

HARBOUR COVE

IN HUNTINGTON BEACH



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PROJECT TEAM:

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HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



HANNOUCHE
ARCHITECTS

949.261.2070
20250 SW ACACIA ST., SUITE 145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT

21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

PROJECT DATA:

BUILDING CONSTRUCTION:	TYPE V (SPRINKLER, NFPA 13R)	FIRE SPRINKLER:	YES, NFPA 13D
OCCUPANCY GROUP:	R-2		MEETS CA FIRE CODE "TOWNHOUSE" DEFINITIK
LOT SIZE:	1.239 ACRES (53,977 SF)	FIRE ALARM SYSTEM:	NOT REQUIRED
ZONING:	MEDIUM DENSITY RESIDENTIAL DISTRICT (RM)	FIRE EXTINGUISHER:	2A: 10B:C
DENSITY:	14.5 UNITS / ACRE		INSTALLED WITHIN 75' TRAVEL DISTANCE TO AI
NO. OF UNITS:	18 UNITS		PORTIONS OF THE BUILDING PER CITY
	PLAN 1 (4 UNITS): 21'-6" X 52'-6"		SPECIFICATION #424
	PLAN 2 (3 UNITS): 21'-6" X 56'-6"		
	PLAN 3 (4 UNITS): 21'-6" X 64'-6"		
	PLAN 4 (5 UNITS): 21'-5" X 46'-1"		
	PLAN 5 (2 UNITS): 25'-5" X 52'-5"		
BICYCLE:	5 BIKE PARKING		

PARKING SUMMARY					
PARKING PER BASE ZONING:	NO. OF UNITS	SPACES PER UNIT	REQUIRED SPACES	PROPOSED	NOTES
2 BEDROOMS					
2 SPACES (1 ENCLOSED)	4	2	8	8	8 ENCLOSED IN 2-CAR GARAGE
3 BEDROOMS					
2.5 SPACES (1 ENCLOSED)	14	2.5	35	35	28 ENCLOSED IN 2-CAR GARAGE + 7 UNCOVERED
GUEST					
0.5 PER UNIT	18	0.5	9	9	9 UNCOVERED (8 STANDARD, 1 ACCESSIBLE)
TOTAL			52	52	

SUBJECT	CODE SECTION	REQUIRED	PROPOSED
FRONT SETBACK (GARAGE)	210.06	20'	20'
SIDE SETBACK	210.06	5'	10'
REAR SETBACK	210.06	10'	11'
STREETSIDE SETBACK	210.06	15'	15'
LOT COVERAGE	210.06	50% MAX	40%
BUILDING HEIGHT	210.06	35'	33'

APPLICABLE CODES
HUNTINGTON BEACH MUNICIPAL CODE
CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
CALIFORNIA BUILDING CODE, 2022 EDITION
CALIFORNIA FIRE CODE, 2022 EDITION
CALIFORNIA ENERGY CODE, 2022 EDITION
CALIFORNIA GREEN BUILDING STANDARD CODE, 2022 EDITION
CALIFORNIA MECHANICAL CODE, 2022 EDITION
CALIFORNIA ELECTRICAL CODE, 2022 EDITION
CALIFORNIA PLUMBING CODE, 2022 EDITION
CA. TITLE 24 DISABLED ACCESS REGULATIONS, 2022 EDITION

UNIT SQUARE FOOTAGE CALCULATIONS								
UNIT #	PLAN TYPE	# BED/ BATH	FLOOR			CONDITION	GARAGE	GROSS S.F.
			FIRST	SECOND	THIRD			
1	PLAN 1E	3 BED/ 3.5 BA	779	1,187	608	2,574	422	2,996
2	PLAN 1B	3 BED/ 3.5 BA	779	1,168	608	2,555	422	2,977
3	PLAN 1A	3 BED/ 3.5 BA	779	1,174	608	2,561	422	2,983
4	PLAN 1B	3 BED/ 3.5 BA	779	1,168	608	2,555	422	2,977
5	PLAN 2A	3 BED/ 3.5 BA	747	1,099	638	2,484	443	2,927
6	PLAN 2B	3 BED/ 3.5 BA	747	1,099	638	2,484	511	2,995
7	PLAN 2E	3 BED/ 3.5 BA	747	1,099	638	2,484	511	2,995
8	PLAN 3A	3 BED/ 3.5 BA	887	1,173	571	2,631	422	3,053
9	PLAN 3B	3 BED/ 3.5 BA	887	1,173	571	2,631	489	3,120
10	PLAN 3C	3 BED/ 3.5 BA	887	1,173	571	2,631	489	3,120
11	PLAN 3E	3 BED/ 3.5 BA	887	1,173	571	2,631	489	3,120
12	PLAN 4E	2 BED/ 3.5 BA	529	939	505	1,973	442	2,415
13	PLAN 4B	2 BED/ 3.5 BA	529	939	505	1,973	442	2,415
14	PLAN 4A	2 BED/ 3.5 BA	529	939	505	1,973	442	2,415
15	PLAN 4B	2 BED/ 3.5 BA	529	939	505	1,973	442	2,415
16	PLAN 4E	3 BED/ 3.5 BA	529	939	505	1,973	442	2,415
17	PLAN 5A	3 BED/ 3.5 BA	794	1,256	609	2,659	472	3,131
18	PLAN 5E	3 BED/ 3.5 BA	828	1,256	609	2,693	512	3,205
18 UNITS TOTAL						43,438		51,674

LEGEND:	
	UTILITY METERS
	MAILBOX
	TRASH CAN
	BICYCLE PARKING
	ACCESSIBLE PATH OF TRAVEL
	EXISTING BUILDING

PRIVATE OPEN SPACE CALCULATIONS							
UNIT #	PLAN TYPE	UNIT AREA	25% REQ.	GROUND	2ND FLR	3RD FLR	PROVIDED
				FLR.	DECK	DECK	TOTAL
1	PLAN 1E	2,574	644	311	56	538	905
2	PLAN 1B	2,555	639	311	45	538	894
3	PLAN 1A	2,561	640	311	58	538	907
4	PLAN 1B	2,555	639	311	45	538	894
5	PLAN 2A	2,484	621	312	0	525	837
6	PLAN 2B	2,484	621	312	0	525	837
7	PLAN 2E	2,484	621	339	0	525	864
8	PLAN 3A	2,631	658	335	33	634	1,002
9	PLAN 3B	2,631	658	335	33	634	1,002
10	PLAN 3C	2,631	658	335	26	634	995
11	PLAN 3E	2,631	658	335	33	634	1,002
12	PLAN 4E	1,973	493	355	0	442	797
13	PLAN 4B	1,973	493	313	0	459	772
14	PLAN 4A	1,973	493	309	0	442	751
15	PLAN 4B	1,973	493	305	0	459	764
16	PLAN 4E	1,973	493	385	0	442	827
17	PLAN 5A	2,659	665	332	0	782	1,114
18	PLAN 5E	2,693	673	320	0	782	1,102
18 UNITS TOTAL		43,438	10,860				16,266

**UNITS 17 & 18: ONLY 50% OF THE THIRD FLOOR DECK AREA IS COUNTED TOWARDS PRIVATE OPEN SPACE REQUIREMENTS.

- SITE PLAN NOTES:
- UTILITY METERS SHALL BE SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
 - ELECTRIC TRANSFORMERS IN A REQUIRED FRONT OR STREET SIDE YARD SHALL BE ENCLOSED IN SUBSURFACE VAULTS.
 - BACKFLOW PREVENTION DEVICES SHALL NOT BE LOCATED IN THE FRONT YARD SETBACK AND SHALL BE SCREENED FROM VIEW.

SITE PLAN

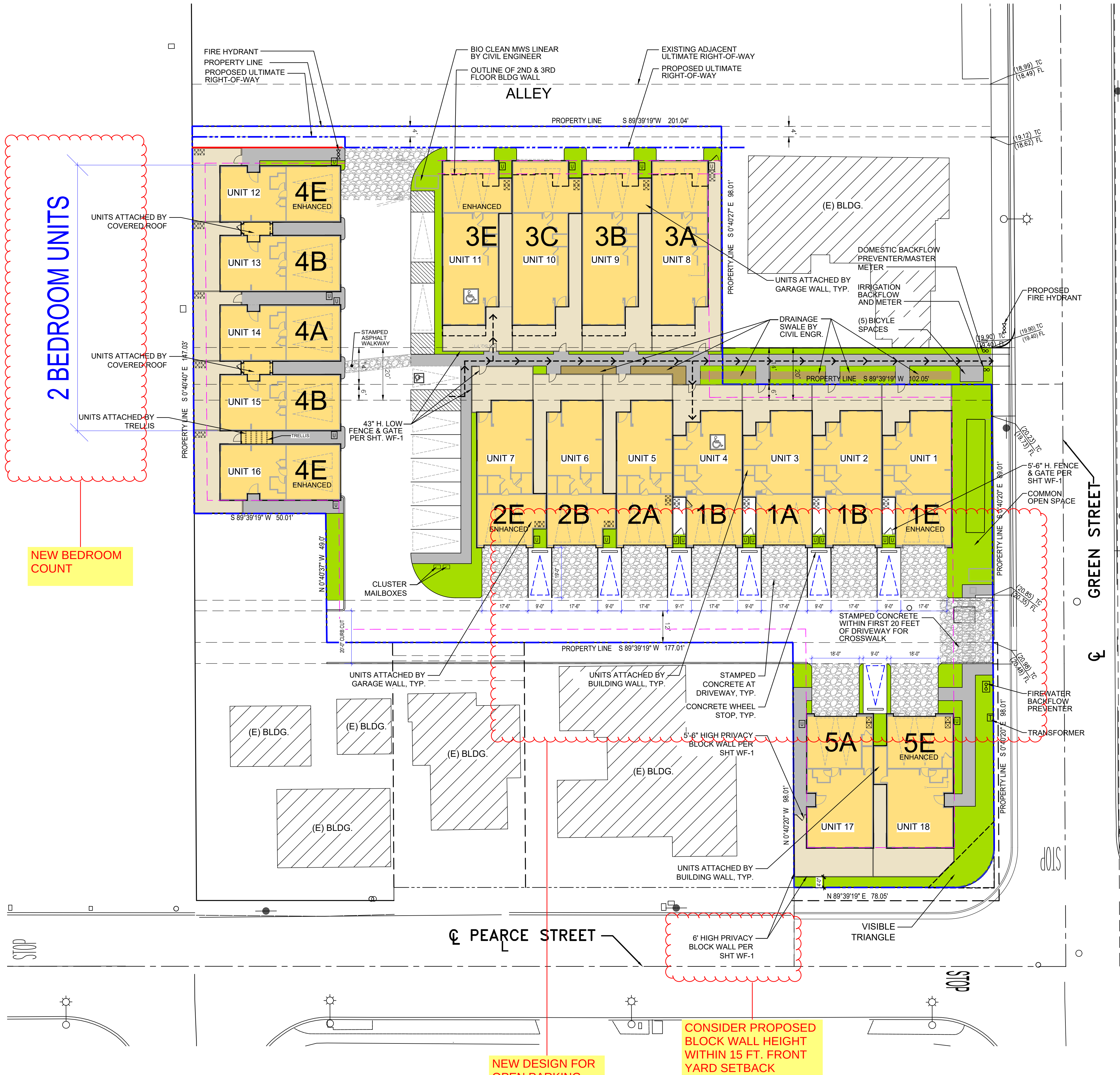
SCALE: 1"= 20'-0"

SAS DEVELOPMENT

21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

0.1

Preliminary

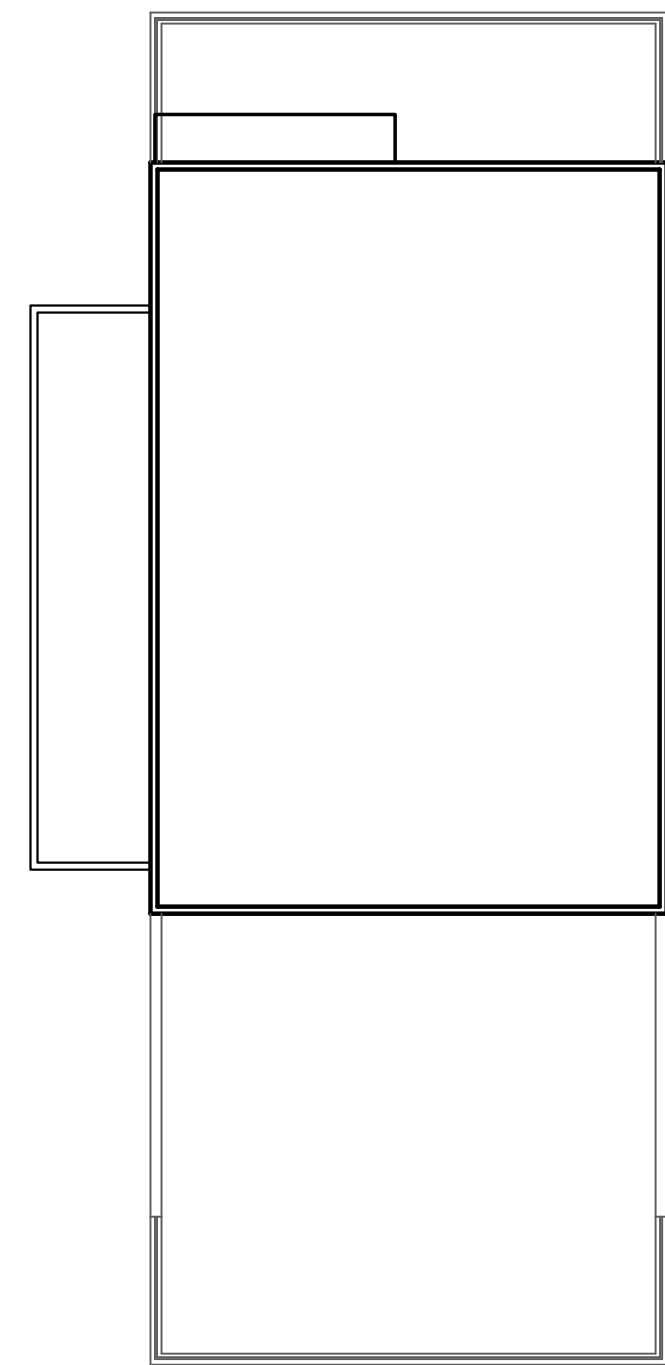


HARBOUR COVE

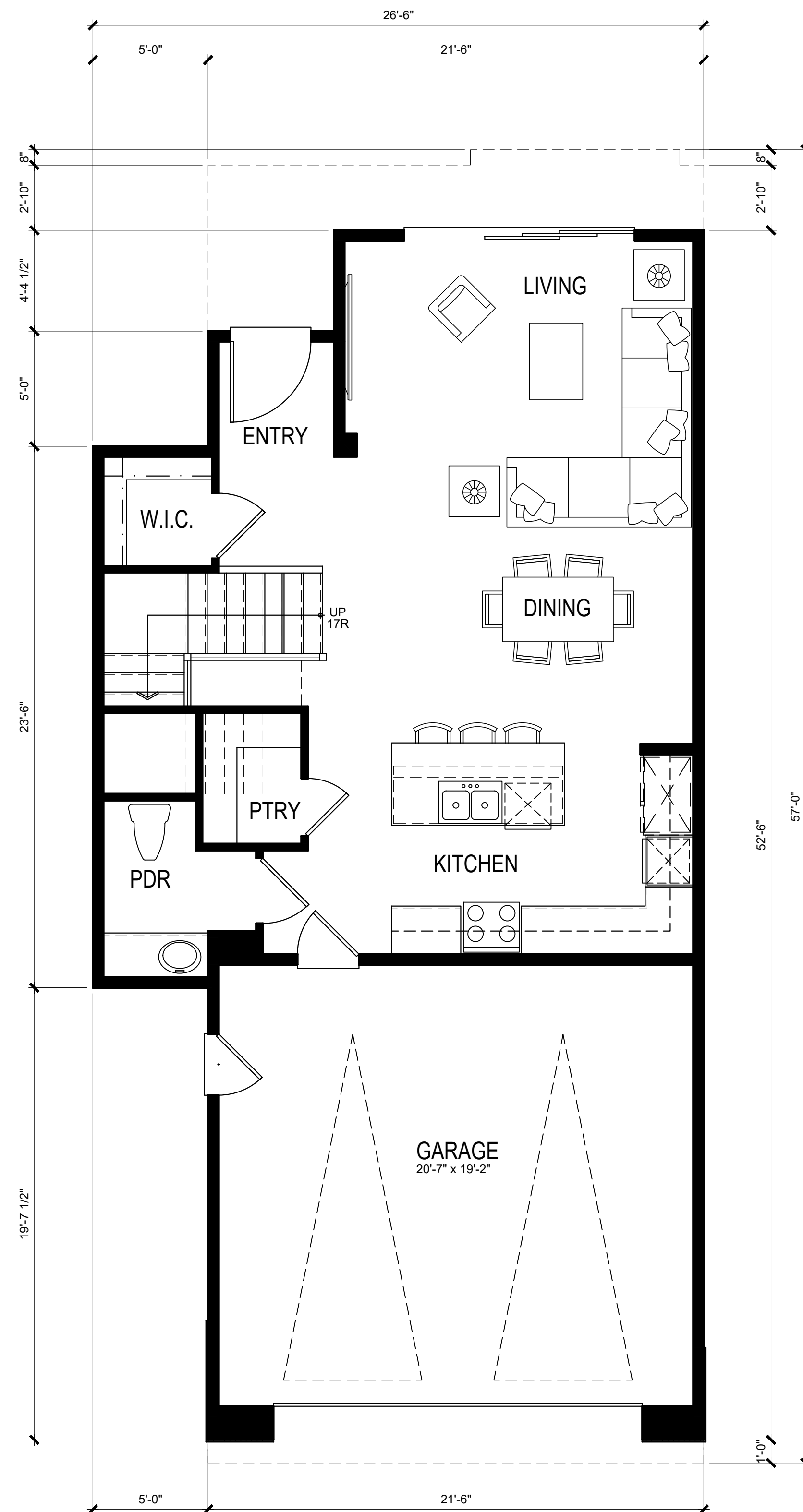
4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



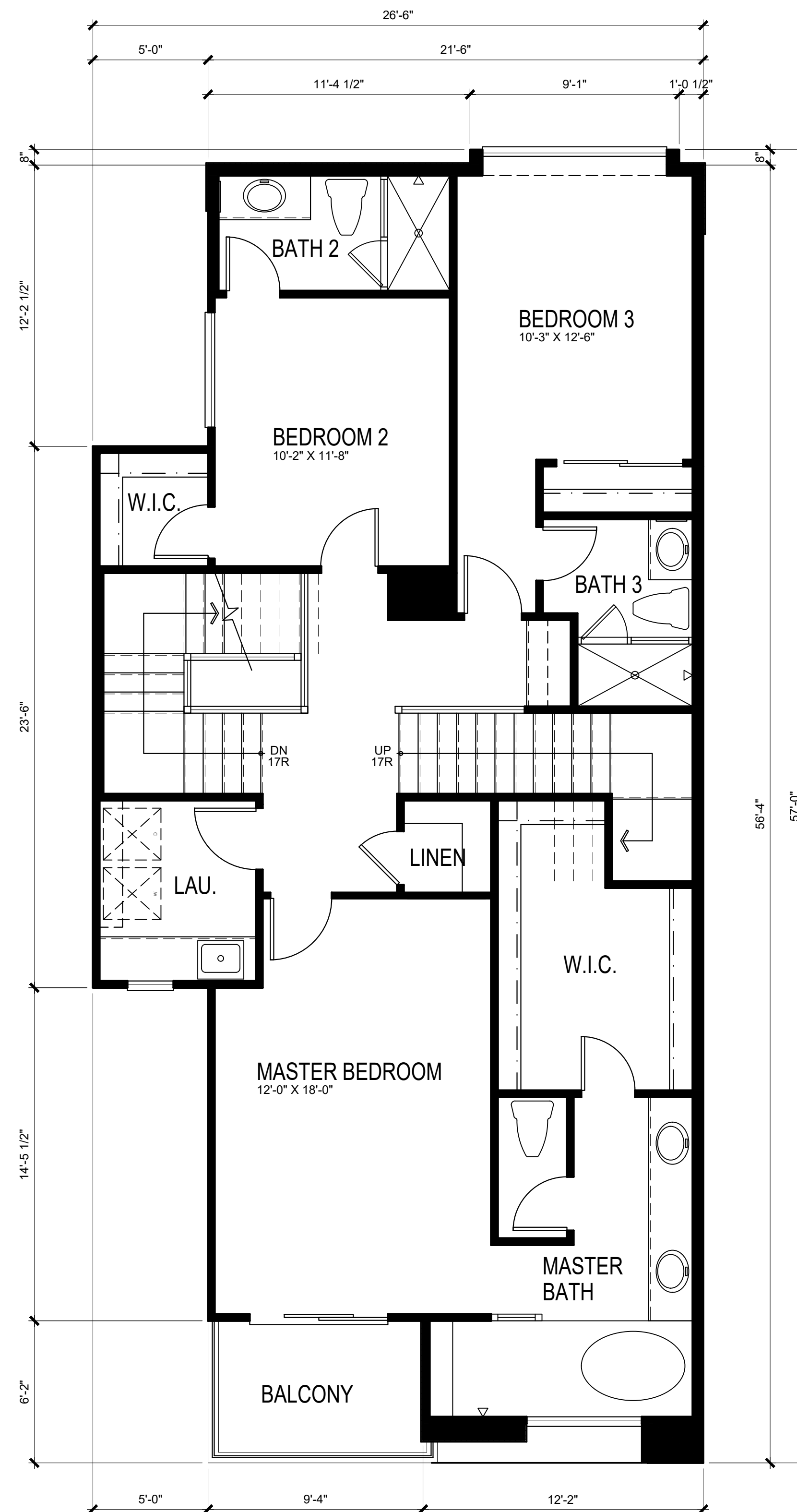
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20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 August 28, 2025



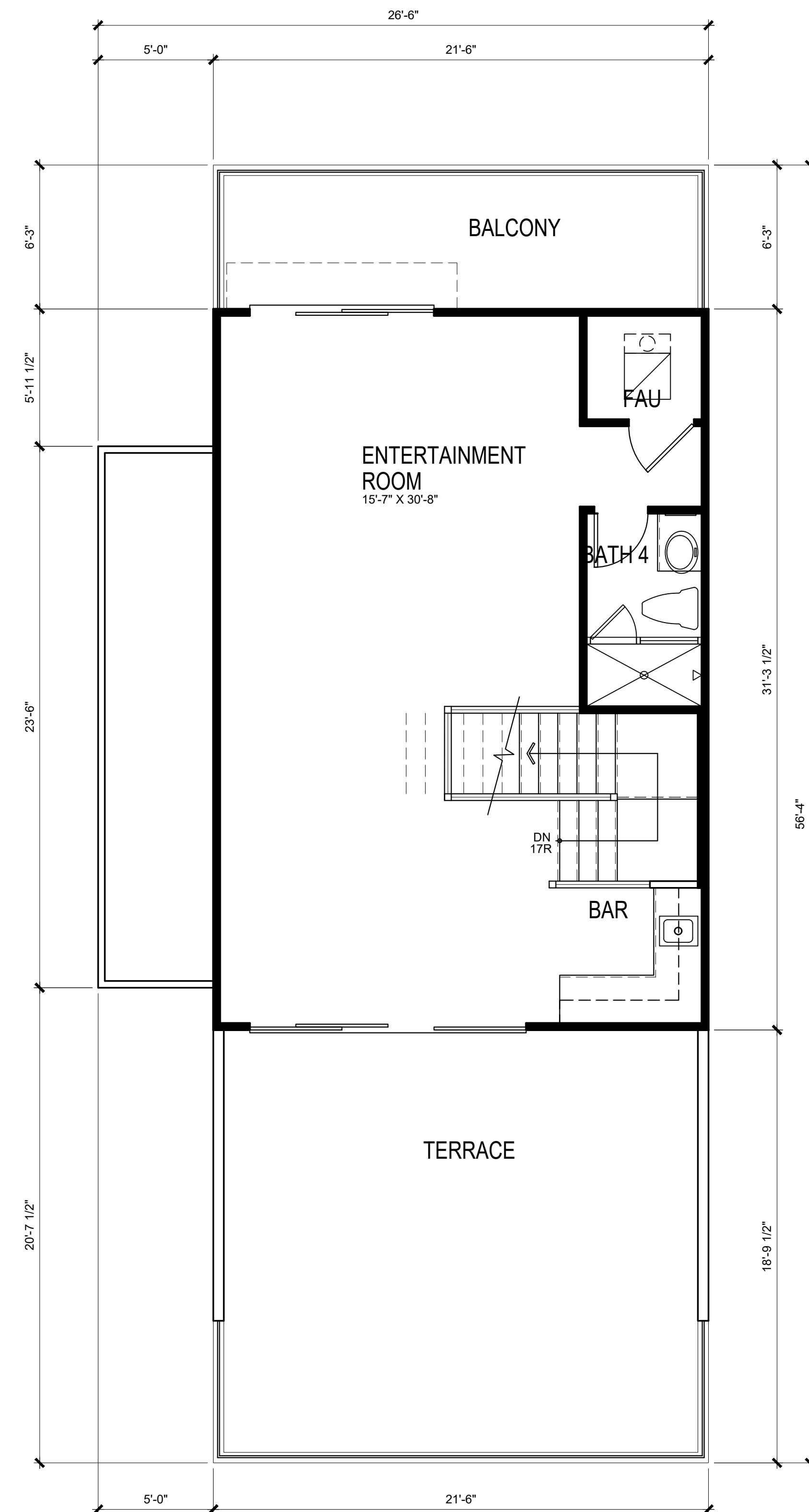
ROOF PLAN



FIRST FLOOR PLAN
779 S.F.
2,561 S.F.



SECOND FLOOR PLAN
1174 S.F.



