

# NEW ADU

## 16715 BAYVIEW DRIVE, HUNTINGTON BEACH, CA 92649

**OLIVOS**  
DESIGN  
STUDIO

**OLIVOS DESIGN STUDIO**  
5319 UNIVERSITY DRIVE, # 3025  
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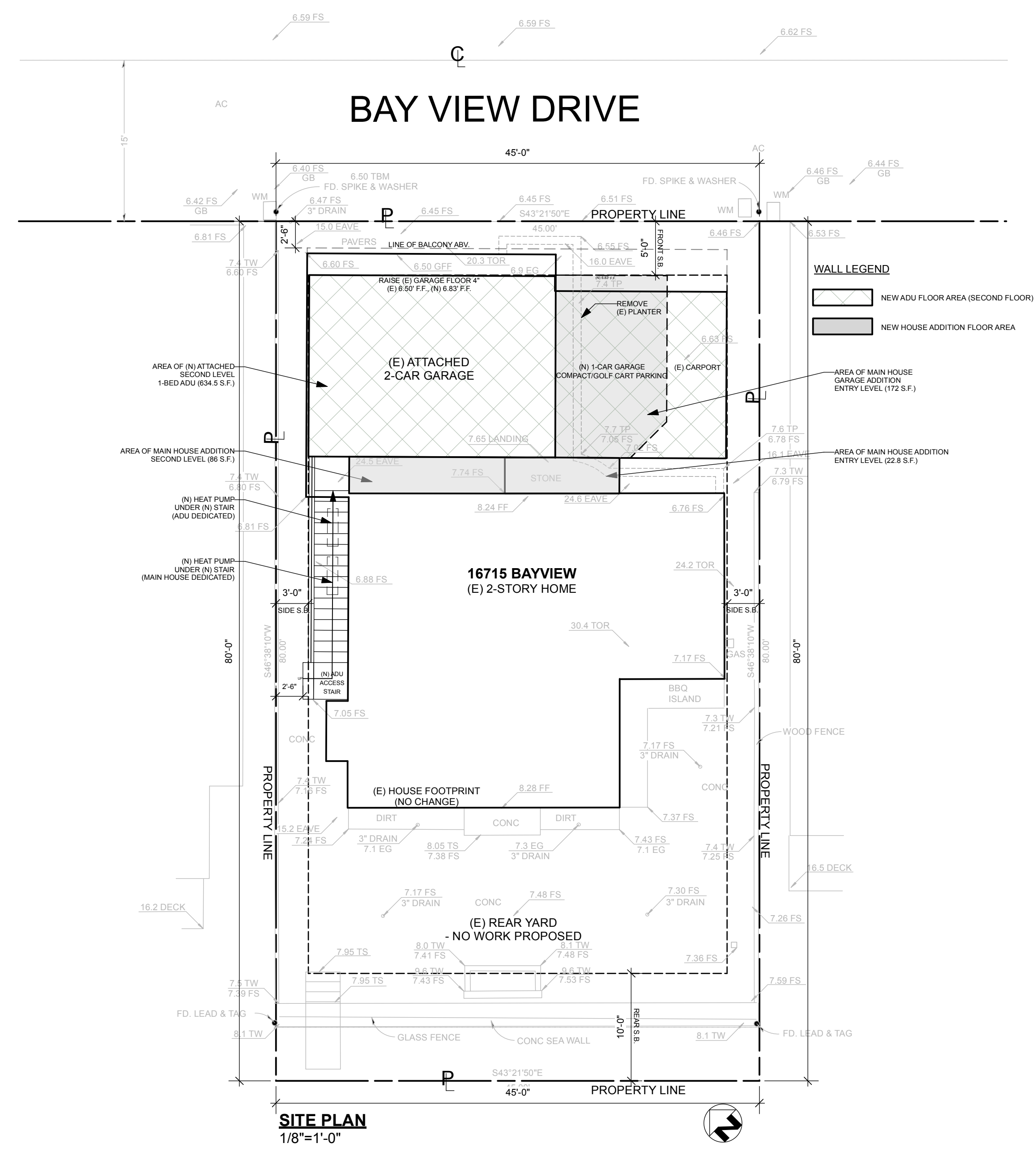
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### NEW ADU

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HUNTINGTON BEACH,  
CA 92649

### COVER SHEET / SITE PLAN

<b>GENERAL NOTES</b>	
THE JURISDICTION HAVING AUTHORITY SHALL BE NOTIFIED IN WRITING OF ANY CHANGES. THE REGISTERED DESIGN PROFESSIONAL AND/OR DESIGNER SHALL REVIEW AND COORDINATE ALL SUBMITTED DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS. THE REGISTERED DESIGN PROFESSIONAL AND/OR DESIGNER SHALL SUBMIT DEFERRED DOCUMENTS TO THE JURISDICTION HAVING AUTHORITY IN A TIMELY MANNER. THE OWNER SHALL NOTIFY THE BUILDING OFFICIAL IN WRITING IF THE REGISTERED DESIGN PROFESSIONAL AND/OR DESIGNER IN RESPONSIBLE CHARGE IS CHANGED.	
<b>SITE PLAN NOTES</b>	
A LICENSED LAND SURVEYOR MUST VERIFY THE LOCATION OF THE MONUMENTS AND CERTIFY THE LOCATION OF ALL NEW WOOD AND/OR METAL FENCES WITHIN THREE (3) FEET OF THE PROPERTY LINE PRIOR TO FINAL INSPECTION.	
ALL NEW CONSTRUCTIONS AND IMPROVEMENTS (INCLUDING FOOTING AND DRAINAGE) SHALL BE WITHIN THE PROJECT PROPERTY.	
<b>CODES</b>	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: 2022 C.B.C.      2022 C.R.C. 2022 C.E.C.      2022 CAL GREEN CODE 2022 C.M.C.      2022 CAL ENERGY CODE 2022 C.P.C.      2022 CAL FIRE CODE - HUNTINGTON BEACH MUNICIPAL CODE. - TITLE 24 REQUIREMENTS HAVE BEEN TAKEN INTO CONSIDERATION.	
<b>SYMBOLS</b>	
REVISION	
SECTION LINE / DESIGNATION / NUMBER	
DETAIL KEY / DESIGNATION / SHEET NUMBER	



ABBREVIATIONS	
AB	Anchor Bolt
AC	Air Conditioning
ACOU	Acoustical
AD	Area Drain
ADJ	Adjustable
ADJT	Adjacent
AL	Aluminum
ALT	Alternate
APPRX	Approximate
ARCH	Architect
ASB	Asbestos
ASP	Asphalt
ASBO	As Selected By Owner
BD	Board
BUILD	Building
BL	Block
BLK	Blocking
BM	Beam
BOT	Bottom
BED	Bedroom
BRK	Bracket
CAB	Cabinet
CB	Catch Basin
CM	Cement
CER	Ceramic
C. I.	Cast Iron
CLG	Ceiling
CA	Calking
CL	Center Line
CLOS	Closet
CLR	Clear
CEM	Concrete Masonry Unit
CTR	Counter
COL	Column
CONC	Concrete
COND	Condition
CONN	Connection
CONST	Construction
CONT	Continuous
CONTR	Contractor
COR	Corridor
CT	Center
CTSK	Countersunk
CL	Center Line
C.T.	Ceramic Tile
CLR	Clear
DET	Detail
DIA	Diameter
DIM	Dimension
DR	Drawing
D.F.	Drinking Fountain
EA	Each
ELEC	Electrical
ELEV	Elevation
EQUIP	Equipment
EX	Existing
EXP. JT.	Expansion Joint
EXT	Exterior
EQ	Equal
FOF	Face Of Finish
FOC	Face Of Concrete
FS	Face Of Stud
FIN	Finish
FP	Fire Proof
FIN. SRF.	Finish Surface
FT	Foot
FTG	Footing
F.D.C.	Fire Department Connection
GI	Galvanized
G.I.	Galvanized Iron
GA	Gauge
GL	Glass
GYP	Gypsum
GC	General Contractor
HDWR	Hardware
HWD	Hardwood
HT	Height
HC	Hollow Core
HM	Hollow Metal
HORIZ	Horizontal
HB	Hose Bibb
HVAC	Heating Venting Ac
IN	Inch
ID	Inside Dim.
INSUL	Insulation
INT	Interior
INV	Invert
JT	Joint
KIT	Kitchen
LAV	Lavatory
LIN. FT.	Linear Foot
LINOL	Linoleum
LG	Long
LAM	Laminated
LT	Light
MB	Machine Bolt
MECH	Mechanical
MAX	Maximum
MET	Metal
MIN	Minimum
NEW	New
NIC	Not In Contract
N.T.S.	Not To Scale
NAT	Natural
OC	On Center
OPG	Opening
OD	Outside Dim
OVERHRD	Overhead
PLAS	Plaster
PLPG	Plate
PG	Paint Grade
PR	Pair
RAD	Radius
REQ	Required
RD	Roof Drain
RM	Room
REV	Revised
RWD	Redwood
RO	Rough
R.O.	Rough Opening
REG	Register
SCH	Schedule
SECT	Section
SIM	Similar
STD	Standard
STL	Steel
STR	Structural
SUSP	Suspended
TEL	Telephone
TEMP	Temporary
T&G	Tongue And Groove
TC	Top Of Curb/Concrete
TS	Top Of Slab
TYP	Typical
TW	Top Of Wall
VTR	Vent Thru Roof
VERT	Vertical
VT	Vinyl Tile
WC	Water Closet
WH	Water Heater
WT	Weight
WD	Wood
WWM	Welded Wire Mesh
WI	Wrought Iron
WS	Weather Strip

