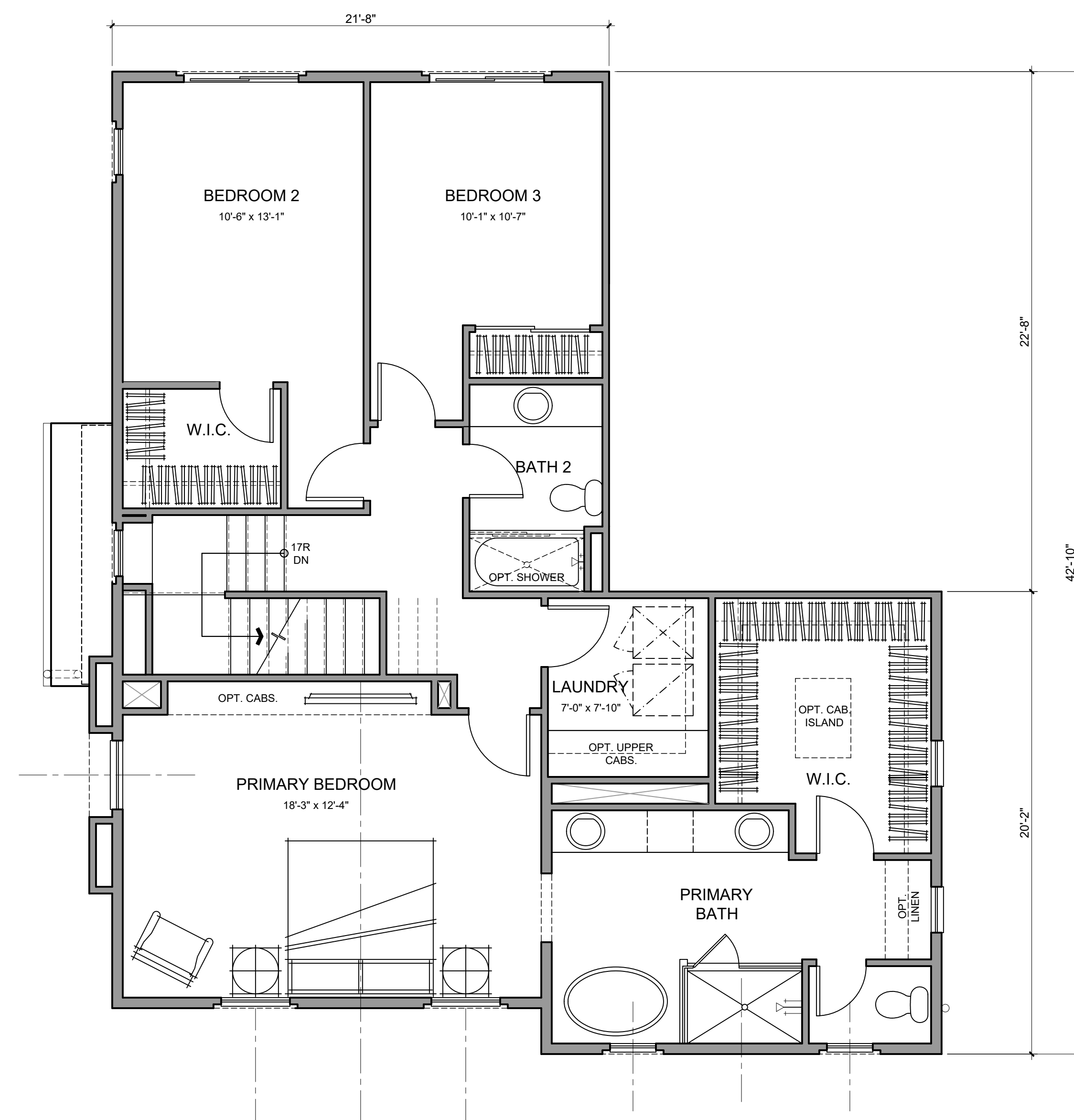
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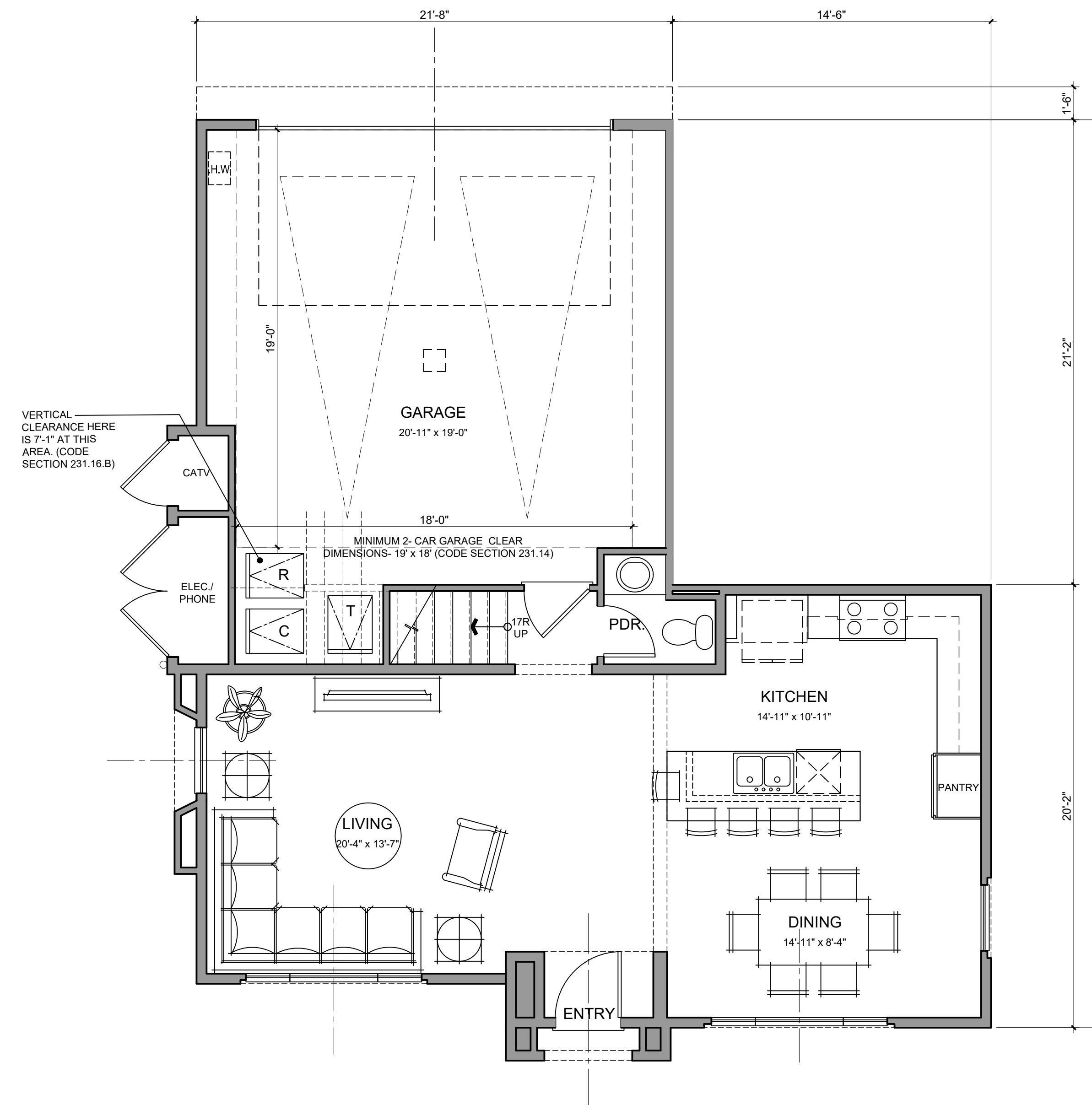


PLAN 3

A3.3

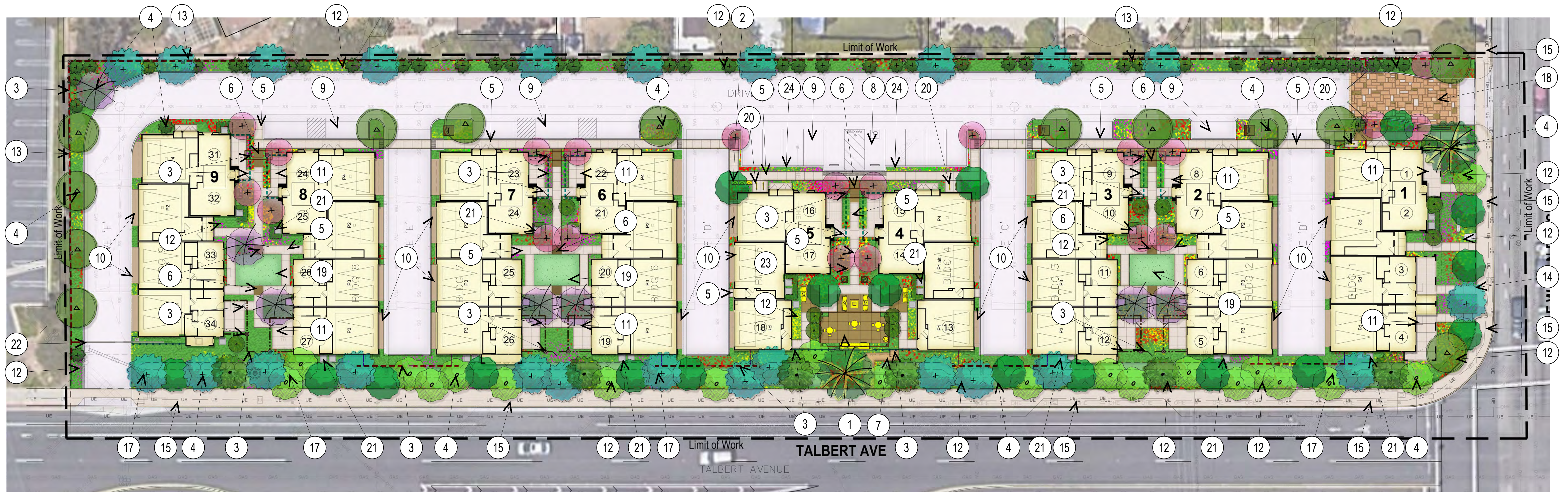


SECOND FLOOR



FIRST FLOOR

P4 - GROSS AREA	
1ST FLOOR	669 SQ. FT.
2ND FLOOR	1177 SQ. FT.
TOTAL LIVING	1847 SQ. FT.
GARAGE	474 SQ. FT.