THIRD FLOOR PLAN
608 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



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PROJECT # 22017 September 9, 2025

PLAN 1A



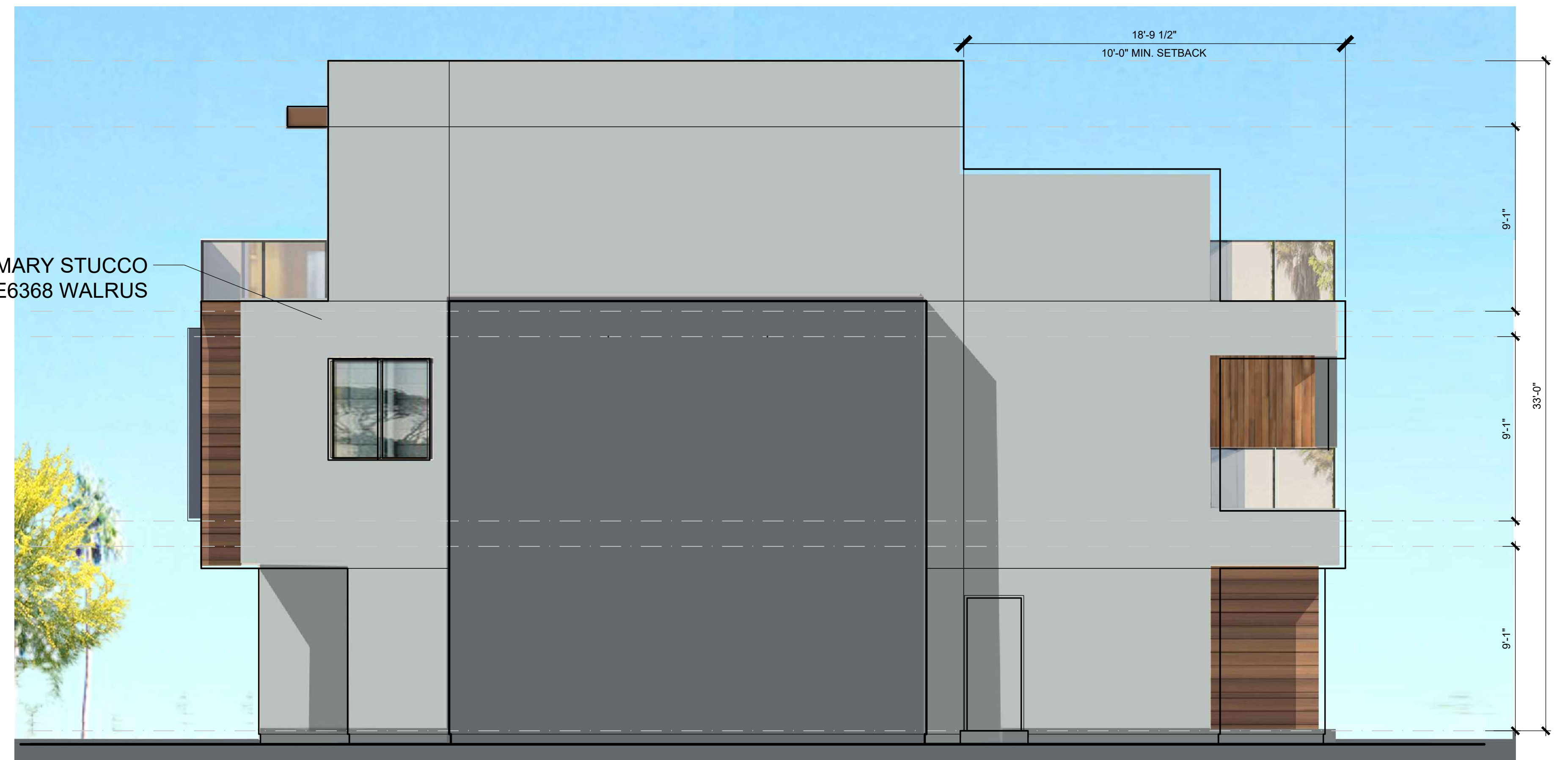
SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

1.1



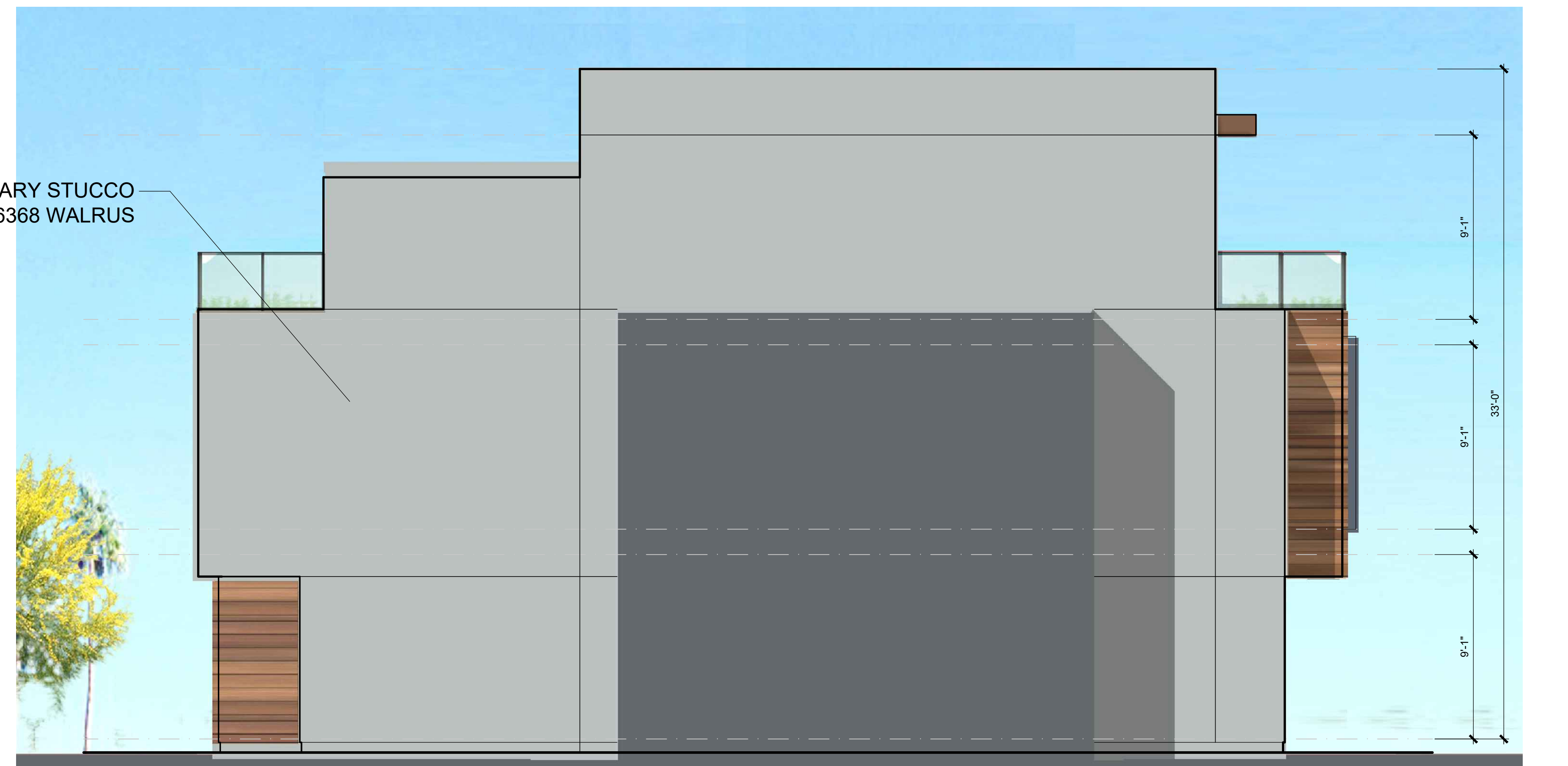
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

ACCENT STUCCO
DEA188 BLACK BAY

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

PRIMARY STUCCO
DE6368 WALRUS

PRIMARY STUCCO
DE6368 WALRUS

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 1A ELEVATIONS



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

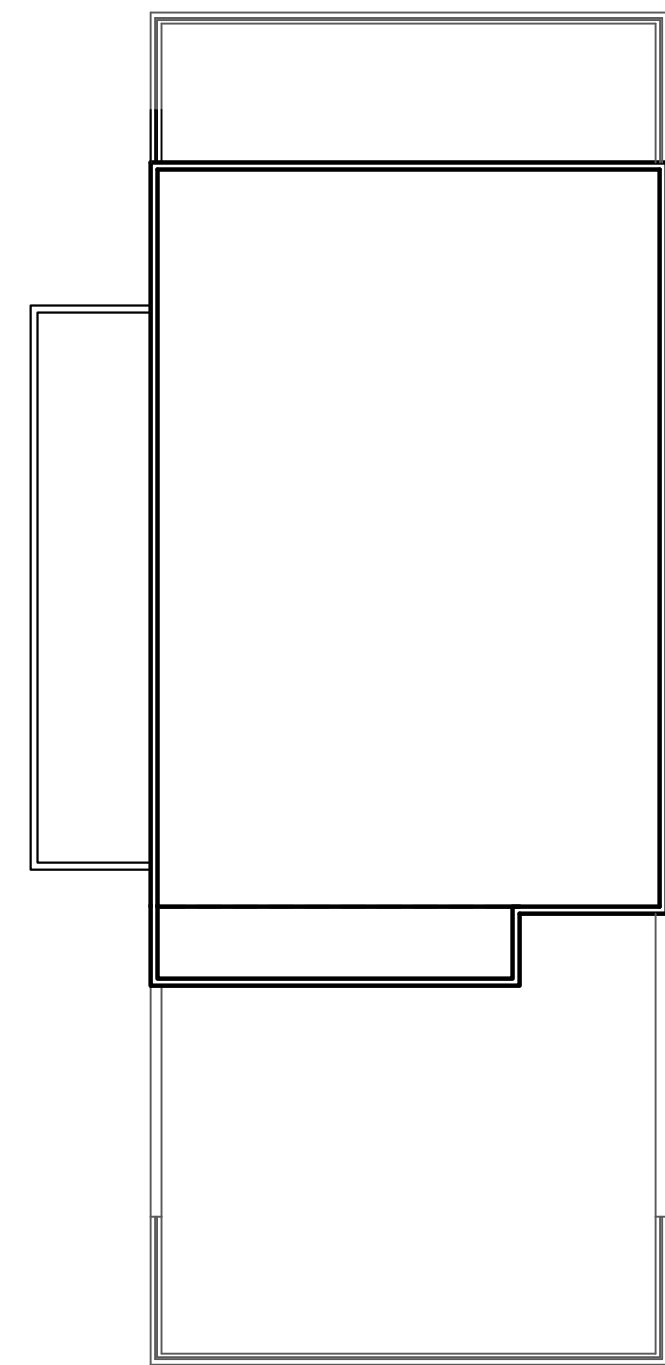
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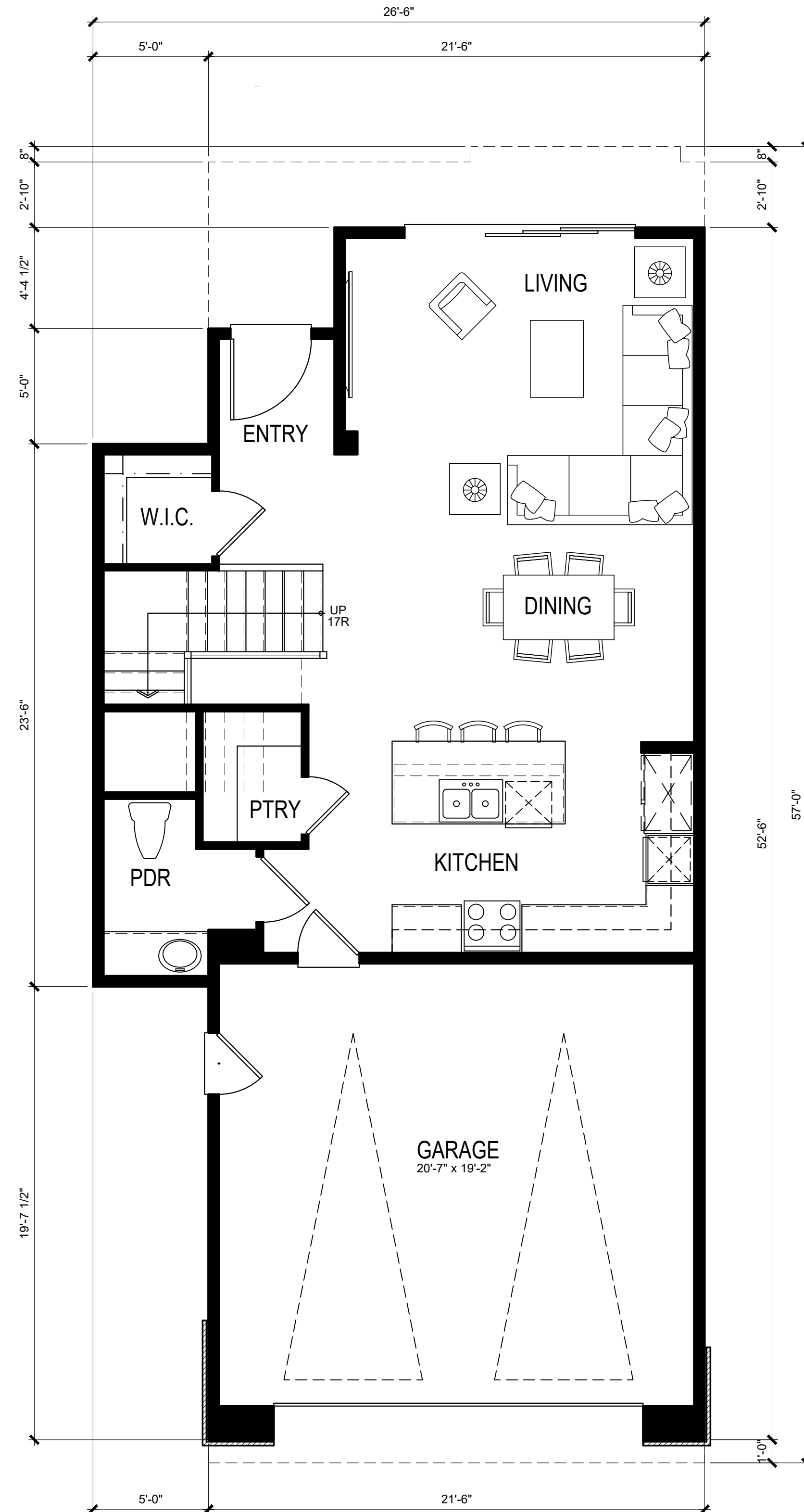


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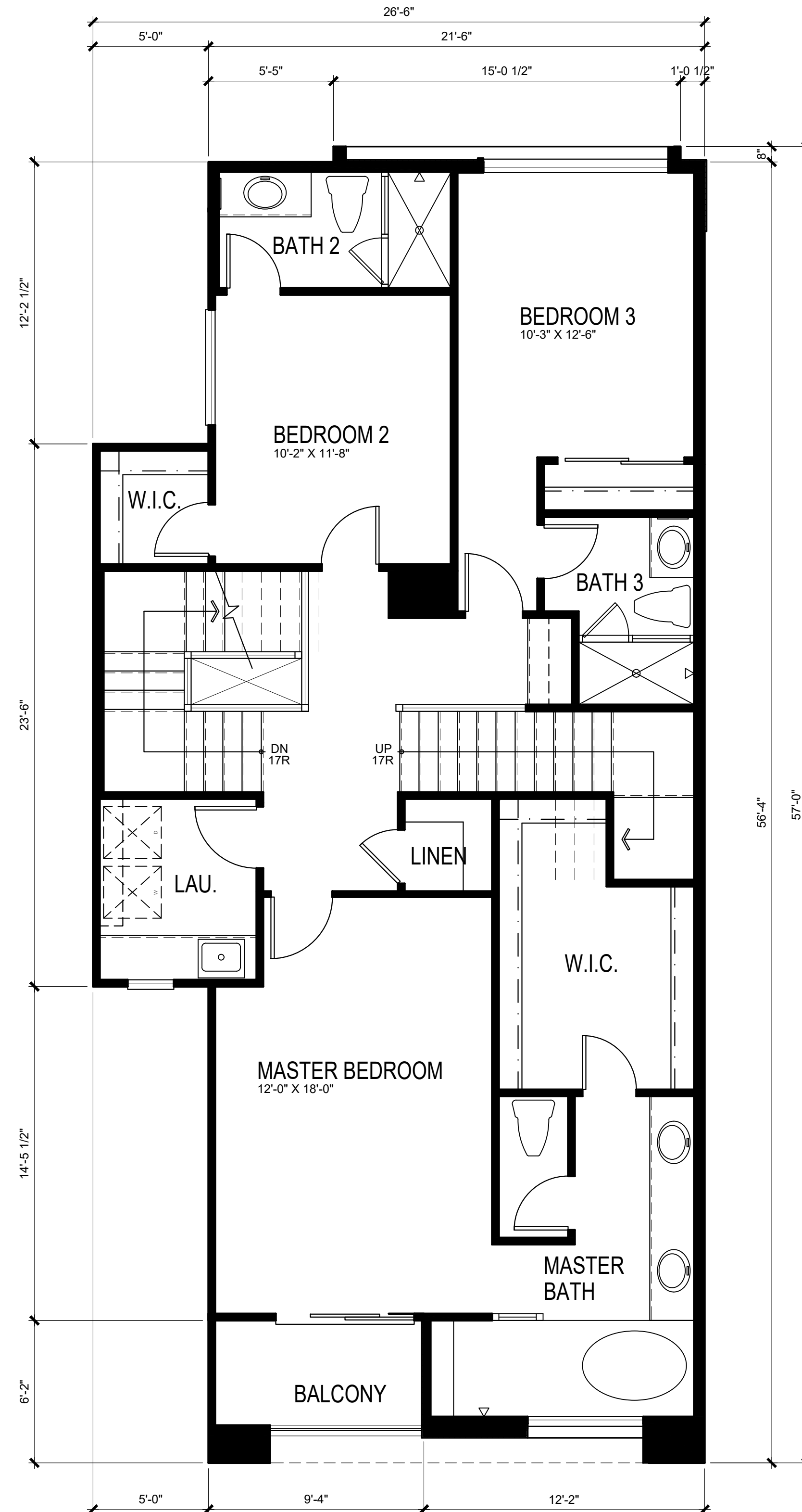
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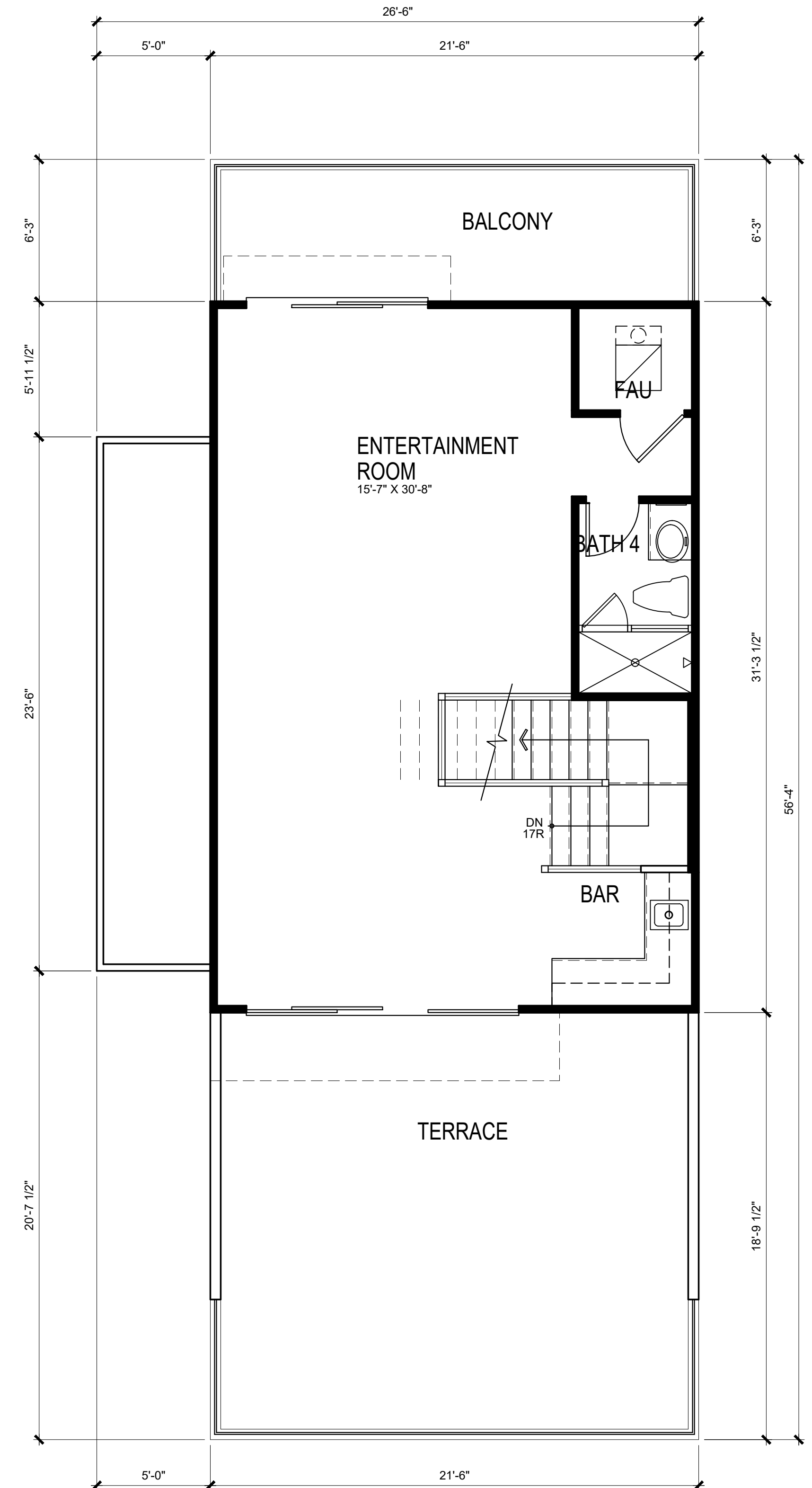
ROOF PLAN



FIRST FLOOR PLAN
779 S.F.
2,555 S.F.



SECOND FLOOR PLAN
1168 S.F.



THIRD FLOOR PLAN
608 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 1B



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

1.3



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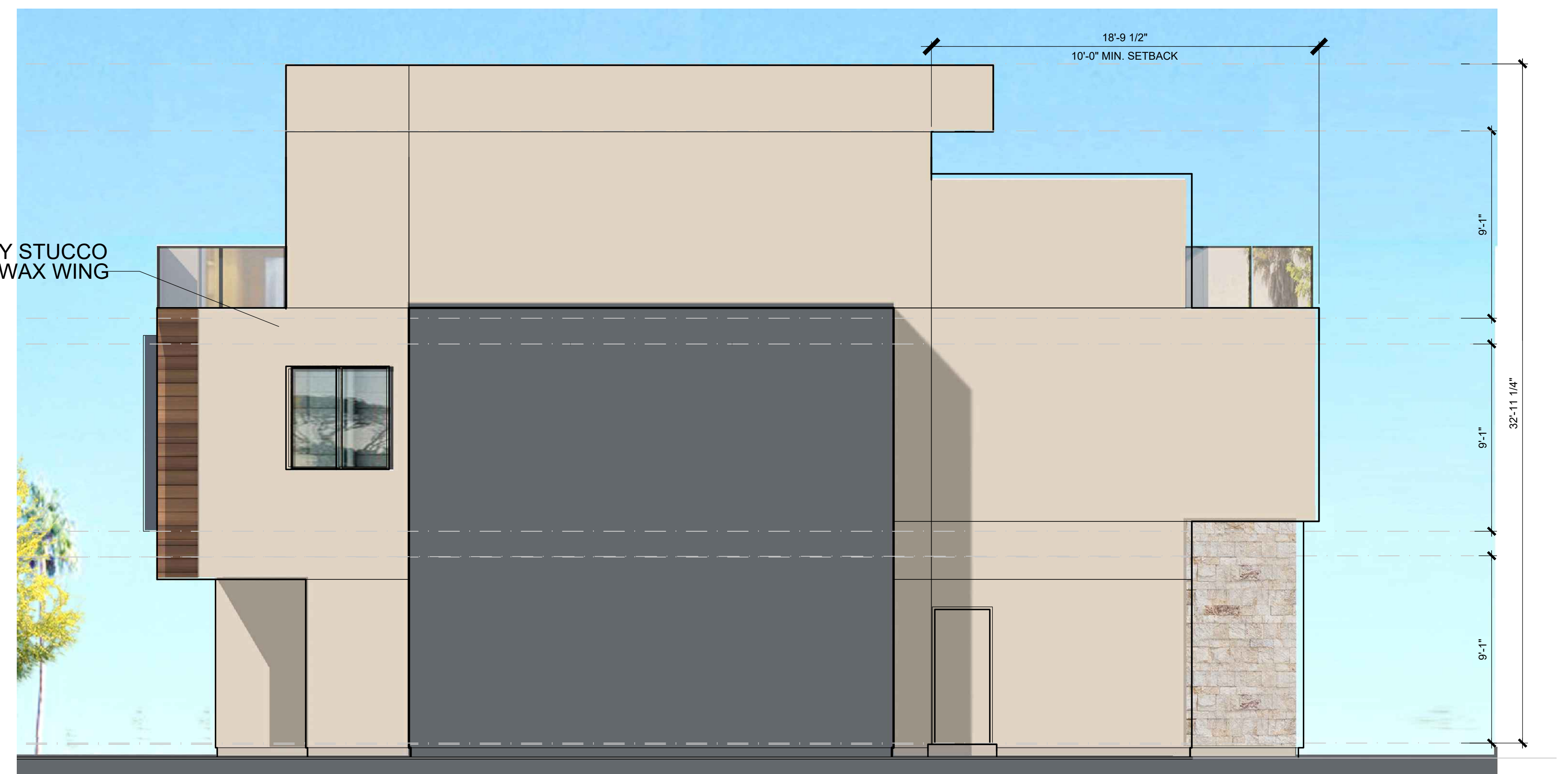
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PROJECT # 22017 September 9, 2025