PROJECT DATA			
<b>PROPERTY INFORMATION:</b>			
LOT:	5 & 4		
TRACT:	21		
APN:	178-565-46 & 178-565-48		
CONSTRUCTION TYPE:	V-B		
NUMBER OF STORIES:	2		
OCCUPANCY GROUP:	R3		
SPRINKLERED:	NO		
<b>PROJECT DATA:</b>			
LOT AREA:	3,600 S.F.		
COVERAGE:	ALLOWABLE 1,800 S.F. (50%)		
	EXISTING 1,420.3 S.F. (39.45%)		
	PROPOSED 1,615.1 S.F. (44.86%)		
<b>EXISTING SQUARE FOOTAGES:</b>			
ENTRY LEVEL LIVING:	912.8 S.F.		
UPPER LEVEL LIVING:	424.3 S.F.		
TOTAL:	1,337.1 S.F.		
<b>GARAGE:</b>			
	507.5 S.F.		
<b>PROPOSED SQUARE FOOTAGES:</b>			
	<b>ADDITION:</b>	<b>TOTAL:</b>	
ENTRY LEVEL LIVING:	+ 22.8 S.F.	= 935.6 S.F.	
UPPER LEVEL LIVING:	+ 86 S.F.	= 510.3 S.F.	
TOTAL:	+ 108.8 S.F. (8.1%)	= 1,445.9 S.F.	
<b>GARAGE:</b>		+ 172 S.F.	= 679.5 S.F.
<b>NEW ADU:</b>		+ 634.5 S.F.	= 634.5 S.F.
<b>NEW ADU BALCONY:</b>		+ 121.2 S.F.	= 121.2 S.F.

CONSULTANTS	
<b>CLIENT</b>	
STEVE SHATAFIAN	
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<b>DESIGNER</b>	
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CONTACT: DINETH KETAGODA	
TEL: 925-803-9756	

SCOPE OF WORK	
- NEW ATTACHED SECOND LEVEL 1-BED ADU.	
- RAISE EXISTING GARAGE FLOOR. NEW ATTACHED THIRD CAR GARAGE.	
- MAIN HOUSE INFILL ADDITION AT EXISTING ENTRY, UPPER LEVEL BEDROOMS. NEW HEAT PUMP.	
<b>VICINITY MAP</b>	
<b>VICINITY MAP - PUBLIC BUS STOP PROXIMITY</b>	
<0.5 MILES, THEREFORE NO PARKING REQUIRED.	

SHEET INDEX	
<b>DESIGN</b>	COVER SHEET, SITE PLAN
A1	EXISTING & PROPOSED ENTRY FLOOR PLANS
A2.1	EXISTING & PROPOSED UPPER FLOOR PLANS
A2.2	EXISTING & PROPOSED ROOF PLANS
A3	EXISTING & PROPOSED FRONT ELEVATIONS
A3.1	EXISTING & PROPOSED REAR ELEVATIONS
A3.2	EXISTING & PROPOSED RIGHT SIDE ELEVATIONS
A3.3	EXISTING & PROPOSED LEFT SIDE ELEVATIONS
A3.4	SECTION
A4	FLOOR AREA CALCULATIONS
TS	TOPOGRAPHIC SURVEY

JOB NUMBER:	
2411	
SCALE:	
1/8" = 1'-0"	
DATE:	
PLANNING SUB. I	08-28-24
PLANNING SUB. II	11-26-24
<h1>A1</h1>	





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**UPPER LEVEL FLOOR PLANS**

**JOB NUMBER:**

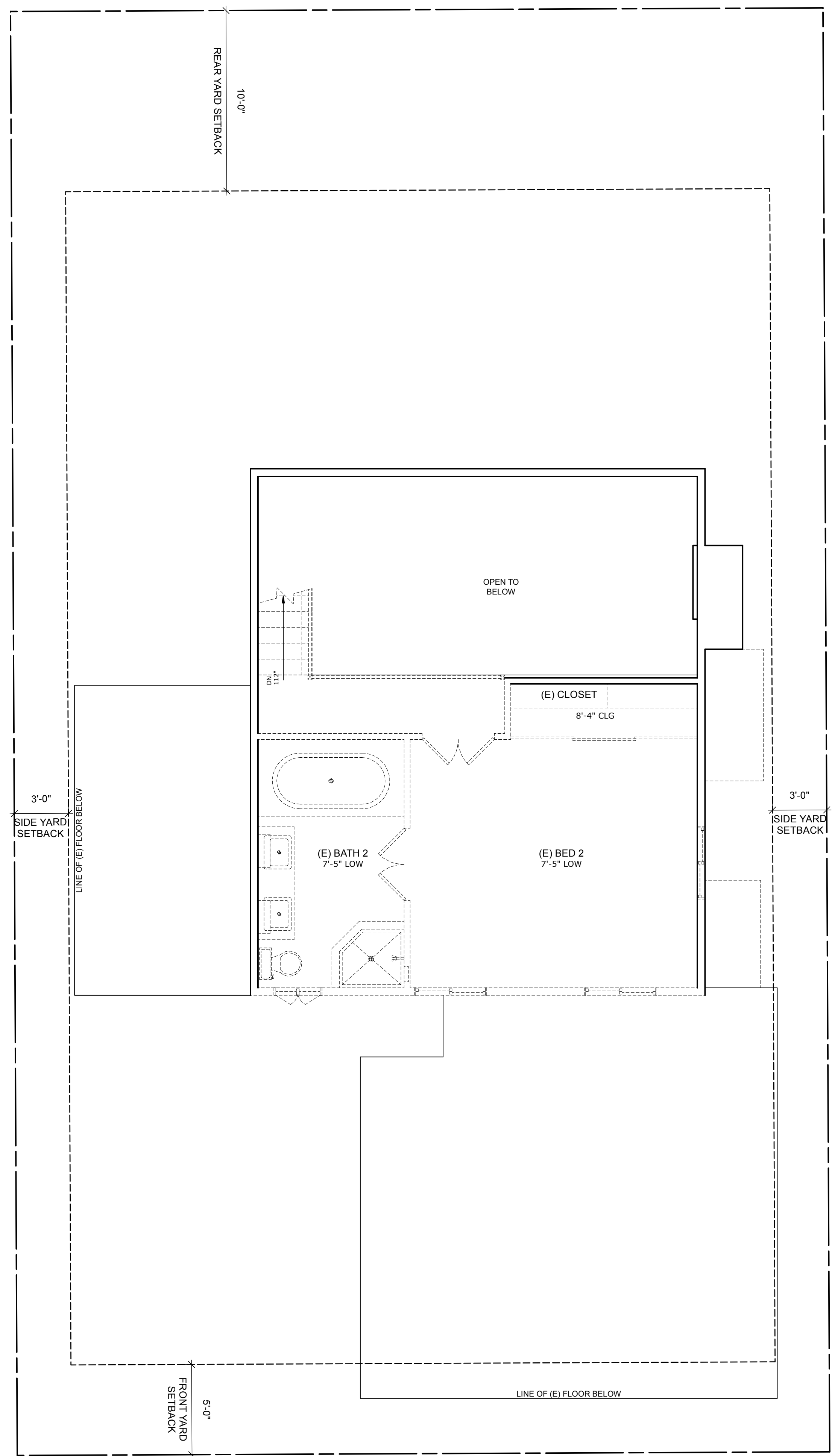
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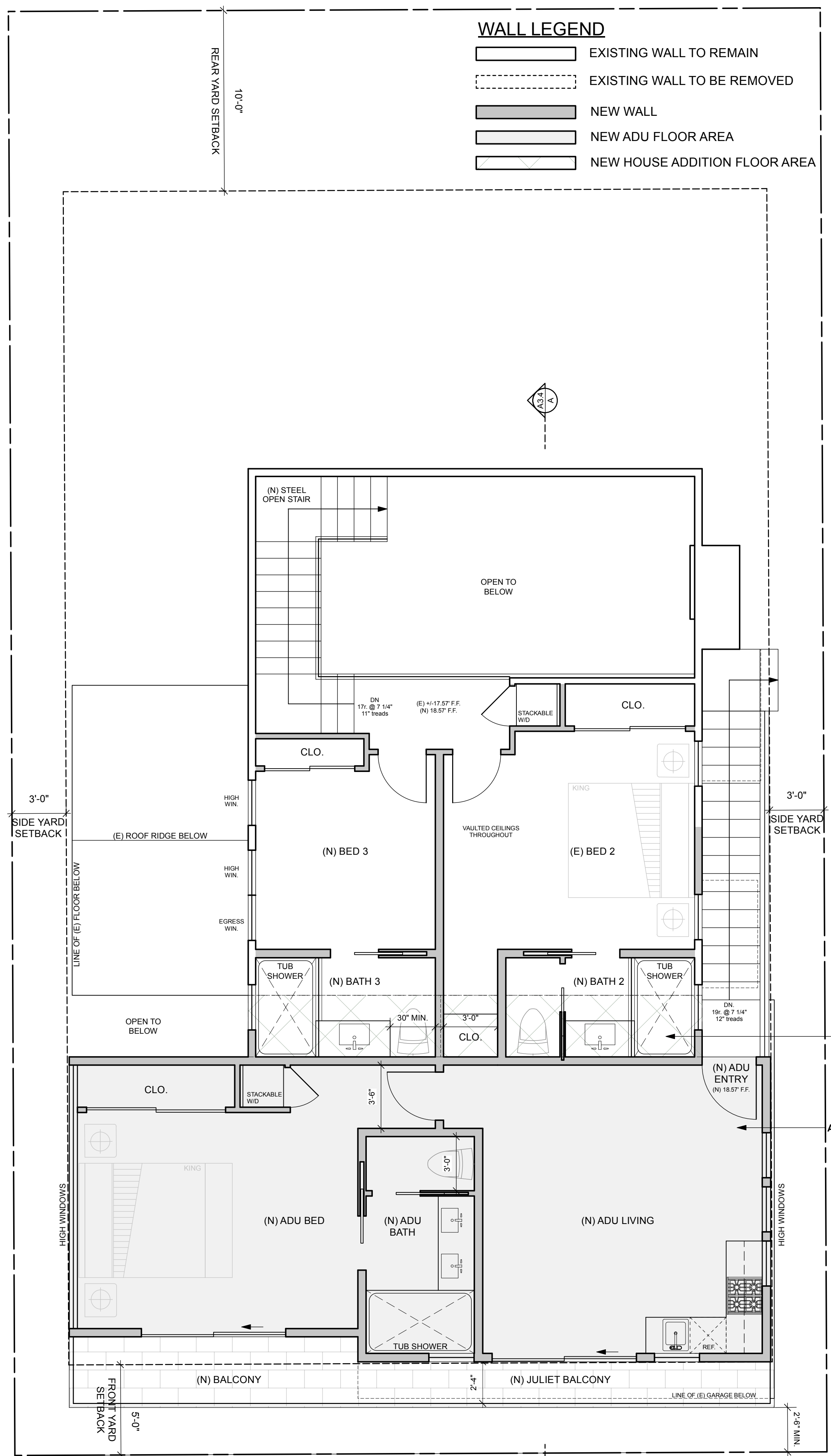
1/4" = 1'-0"