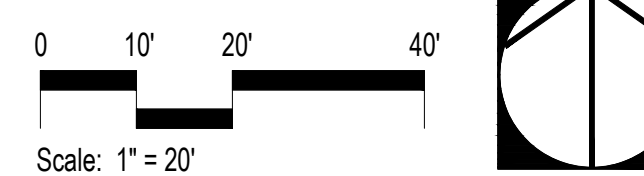
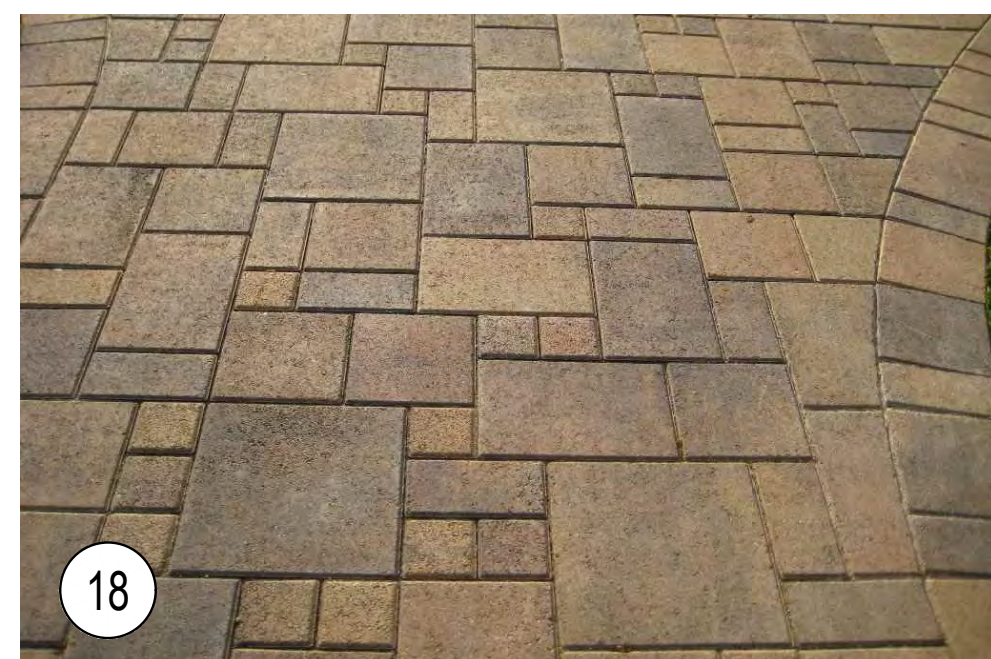
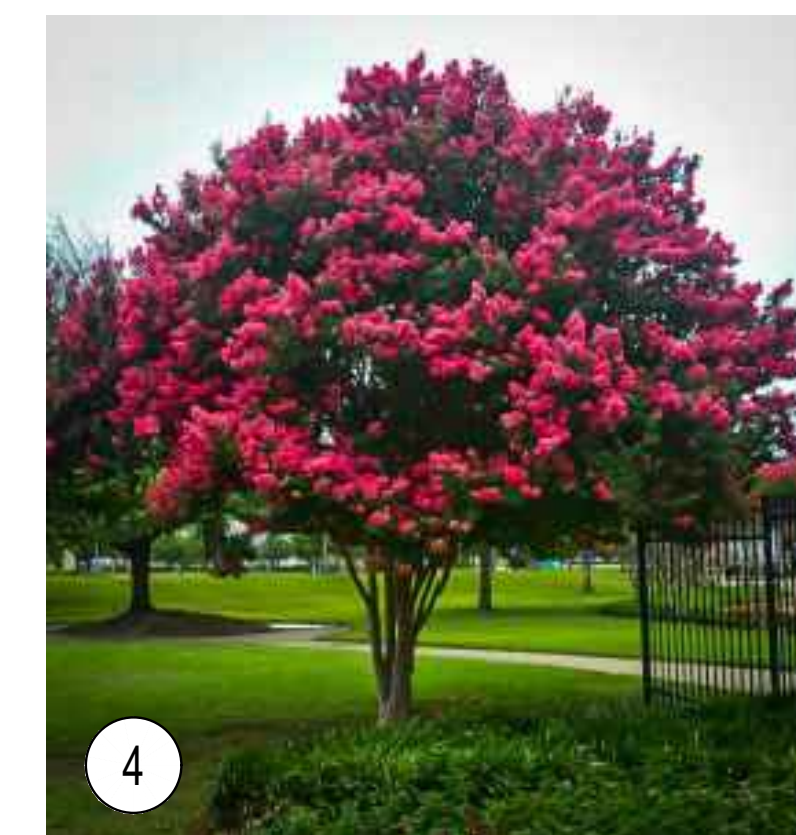


LEGEND

1. Central community open space area with colored concrete, shade structure, BBQ island, tables and chairs seating for small social events and group gatherings.
2. Three community cluster mailboxes, per USPS review and approval.
3. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
4. Proposed tree, per Planting Plan.
5. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
6. 4' wide pedestrian walk intersection node, in colored concrete (light topcast finish).
7. 4' wide DG path for fire access only.
8. Accessible parking stall and striping, per Civil plans.
9. Guest parking stall.
10. Natural colored concrete driveway, with light broom finish and tooled joints.
11. Private patio, HOA maintained.
12. Common area landscape, builder installed and HOA maintained.
13. Property line.
14. Public street R.O.W.
15. Proposed public street sidewalk, per Civil plans.
16. Transformer to be screened with landscape, quantity and final locations to be determined.
17. Proposed bioswale per Civil's plan.
18. Main entry vehicular & pedestrian gates with enhanced paving, vehicular gates to automatically open as vehicle approach gate.
19. Real turf areas with courtyards for passive use.
20. Short-term bike rack parking. (5 bike racks, accommodating 10 bike spaces).
21. A/C condensers to be screened with 15 gallon evergreen hedges.
22. Second vehicular entry slide gate.
23. Community dog bag station (black in color), for pet owners.
24. 2' overhang in the lieu of wheel stops for planter.



*Conceptual images (provided herein are conceptual and subject to change)



Schematic Landscape Plan

The Olson Company



6th City Submittal | Project No.: TOC49
Date: Feb. 24, 2022

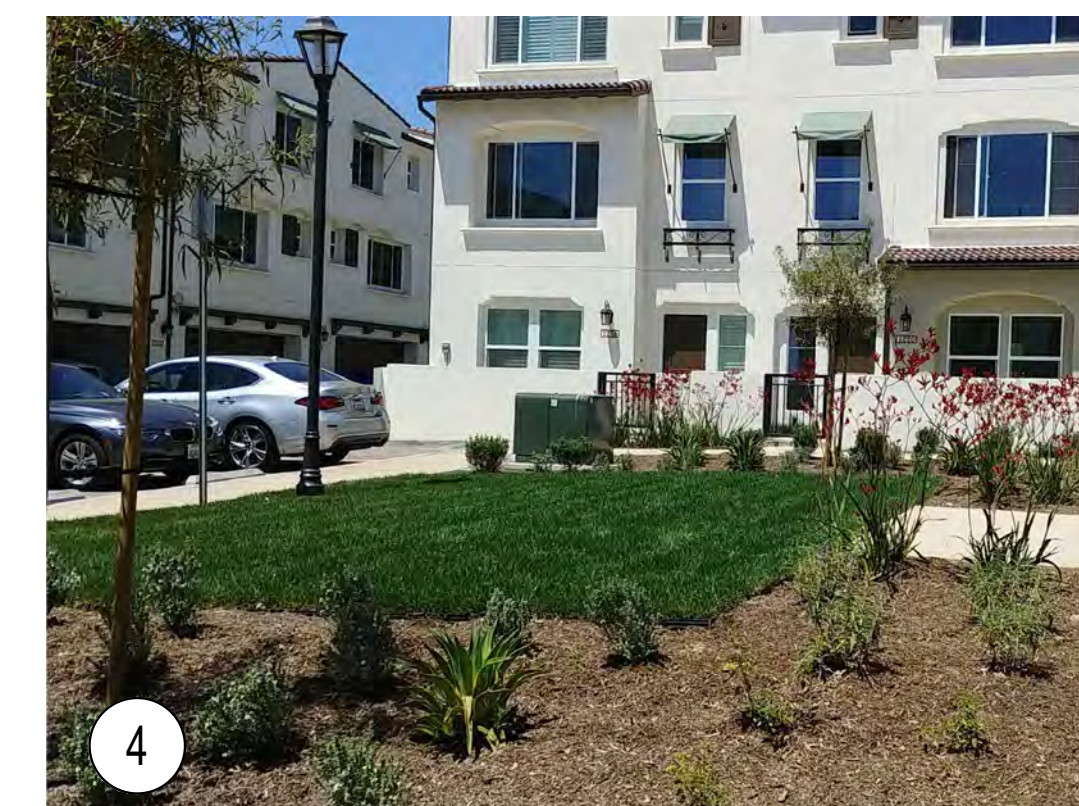
L-1

Talbert & Newland Huntington Beach, CA

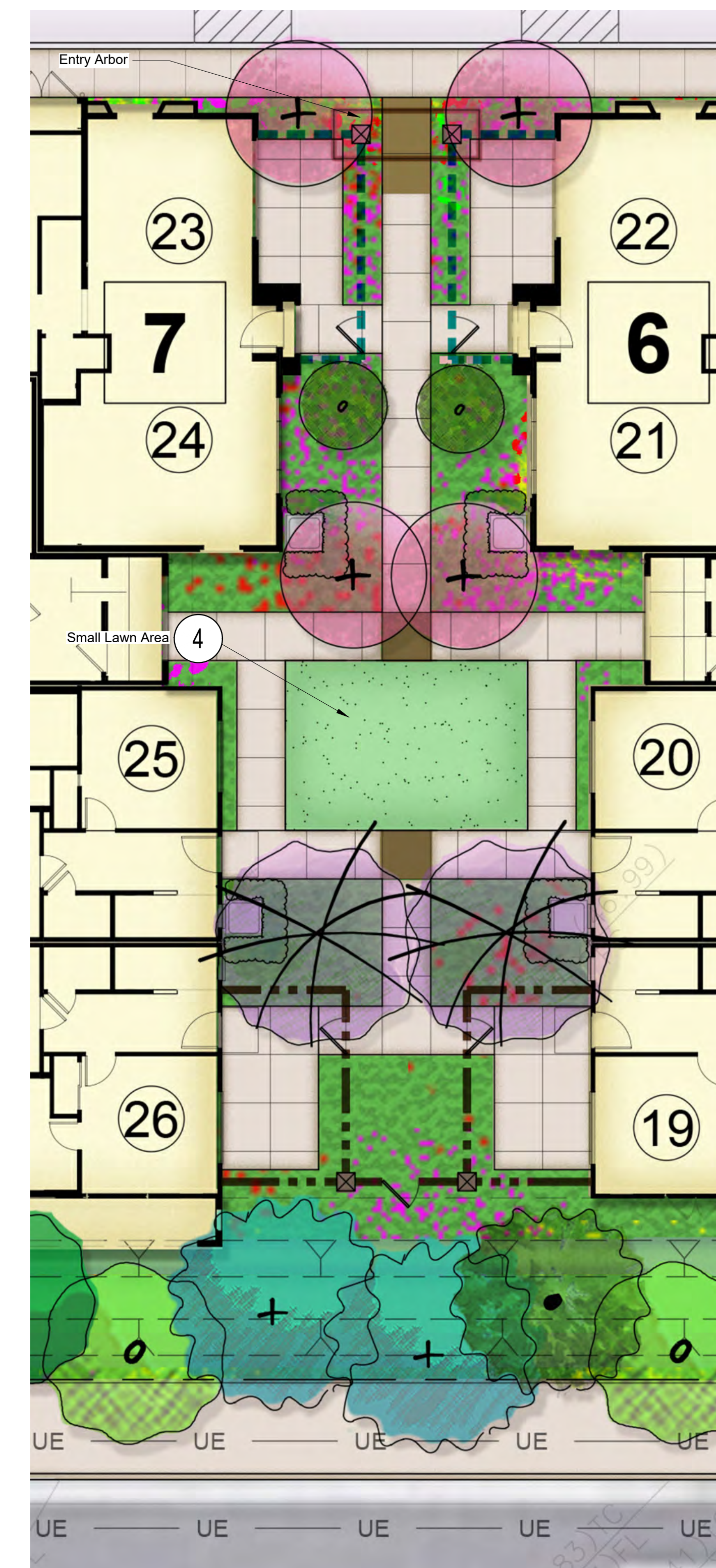
studio
PAD
Landscape Architecture
22175 S. Pacific Coast Hwy. 100
Laguna Hills, CA 92653 | www.studiopad.com



Plan View: Central Open Space
Scale: 1" = 1/8"



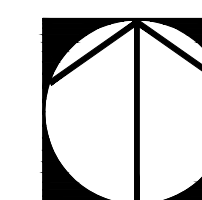
*Conceptual images (provided herein are conceptual and subject to change)