FRONT ELEVATION

PRIMARY STUCCO
DEW 329 WAX WING

CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN WHITEGOLD



LEFT ELEVATION

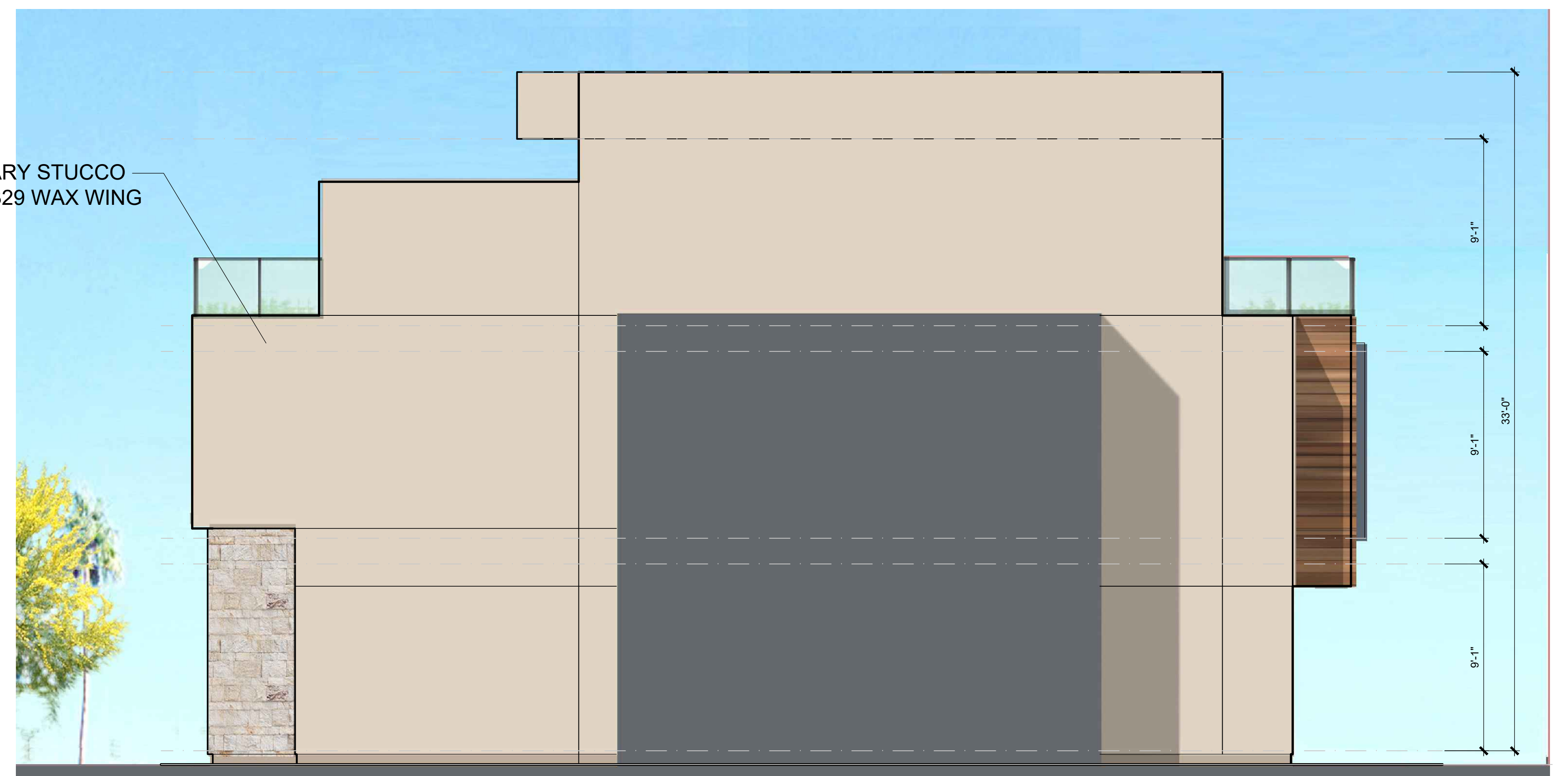


REAR ELEVATION

ACCENT STUCCO
DEA188 BLACK BAY

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

PRIMARY STUCCO
DEW 329 WAX WING



RIGHT ELEVATION

PLAN 1B ELEVATIONS



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

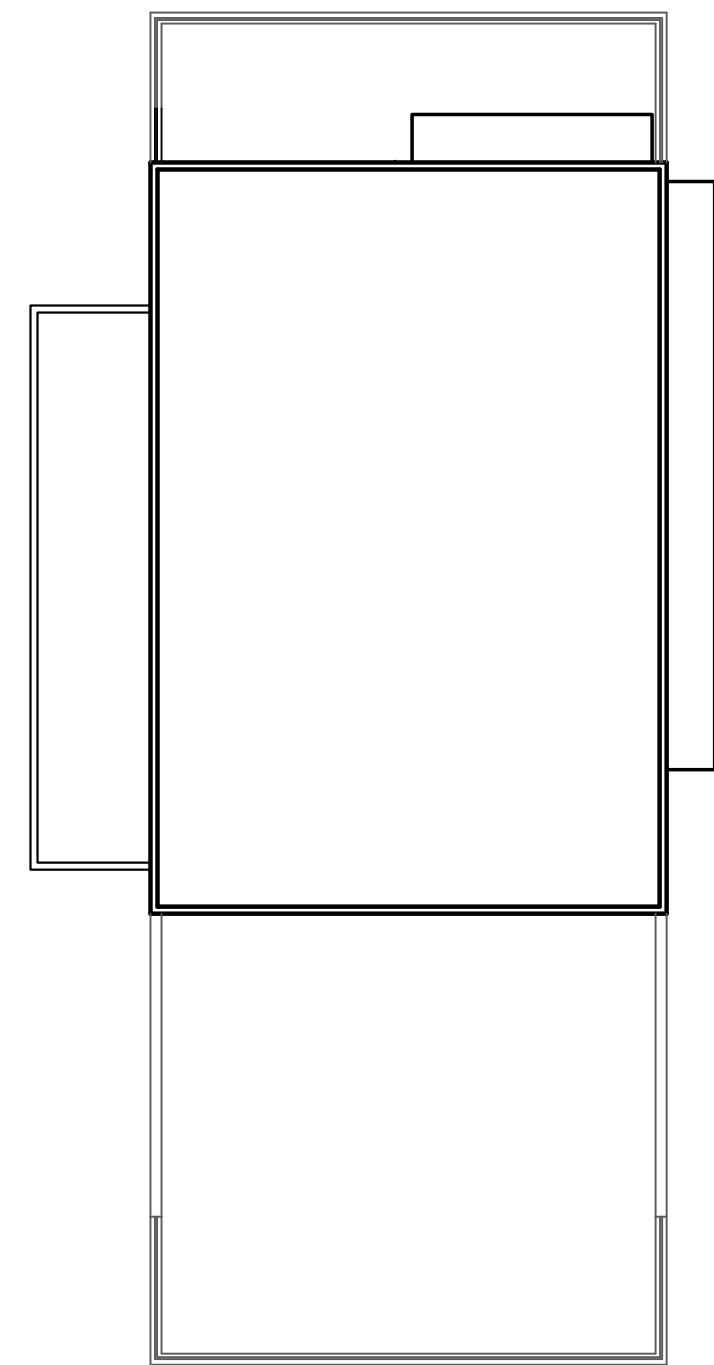
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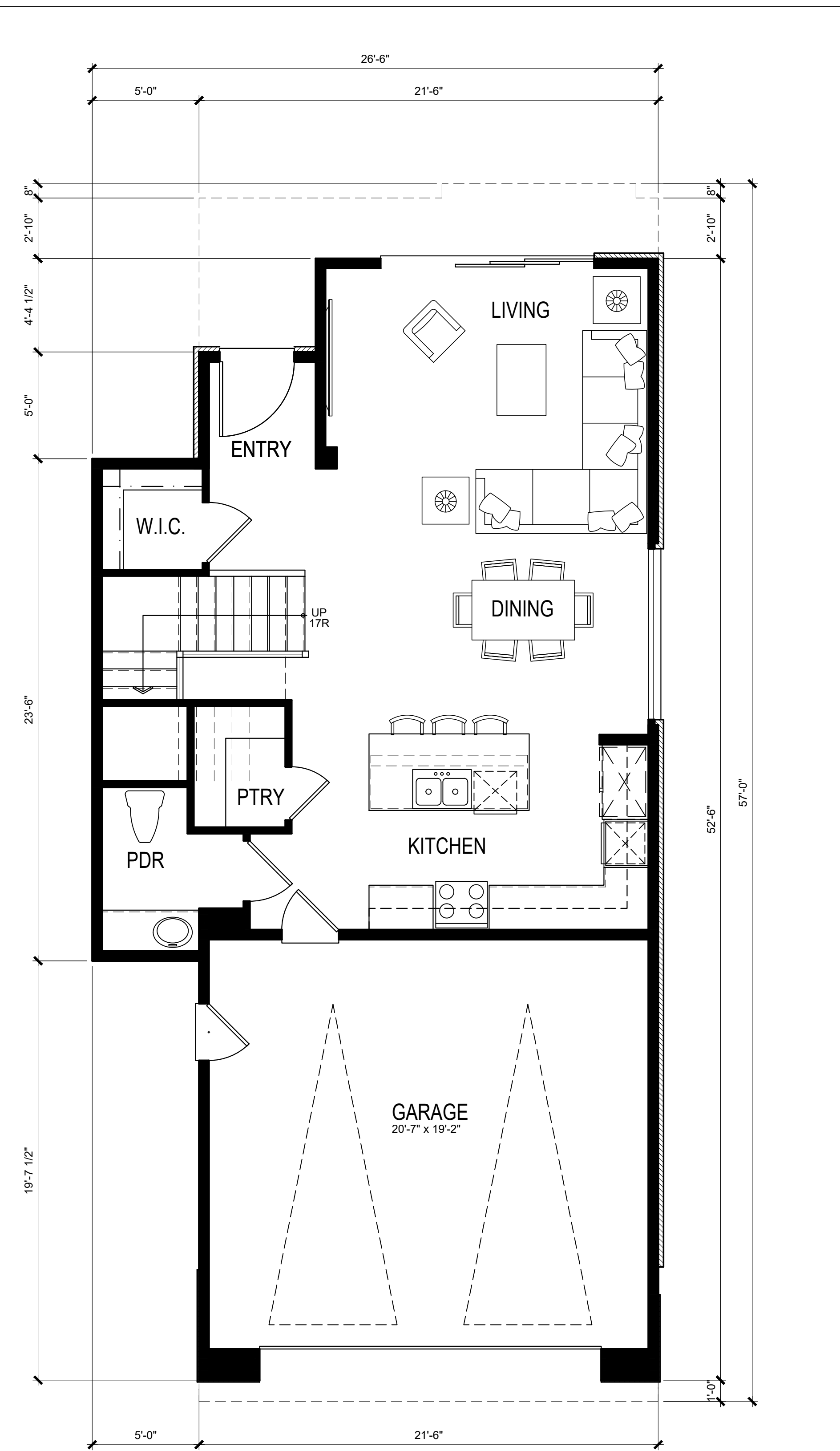


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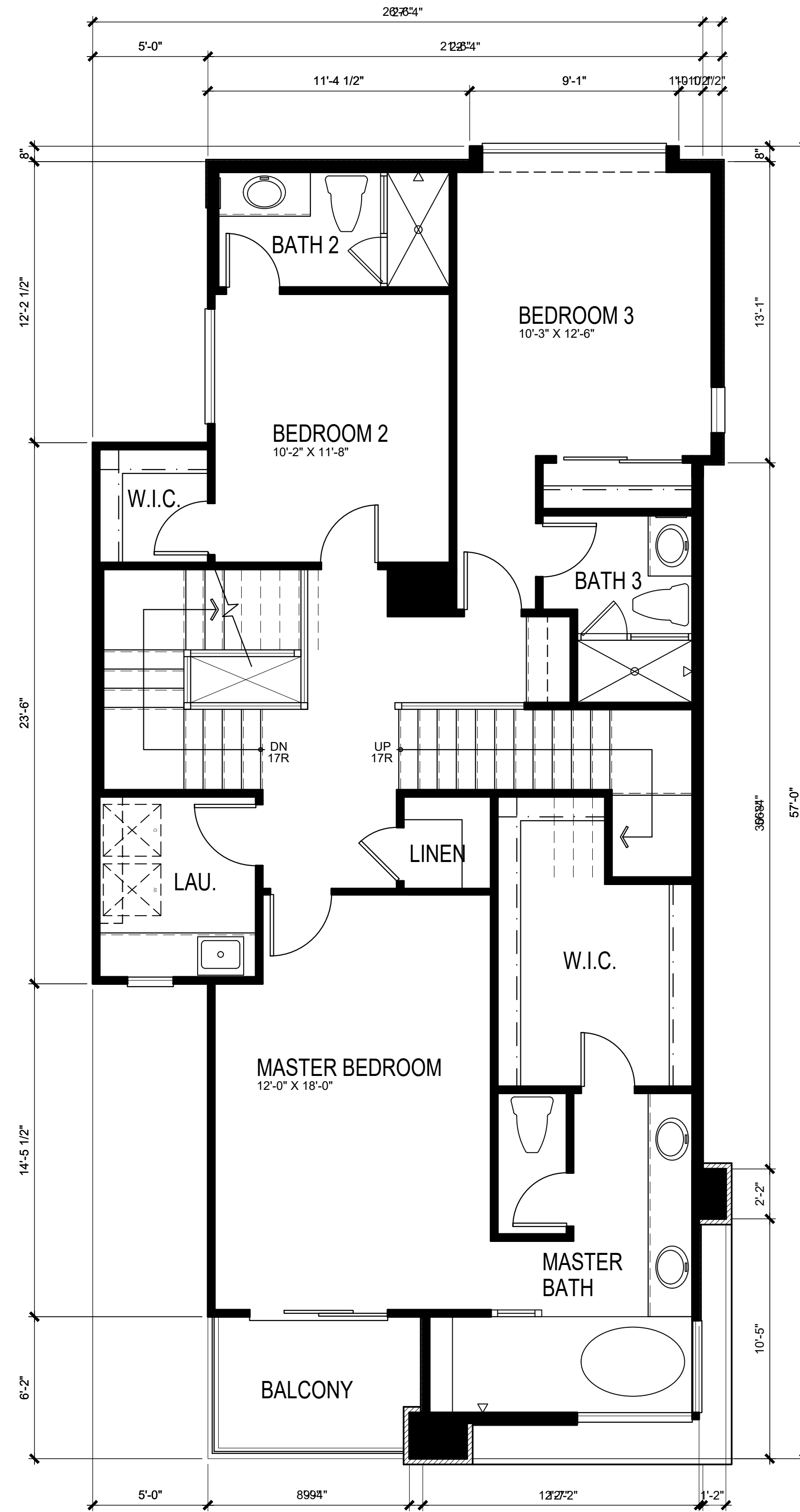
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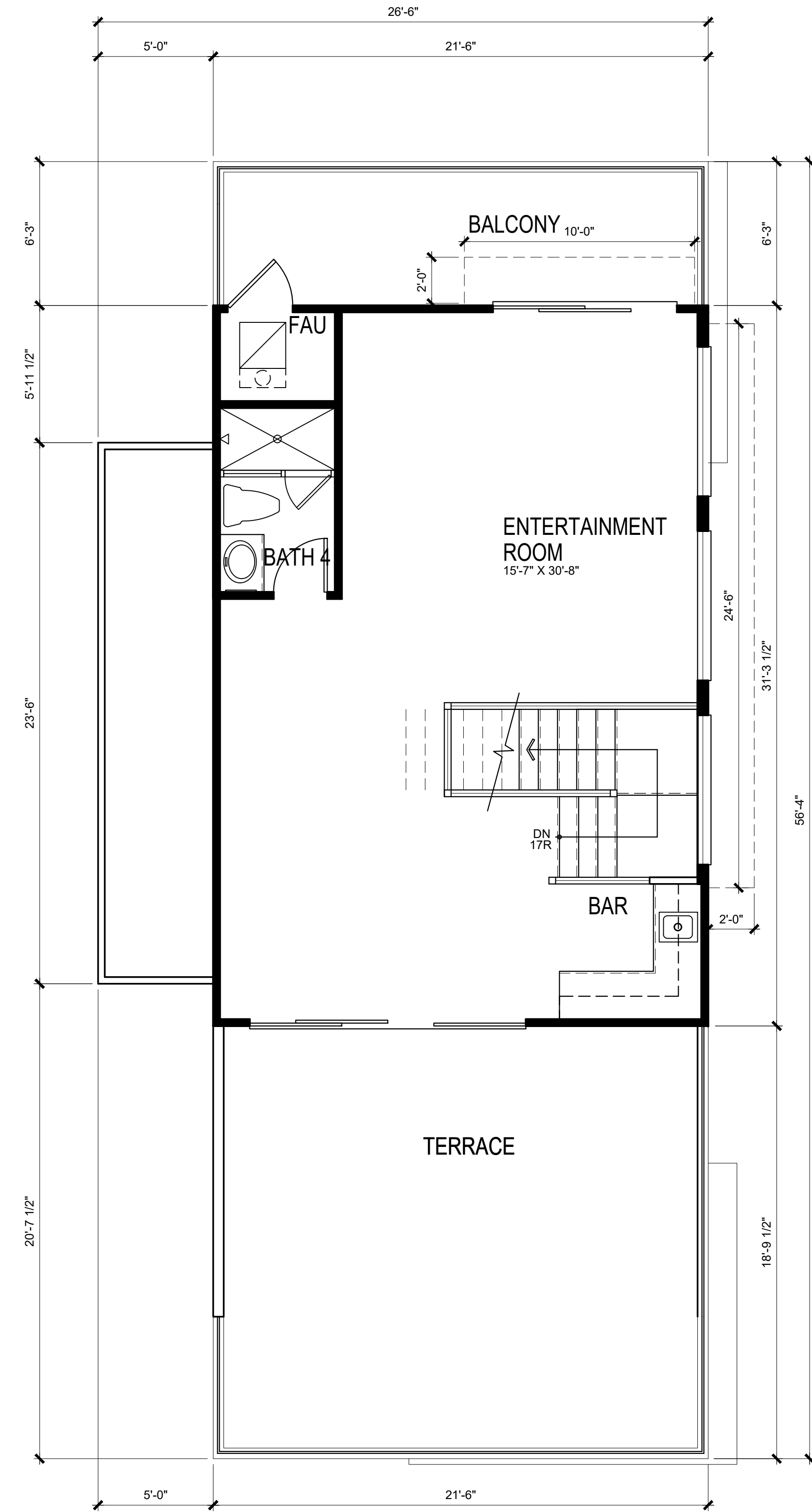
ROOF PLAN
0 4 8 16



FIRST FLOOR PLAN 779 S.F.
2,574 S.F.



SECOND FLOOR PLAN 1187 S.F.



THIRD FLOOR PLAN 608 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 1E ENHANCED



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

1.5

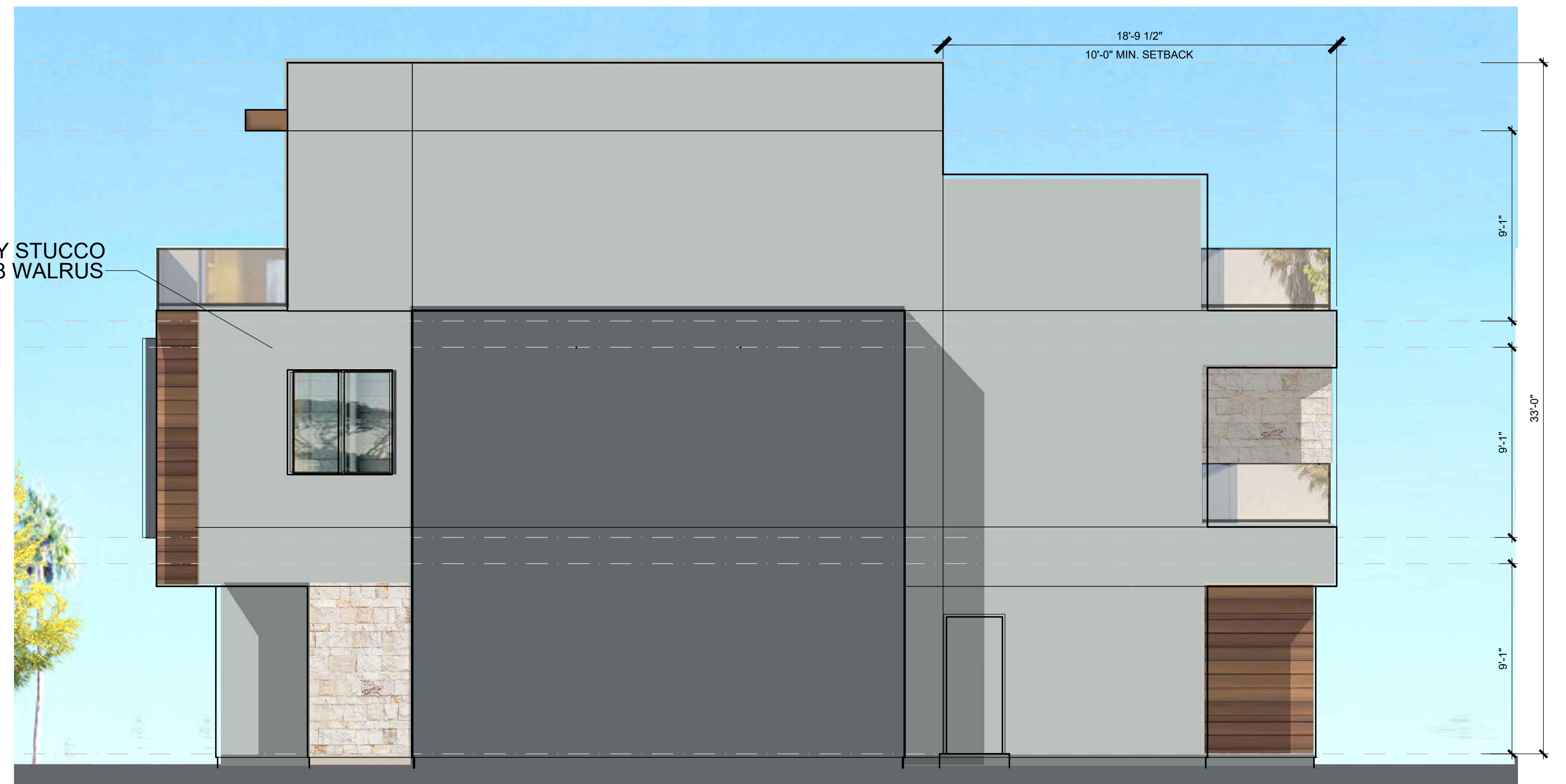


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FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

PLAN 1 ENH ELEVATIONS



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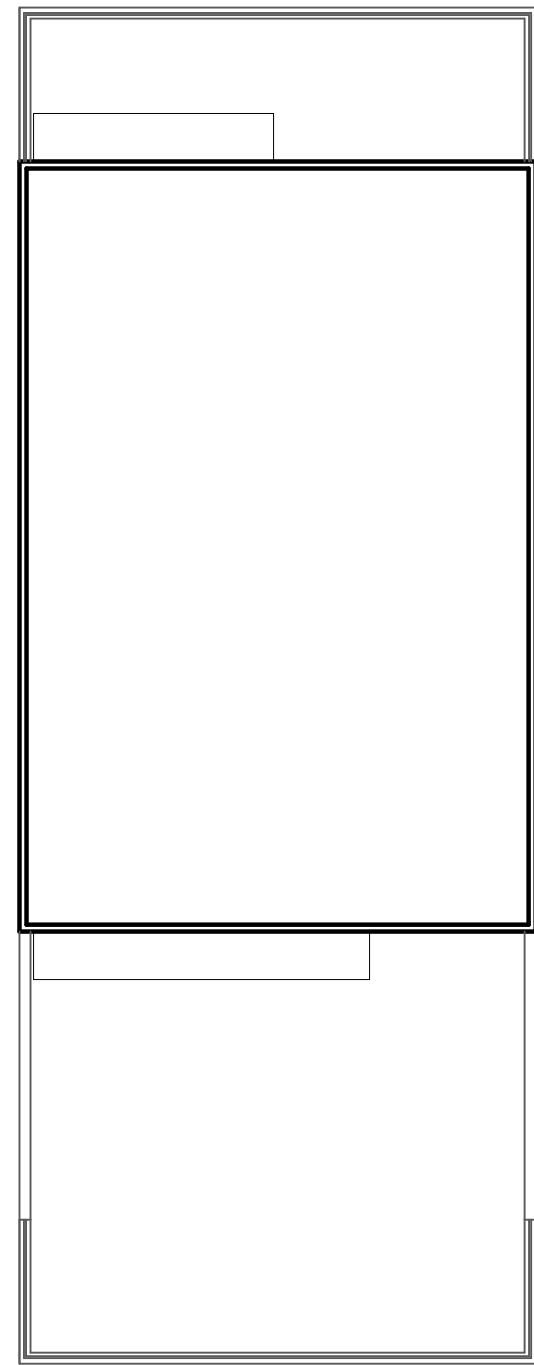
HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

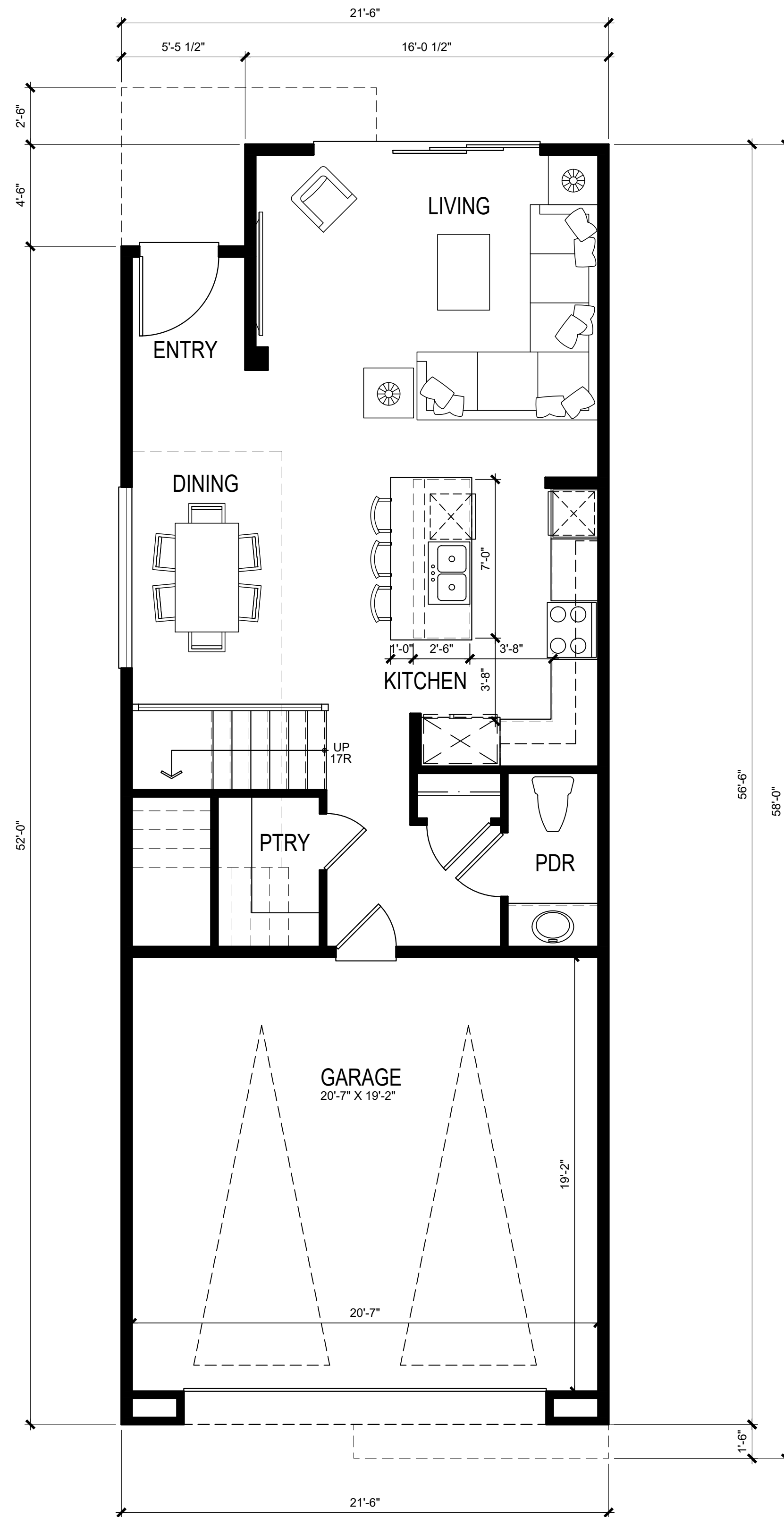
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HUNTINGTON BEACH, CA 92648