**DATE:**

PLANNING SUB. I 08-28-24  
PLANNING SUB. II 11-26-24



**EXISTING / DEMO UPPER LEVEL FLOOR PLAN**



**PROPOSED UPPER LEVEL FLOOR PLAN**

AREA OF HOUSE ADDITION 86 S.F.

AREA OF (N) ADU 634.5 S.F.

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**EXISTING & PROPOSED ROOF PLANS**

**JOB NUMBER:**

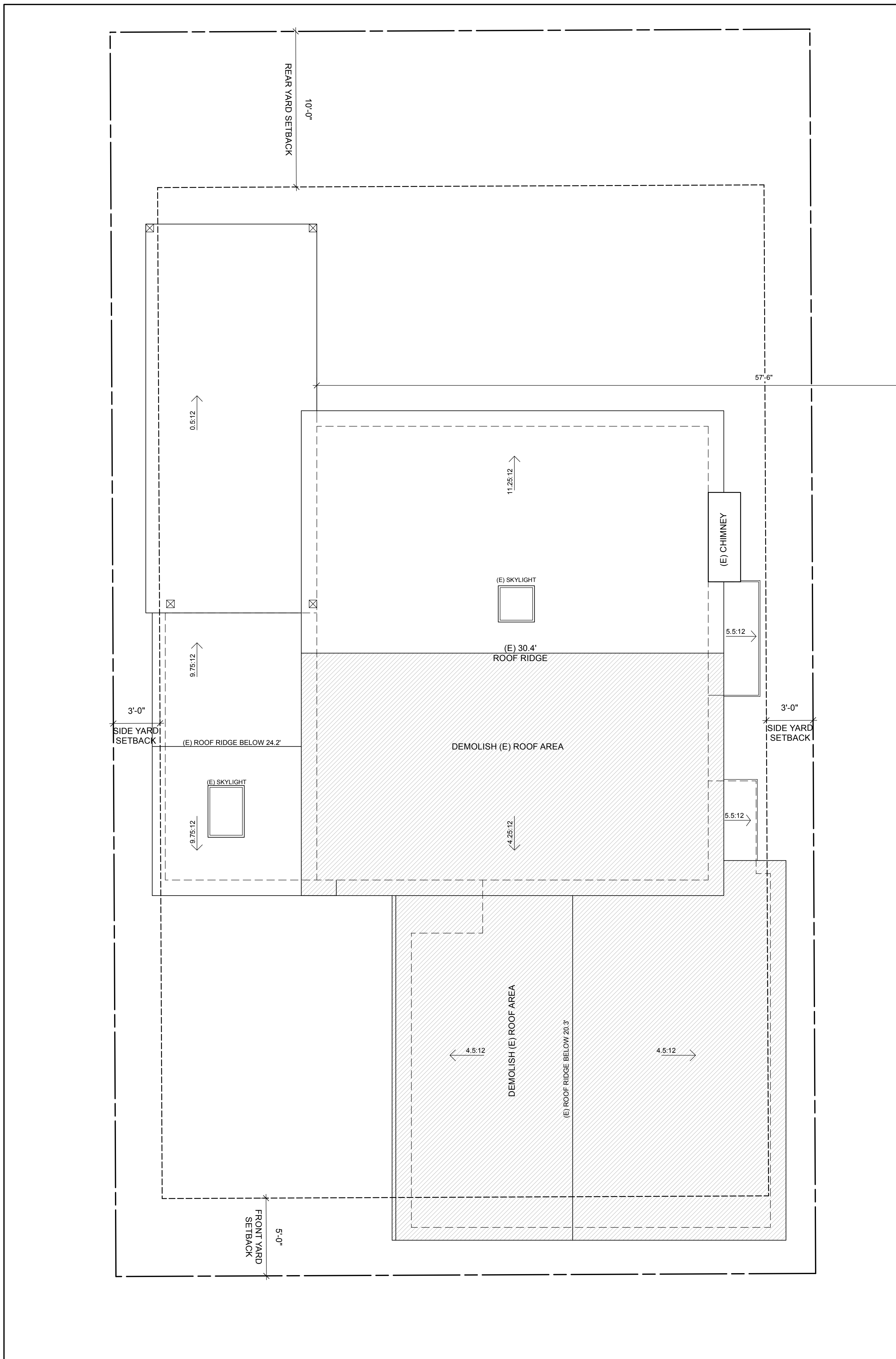
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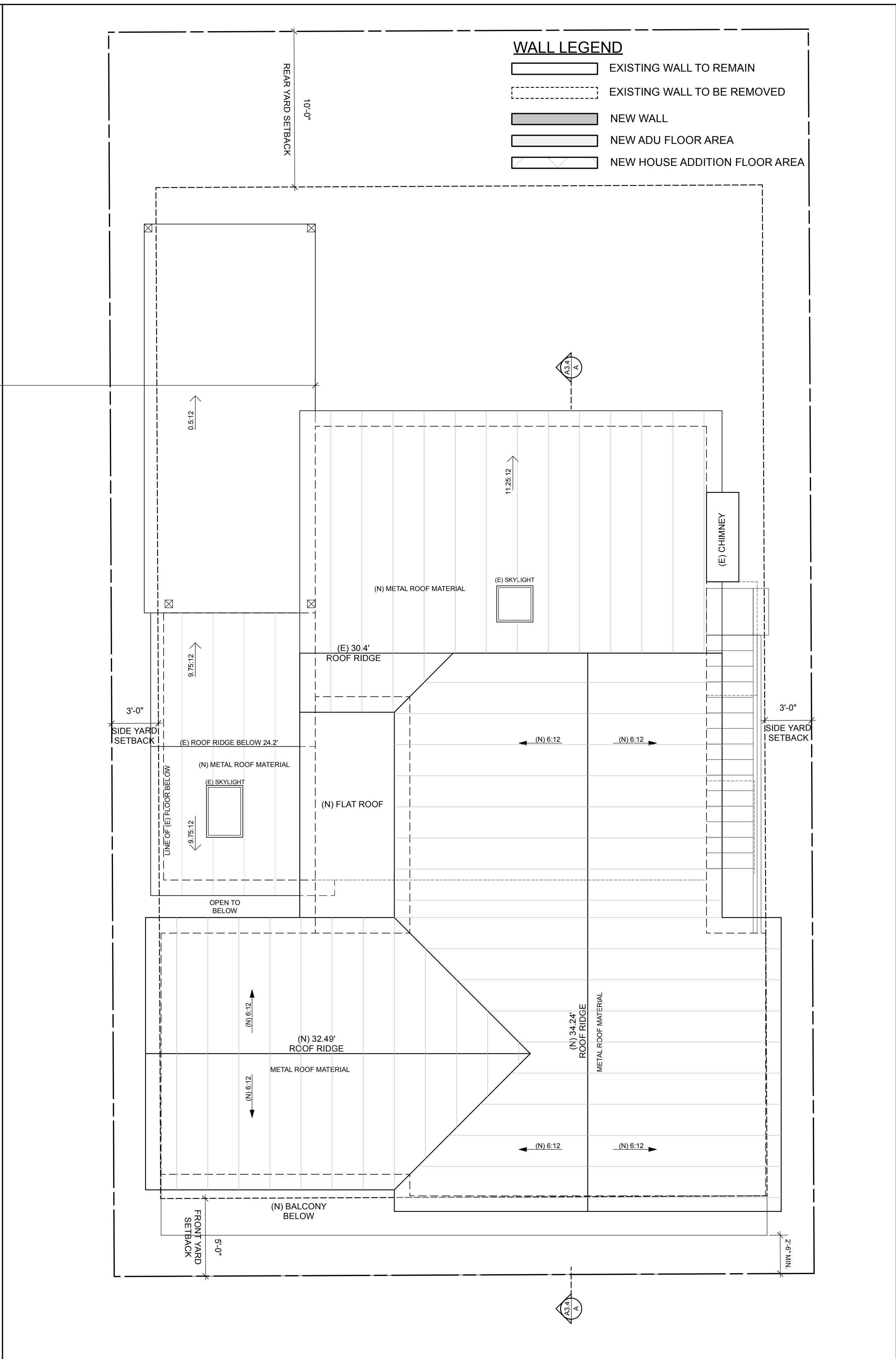
1/4" = 1'-0"