Plan View: Courtyard
Scale: 1" = 1/8"

Schematic Open Space Enlargements (1/8" Scale)

Talbert & Newland Huntington Beach, CA

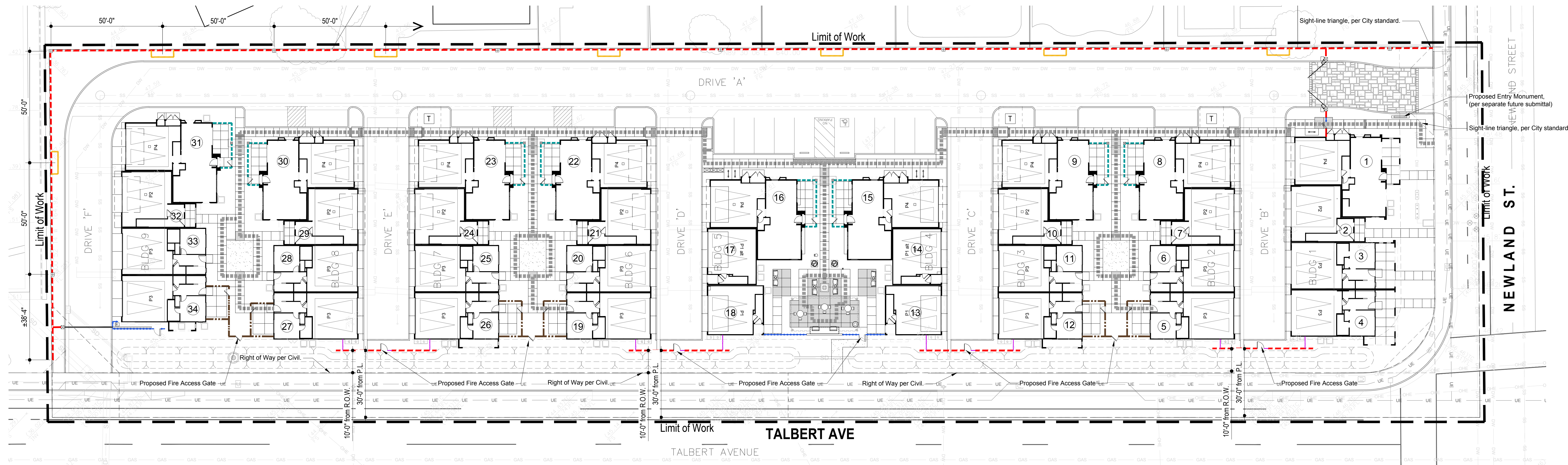


The Olson Company

6th City Submittal | Project No.: TOC49
Date: Feb. 24, 2022

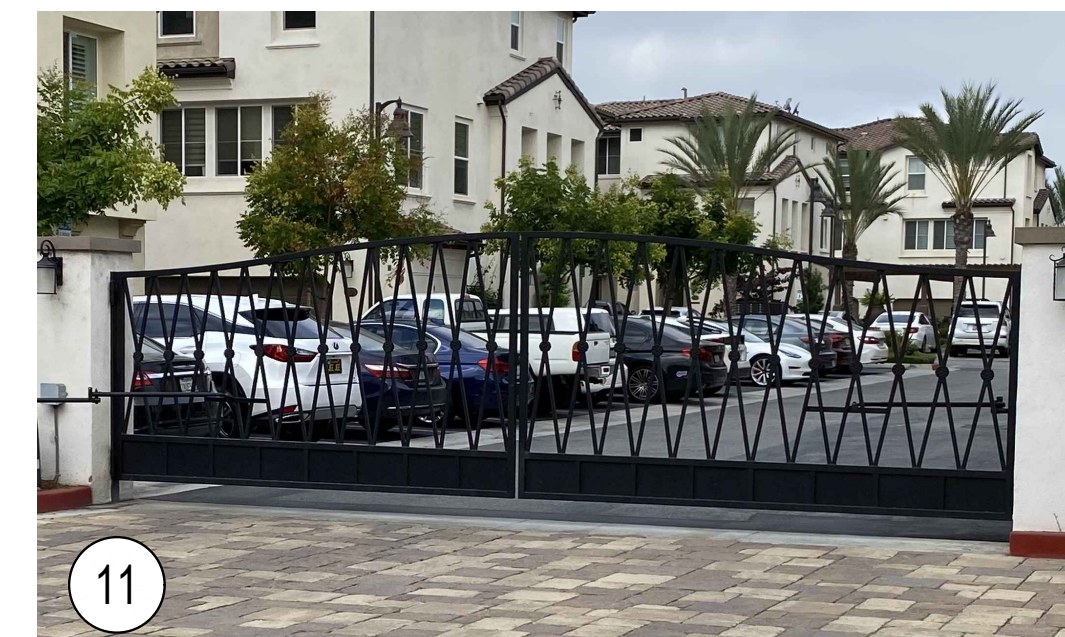
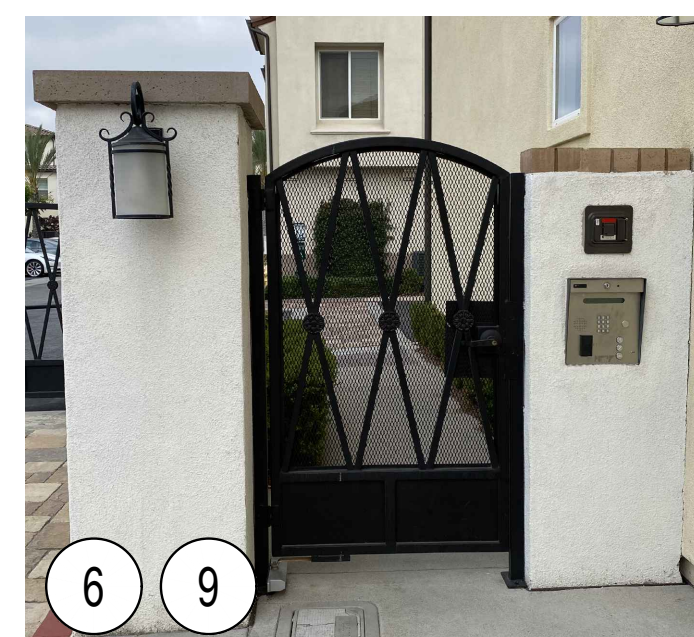
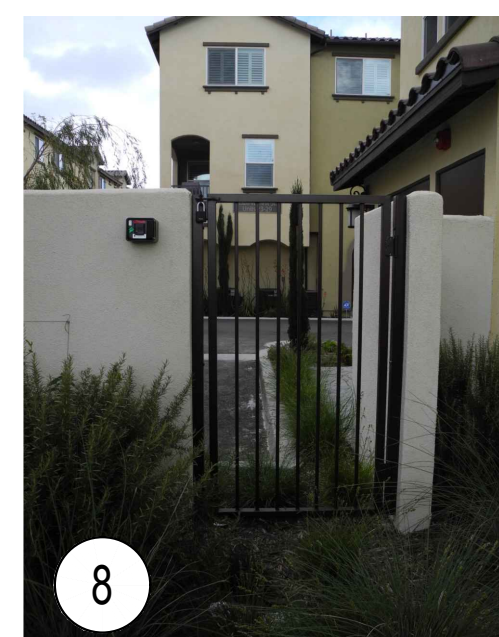
L-2

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22179 S. Pacific Coast Hwy. 100
Laguna Hills, CA 92653 | www.studioPAD.com

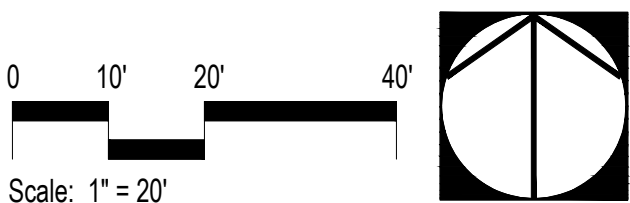


WALL LEGEND

- 1 6'-0" High stucco over CMU perimeter wall, with flat stucco cap.
 - 2 5'-0" High stucco over CMU patio wall, with flat stucco cap.
 - 3 4'-0" High stucco over CMU patio wall, with flat stucco cap.
 - 4 5'-6" High vinyl fence (tan color).
 - 5 5'-6" High tubular steel fence (black paint color).
 - 6 6'-6" High stucco over CMU block pilaster, with precast cap.
 - 7 5'-6" High vinyl fire access gates (tan color).
 - 8 5'-6" High metal fire access gates (black paint color).
 - 9 6'-0" High metal pedestrain gates (black paint color).
 - 10 4'-0" High metal patio gates (black paint color).
 - 11 ±6'-0" High metal vehicular swing gate. (black paint color).
 - 12 ±8'-0" High entry portal with trellis.
 - 13 ±6'-0" High Exit ONLY sliding gate.
 - 14 1'-6" High (x 10' L) raised stucco planter wall, with flat stucco cap.
- ADA Path of Travel



*Conceptual images (provided herein are conceptual and subject to change)



Schematic Wall and Fence Plan

The Olson Company

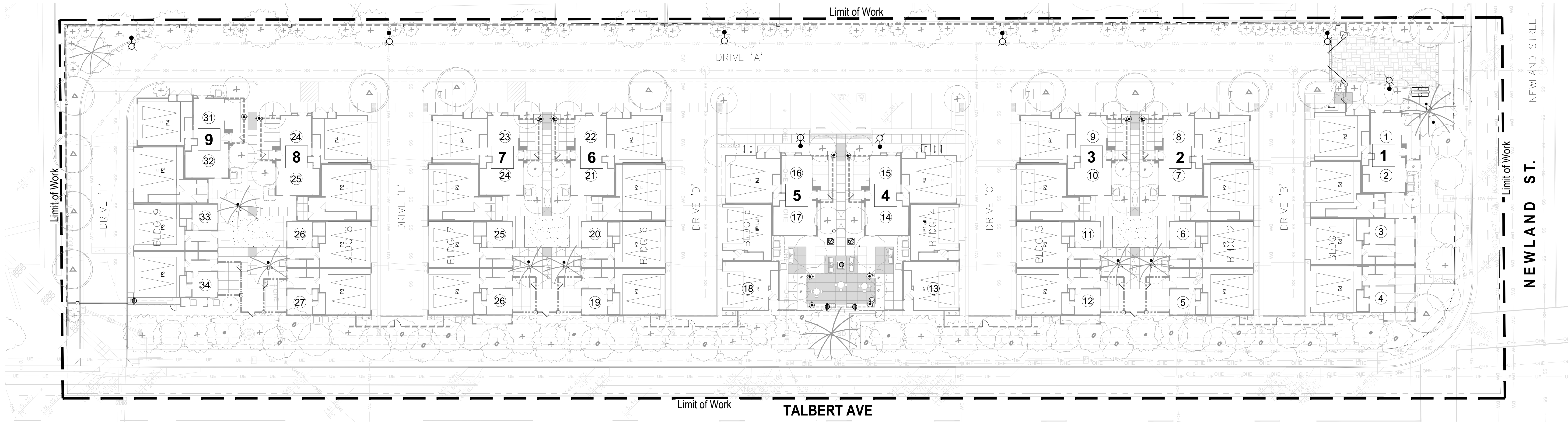


7th City Submittal | Project No.: TOC49
Date: Apr. 01, 2022

L-3

Talbert & Newland Huntington Beach, CA

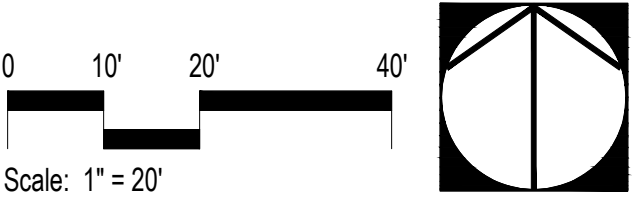
studio
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22219 S. Pacific Coast Hwy. 103
Laguna Hills, CA 92653 | www.studiopad.com



LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Area Pole Light, HID - Direct Lighting Sales, Model San Vicente #SVE-3 Cast Aluminum, Textured Bronze, RA21 Radius Lamp: Per Elec. Eng., Per Elec. Eng., Per Elec. Eng. Accessories: On DBC-1 Base & 10' round pole.	8
	Shade Structure Downlight - Kichler model #16017AZT27 Cast Aluminum, Textured Architectural Bronze, Surface Mounted Bracket Lamp: LED, 5.25 W-12W, 2700K Warm White	12
	Tree uplight, Staked - Kichler model VLO #16018-16020 Order #16019AZT27 (35Flood) Cast aluminum, Textured Architectural Bronze, Staked Lamp: LED, 5.25 W-12W, 2700K Warm White	8
	12V LED Accent with Variable Lumen Output (VLO)	
	Low-voltage transformer - Kichler model #15PR300 SS Cast Aluminum, Stainless Steel, Wall, Install with Mechanical Transformer Timer (#15557BK & Plug-In Transformer Remote Photocell (#15534K), 300W	1
	FX Luminaire PB Ideal selection for large broad objects or washing light. 2.23" W x 6.72" H x 4.03" L. Order code: PB, Aluminum Alloy, (AB) Antique Bronze, 3-Prong Spike Lamp: PB-1LED, 2W/2.4VA, 2700K, Beamspread: Very Wide Flood	2

Schematic Lighting Plan



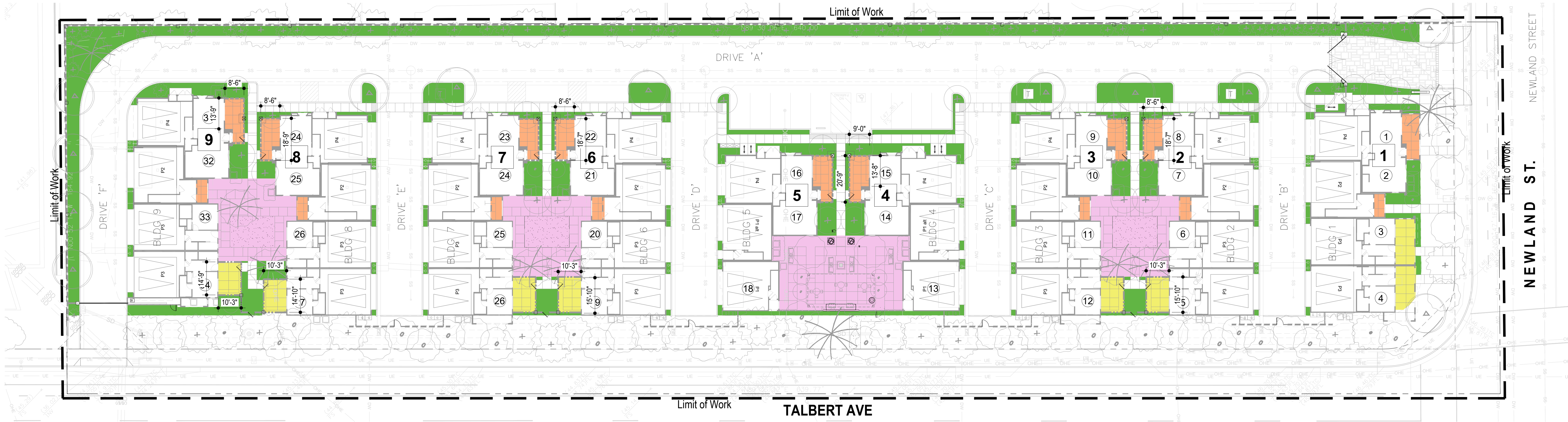
The Olson Company

Talbert & Newland Huntington Beach, CA



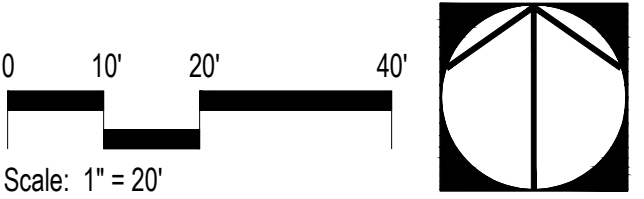
6th City Submittal | Project No.: TOC49
Date: Feb. 24, 2022





PRIVATE/Common OPEN SPACE

SYMBOL	NOTES	PROVIDED QTY	REQUIRED QTY
	COMMON SPACE MEETING MIN. CODE DIMENSIONS (with min. 10' dimension)	5,507 sf	
	PRIVATE O.S. MEETING MIN. CODE DIMENSIONS (with min. 10' dimension)	1,286 sf	
	UPPER PRIVATE O.S. MEETING MIN. CODE DIM. (provided by the Architect)	468 sf	
TOTAL OPEN SPACE MEETING MIN. DIMENSIONS:		7,261 sf (213.6 sf/unit)	14,423 sf (424.2 unit)
	PRIVATE O.S. NOT MEETING MIN. CODE DIMENSIONS (with less than 10' dimension)	1,660 sf	
	LANDSCAPE O.S. NOT MEETING MIN. CODE DIM. (with less than 10' dimension)	8,858 sf	
TOTAL OPEN SPACE NOT MEETING MIN. DIMENSIONS:		10,518 sf (309.4 sf/unit)	14,423 sf (424.2 unit)
TOTAL OF ALL OPEN SPACE CATEGORIES:		17,779 sf	



Schematic Private/Common Open Space Plan

The Olson Company

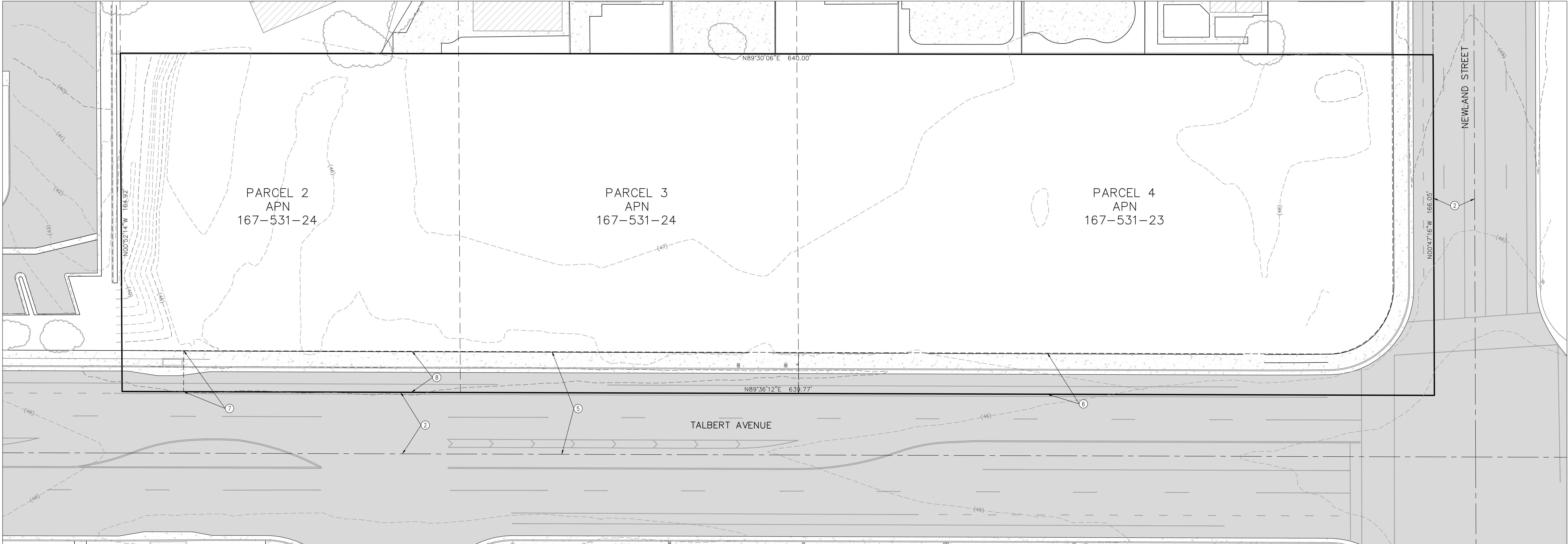
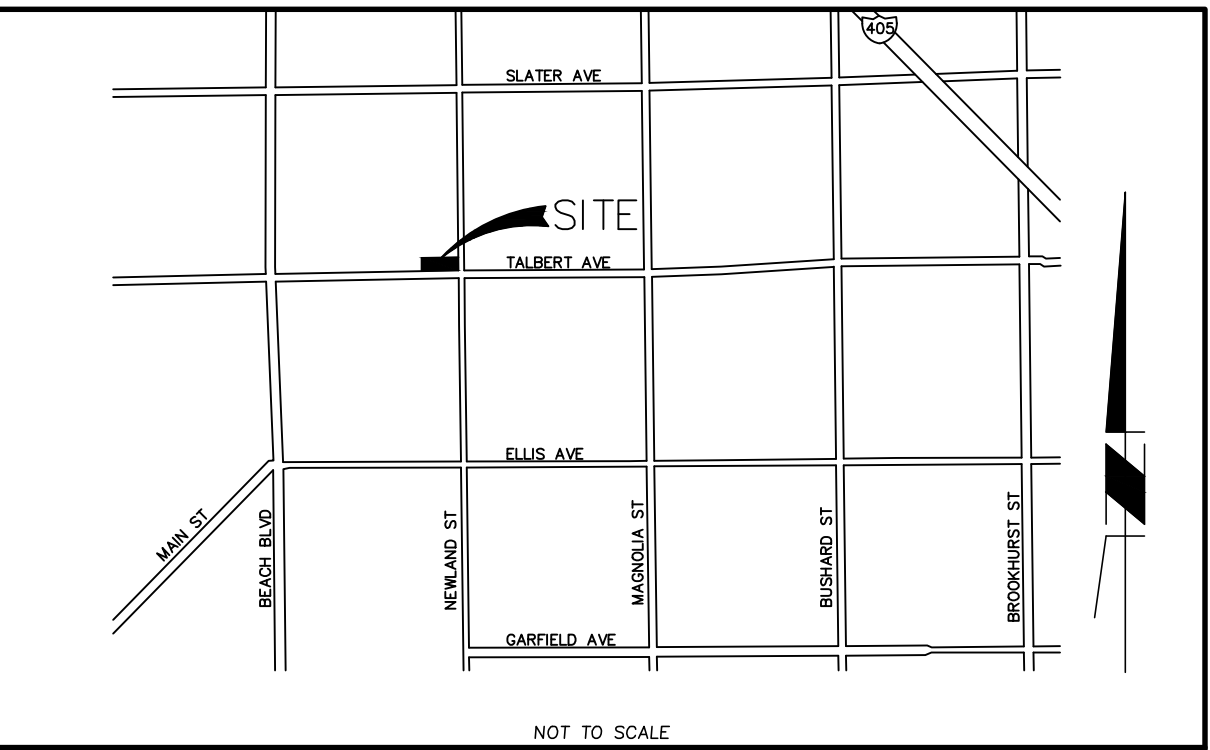


Talbert & Newland Huntington Beach, CA

TENTATIVE TRACT MAP NO. 19157
FOR CONDOMINIUM PURPOSES

IN THE CITY OF HUNTINGTON BEACH
COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SUBDIVISION OF PARCELS 2, 3 AND 4, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,
AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY



LEGEND:

- EX STORM DRAIN STRUCTURE
- EX PALM TREE
- EX TREE
- EX SEWER MANHOLE
- EX STREETLIGHT
- EX FIRE HYDRANT
- EX UTILITY BOX
- EX STORM DRAIN MANHOLE
- EX CATCH BASIN
- EX POWER POLE
- EX TRAFFIC LIGHT
- EX UNDERGROUND UTILITY VAULT
- EX WATER VALVE COVER
- EX WATER METER
- EX MANHOLE
- EX STREET SIGN
- EX BOLLARD
- EX TRANSFORMER
- EX PROPERTY BOUNDARY
- EX STREET CENTERLINE
- EX RIGHT-OF-WAY
- EX PROPERTY LINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX SEWER LINE
- EX DOMESTIC WATER LINE
- EX FIRE WATER LINE
- EX RECYCLED WATER LINE
- EX STORM DRAIN LINE
- EX OVERHEAD ELECTRIC
- EX IRON FENCE
- EX CHAIN LINK FENCE
- EX WOOD FENCE
- EX BLOCK WALL
- EX RETAINING WALL
- EX CURB AND GUTTER
- EX CONCRETE
- EX BUILDING
- EX ASPHALT
- PR UNIT NUMBER
- PR PLAN NUMBER

EXISTING EASEMENTS

- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED OCTOBER 24, 1903 IN BOOK 91, PAGE 24 OF DEEDS.
IN FAVOR OF: THE STEARNS RANCHO COMPANY
AFFECTS: AS DESCRIBED THEREIN
STATUS: TO REMAIN
- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED DECEMBER 17, 1975 IN BOOK 11597, PAGE 1670 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
- AN EASEMENT FOR STREET AND UTILITY AND INCIDENTAL PURPOSES, RECORDED DECEMBER 26, 1976 IN BOOK 12976, PAGE 1013 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
- AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES, RECORDED DECEMBER 26, 1978 IN BOOK 12976, PAGE 1018 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: PARCELS 2 AND 3
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
- AN EASEMENT FOR STREET AND UTILITY AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 28, 2016 AS INSTRUMENT NO. 2016000596198 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP

GENERAL NOTES

- EXISTING LAND USE: (RL) LOW DENSITY RESIDENTIAL
- PROPOSED LAND USE: 34 TOWNHOMES (RM) MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING: (RL) LOW DENSITY RESIDENTIAL
- WATER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- SEWER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- ELECTRICAL SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON
- GAS SERVICE PROVIDED BY: SOCAL GAS CO.
- TELEPHONE SERVICE PROVIDED BY: AT&T
- CABLE TELEVISION PROVIDED BY: SPECTRUM
- PROJECT IS WITHIN THE OCEAN VIEW SCHOOL DISTRICT
- ALL LOTS SHALL BE HOMEOWNER OR HOMEOWNER ASSOCIATION MAINTAINED
- NO KNOWN ACTIVE FAULTS ARE KNOWN TO PROJECT THROUGH THE SITE NOR DOES THE SITE LIE WITHIN THE BOUNDARIES OF AN "EARTHQUAKE FAULT ZONE" AS DEFINED BY THE STATE OF CALIFORNIA IN THE ALQUIST-PRIOLO EARTHQUAKE FAULT ZONING ACT.
- PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", (AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FIRM PANEL 06059C0253J EFFECTIVE 12/3/2009.
- ASSESSOR'S PARCEL NUMBER: 167-531-23, 167-531-24
- PARKING PROVIDED: 68 ENCLOSED (2 PER UNIT IN GARAGE) 19 GUEST PARKING
- ALL OPEN SPACE AREAS, DRIVEWAYS, PRIVATE STREETS AND TRACTS WILL BE MAINTAINED BY THE HOA.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: (APN 167-531-24)

PARCELS 2 AND 3, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM THE NORTH 130.00 FEET THEREOF.

PARCEL B: (APN 167-531-23)

PARCEL 4, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM THE NORTH 130.00 FEET THEREOF.

BASIS OF BEARINGS:

CENTERLINE OF CENTRAL AVENUE BEING N 89°19'54" W

PROPERTY ADDRESS:

8371-8375 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

ASSESSOR PARCEL NUMBER:

APN: 167-531-23
167-531-24

LOT AREA:

GROSS: 2.43 ACRES
NET: 2.07 ACRES

DENSITY CALCULATIONS:

PROPOSED TOWNHOMES: 34 UNITS
NET AREA: 2.07 AC
PROPOSED DENSITY: 16.4 DU/AC

ESTIMATE OF EARTHWORK QUANTITIES:

CUT=2,052 CY FILL=1,742 CY OVEREXCAVATION=10,000 CY
THESE VALUES ARE FOR PLAN CHECK PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THEIR OWN QUANTITIES PRIOR TO START OF WORK.

STATEMENT OF OWNERSHIP:

WE, THE UNDERSIGNED, DO HEREBY STATE THAT WE ARE THE RECORD OWNERS OF THE PROPERTY COMPRISING THIS TENTATIVE TRACT MAP AND THAT WE HAVE CONSENTED TO THE FILING OF SAID MAP.

GORDON A. LANGSTON AND MARY M. LANGSTON, AS TRUSTEES OF THE LANGSTON FAMILY TRUST
8371-8375 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

BY: _____ DATE: _____

DEVELOPER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740-2751
(562) 596-4770

PREPARED BY:



ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN
SUITE E, PMB 251
LAGUNA NIGUEL, CA 92677
(866) 338-5778 PHONE
(866) 338-5778 FAX
WWW.ADVANCEDCIVILGROUP.COM

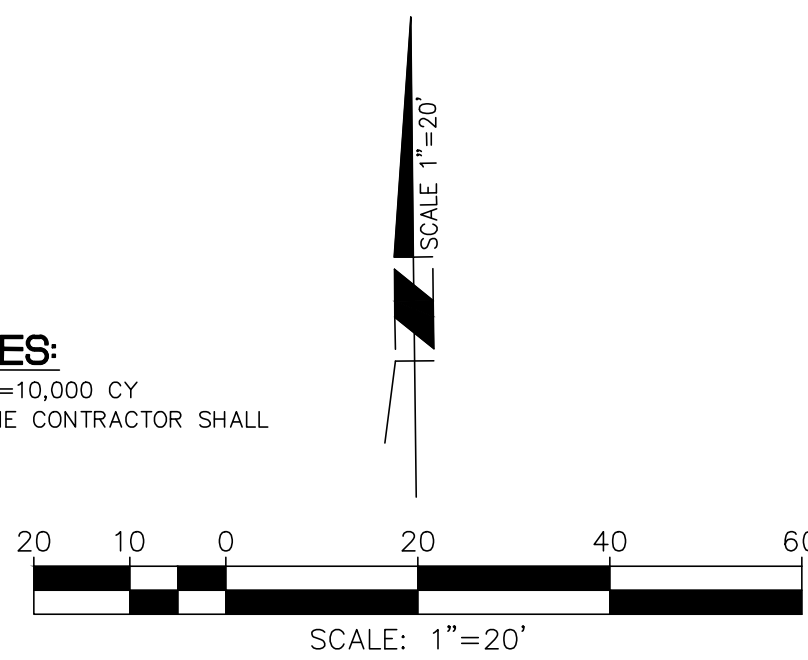
R. Steven Austin
R. STEVEN AUSTIN, PE
RCE 68795 EXP: 9/30/23

3/21/2022

DATE



SCALE: 1" = 20'
DATE: 3/21/2022
GROSS AREA: +/- 2.43 AC
CONTOURS: 1 FOOT
TOTAL LOTS: 1 NUMBERED
TOTAL UNITS: 34 LETTERED

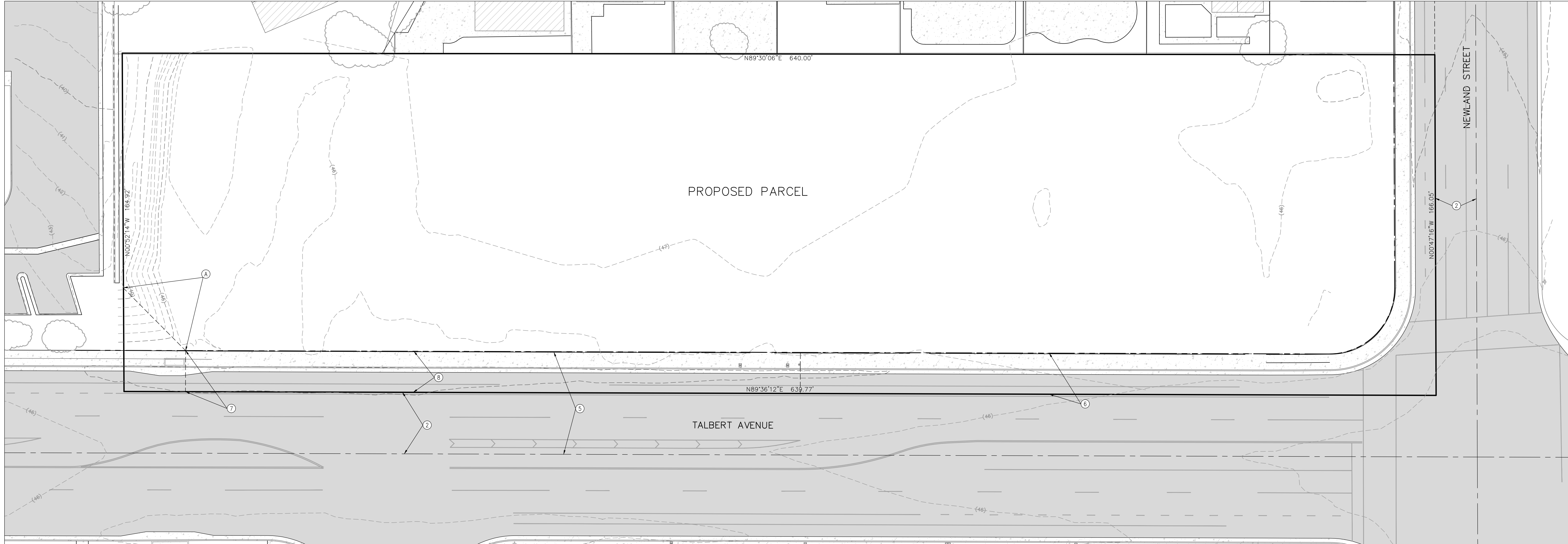
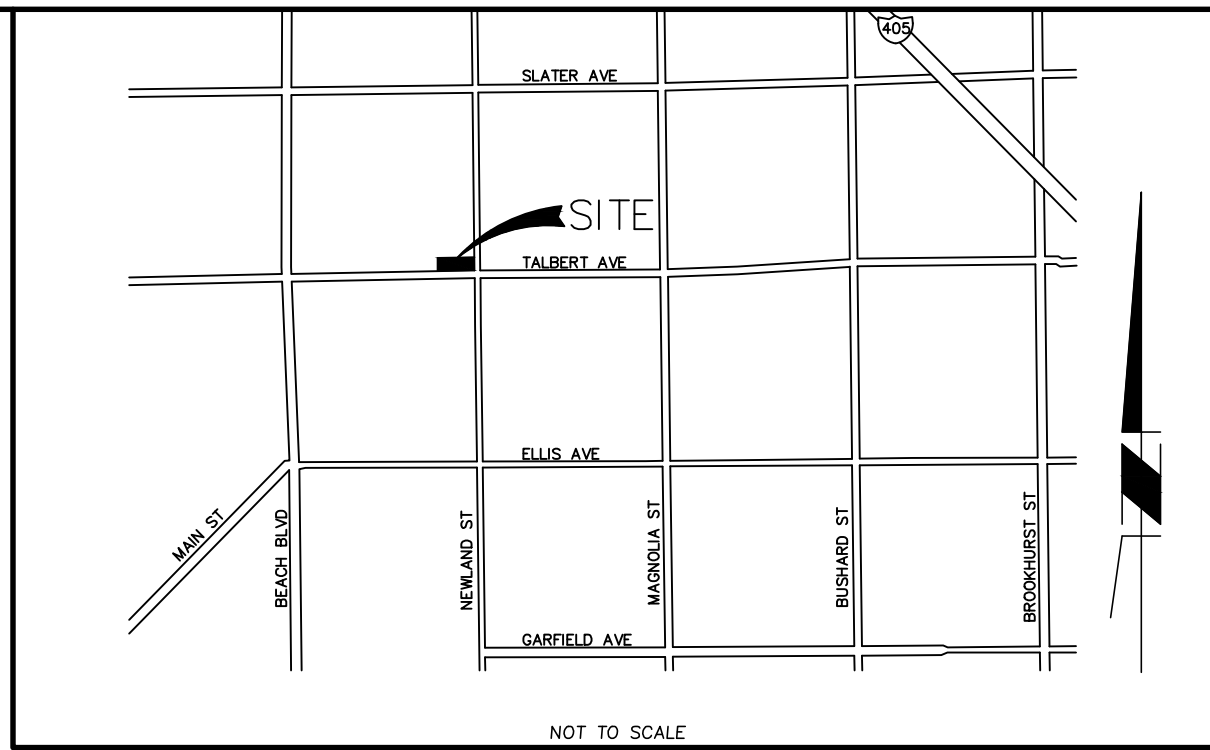