Preliminary

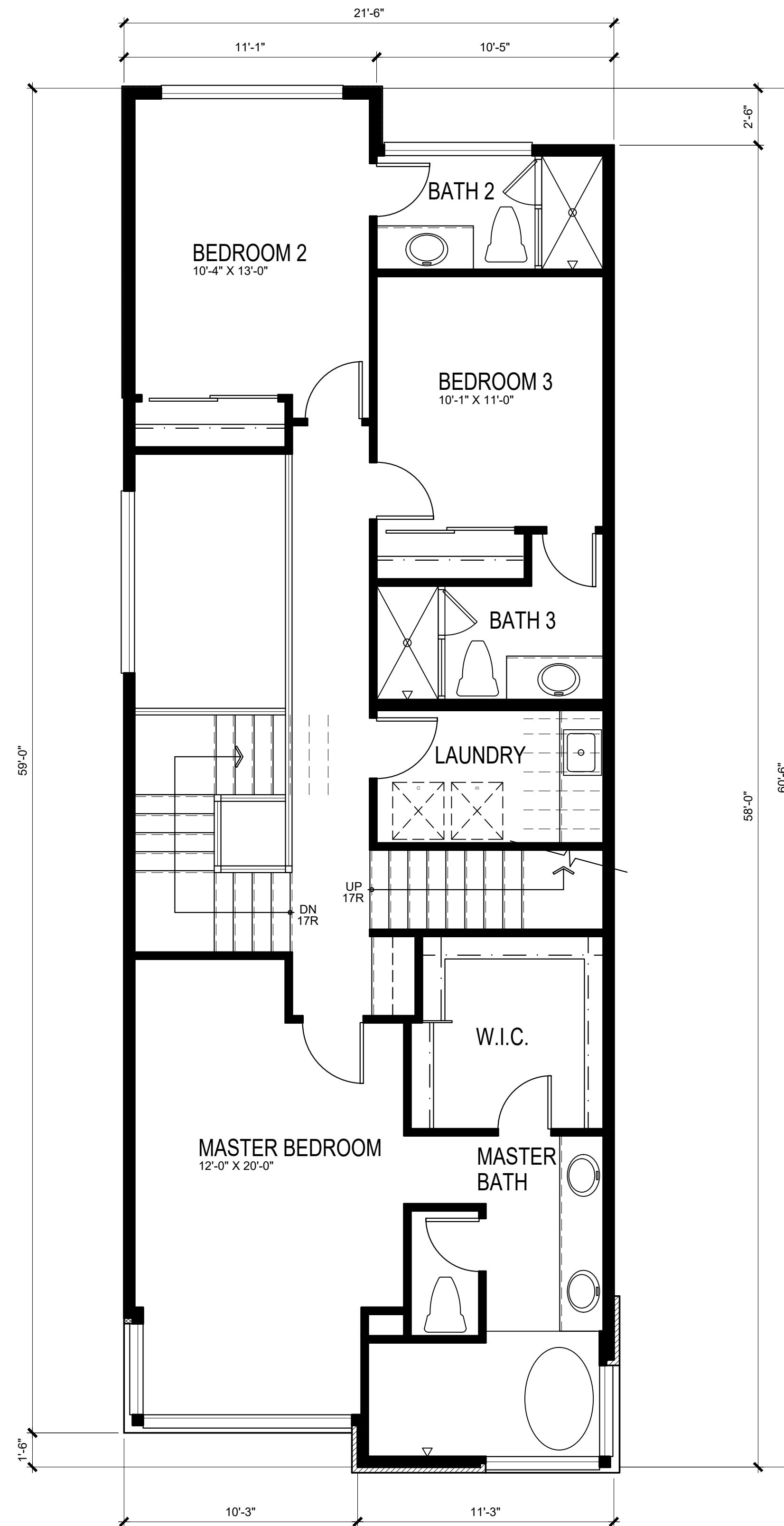
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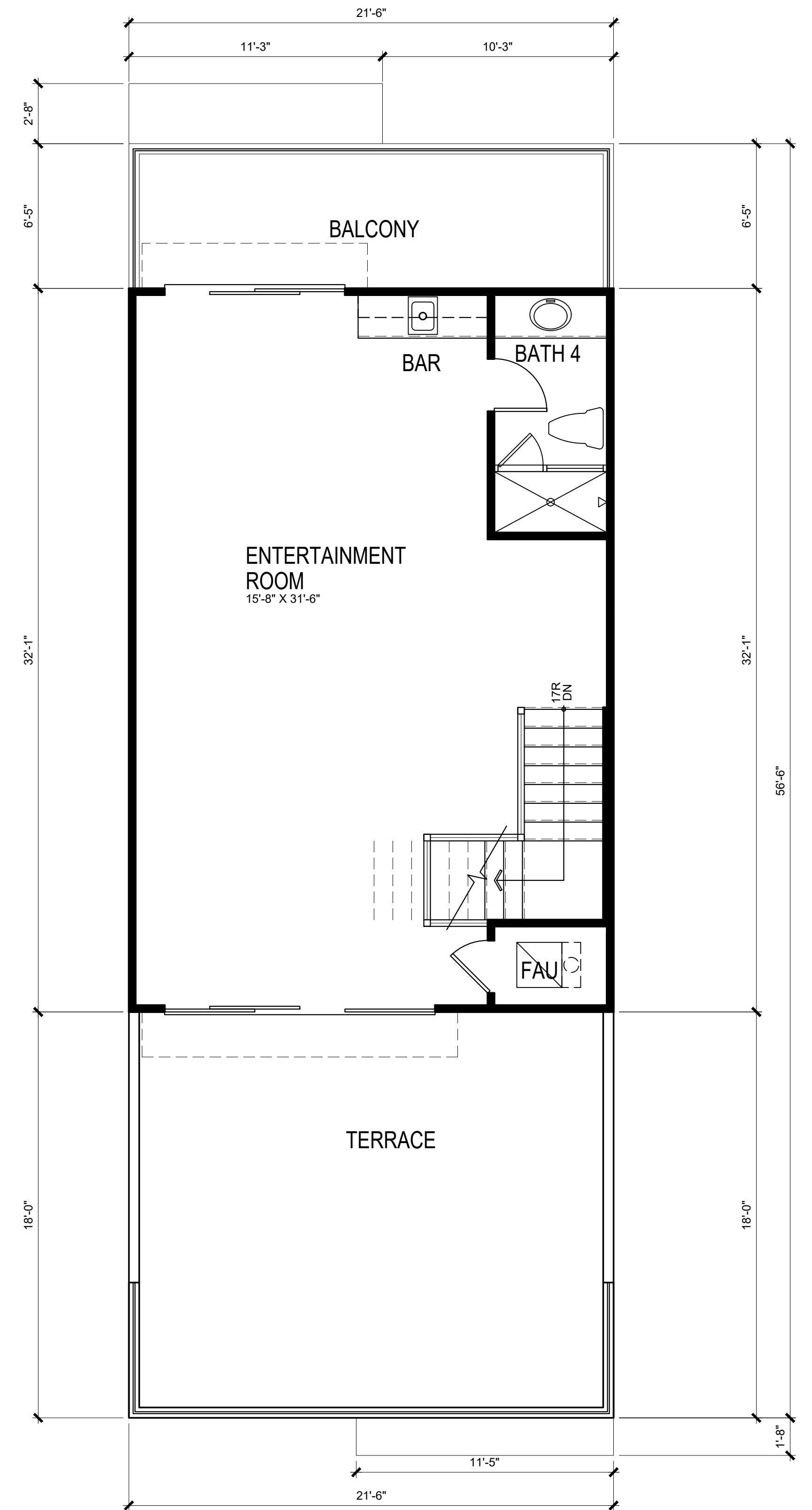
ROOF PLAN



FIRST FLOOR PLAN
(EACH UNIT TOTAL) 747 S.F.
2,484 S.F.



SECOND FLOOR PLAN 1099 S.F.



THIRD FLOOR PLAN 638 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 2A



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

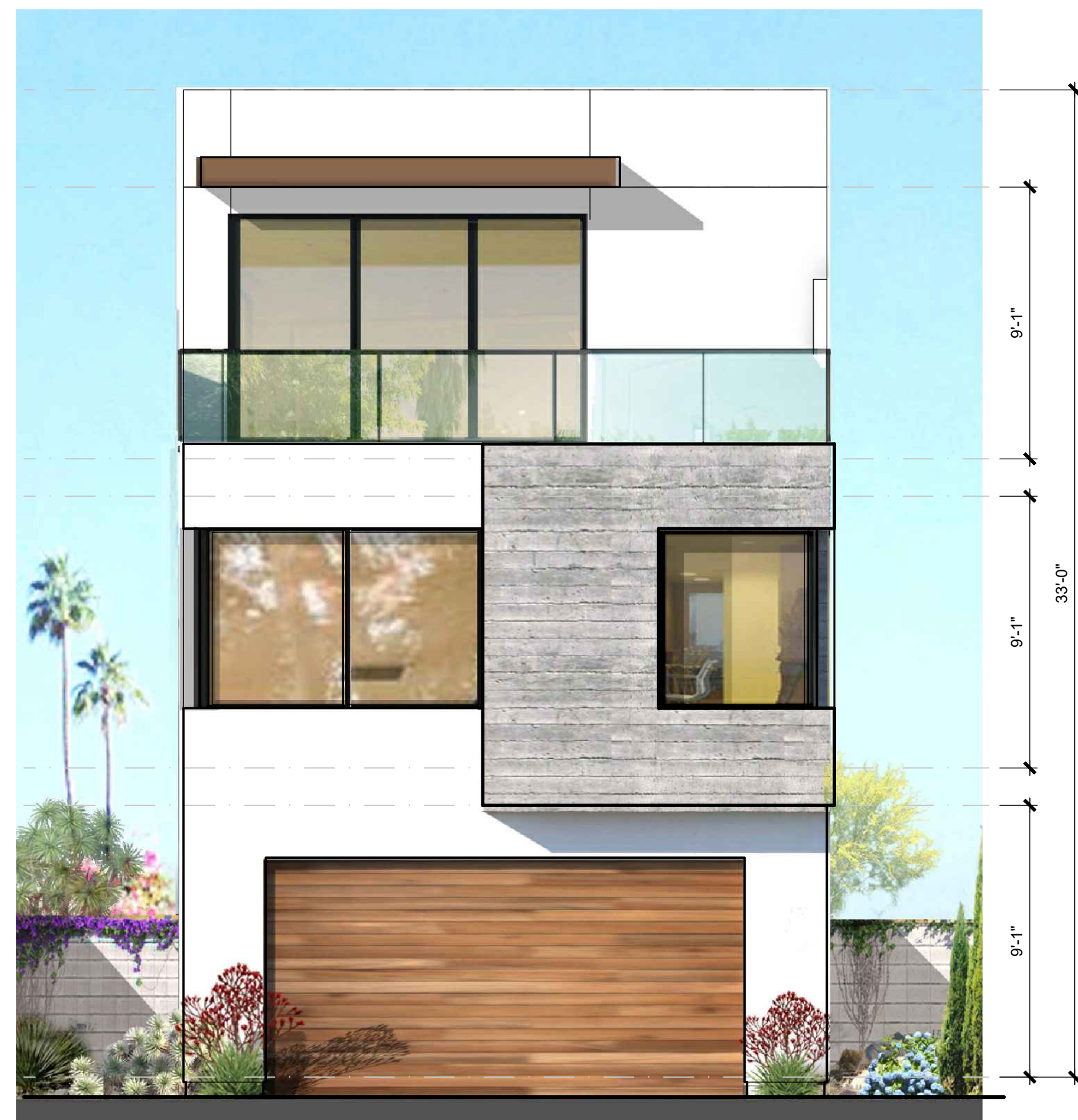
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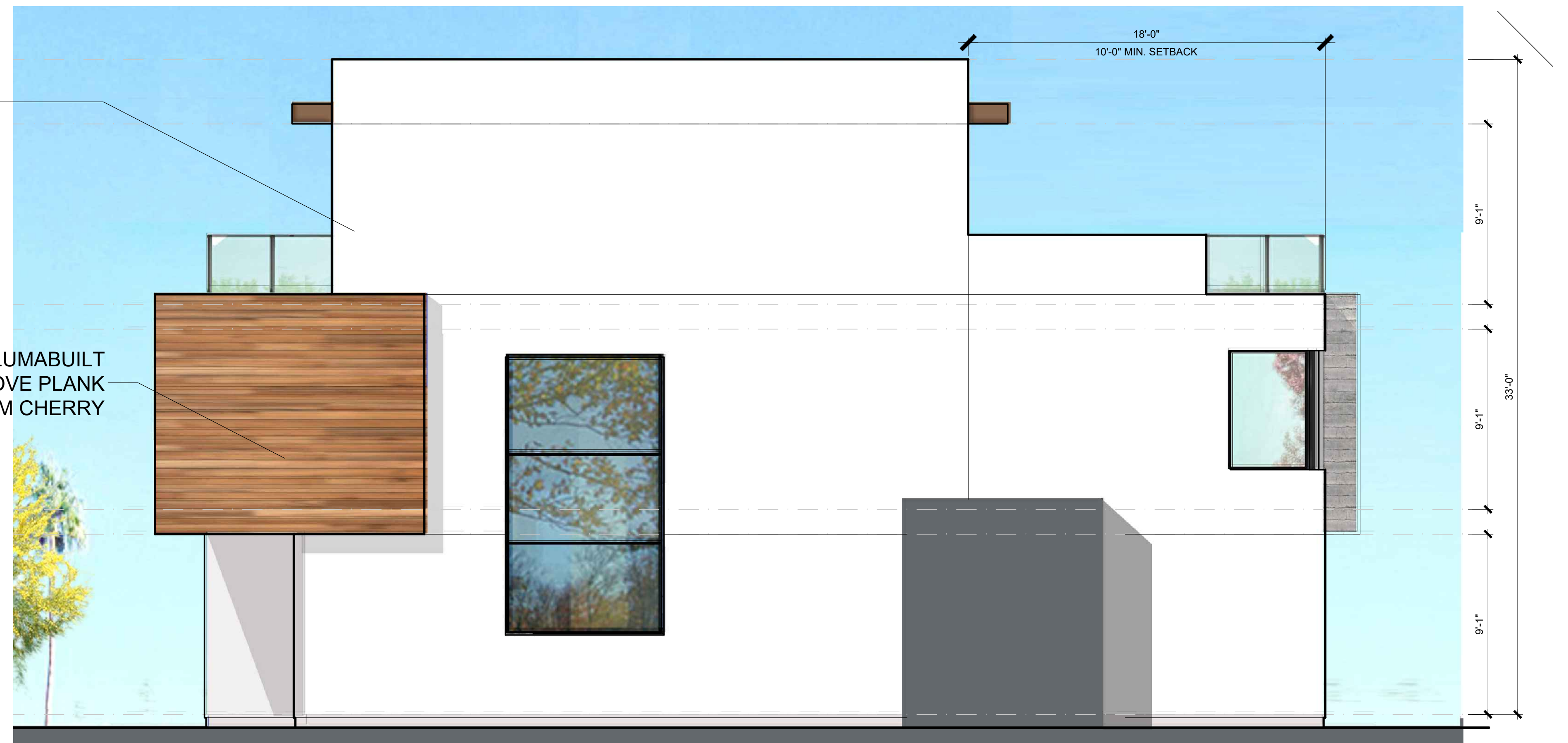
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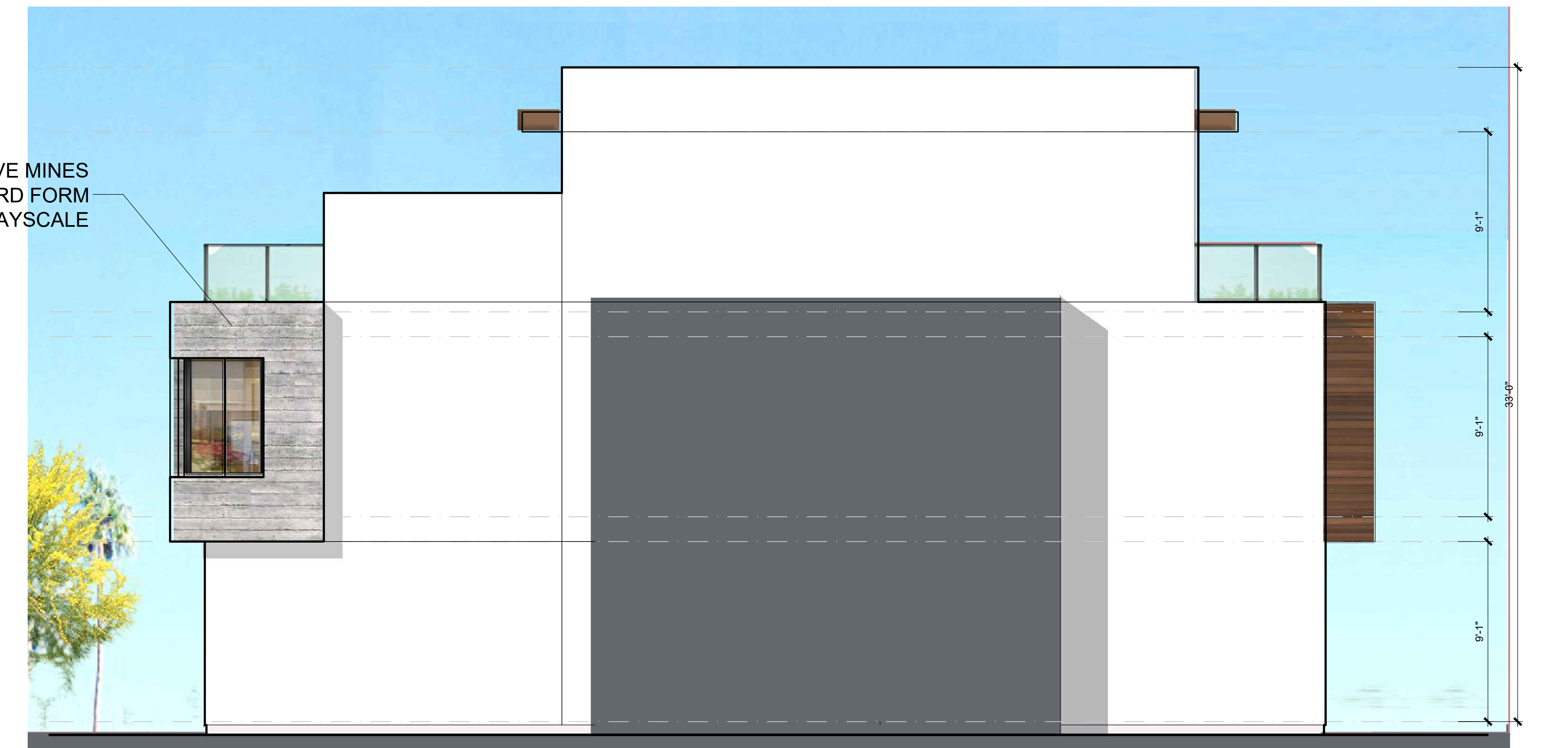
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

PRIMARY STUCCO
DEW379 IGLOO

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

PLAN 2A ELEVATIONS



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
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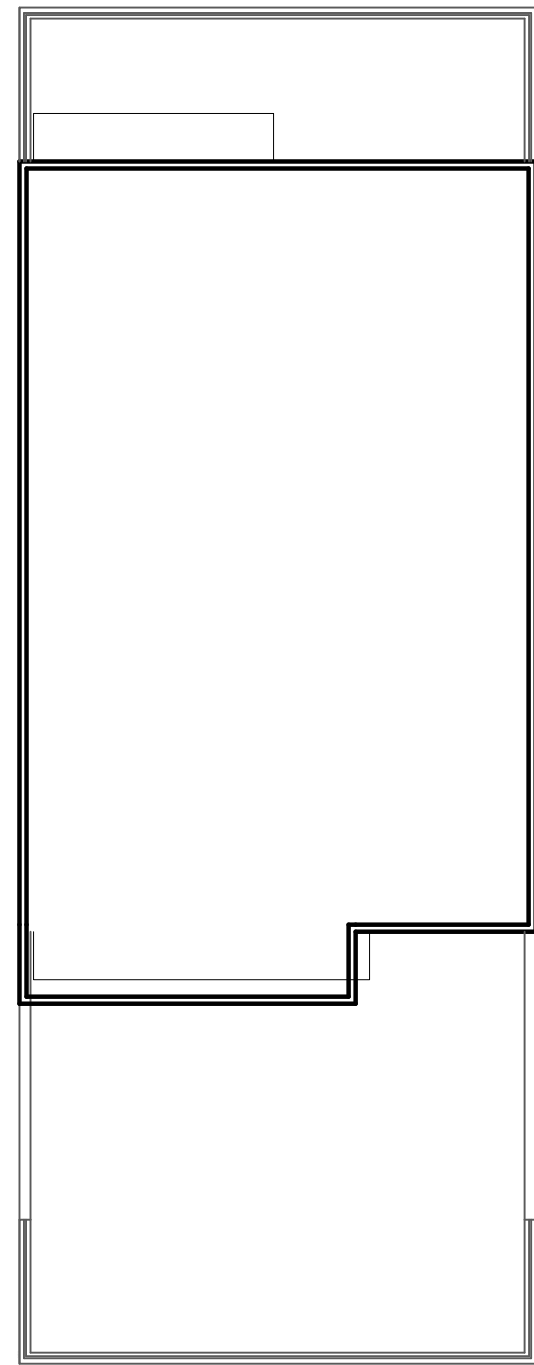
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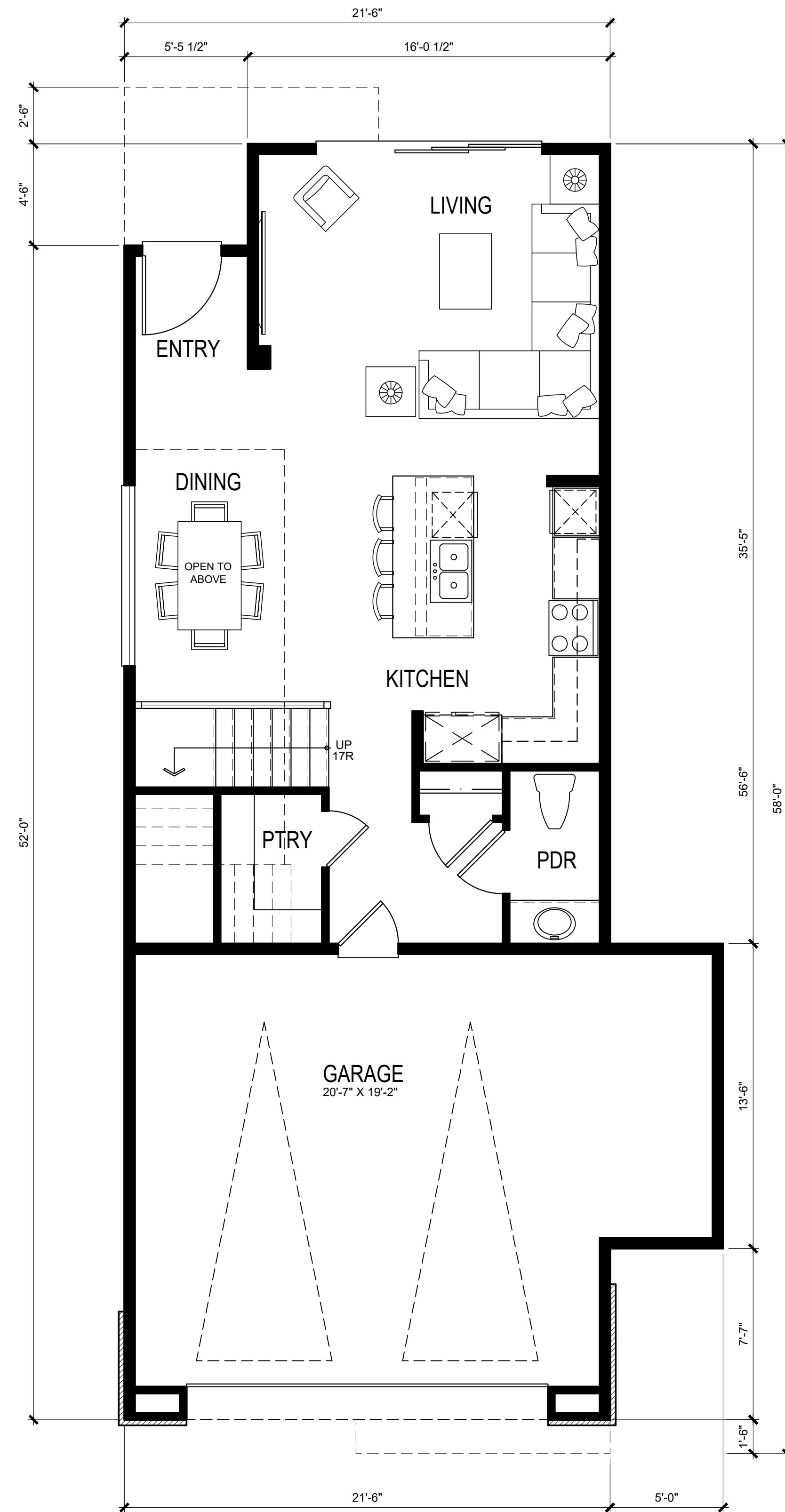