**DATE:**

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PLANNING SUB. II 11-26-24



**EXISTING / DEMO ROOF PLAN**



**PROPOSED ROOF PLAN**

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADU FLOOR AREA
- NEW HOUSE ADDITION FLOOR AREA



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**EXISTING &  
PROPOSED  
FRONT ELEVATIONS**

**JOB NUMBER:**

2411

**SCALE:**

1/4" = 1'-0"

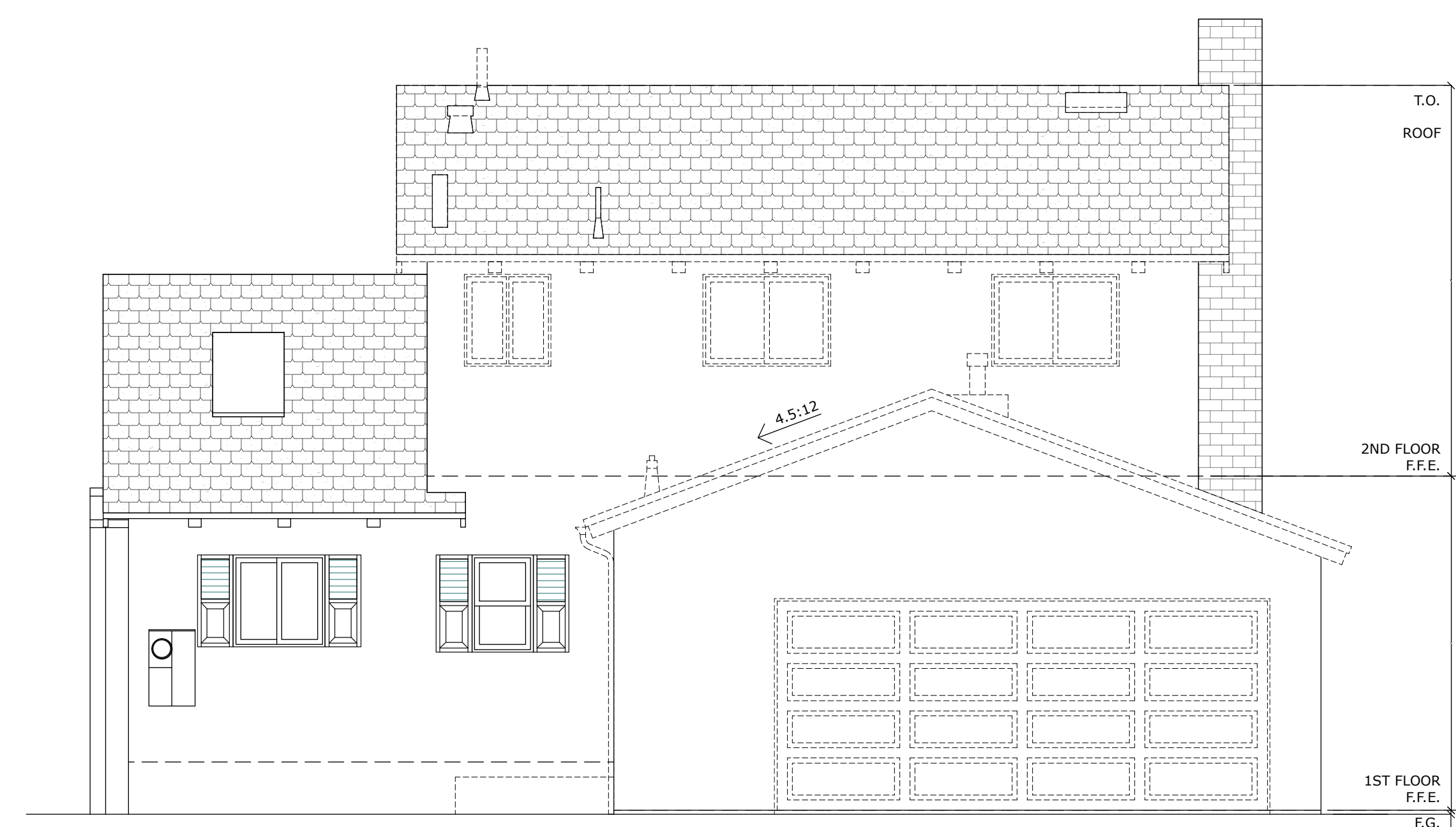
**DATE:**

PLANNING SUB. I 08-28-24  
PLANNING SUB. II 11-26-24

**A3**



**PROPOSED FRONT / NORTH-EAST ELEVATION**  
1/4"=1'-0"



**EXISTING FRONT / NORTH-EAST ELEVATION**  
1/4"=1'-0"

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**EXISTING &  
PROPOSED  
REAR ELEVATIONS**

**JOB NUMBER:**

2411

**SCALE:**

1/4" = 1'-0"

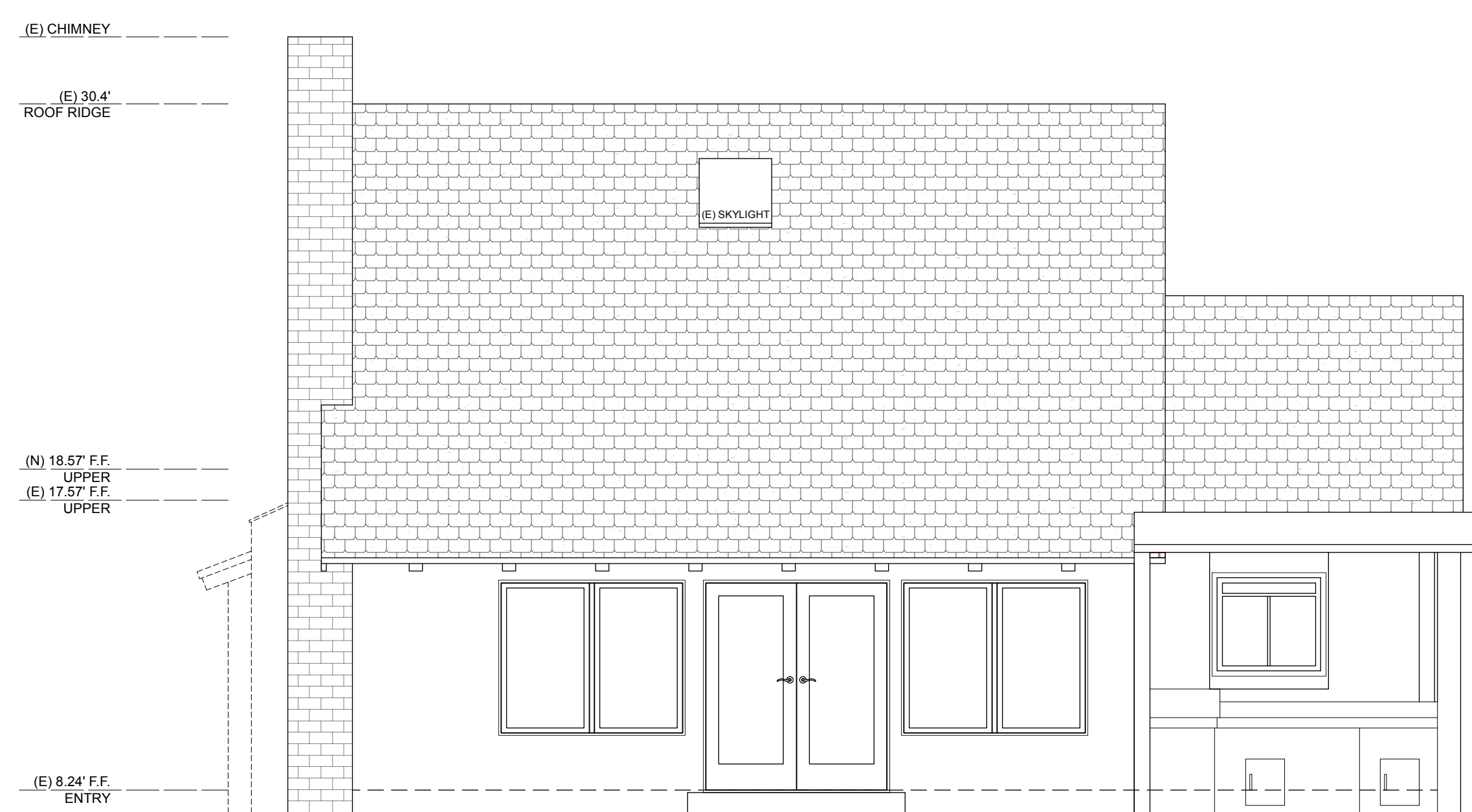
**DATE:**

PLANNING SUB. I 08-28-24  
PLANNING SUB. II 11-26-24

**A3.1**



**PROPOSED REAR / SOUTH-WEST ELEVATION**  
1/4"=1'-0"



**EXISTING REAR / SOUTH-WEST ELEVATION**  
1/4"=1'-0"

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**EXISTING & PROPOSED  
RIGHT SIDE  
ELEVATIONS**