TENTATIVE TRACT MAP NO. 19157
FOR CONDOMINIUM PURPOSES

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IN THE CITY OF HUNTINGTON BEACH
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- EX STREETLIGHT
- EX FIRE HYDRANT
- EX UTILITY BOX
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- EX WATER VALVE COVER
- EX WATER METER
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- EX BOLLARD
- EX TRANSFORMER
- EX PROPERTY BOUNDARY
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- EX FIRE WATER LINE
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- EX WOOD FENCE
- EX BLOCK WALL
- EX RETAINING WALL
- EX CURB AND GUTTER
- EX CONCRETE
- EX BUILDING
- EX ASPHALT
- PR UNIT NUMBER
- PR PLAN NUMBER

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- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED OCTOBER 24, 1903 IN BOOK 91, PAGE 24 OF DEEDS.
IN FAVOR OF: THE STEARNS RANCHO COMPANY
AFFECTS: AS DESCRIBED THEREIN
STATUS: TO REMAIN
- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED DECEMBER 17, 1975 IN BOOK 11597, PAGE 1670 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
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IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
- AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES, RECORDED DECEMBER 26, 1976 IN BOOK 12976, PAGE 1018 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP
- AN EASEMENT FOR STREET AND UTILITY AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 28, 2016 AS INSTRUMENT NO. 2016000596196 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
STATUS: DEDICATED AS RIGHT OF WAY PER FINAL MAP

GENERAL NOTES

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- PROPOSED LAND USE: 34 TOWNHOMES (RM) MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING: (RL) LOW DENSITY RESIDENTIAL
- WATER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- SEWER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- ELECTRICAL SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON
- GAS SERVICE PROVIDED BY: SOCAL GAS CO.
- TELEPHONE SERVICE PROVIDED BY: AT&T
- CABLE TELEVISION PROVIDED BY: SPECTRUM
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- ALL LOTS SHALL BE HOMEOWNER OR HOMEOWNER ASSOCIATION MAINTAINED
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PROPOSED EASEMENTS

- AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES.
IN FAVOR OF: CITY OF HUNTINGTON BEACH, CA MUNICIPAL CORPORATION
AFFECTS: PROPOSED PARCEL
STATUS: PROPOSED EASEMENT

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: (APN 167-531-24)

PARCELS 2 AND 3, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

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EXCEPTING THEREFROM THE NORTH 130.00 FEET THEREOF.

BASIS OF BEARINGS:

CENTERLINE OF CENTRAL AVENUE BEING N 89°15'4" W

PROPERTY ADDRESS:

8371-8375 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

ASSESSOR PARCEL NUMBER:

APN: 167-531-23
167-531-24

LOT AREA:

GROSS: 2.43 ACRES
NET: 2.07 ACRES

DENSITY CALCULATIONS:

PROPOSED TOWNHOMES: 34 UNITS
NET AREA: 2.07 AC
PROPOSED DENSITY: 16.4 DU/AC

ESTIMATE OF EARTHWORK QUANTITIES:

CUT=2,052 CY FILL=1,742 CY OVEREXCAVATION=10,000 CY
THESE VALUES ARE FOR PLAN CHECK PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THEIR OWN QUANTITIES PRIOR TO START OF WORK.

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GORDON A. LANGSTON AND MARY M. LANGSTON, AS TRUSTEES OF THE LANGSTON FAMILY TRUST
8371-8375 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

BY: _____ DATE: _____

DEVELOPER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740-2751
(562) 596-4770

PREPARED BY:



ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN
SUITE E, PMB 251
LAGUNA NIGUEL, CA 92677
(866) 338-5778 PHONE
(866) 338-5778 FAX
WWW.ADVANCEDCIVILGROUP.COM

R. Steven Austin
R. STEVEN AUSTIN, PE
RCE 68795 EXP: 9/30/23

3/21/2022

DATE

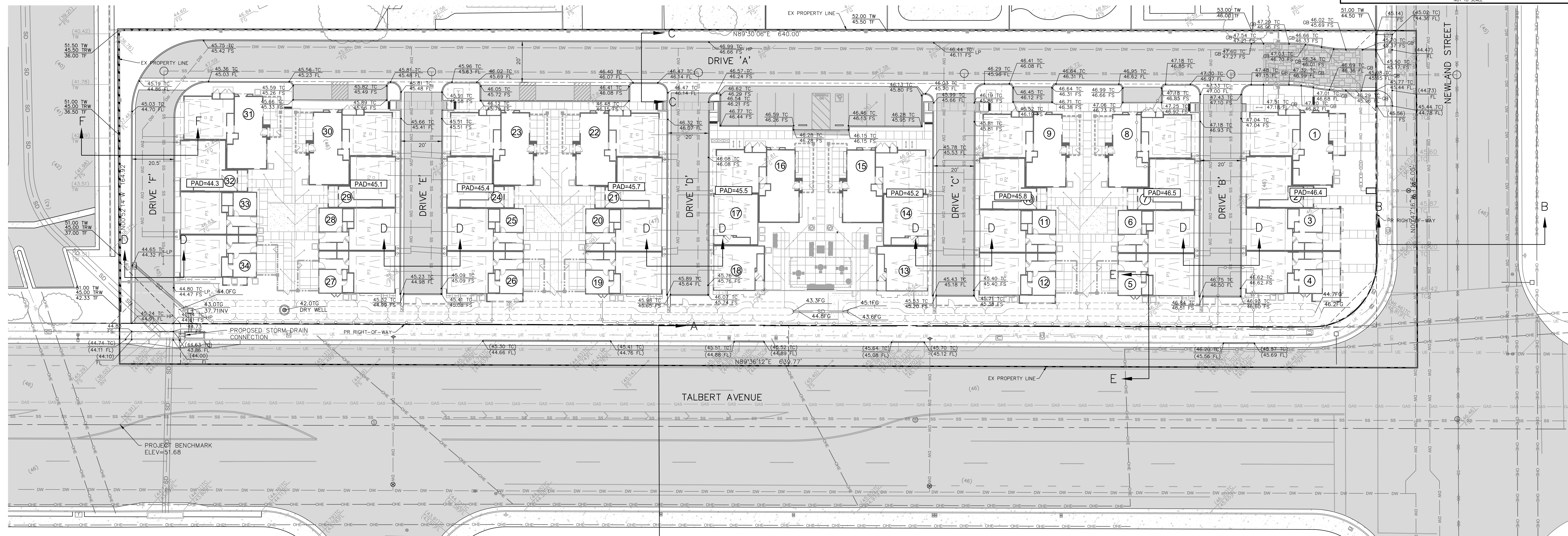
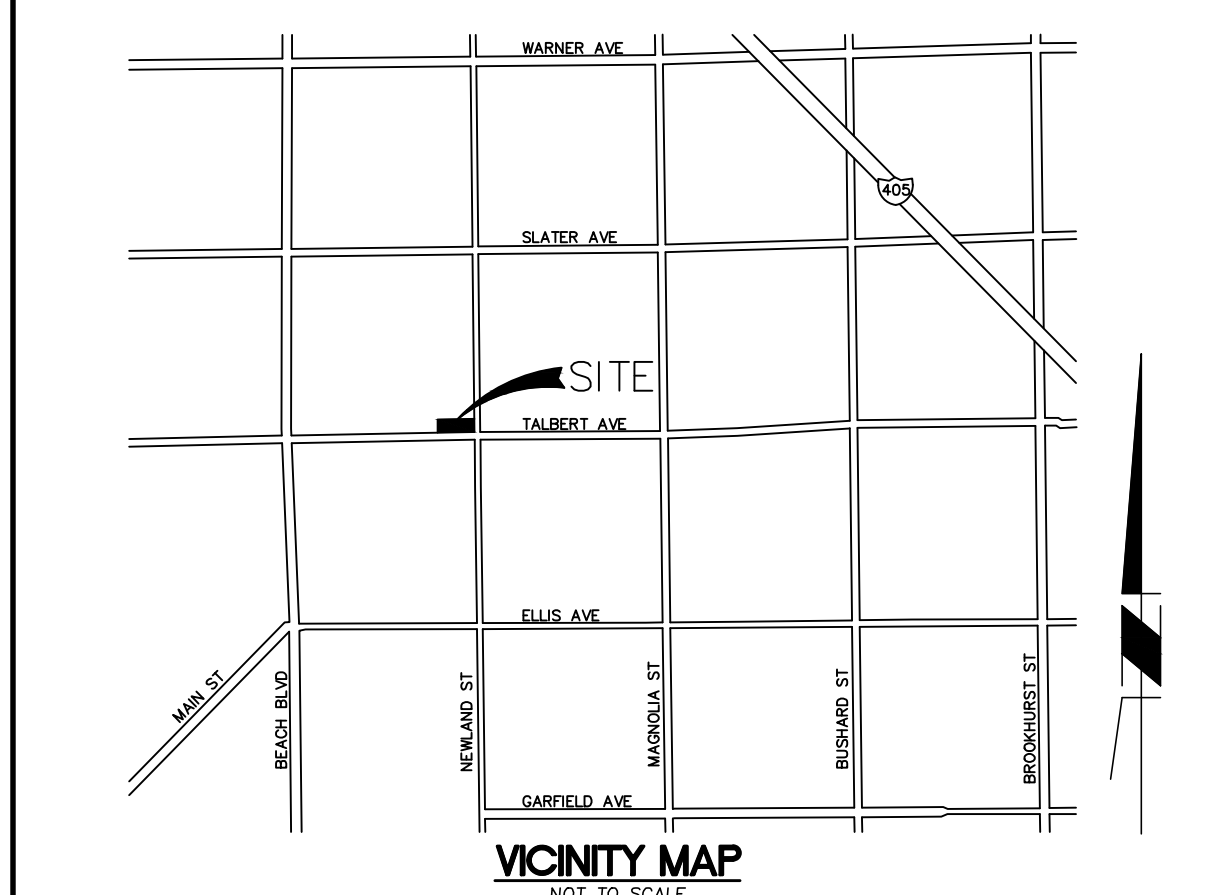


SCALE: 1" = 20'
DATE: 3/21/2022
GROSS AREA: +/- 2.43 AC
CONTOURS: 1 FOOT
TOTAL LOTS: 1 NUMBERED
TOTAL UNITS: 34 TOWNHOMES