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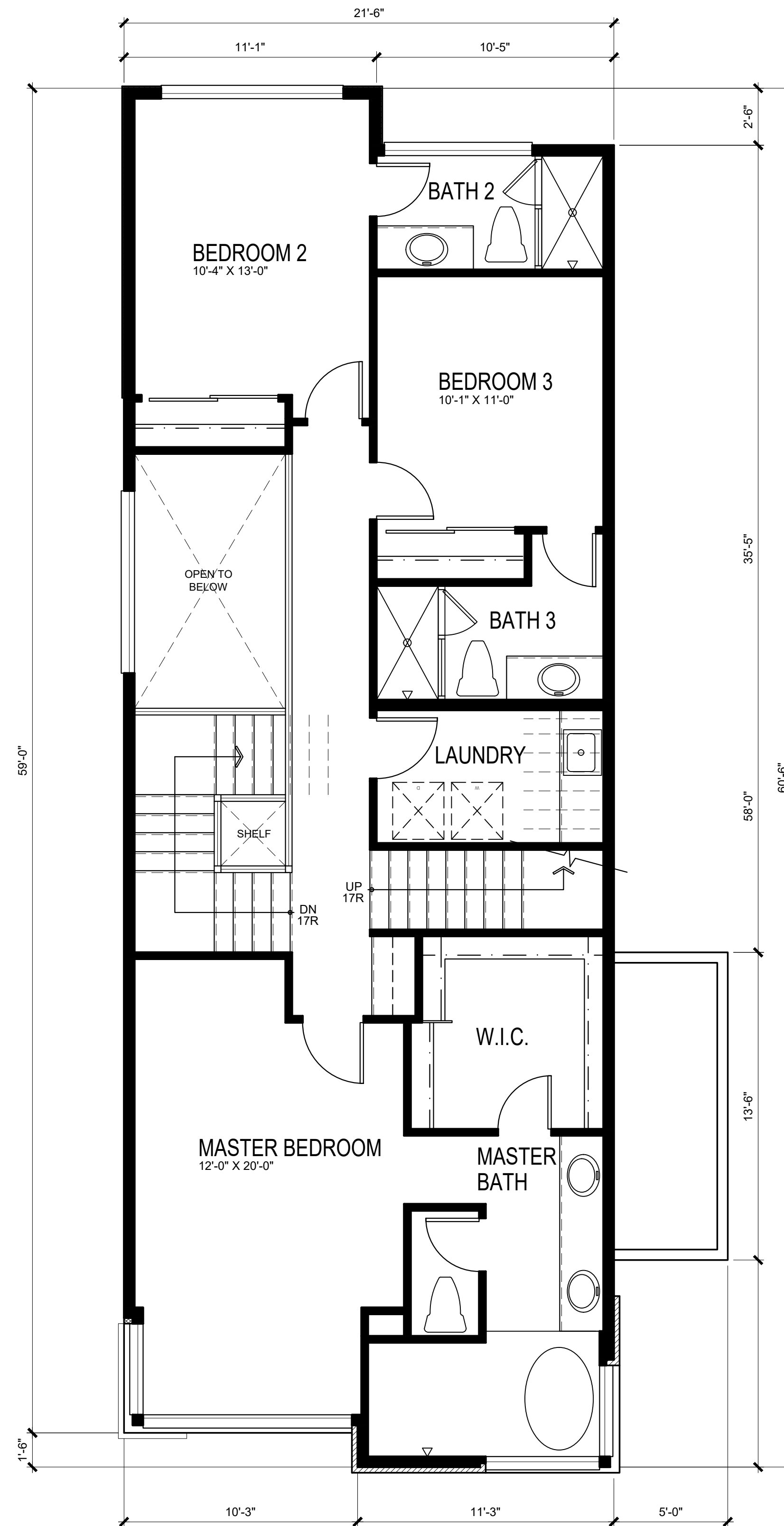
ROOF PLAN



FIRST FLOOR PLAN
(EACH UNIT TOTAL)

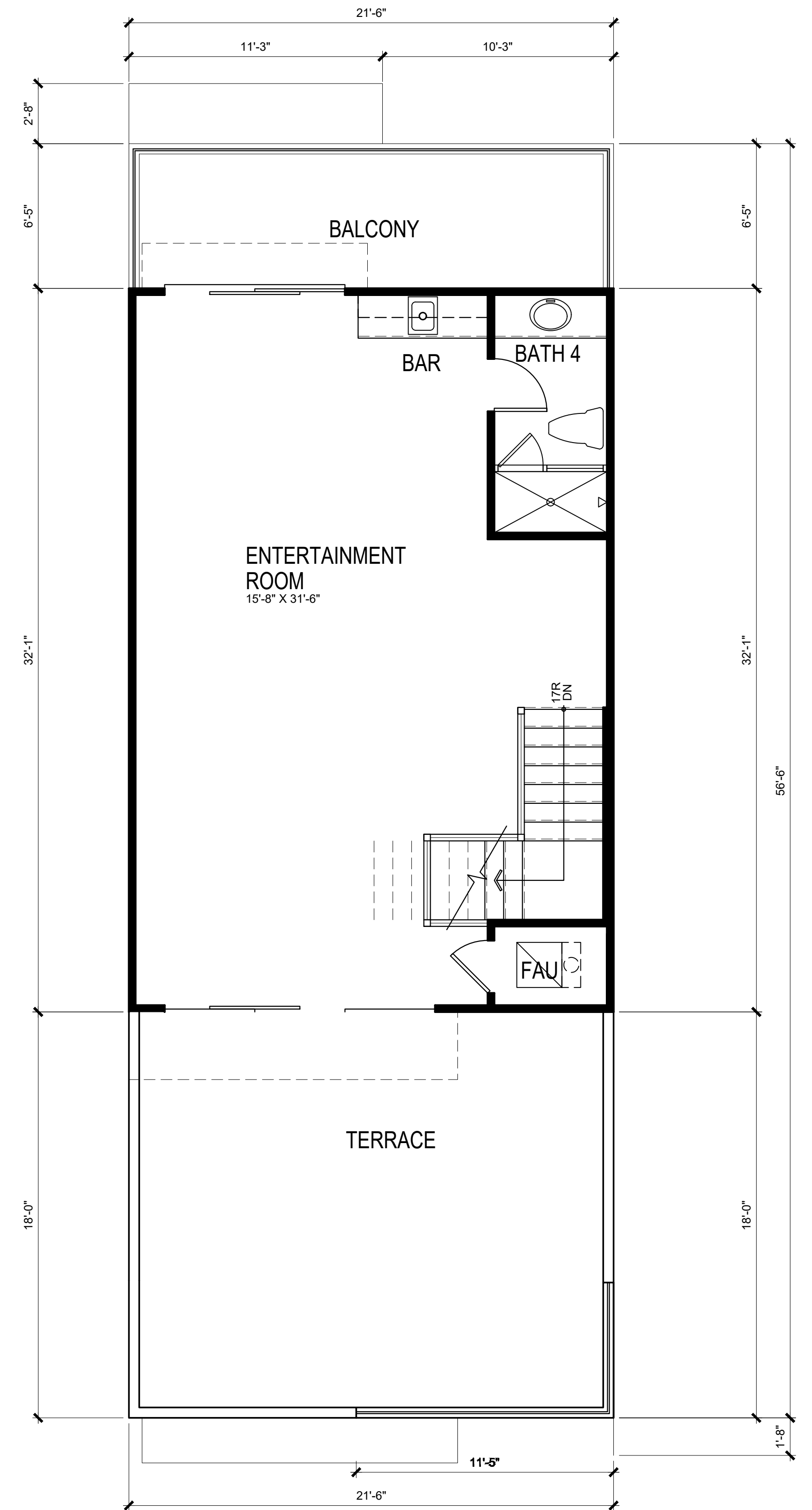
747 S.F.

2,484 S.F.



SECOND FLOOR PLAN

1099 S.F.



THIRD FLOOR PLAN

638 S.F.

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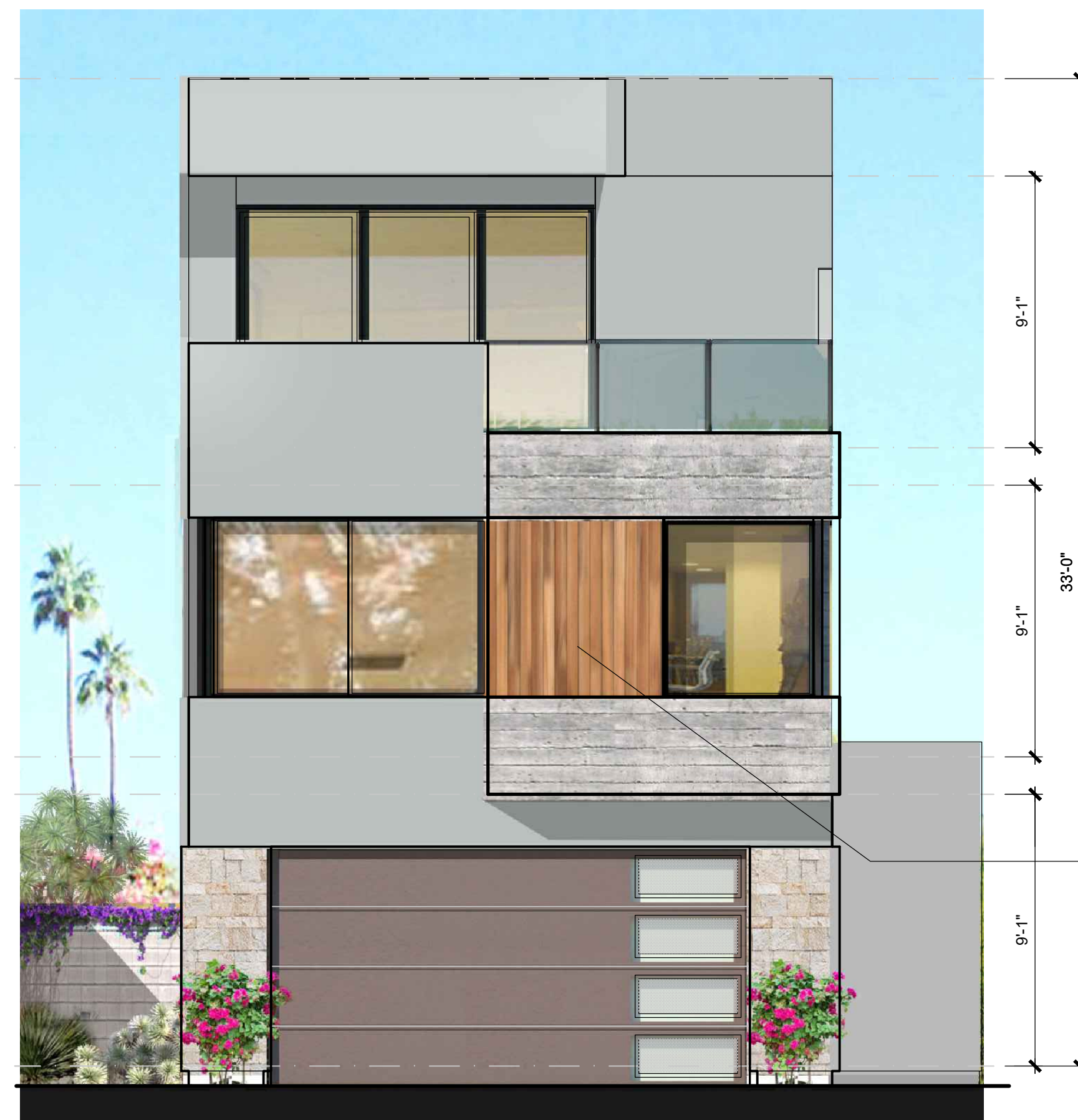
PLAN 2B



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

2.3

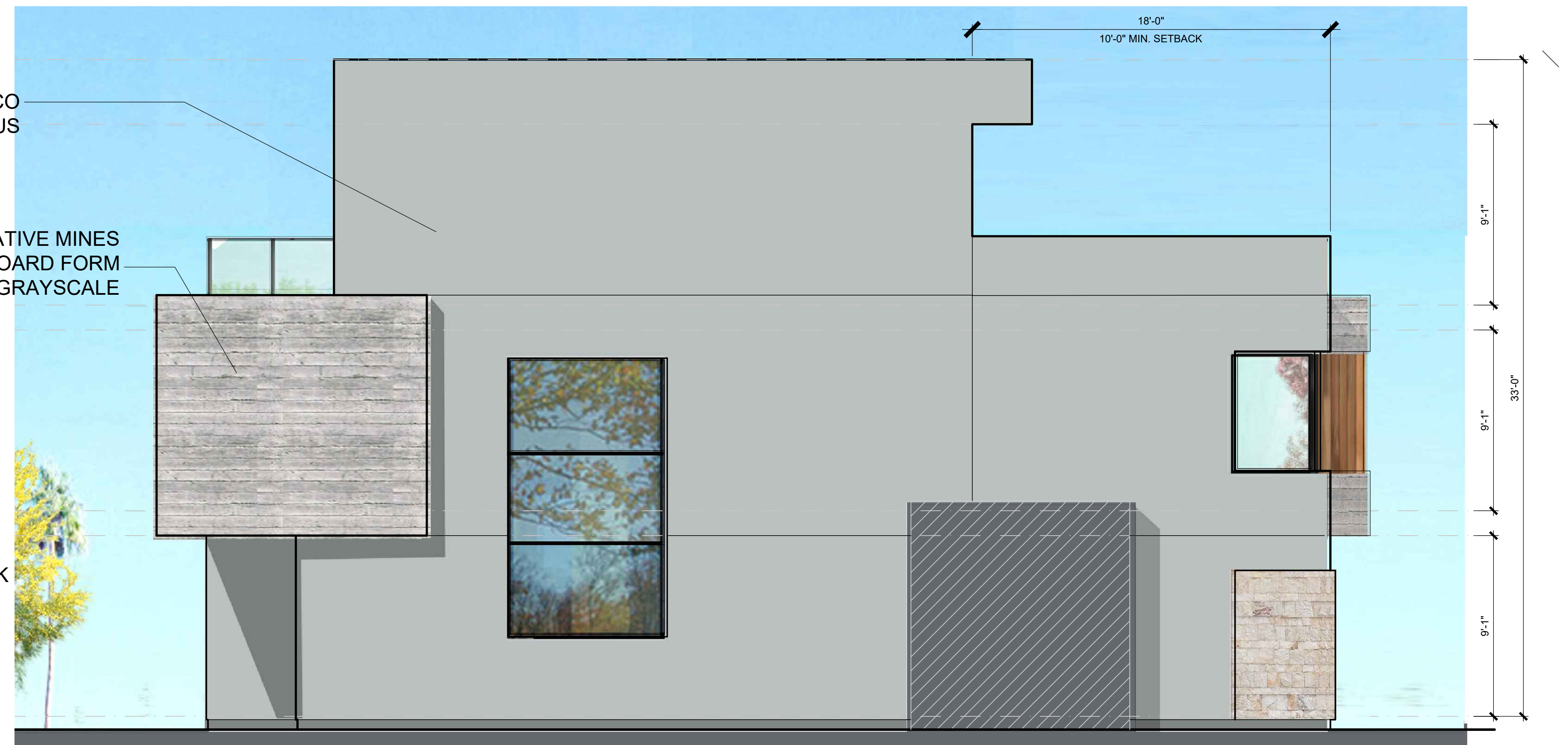


FRONT ELEVATION

PRIMARY STUCCO
DE 6368 WALRUS

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY



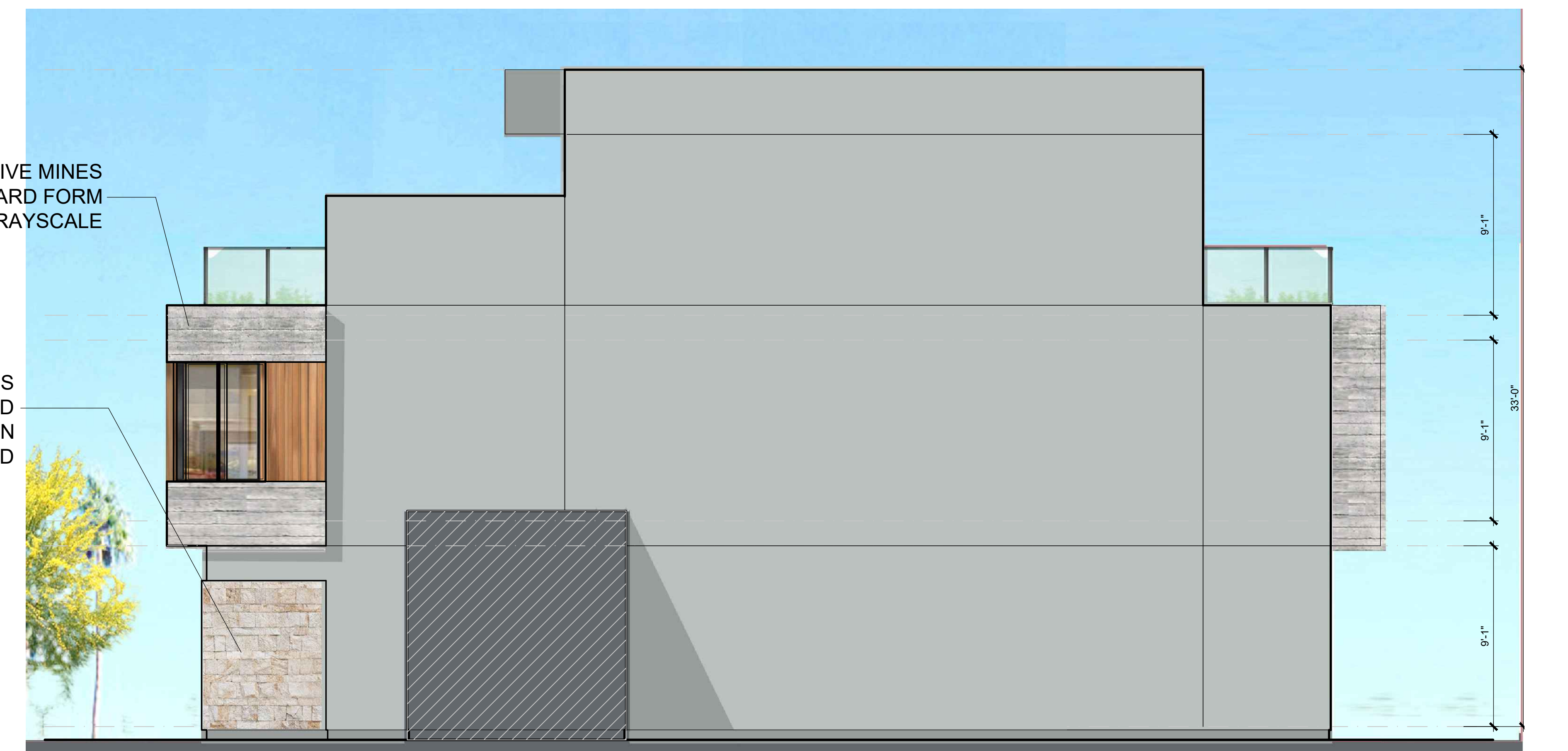
LEFT ELEVATION



REAR ELEVATION

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

CREATIVE MINES
CRAFT ORCHARD
LIMESTONE IN
WHITEGOLD



RIGHT ELEVATION

HARBOUR COVE

PLAN 2B ELEVATIONS



4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

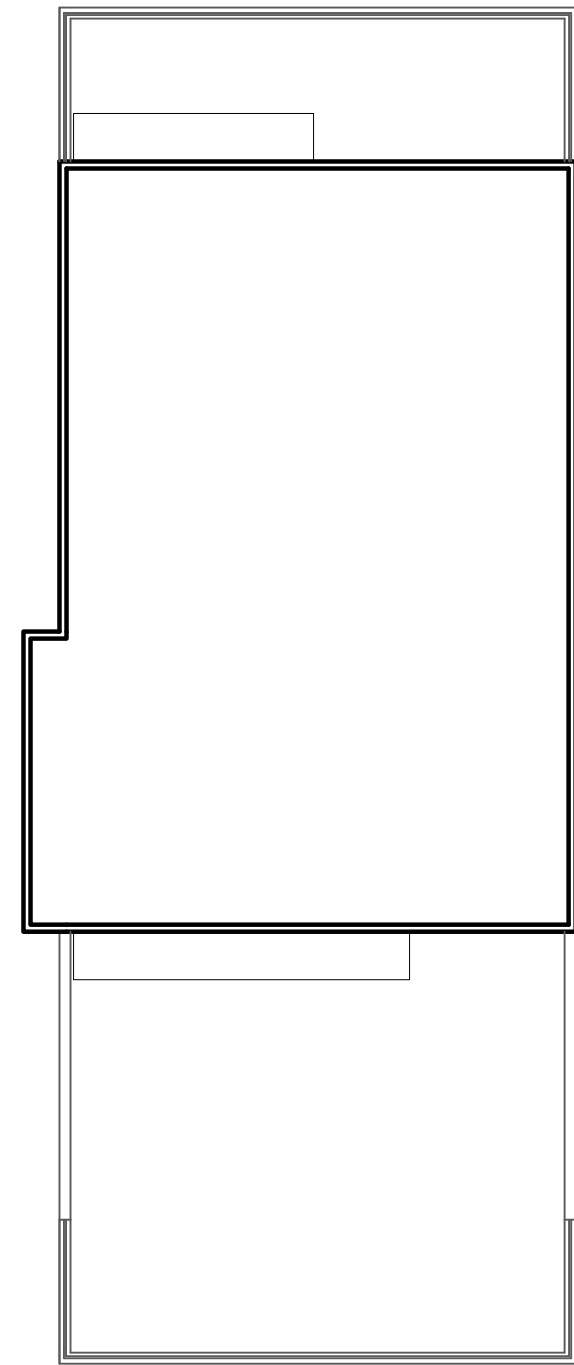
Preliminary

2.4

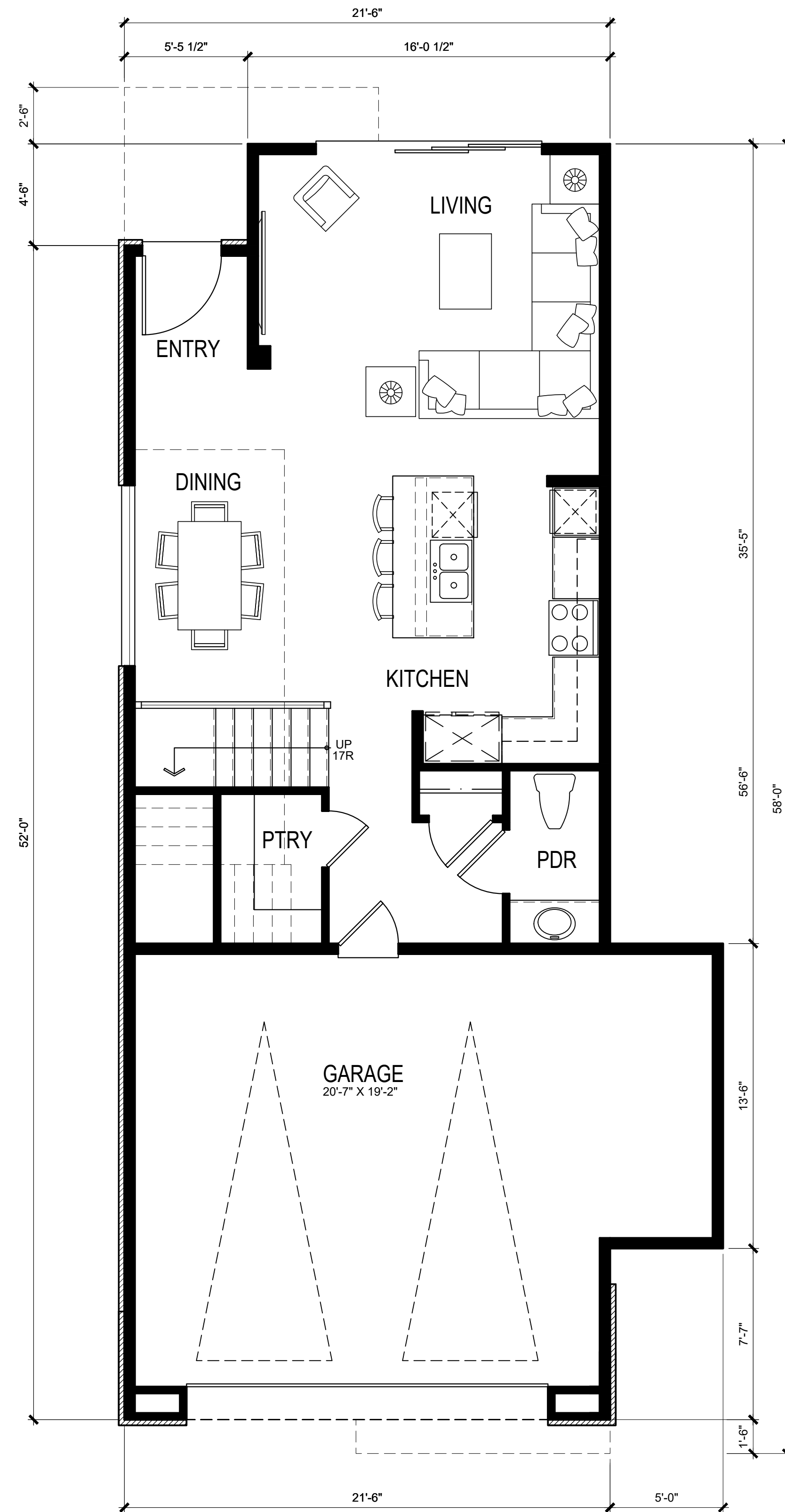


HANNOUCHE
ARCHITECTS

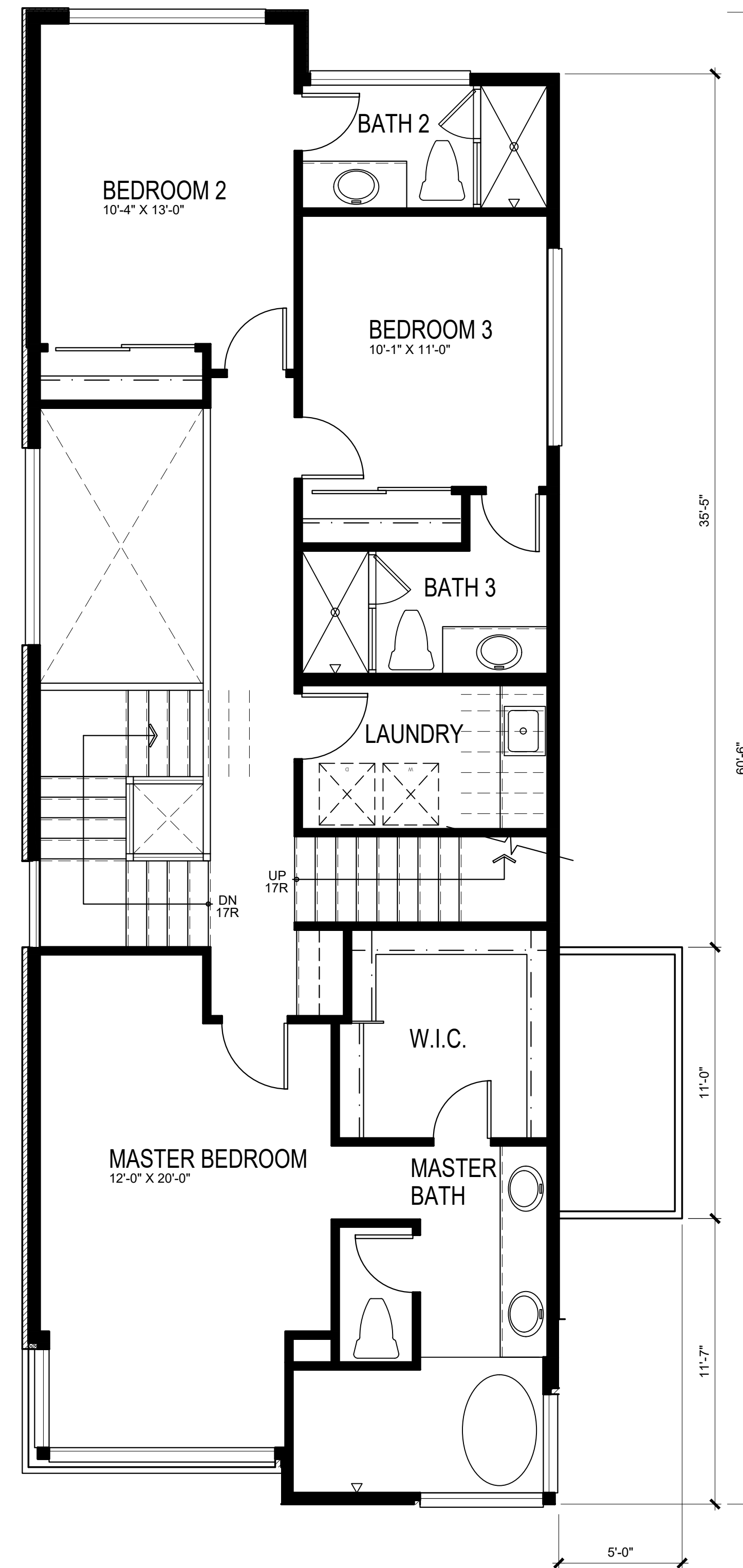
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017
949.261.2070
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September 9, 2025