**JOB NUMBER:**

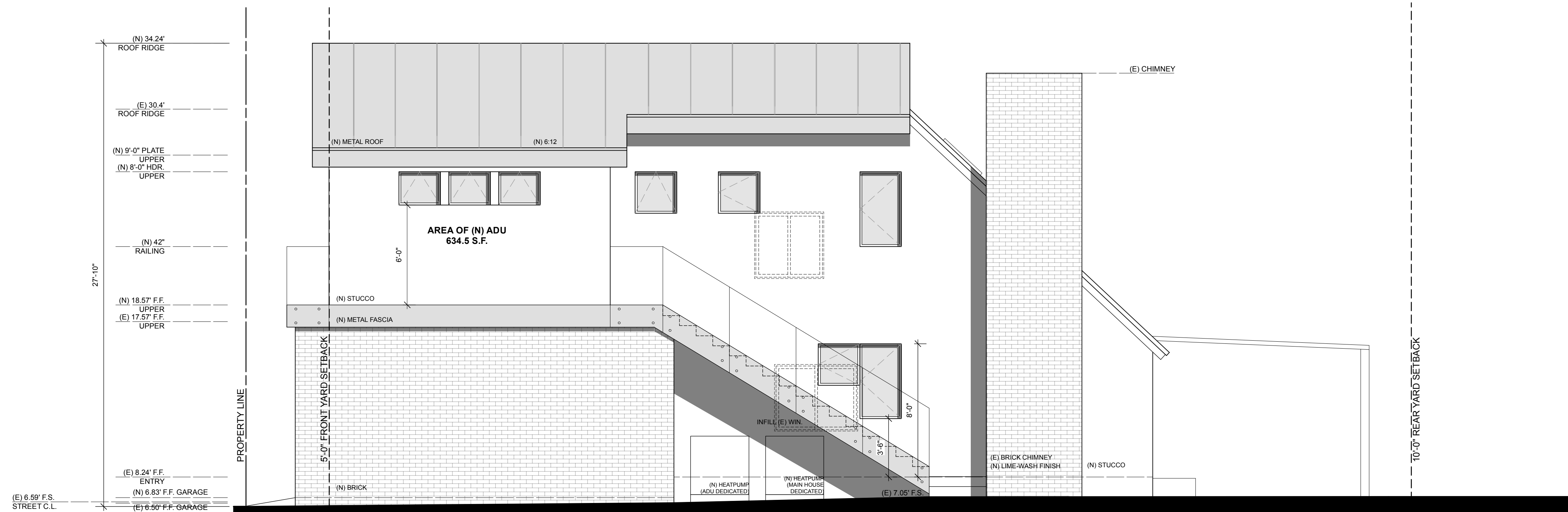
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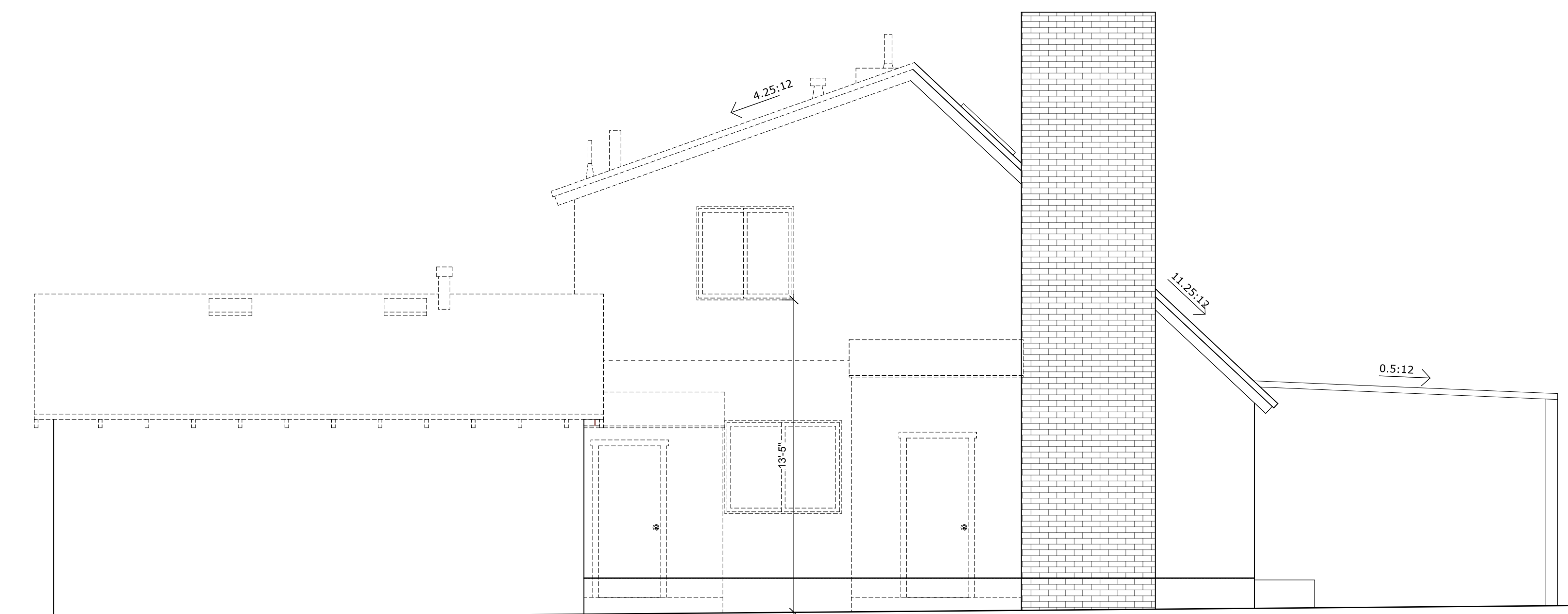
1/4" = 1'-0"

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PLANNING SUB. II 11-26-24




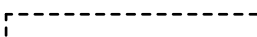



**PROPOSED RIGHT SIDE / NORTH-WEST ELEVATION**  
1/4"=1'-0"



**EXISTING RIGHT SIDE / NORTH-WEST ELEVATION**  
1/4"=1'-0"

**NOTE**  
NEWLY PROPOSED WINDOWS SHALL NOT ALIGN WITH ADJACENT NEIGHBOR WINDOWS.  
CONTRACTOR TO VERIFY IN FIELD PRIOR TO PURCHASE AND INSTALLATION OF WINDOWS.

**WALL LEGEND**

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE REMOVED
-  NEW WALL
-  NEW ADU FLOOR AREA
-  NEW HOUSE ADDITION FLOOR AREA



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**EXISTING &  
PROPOSED  
LEFT SIDE  
ELEVATIONS**

**JOB NUMBER:**

2411

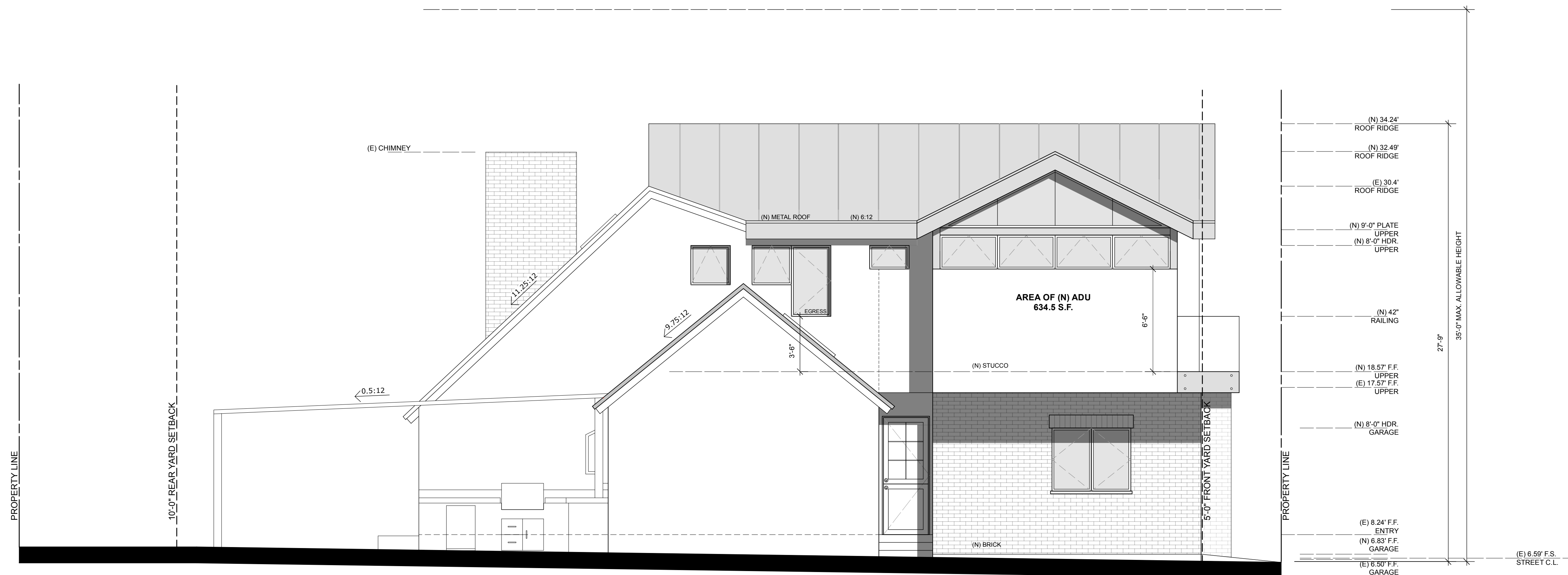
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1/4" = 1'-0"