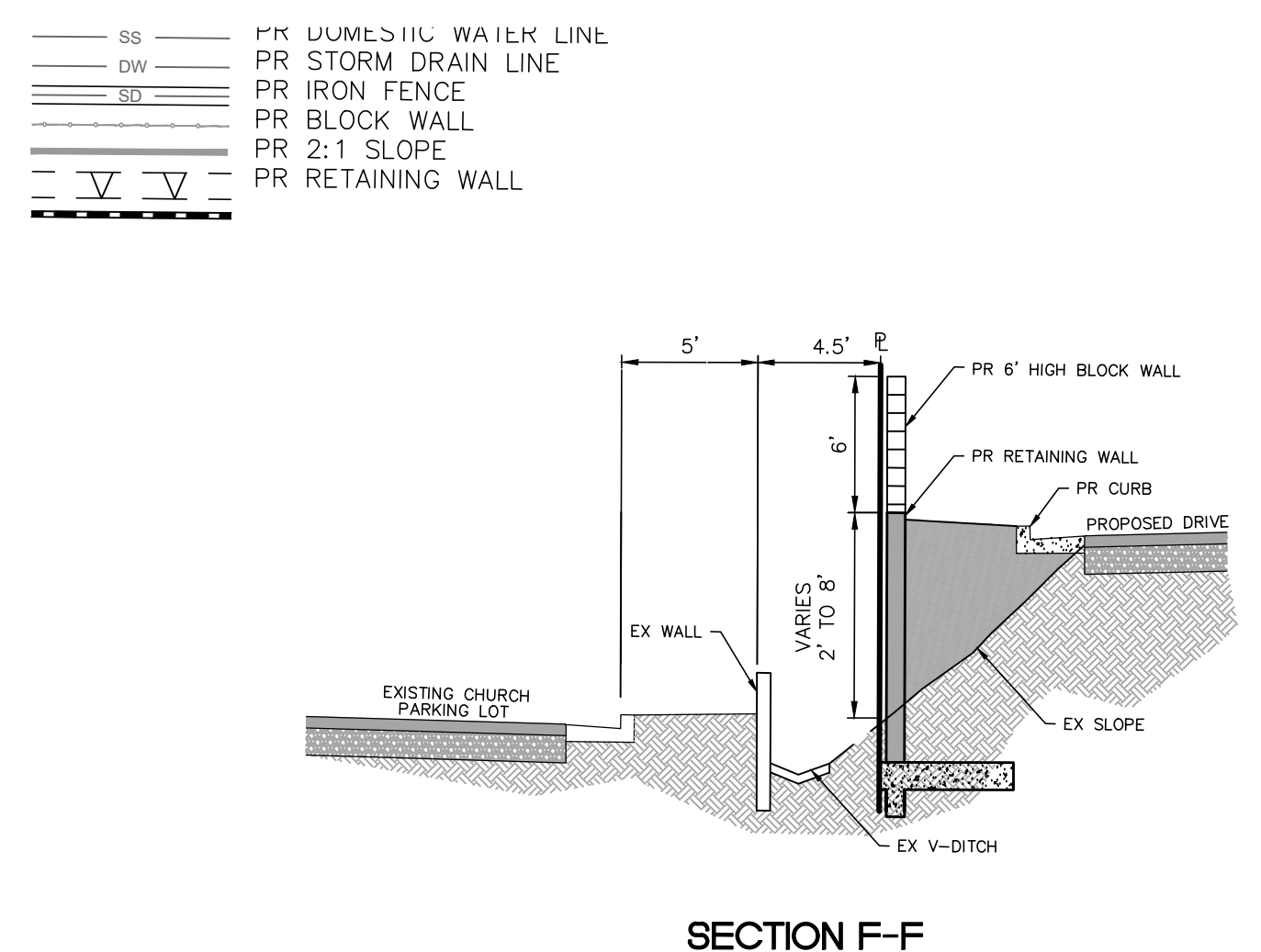
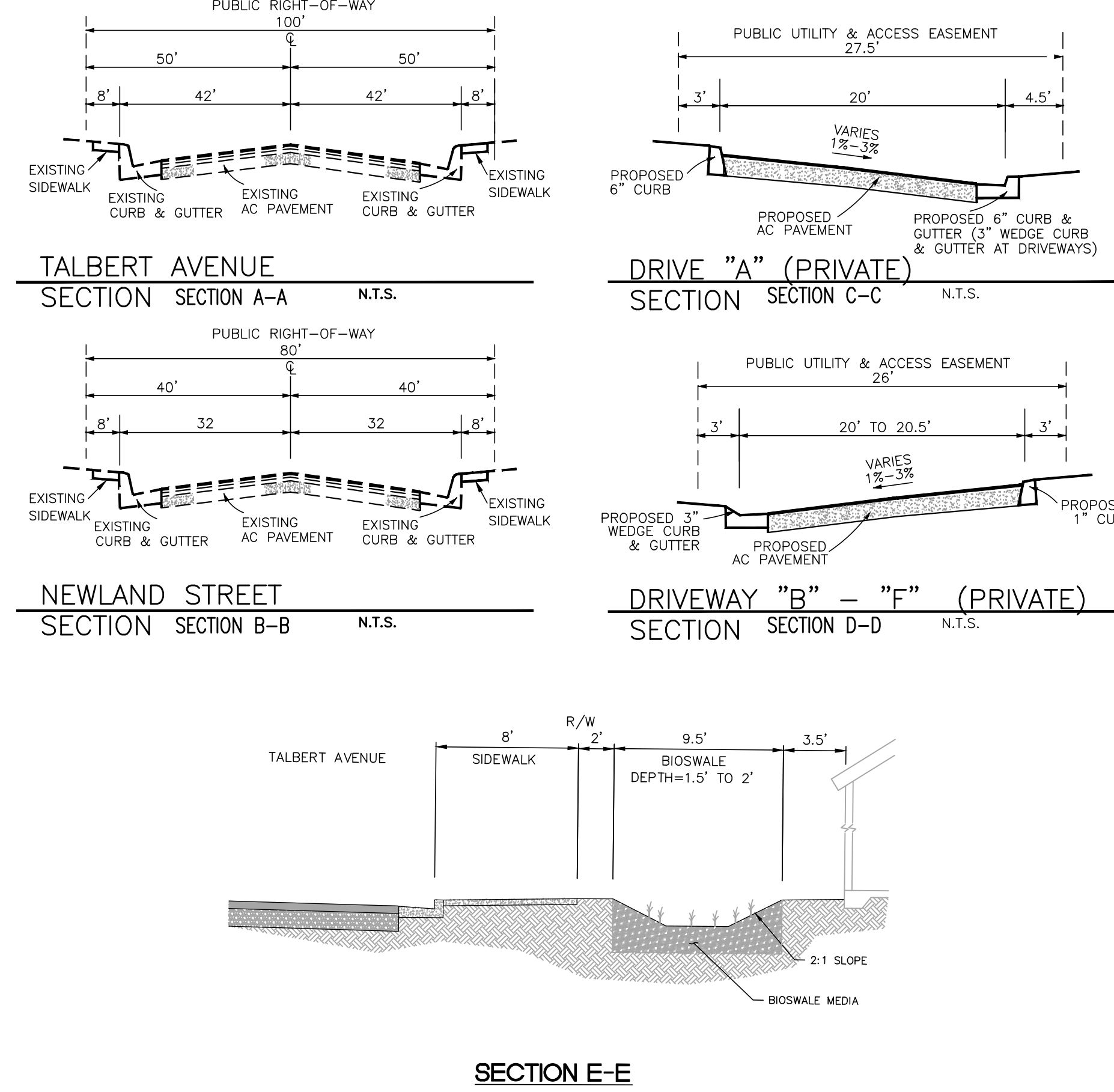
TENTATIVE TRACT MAP NO. 19157
FOR CONDOMINIUM PURPOSES

GRADING AND DRAINAGE PLAN
FOR
TENTATIVE TRACT MAP NO. 19157
FOR CONDOMINIUM PURPOSES

IN THE CITY OF HUNTINGTON BEACH
COUNTY OF ORANGE, STATE OF CALIFORNIA
BEING A SUBDIVISION OF PARCELS 2, 3 AND 4, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,
AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY



LEGEND:



GENERAL NOTES

- EXISTING LAND USE: (RL) LOW DENSITY RESIDENTIAL
- PROPOSED LAND USE: 34 TOWNHOMES (RW) MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING (RL) LOW DENSITY RESIDENTIAL
- WATER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- SEWER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- ELECTRICAL SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON
- GAS SERVICE PROVIDED BY: Socal Gas Co.
- TELEPHONE SERVICE PROVIDED BY: AT&T
- CABLE TELEVISION PROVIDED BY: SPECTRUM
- PROJECT IS WITHIN THE OCEAN VIEW SCHOOL DISTRICT
- ALL LOTS SHALL BE HOMEOWNER OR HOMEOWNER ASSOCIATION MAINTAINED
- NO KNOWN ACTIVE FAULTS ARE KNOWN TO PROJECT THROUGH THE SITE NOR DOES THE SITE LIE WITHIN THE BOUNDARIES OF AN "EARTHQUAKE FAULT ZONE" AS DEFINED BY THE STATE OF CALIFORNIA IN THE ALQUIST-PIRILO EARTHQUAKE FAULT ZONING ACT.
- PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", (AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FIRM PANEL 0605900253J EFFECTIVE 12/3/2009.
- ASSESSOR'S PARCEL NUMBER: 167-531-23, 167-531-24
- PARKING PROVIDED: 68 ENCLOSED (2 PER UNIT IN GARAGE)
19. GUEST PARKING
- ALL OPEN SPACE AREAS, DRIVEWAYS, PRIVATE STREETS AND TRACTS WILL BE MAINTAINED BY THE HOA.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A: (APN 167-531-24)
PARCELS 2 AND 3, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY.
EXCEPTING THEREFROM THE NORTH 130.00 FEET THEREOF.
PARCEL B: (APN 167-531-23)
PARCEL 4, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY.
EXCEPTING THEREFROM THE NORTH 130.00 FEET THEREOF.

BASIS OF BEARINGS:

CENTERLINE OF CENTRAL AVENUE BEING N 89°19'54" W

PROPERTY ADDRESS:

8371-8373 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

ASSESSOR PARCEL NUMBER:

APN: 167-531-23
167-531-24

LOT AREA:

GROSS: 2.43 ACRES
NET: 2.07 ACRES

DENSITY CALCULATIONS:

PROPOSED TOWNHOMES: 34 UNITS
NET AREA: 2.07 AC
PROPOSED DENSITY: 16.4 DU/AC

ESTIMATE OF EARTHWORK QUANTITIES:

CUT=2,052 CY FILL=1,742 CY OVEREXCAVATION=10,000 CY
THESE VALUES ARE FOR PLAN CHECK PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THEIR OWN QUANTITIES PRIOR TO START OF WORK.

STATEMENT OF OWNERSHIP:

WE, THE UNDERSIGNED, DO HEREBY STATE THAT WE ARE THE RECORD OWNERS OF THE PROPERTY COMPRISING THIS TENTATIVE TRACT MAP AND THAT WE HAVE CONSENTED TO THE FILING OF SAID MAP.