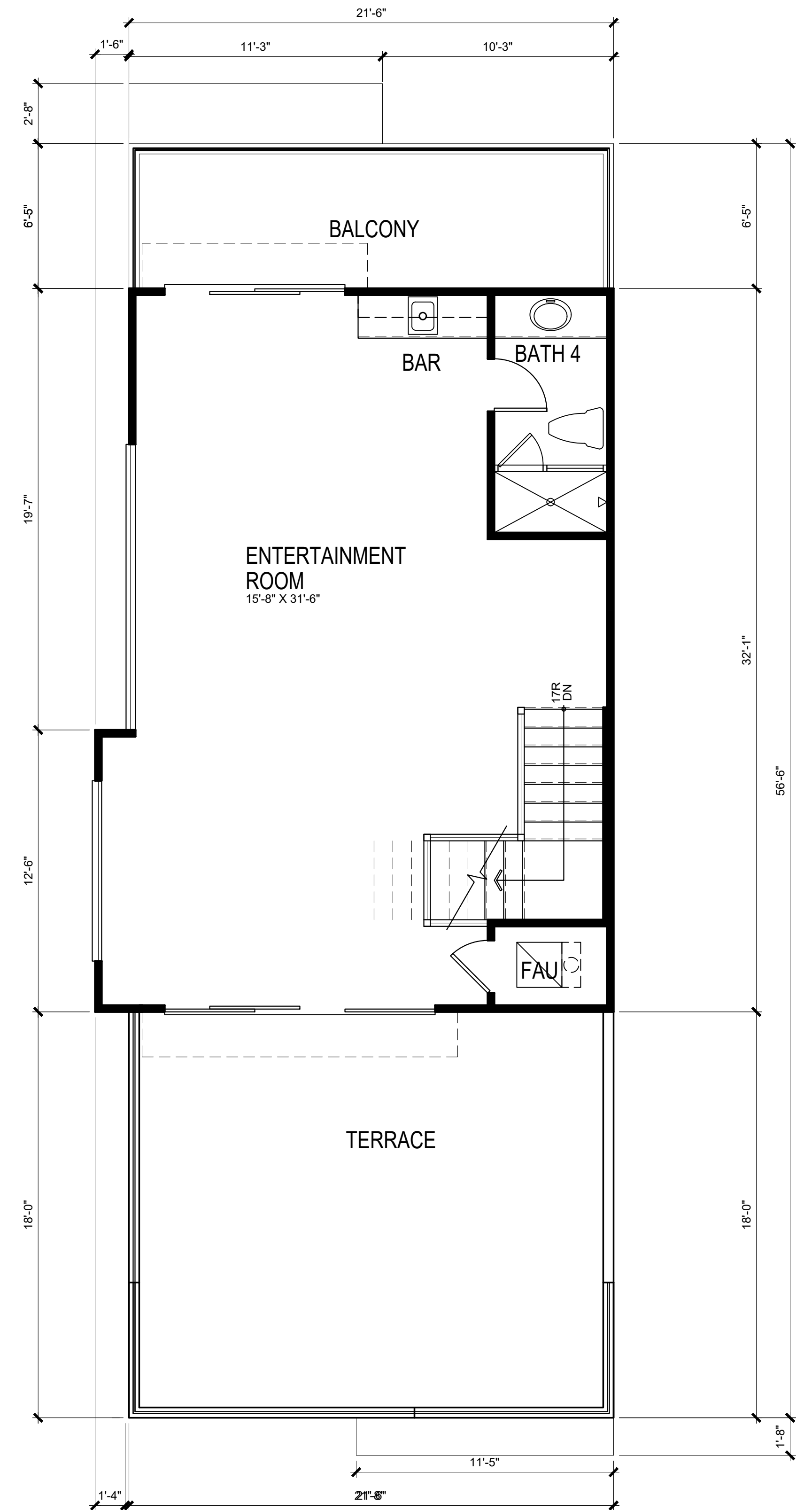
ROOF PLAN



FIRST FLOOR PLAN
(EACH UNIT TOTAL) 747 S.F.
2,484 S.F.



SECOND FLOOR PLAN 1099 S.F.



THIRD FLOOR PLAN 638 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 2E ENHANCED



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

2.5



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949.261.2070

20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



FRONT ELEVATION

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN WHITEGOLD



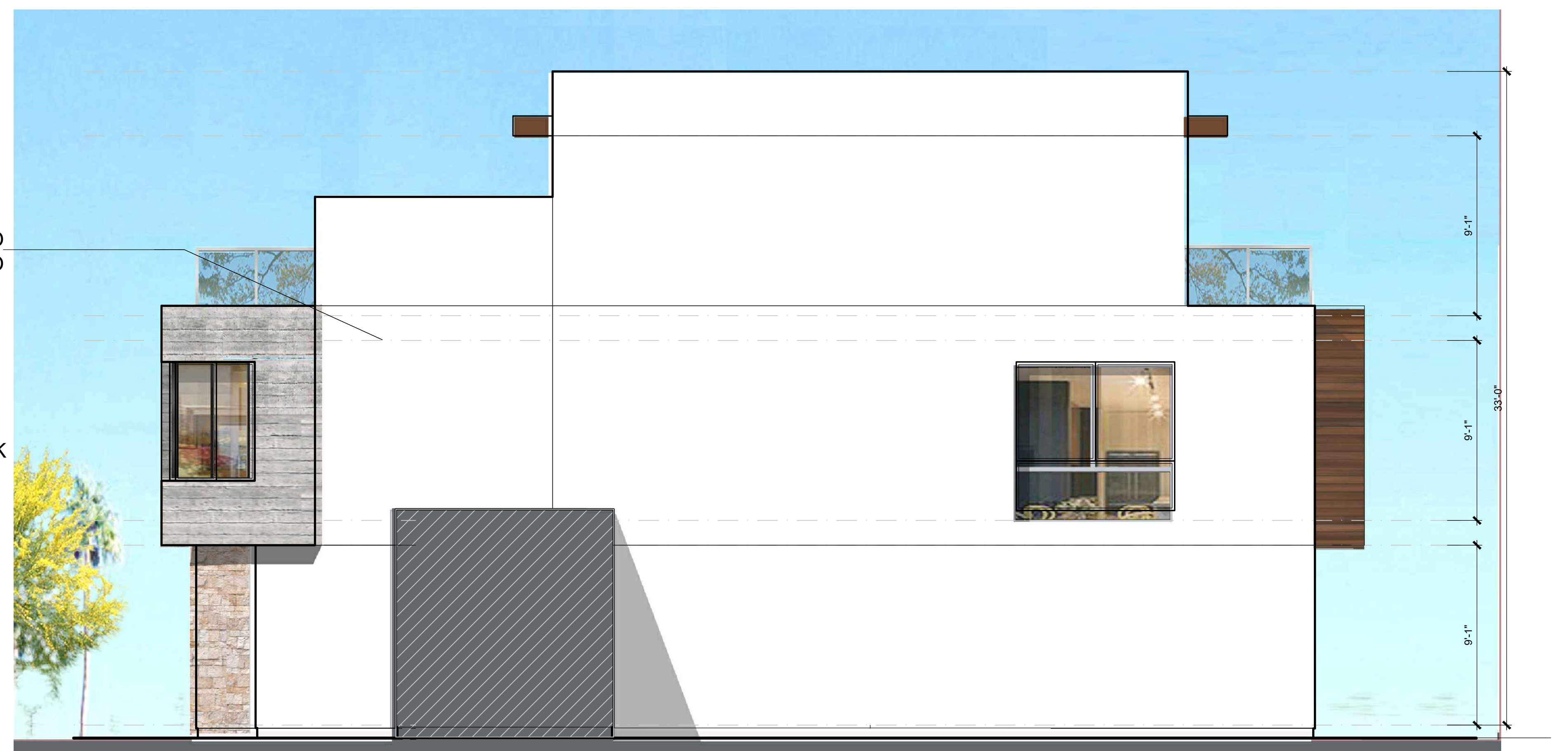
LEFT ELEVATION



REAR ELEVATION

PRIMARY STUCCO
DEW379 IGLOO

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY



RIGHT ELEVATION

HARBOUR COVE

PLAN 2 ENH ELEVATIONS



4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

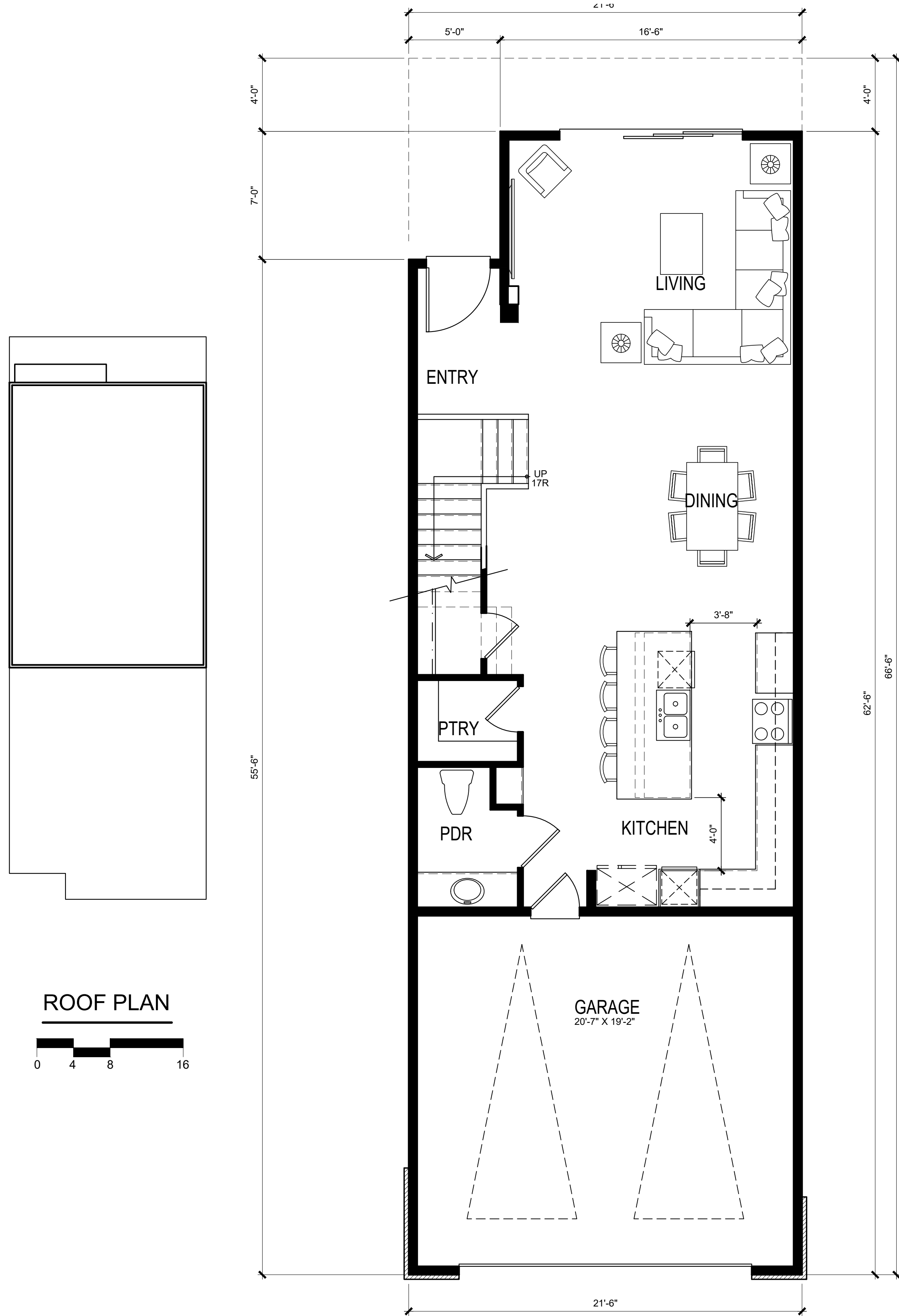
Preliminary

2.6

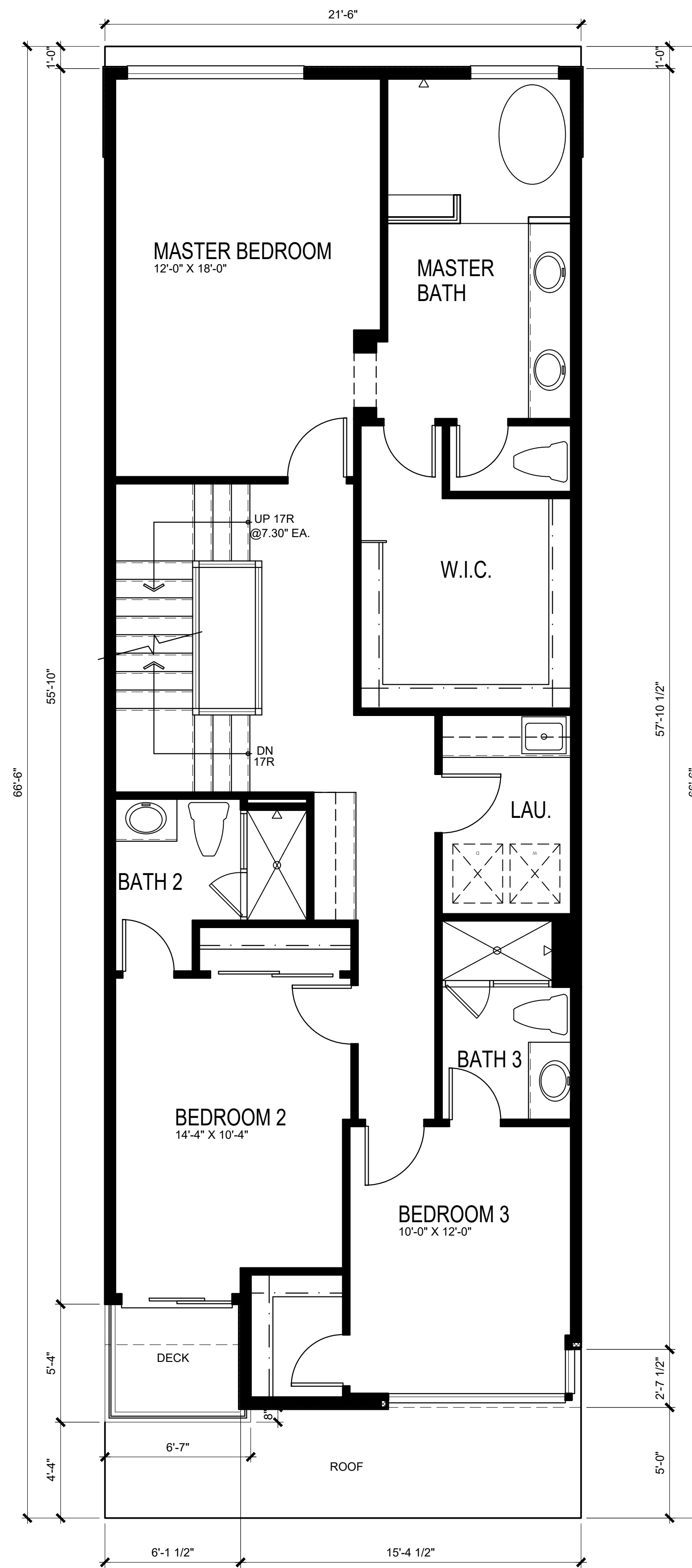


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ARCHITECTS

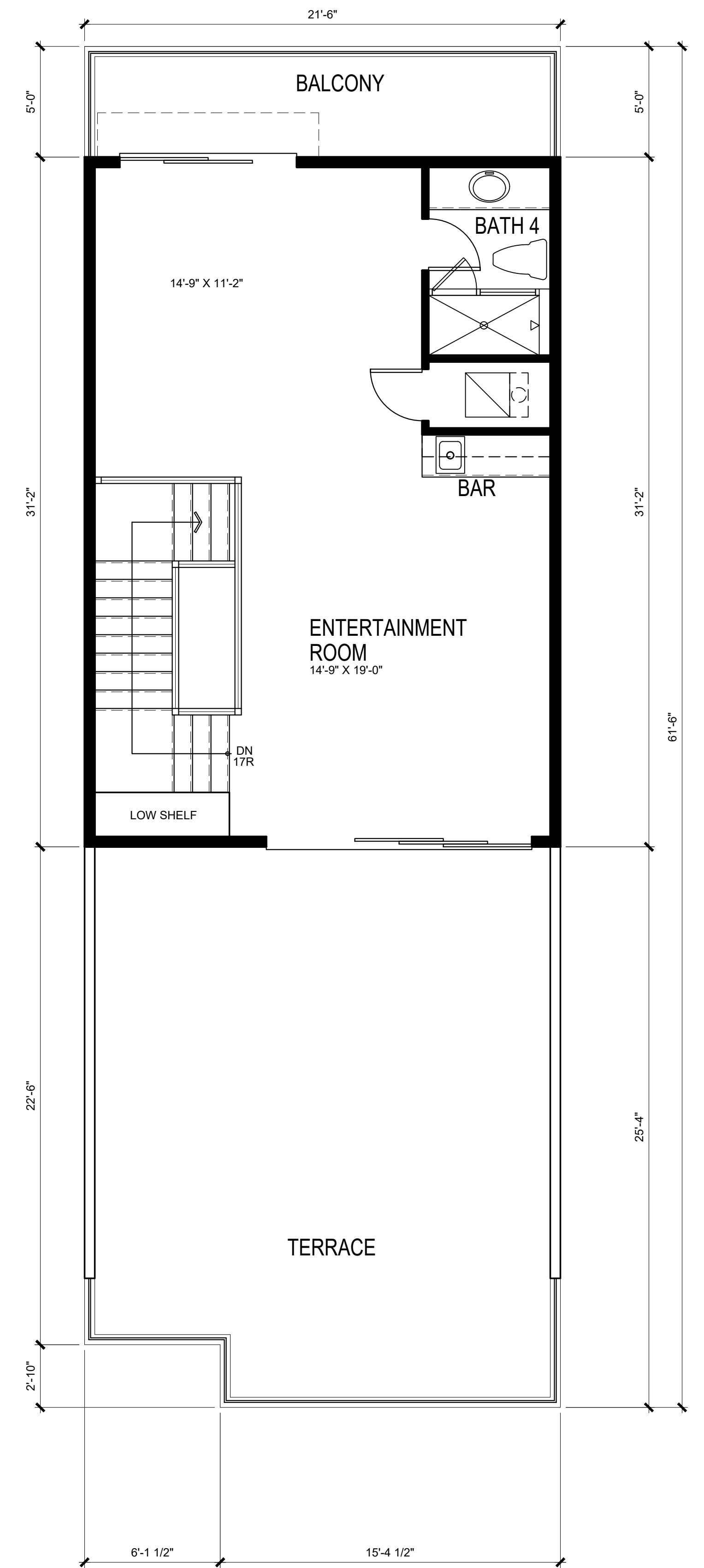
20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



FIRST FLOOR PLAN 887 S.F.
(EACH UNIT TOTAL) 2,657 S.F.



SECOND FLOOR PLAN 1192 S.F.



THIRD FLOOR PLAN 578 S.F.

ROOF PLAN



PLAN 3A



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



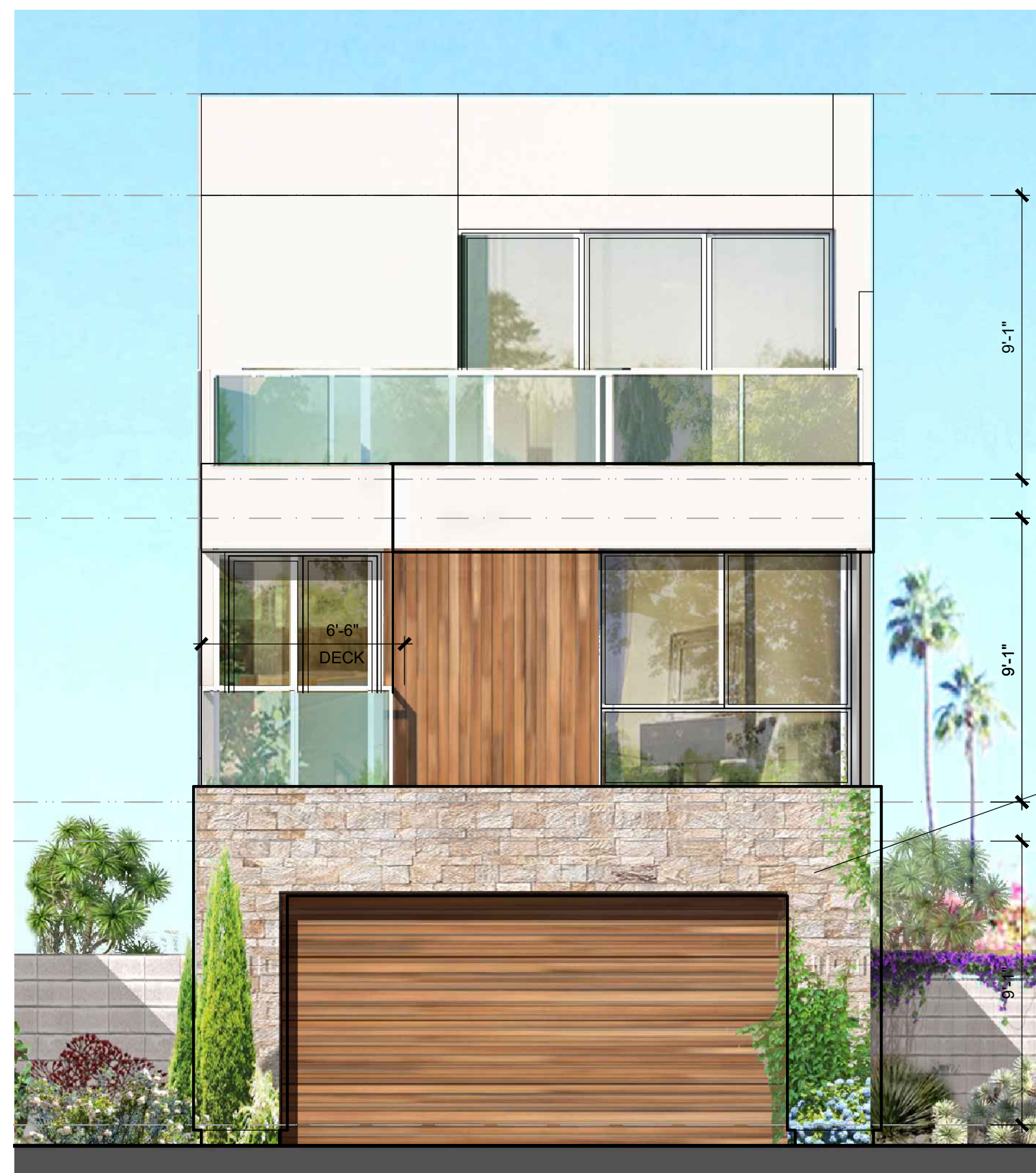
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ARCHITECTS

20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

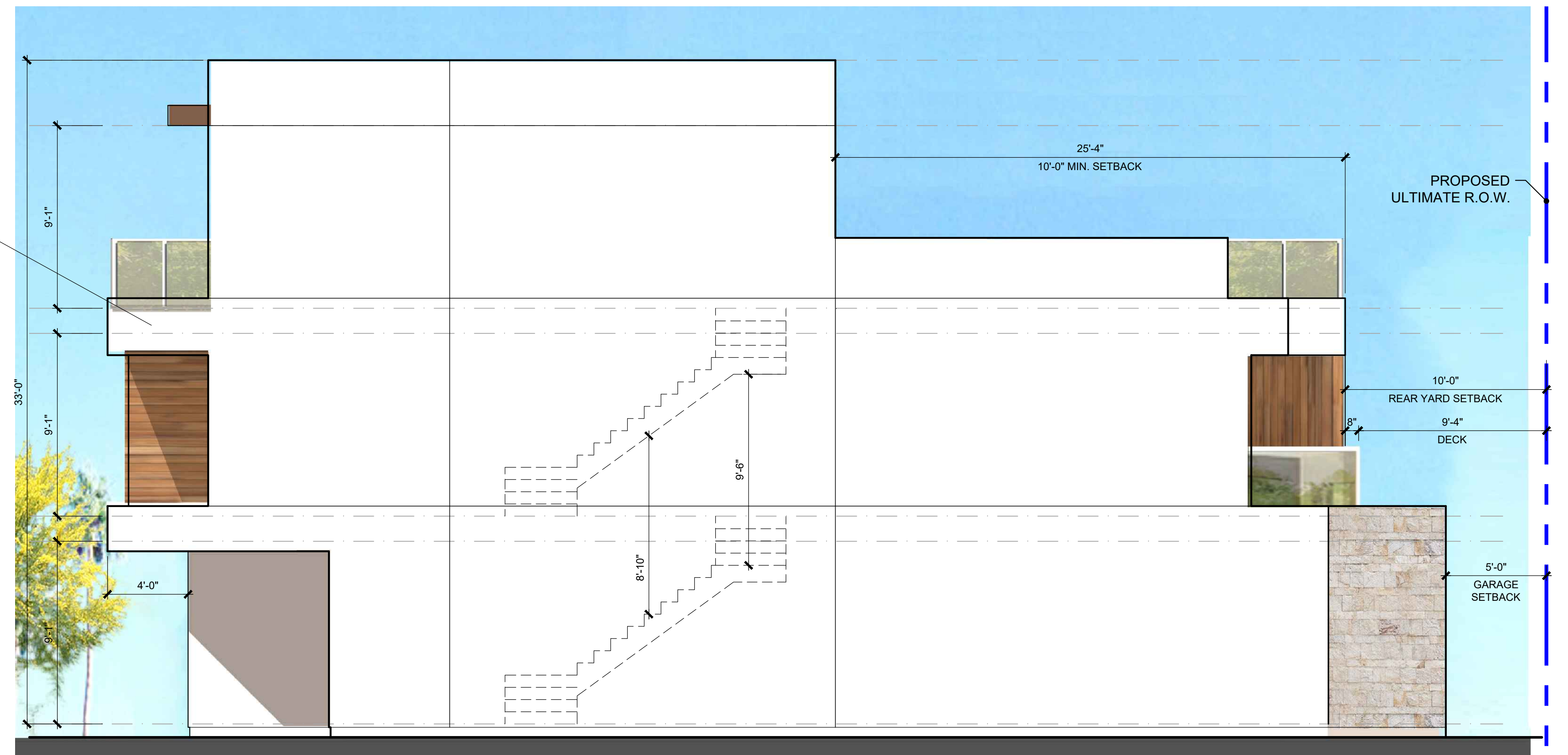
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FRONT ELEVATION

CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN WHITEGOLD

PRIMARY STUCCO
DEW 379 IGLOO



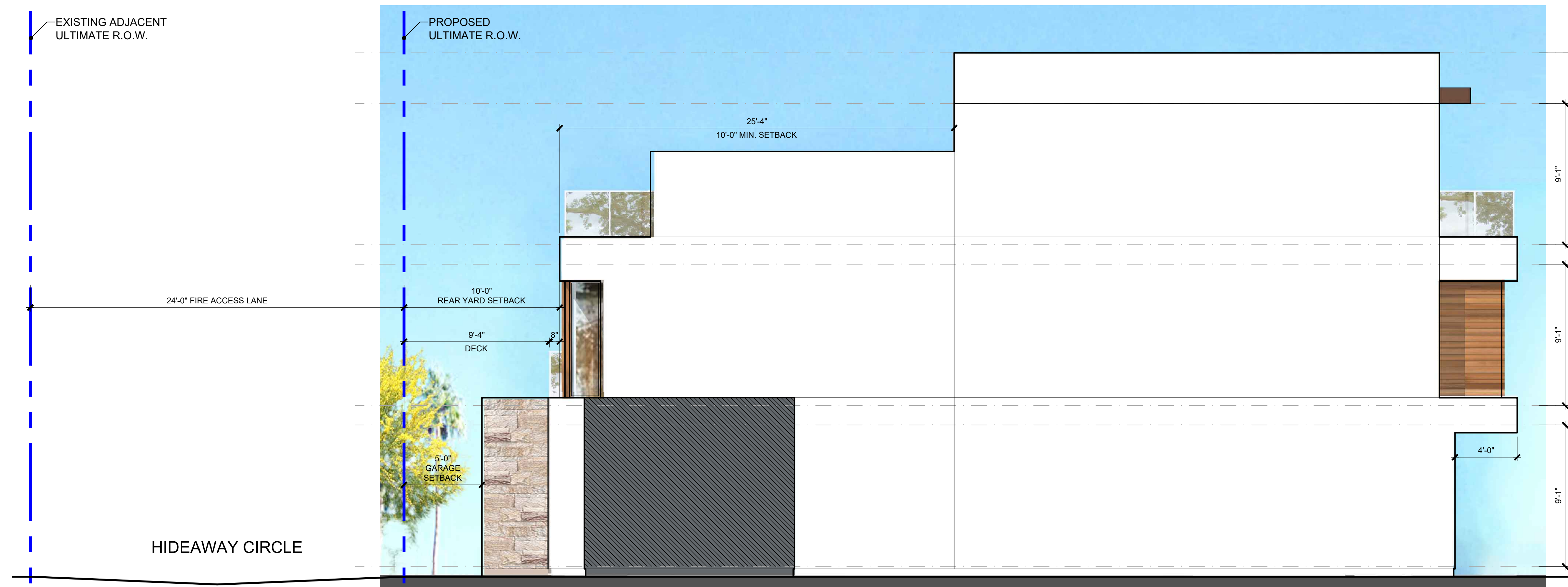
LEFT ELEVATION



REAR ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

EXISTING ADJACENT
ULTIMATE R.O.W.