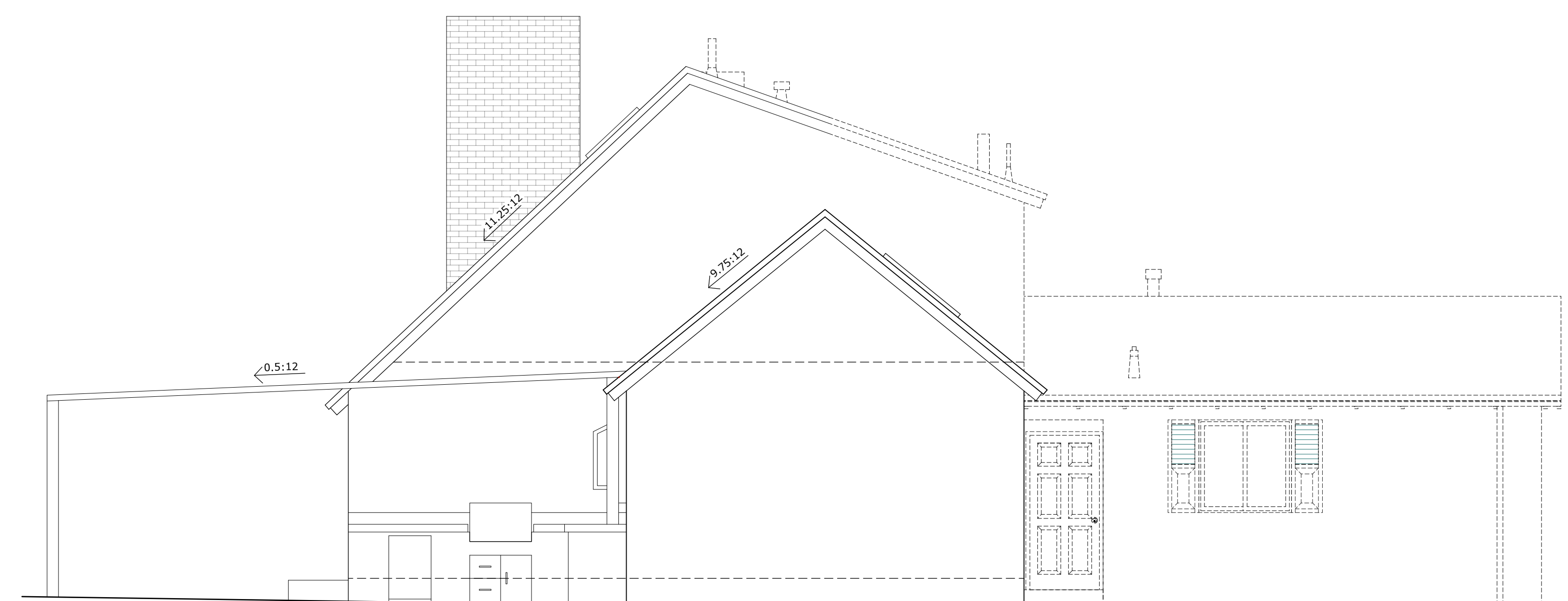
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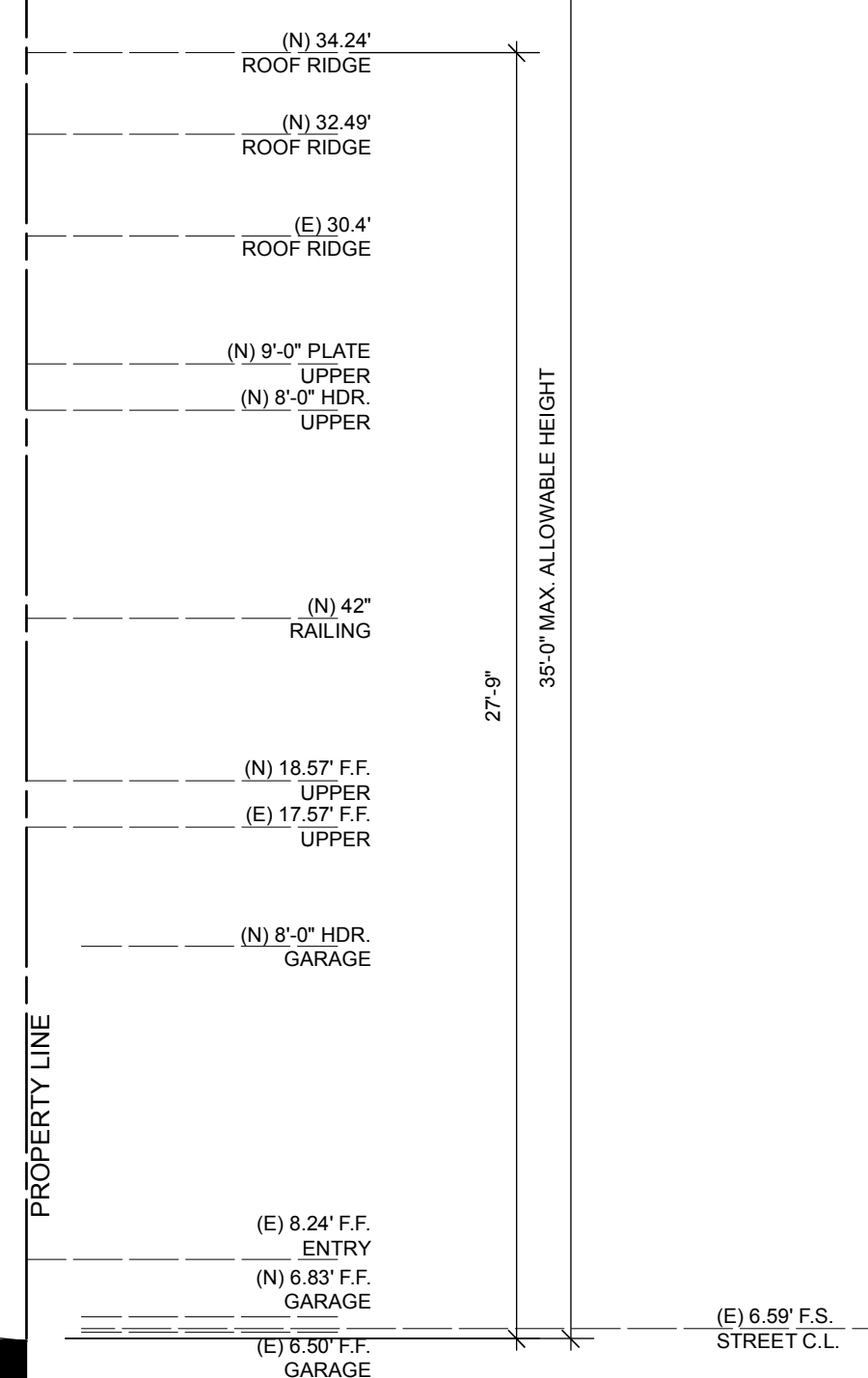
**A3.3**



**PROPOSED RIGHT SIDE / SOUTH-EAST ELEVATION**  
1/4"=1'-0"



**EXISTING RIGHT SIDE / SOUTH-EAST ELEVATION**  
1/4"=1'-0"



**NOTE**

NEWLY PROPOSED WINDOWS SHALL NOT ALIGN WITH ADJACENT NEIGHBOR WINDOWS. CONTRACTOR TO VERIFY IN FIELD PRIOR TO PURCHASE AND INSTALLATION OF WINDOWS.