GORDON A. LANGSTON AND MARY M. LANGSTON, AS TRUSTEES OF THE LANGSTON FAMILY TRUST
8371-8373 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

BY: _____ DATE: _____

DEVELOPER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740-2751
(562) 596-4770

PREPARED BY:



ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN
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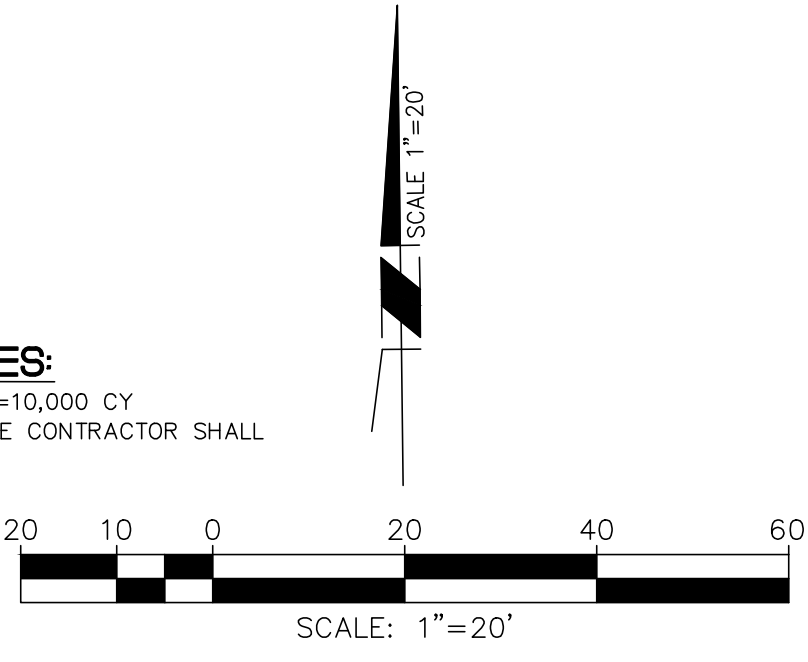
R. Steven Austin, PE
RCE 68795 EXP: 9/30/23

3/21/2022
DATE



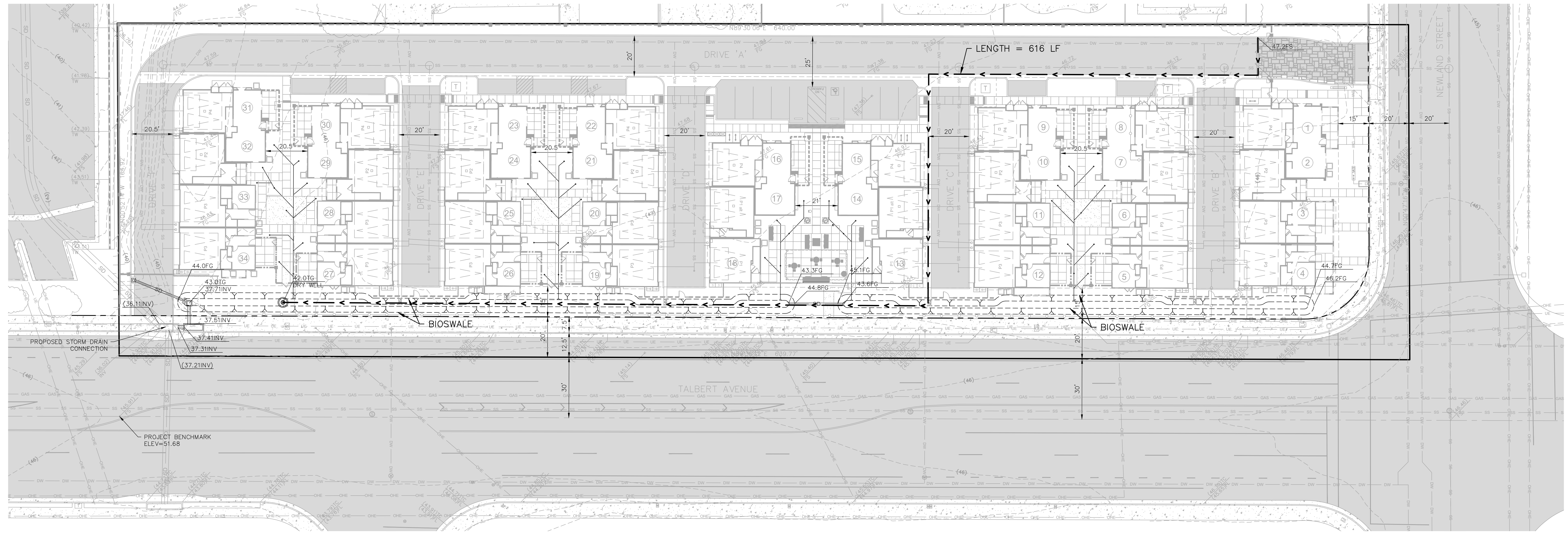
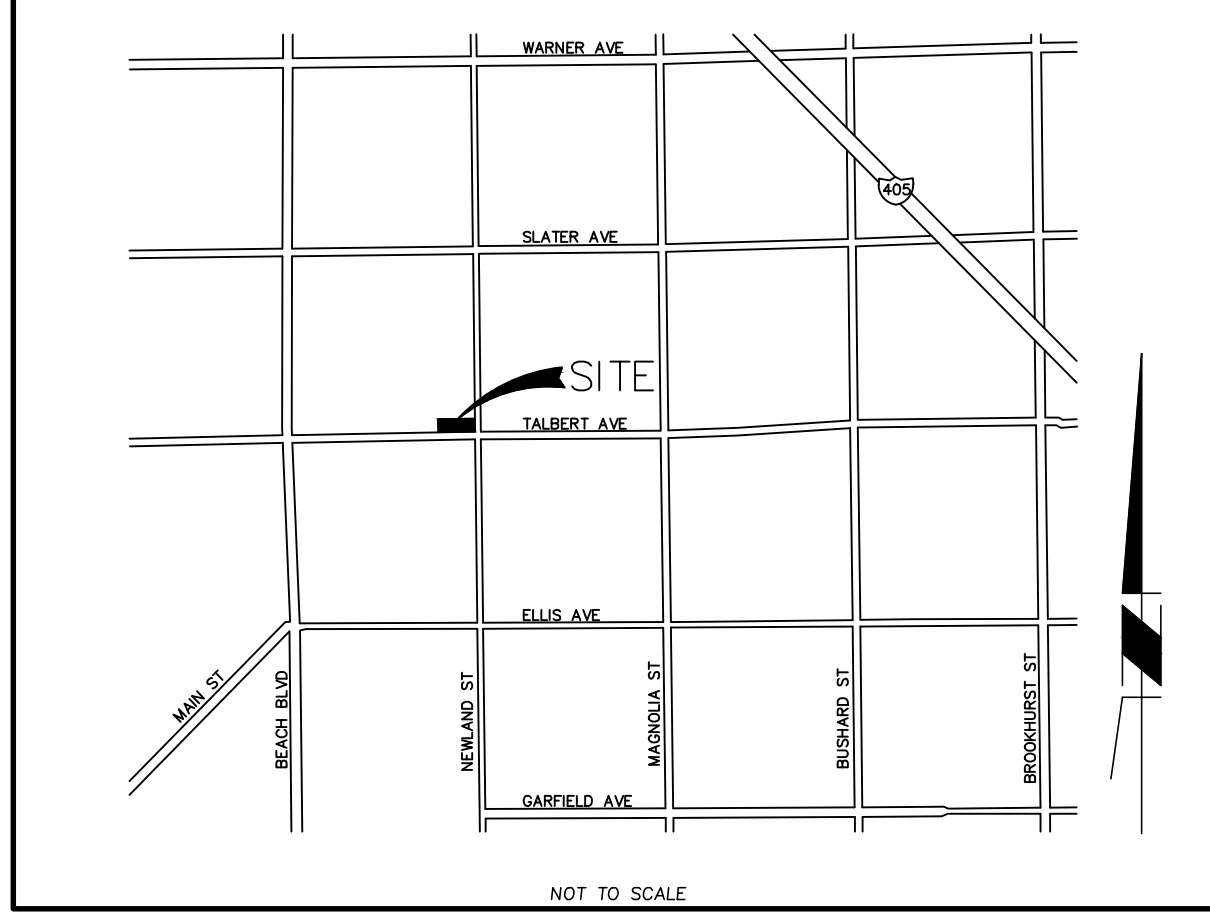
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CONTOURS: 1 FOOT
TOTAL LOTS: 1 NUMBERED
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TOTAL UNITS: 34 TOWNHOMES

TENTATIVE TRACT MAP NO. 19157
GRADING AND DRAINAGE PLAN
FOR CONDOMINIUM PURPOSES



GRADING AND DRAINAGE PLAN
FOR
TENTATIVE TRACT MAP NO. 19157
FOR CONDOMINIUM PURPOSES

IN THE CITY OF HUNTINGTON BEACH
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BEING A SUBDIVISION OF PARCELS 2, 3 AND 4, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,
AS SHOWN ON A MAP RECORDED IN BOOK 42, PAGE 34 OF PARCEL MAPS, RECORDS OF SAID COUNTY



LEGEND:

- EX TREE
- EX SEWER MANHOLE
- EX STREETLIGHT
- EX FIRE HYDRANT
- EX UTILITY BOX
- EX STORM DRAIN MANHOLE
- EX CATCH BASIN
- EX POWER POLE
- EX TRAFFIC LIGHT
- EX UNDERGROUND UTILITY VAULT
- EX WATER VALVE COVER
- EX WATER METER
- EX MANHOLE
- EX STREET SIGN
- EX BOLLARD
- EX TRANSFORMER
- EX PROPERTY BOUNDARY
- EX STREET CENTERLINE
- EX RIGHT-OF-WAY
- EX PROPERTY LINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX SEWER LINE
- EX DOMESTIC WATER LINE
- EX FIRE WATER LINE
- EX RECYCLED WATER LINE
- EX STORM DRAIN LINE
- EX OVERHEAD ELECTRIC
- EX IRON FENCE
- EX CHAIN LINK FENCE
- EX WOOD FENCE
- EX BLOCK WALL
- EX RETAINING WALL
- EX CURB AND GUTTER
- EX CONCRETE
- EX BUILDING
- EX ASPHALT
- PR UNIT NUMBER
- PR PLAN NUMBER
- PR CURB
- PR EDGE OF PAVEMENT
- PR SEWER LINE
- PR DOMESTIC WATER LINE

GENERAL NOTES

- EXISTING LAND USE: (RL) LOW DENSITY RESIDENTIAL
- PROPOSED LAND USE: 34 TOWNHOMES (RM) MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING (RL) LOW DENSITY RESIDENTIAL
- WATER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
- SEWER SERVICE PROVIDED BY: CITY OF HUNTINGTON BEACH
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- ASSESSOR'S PARCEL NUMBER: 167-531-23, 167-531-24
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- PARKING PROVIDED: 68 GUEST PARKING
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LEGAL DESCRIPTION

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BASIS OF BEARINGS:

CENTERLINE OF CENTRAL AVENUE BEING N 89°19'54" W

PROPERTY ADDRESS:

8371-8375 TALBERT AVENUE
HUNTINGTON BEACH, CA 92646

ASSESSOR PARCEL NUMBER:

APN: 167-531-23
167-531-24

LOT AREA:

GROSS: 2.43 ACRES
NET: 2.07 ACRES

DENSITY CALCULATIONS:

PROPOSED TOWNHOMES: 34 UNITS
NET AREA: 2.07 AC
PROPOSED DENSITY: 16.4 DU/AC

ESTIMATE OF EARTHWORK QUANTITIES:

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GORDON A. LANGSTON AND MARY M. LANGSTON, AS TRUSTEES OF THE LANGSTON FAMILY TRUST
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BY: _____ DATE: _____

DEVELOPER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
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R. Steven Austin, PE
RCE 68795 EXP: 9/30/23

2/23/2022
DATE



SCALE: 1" = 20'
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GROSS AREA: +/- 2.43 AC
CONTOURS: 1' FOOT
TOTAL LOTS: 1 NUMBERED
0 LETTERED
TOTAL UNITS: 34 TOWNHOMES

PROGRESS PRINT DRAFT

TENTATIVE TRACT MAP NO. 19157
HYDROLOGY PLAN
FOR CONDOMINIUM PURPOSES