RIGHT ELEVATION

HARBOUR COVE

PLAN 3A ELEVATIONS



4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

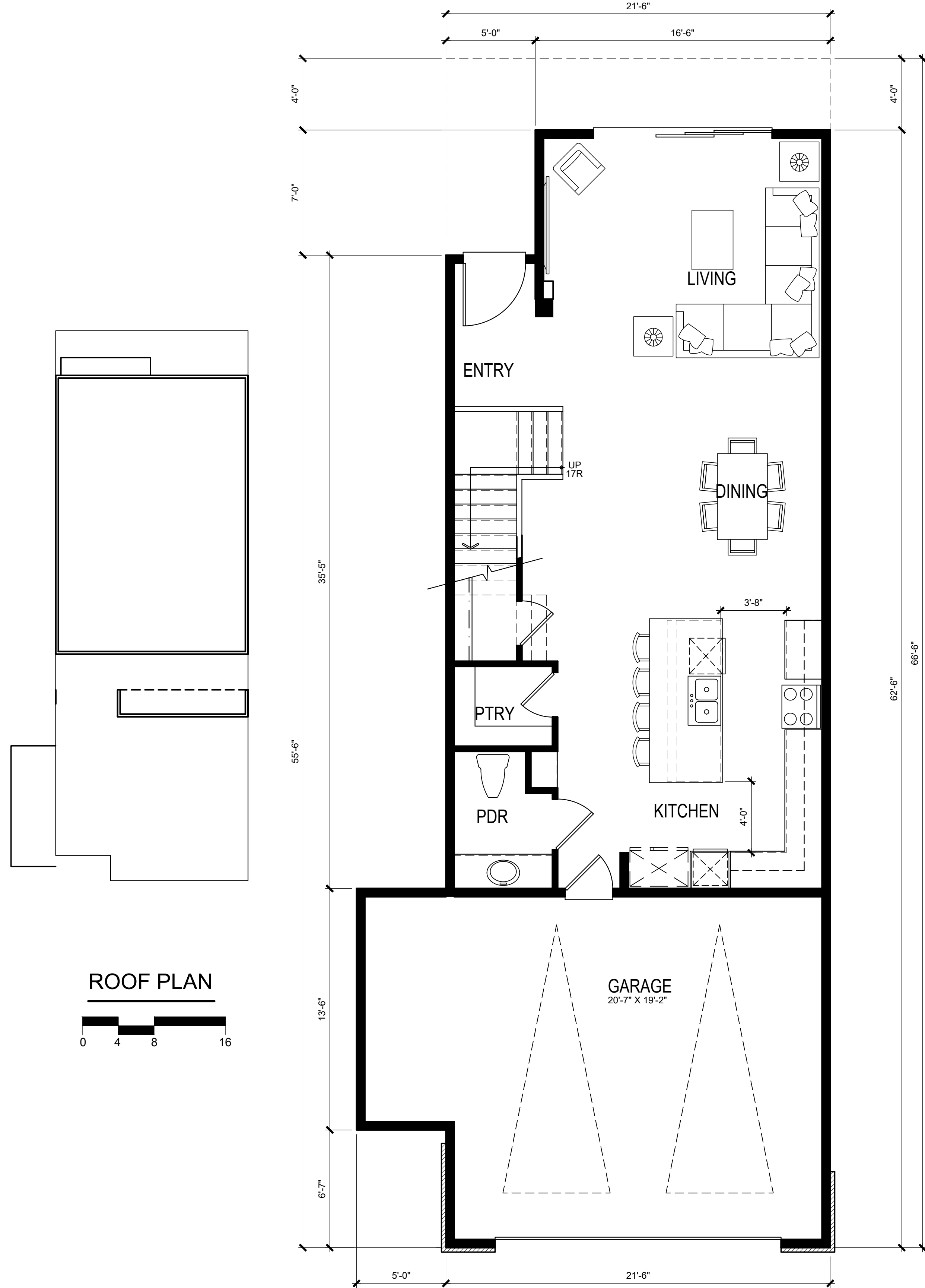
Preliminary

3.2

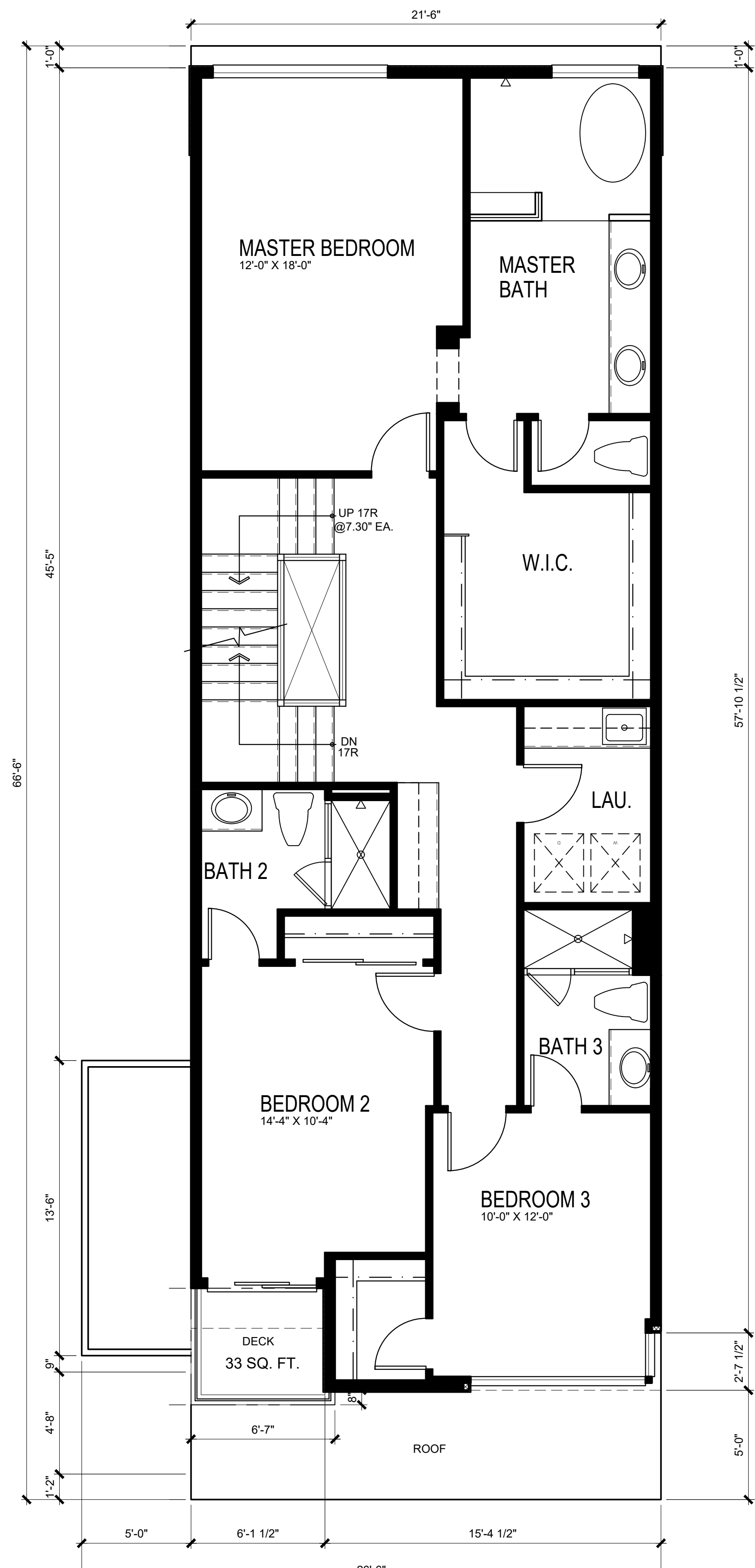


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ARCHITECTS

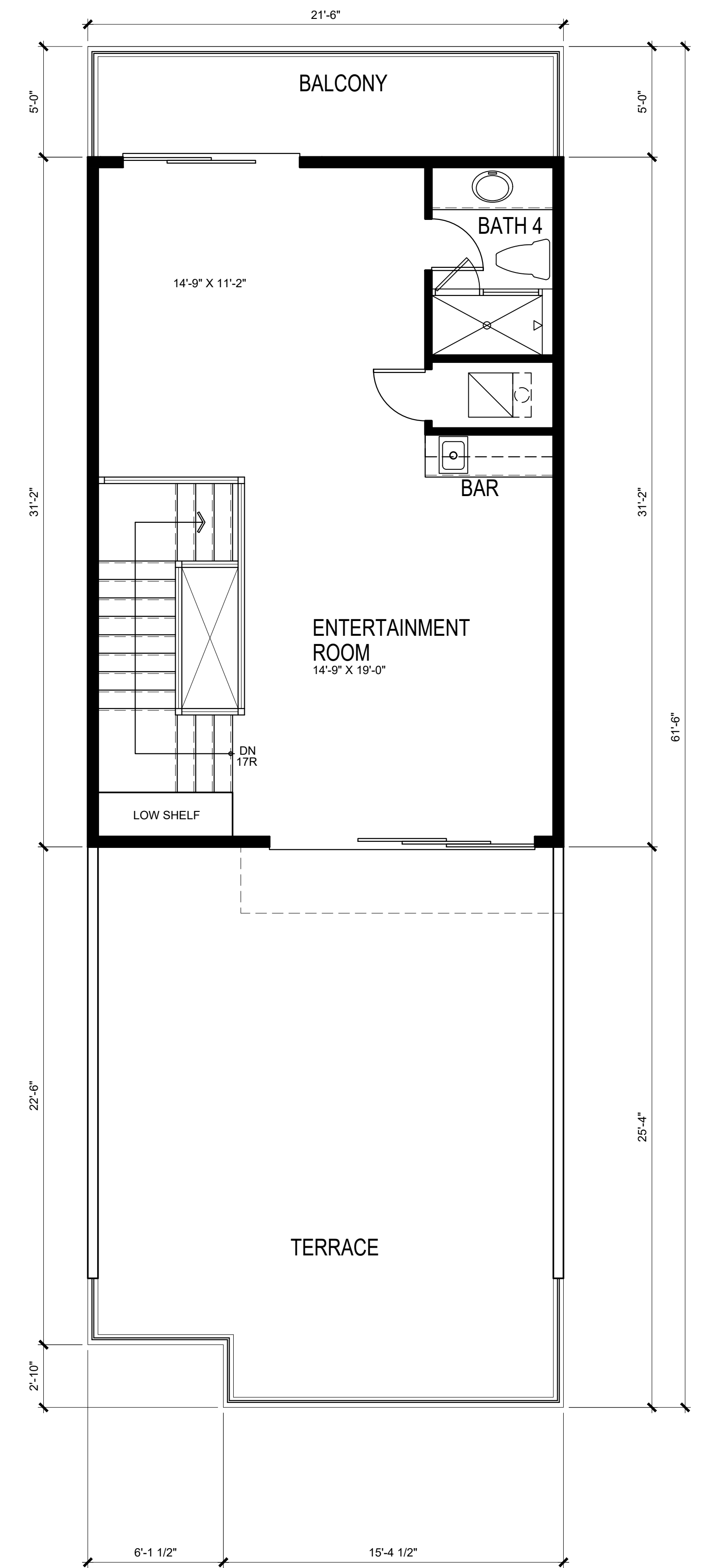
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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



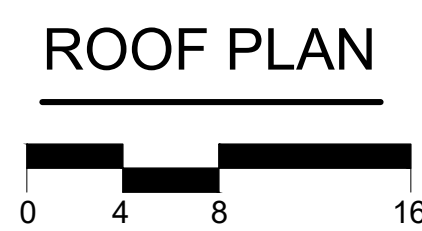
FIRST FLOOR PLAN 903 S.F.
(EACH UNIT TOTAL) 2,746 S.F.



SECOND FLOOR PLAN 1231 S.F.



THIRD FLOOR PLAN 612 S.F.



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 3B
0 1 4 8

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

3.3

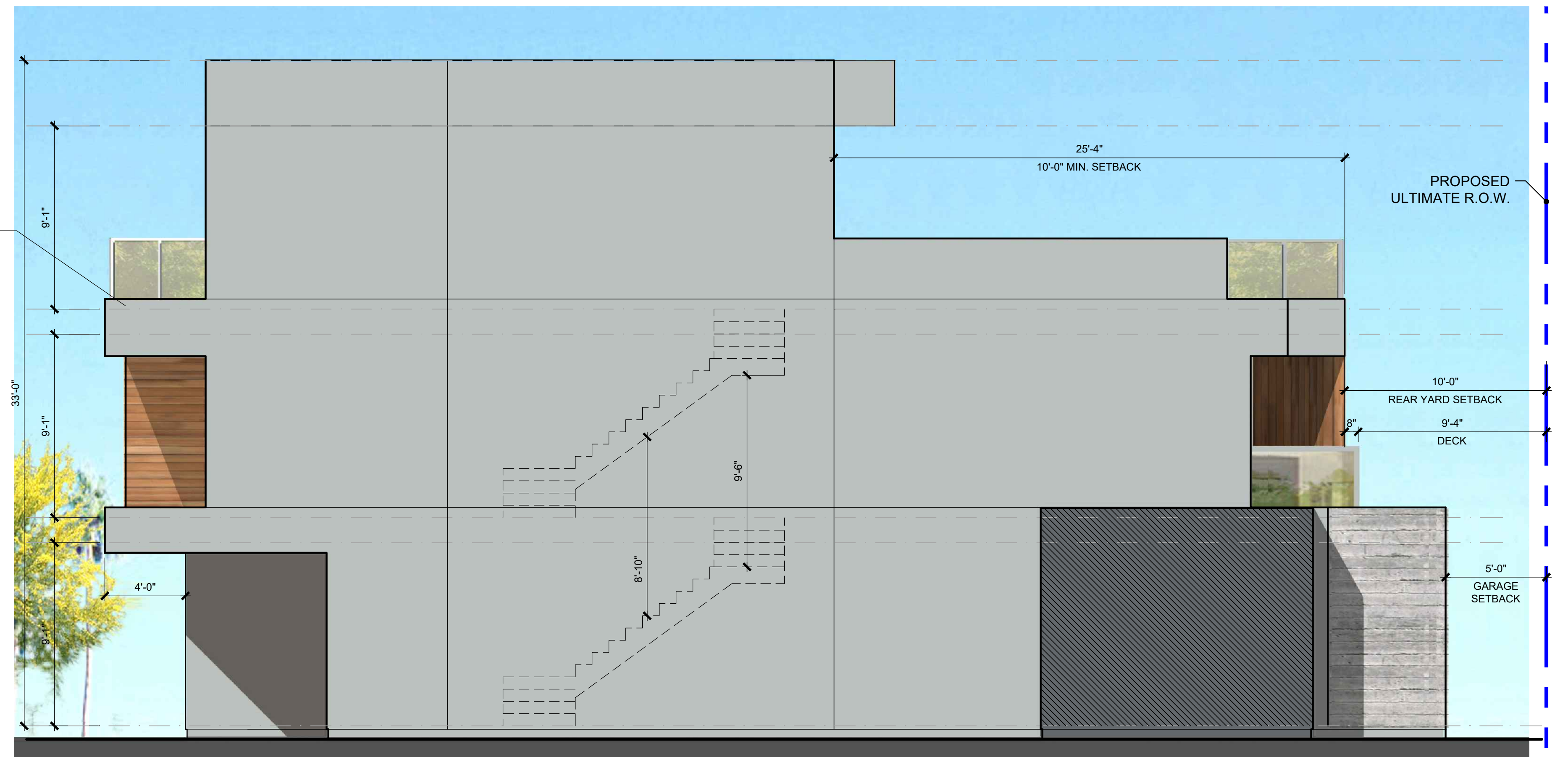


HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT # 22017 September 9, 2025



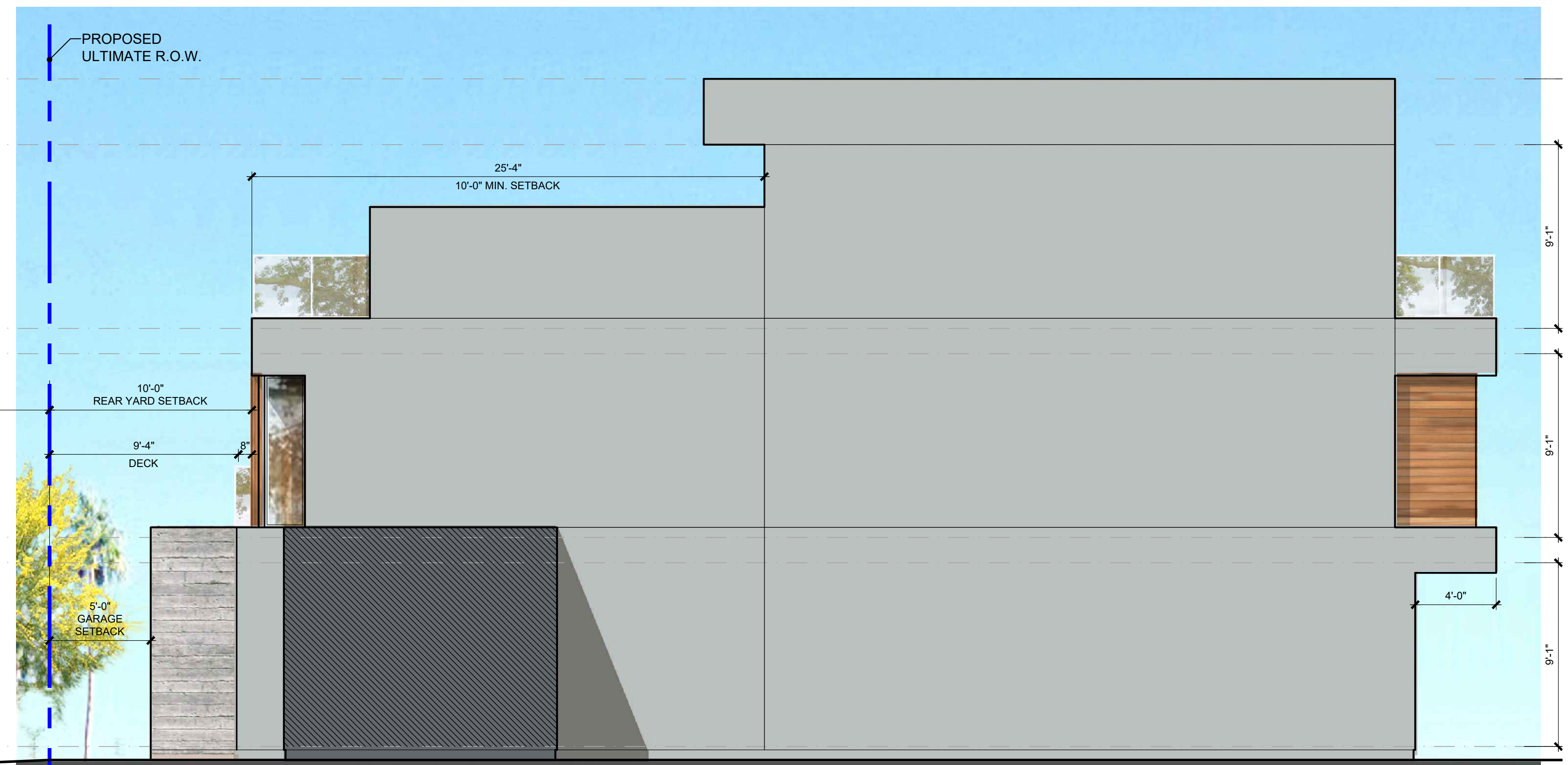
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

PRIMARY STUCCO
DE6368 WALRUS

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 3B ELEVATIONS



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

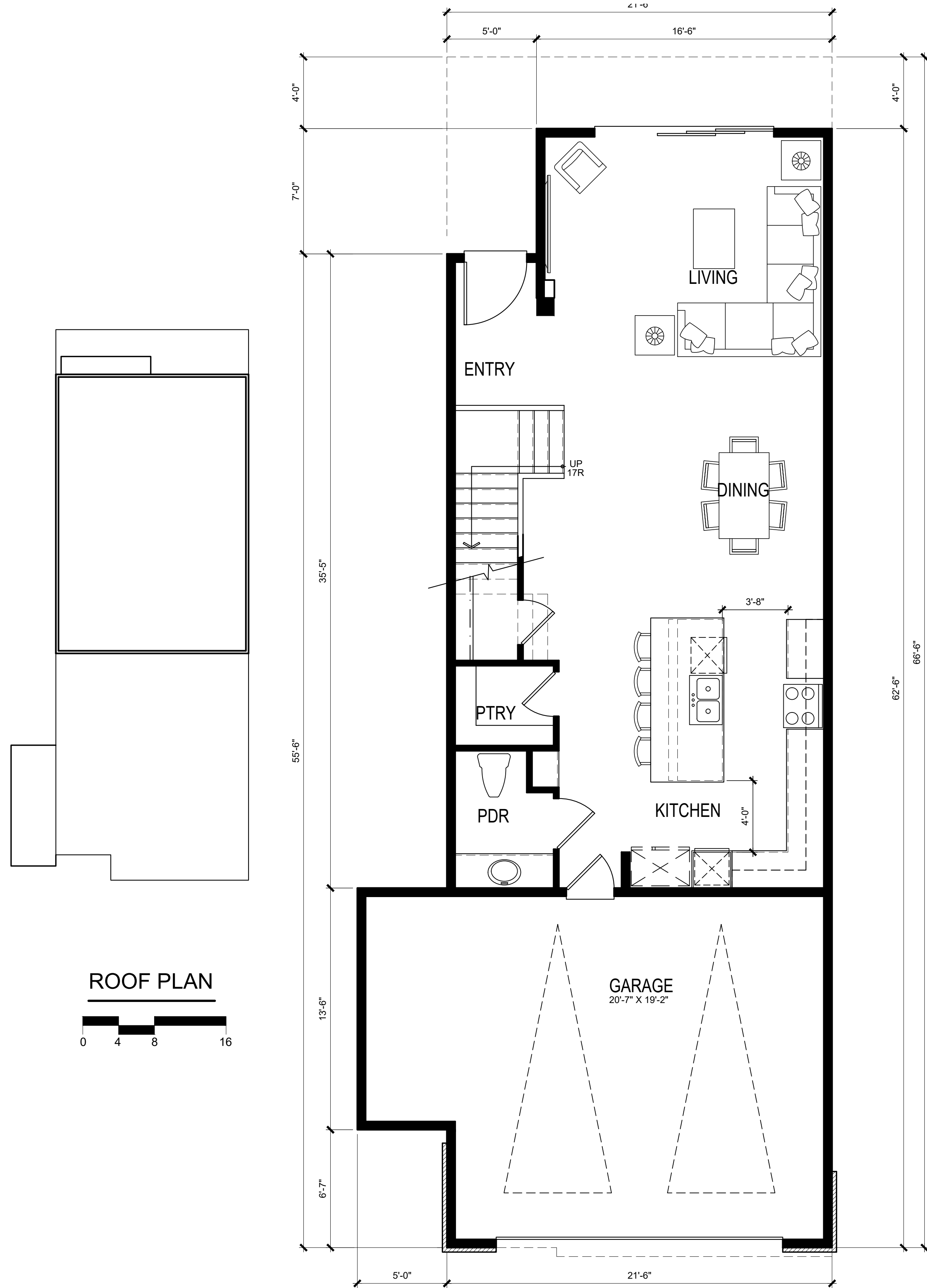
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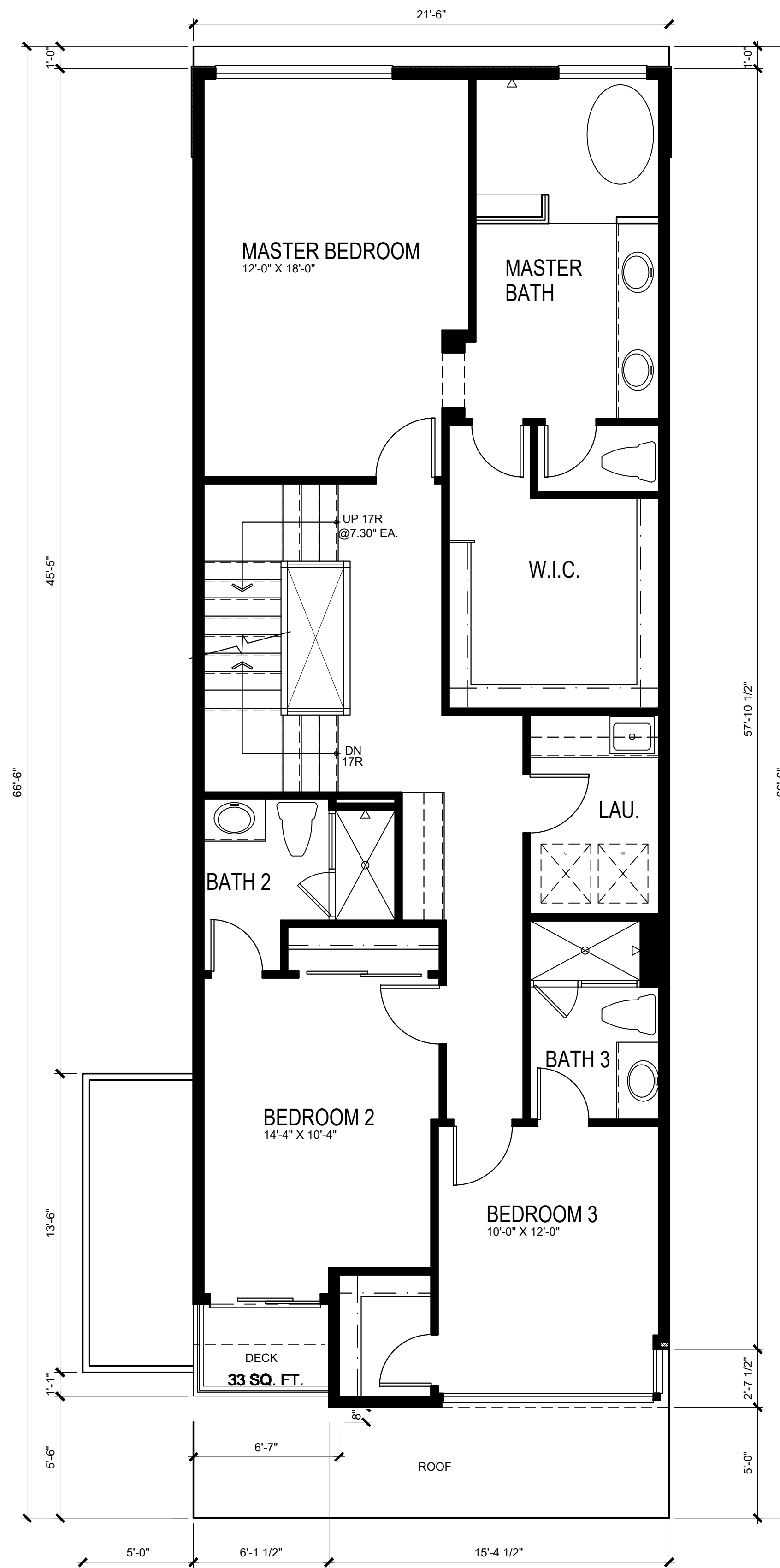