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL
- NEW ADU FLOOR AREA
- NEW HOUSE ADDITION FLOOR AREA



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**SECTION**

**JOB NUMBER:**

2411

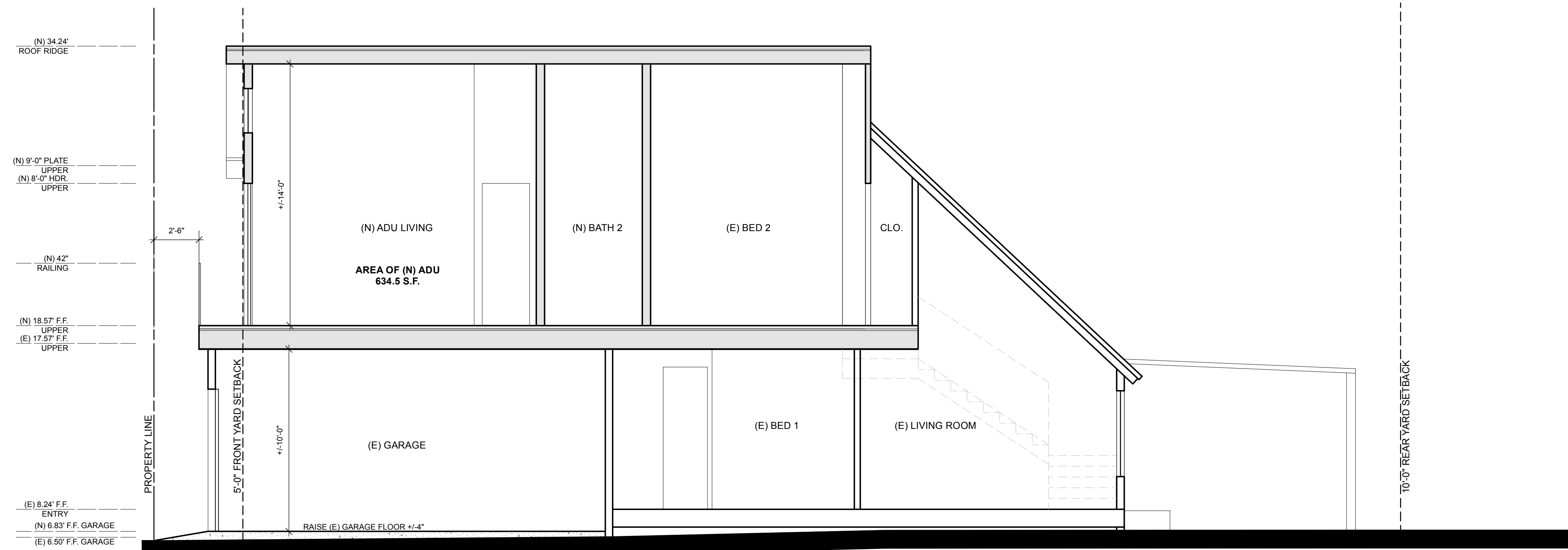
**SCALE:**

1/4" = 1'-0"

**DATE:**


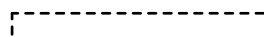



PLANNING SUB. I 08-28-24  
PLANNING SUB. II 11-26-24

**A3.4**



**SECTION A-A**  
1/4"=1'-0"

**WALL LEGEND**

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE REMOVED
-  NEW WALL
-  NEW ADU FLOOR AREA
-  NEW HOUSE ADDITION FLOOR AREA

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## NEW ADU

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## FLOOR AREA CALCULATIONS

**JOB NUMBER:**

2411

**SCALE:**

1/4" = 1'-0"

**DATE:**

PLANNING SUB. I 08-28-24  
PLANNING SUB. II 11-26-24

# A4

**EXISTING SQUARE FOOTAGES:**

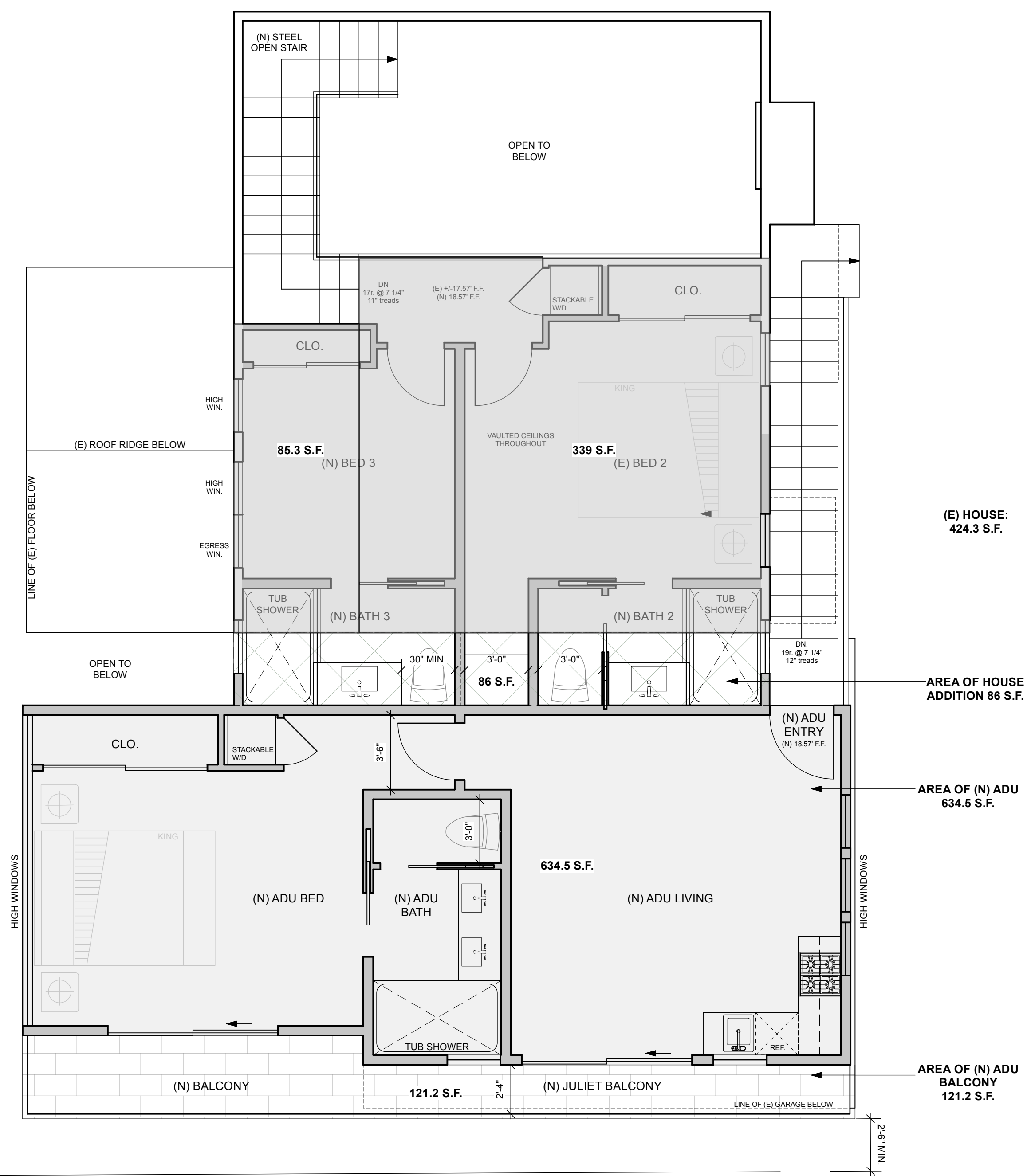
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UPPER LEVEL LIVING:	424.3 S.F.
TOTAL:	1,337.1 S.F.
GARAGE:	507.5 S.F.

**PROPOSED SQUARE FOOTAGES:**

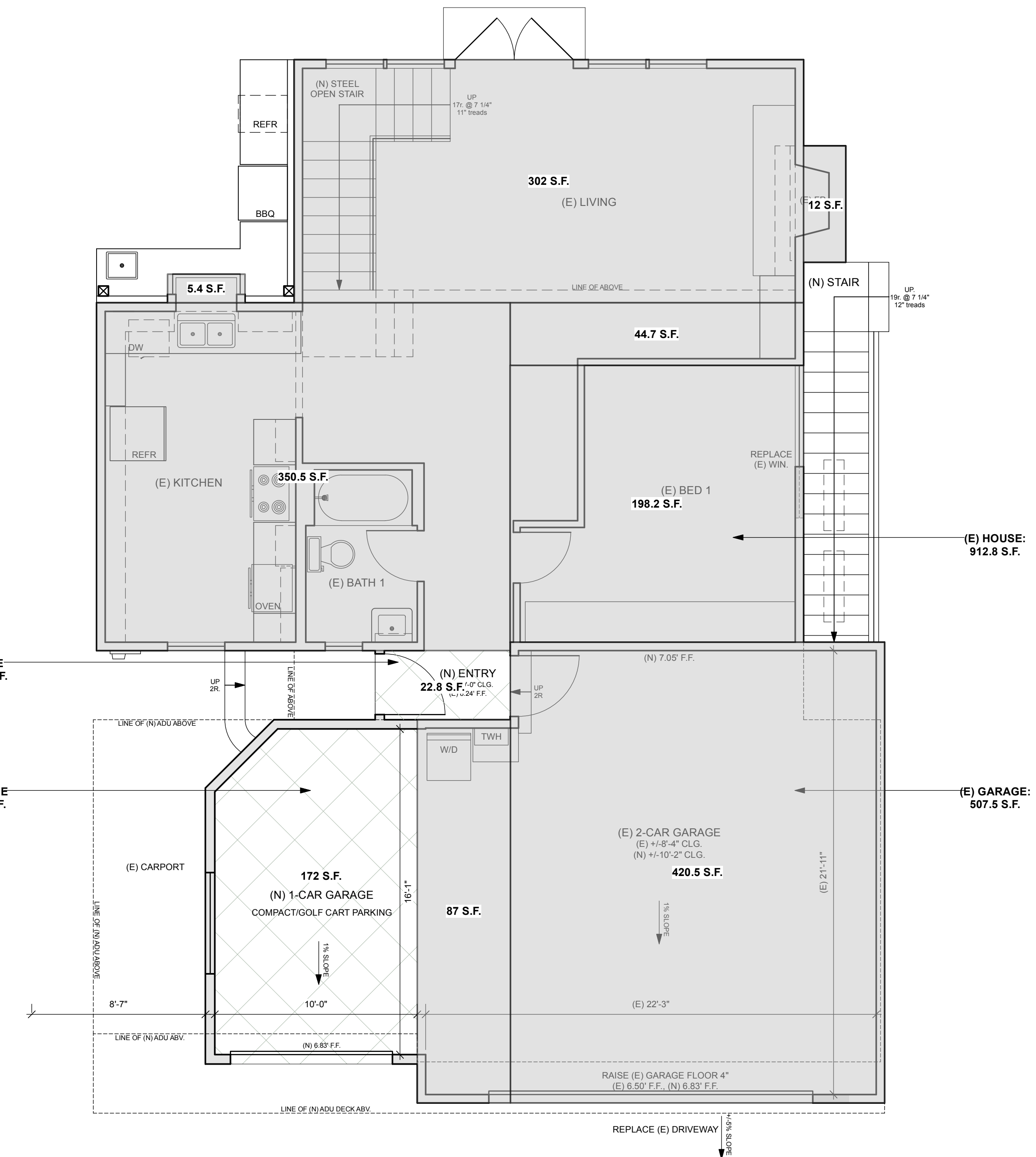
	ADDITION:	TOTAL:
ENTRY LEVEL LIVING:	+ 22.8 S.F.	= 935.6 S.F.
UPPER LEVEL LIVING:	+ 86 S.F.	= 510.3 S.F.
TOTAL:	+ 108.8 S.F. (8.1%)	= 1,445.9 S.F.
GARAGE:	+ 172 S.F.	= 679.5 S.F.
NEW ADU:	+ 634.5 S.F.	= 634.5 S.F.
NEW ADU BALCONY:	+ 121.2 S.F.	= 121.2 S.F.

**WALL LEGEND**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL
	NEW ADU FLOOR AREA
	NEW HOUSE ADDITION FLOOR AREA



(E) HOUSE: 424.3 S.F.  
AREA OF HOUSE ADDITION 22.8 S.F.  
AREA OF HOUSE ADDITION 86 S.F.  
AREA OF (N) ADU 634.5 S.F.  
AREA OF (N) ADU BALCONY 121.2 S.F.



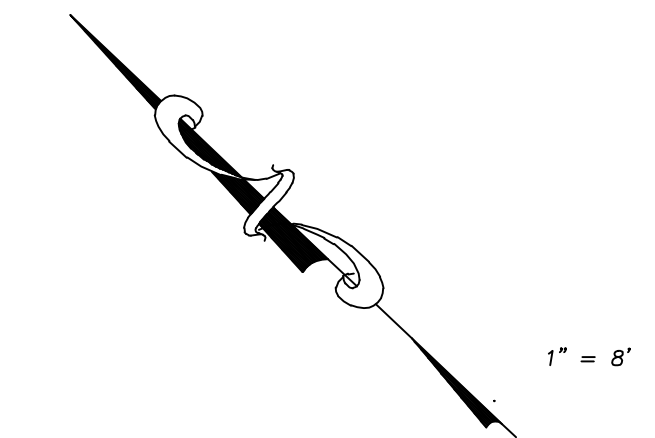
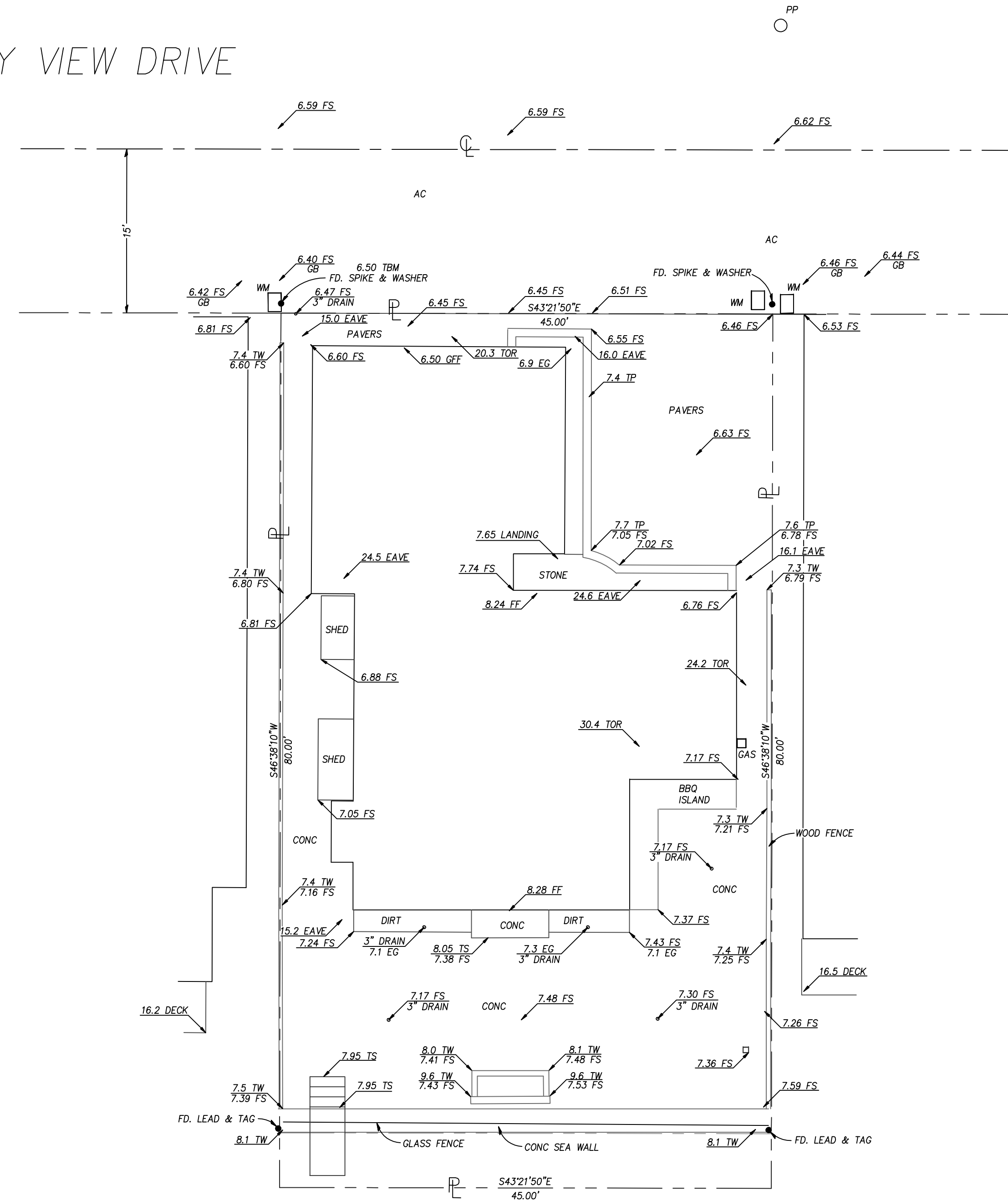
AREA OF GARAGE ADDITION 172 S.F.

UPPER LEVEL FLOOR PLAN

ENTRY LEVEL FLOOR PLAN



BAY VIEW DRIVE



LEGEND

- TC = TOP CURB
- FL = FLOW LINE
- FS = FINISH SURFACE
- TS = TOP STEP
- EG = EXISTING GROUND
- TW = TOP WALL
- TP = TOP PLANTER
- TOP = TOP SLOPE
- TOE = TOE SLOPE
- FF = FINISH FLOOR
- OFF = GARAGE FINISH FLOOR
- TOR = TOP ROOF
- BW = BACK WALK
- SCO = SEWER CLEANOUT
- PP = POWER POLE
- WV = WATER VALVE
- WM = WATER METER
- TBM = TEMPORARY BENCHMARK
- S.F.N. = SEARCHED FOUND NOTHING
- C = CENTERLINE
- P = PROPERTY LINE

EASEMENT NOTE:  
THERE ARE NO PLOTTABLE EASEMENTS PER TITLE REPORT ORDER NO. 58601801085-JFA

BOUNDARY NOTE:  
BASIS OF BEARING PER RECORD OF SURVEY 2018-1045



TOPOGRAPHIC MAP	
8 SCALE	LLA NO. 18-003 O.R. 2018000317934
MAY 2024	
16715 BAY VIEW DRIVE HUNTINGTON BEACH CA.	
OCS BENCHMARK 1J-60-83 ELEV. 6.883 NAVD88 DATUM	
SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH CA. (949)280-9957	