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ARCHITECTS

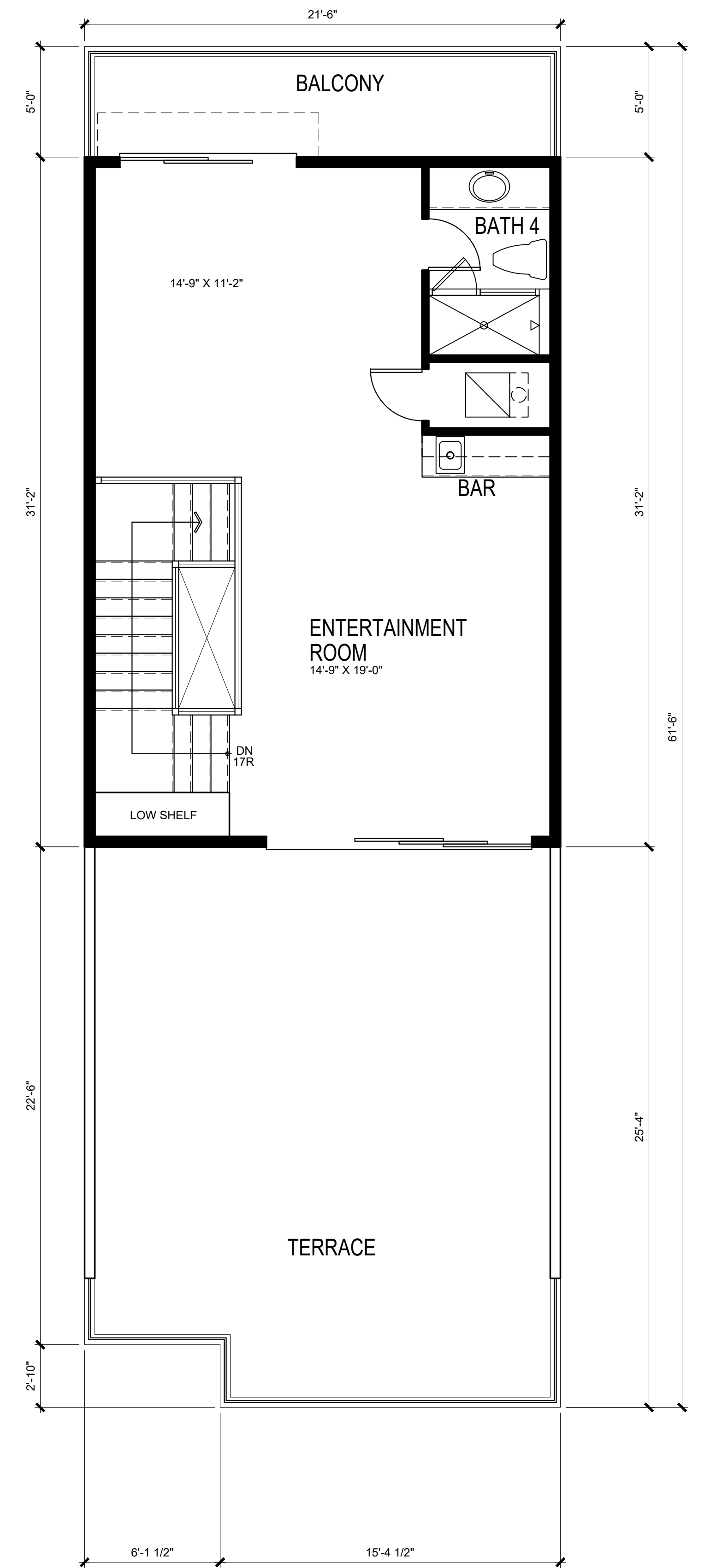
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949.261.2070
PROJECT # 22017 September 9, 2025



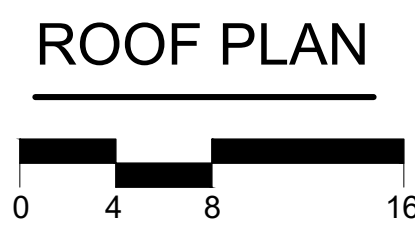
FIRST FLOOR PLAN 903 S.F.
(EACH UNIT TOTAL) 2,754 S.F.



SECOND FLOOR PLAN 1,239 S.F.



THIRD FLOOR PLAN 612 S.F.



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT # 22017 September 9, 2025

PLAN 3C
0 1 4 8

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

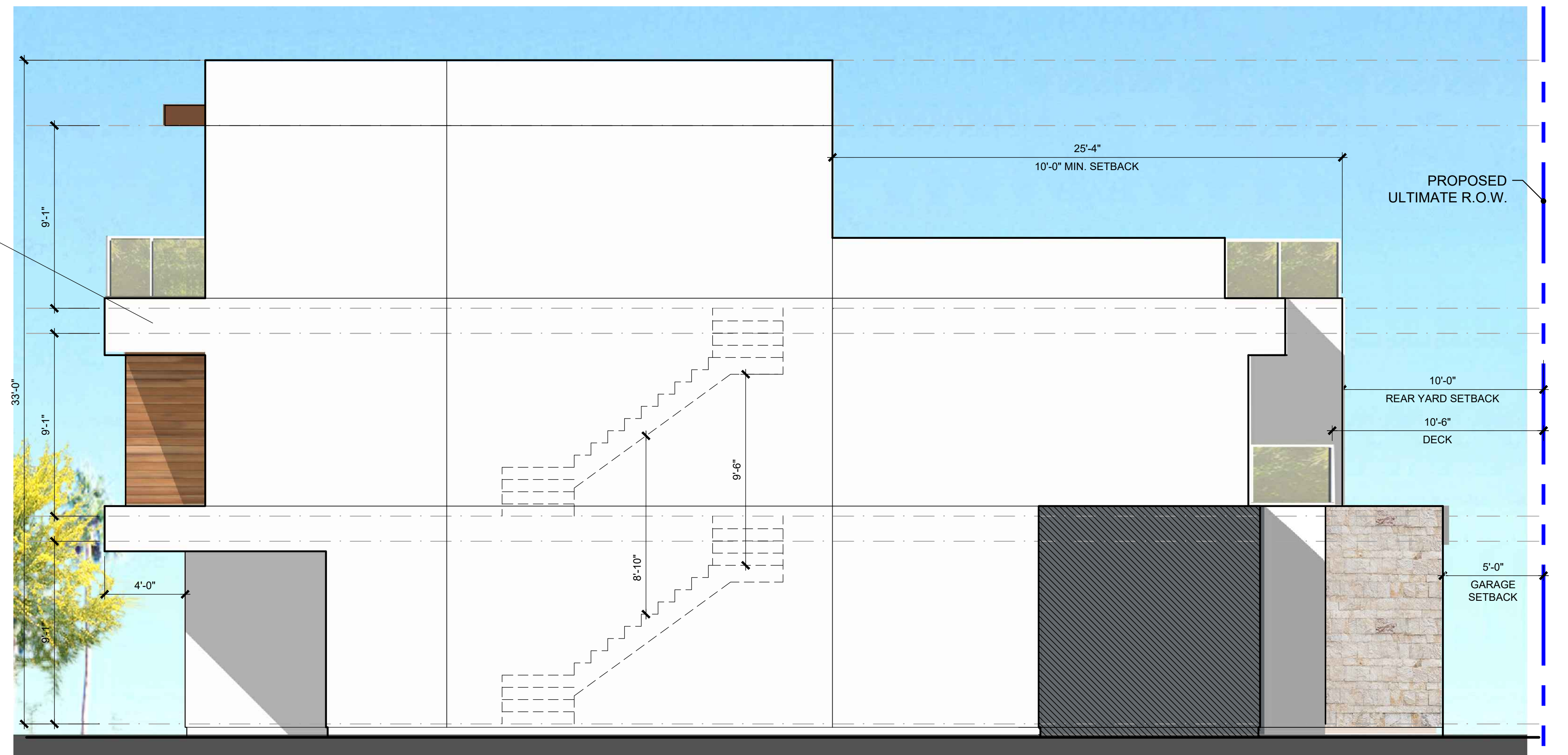
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FRONT ELEVATION

CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN WHITEGOLD

PRIMARY STUCCO
DEW379 IGLOO



LEFT ELEVATION



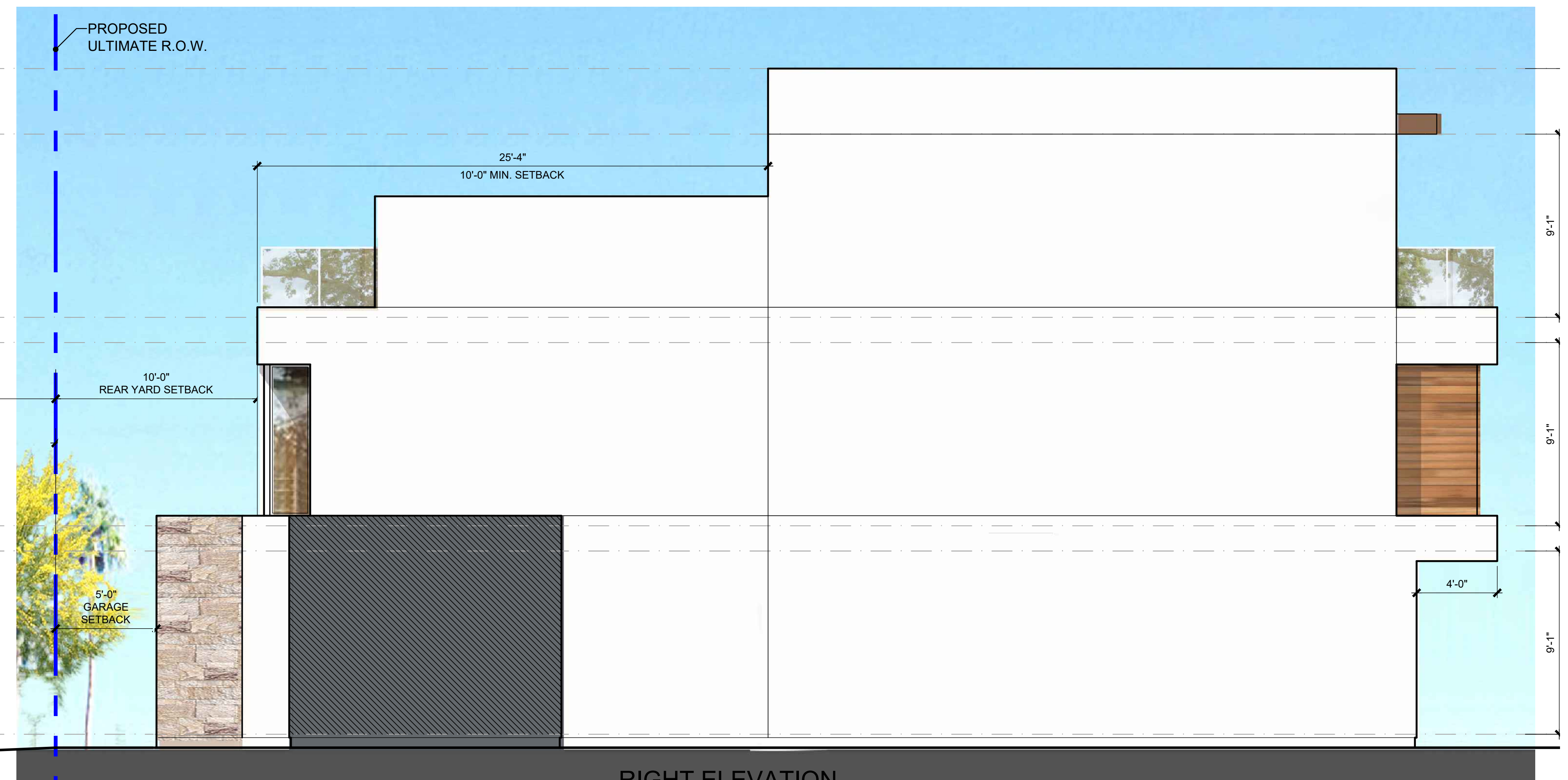
REAR ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

EXISTING ADJACENT
ULTIMATE R.O.W.

24'-0" FIRE ACCESS LANE

HIDEAWAY CIRCLE



RIGHT ELEVATION

PLAN 3C ELEVATIONS



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

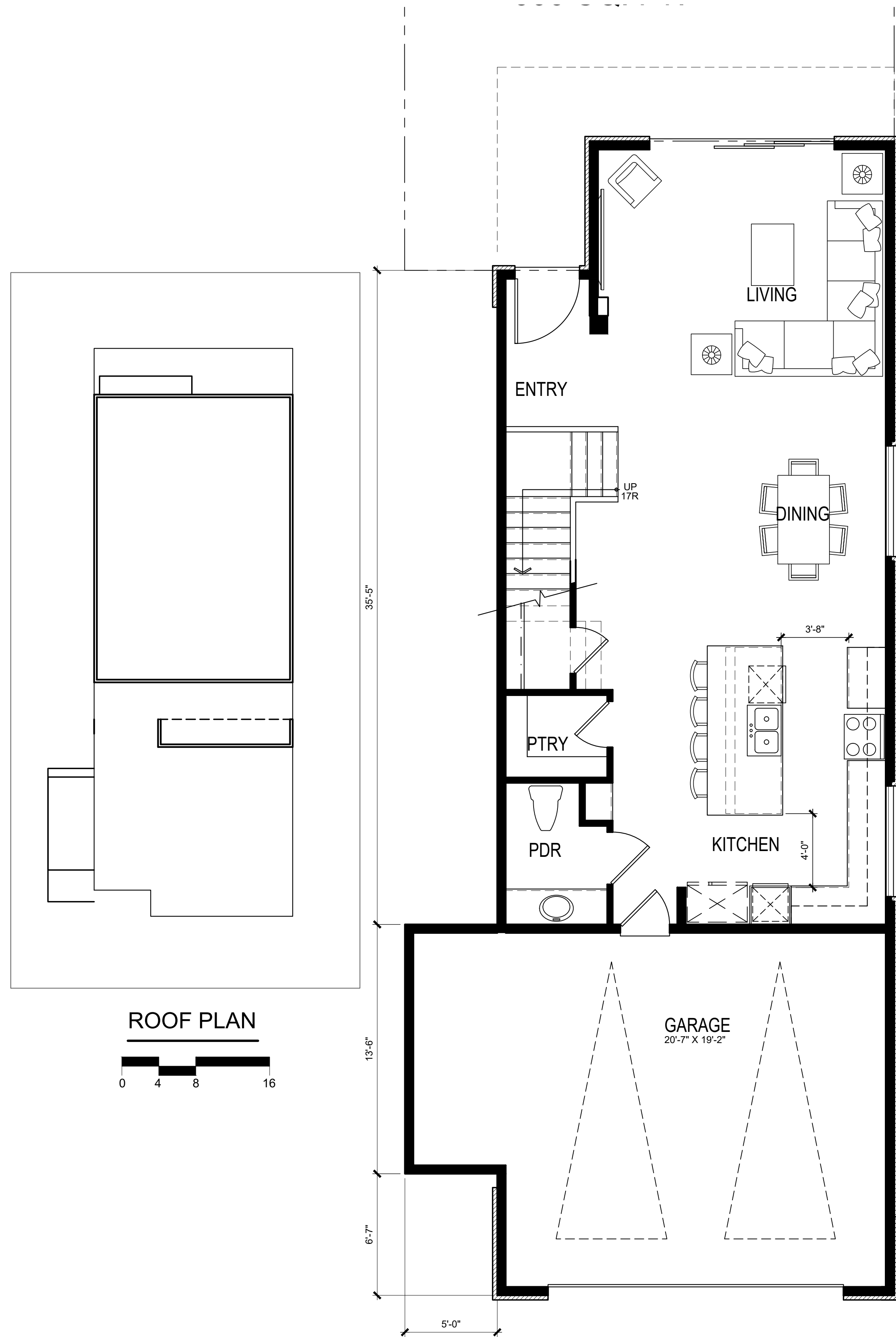
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Preliminary

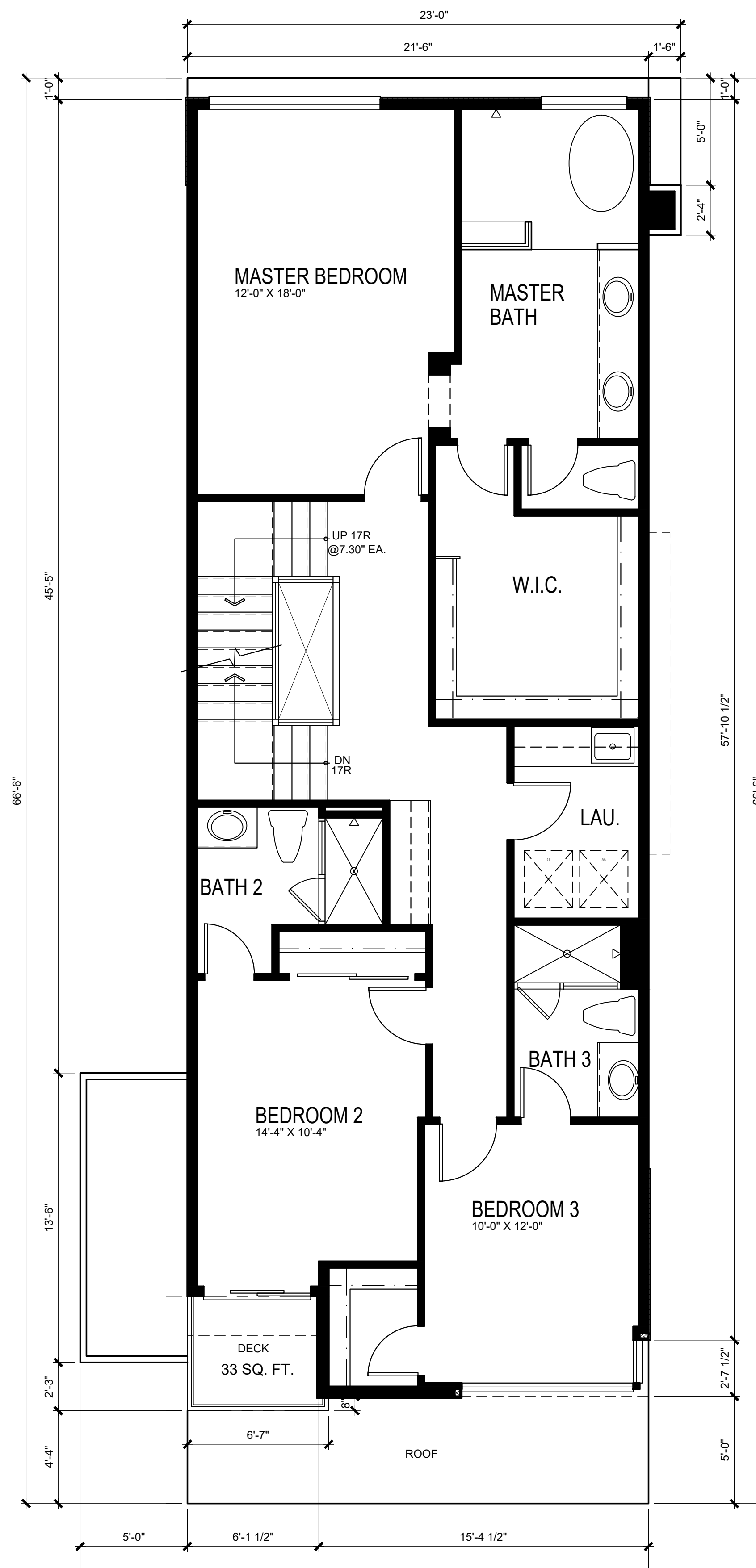


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ARCHITECTS

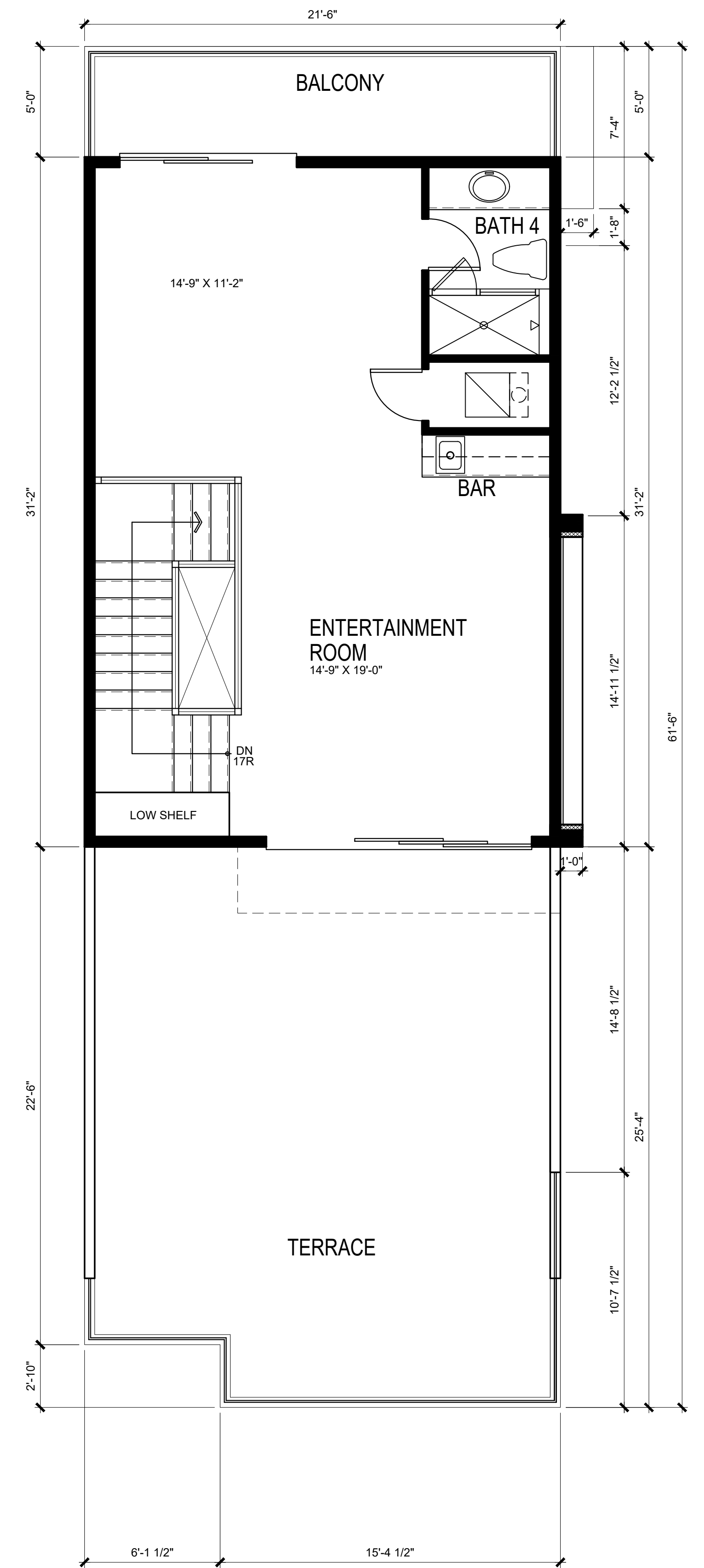
949.261.2070
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



FIRST FLOOR PLAN 903 S.F.
(EACH UNIT TOTAL) 2,746 S.F.



SECOND FLOOR PLAN 1,231 S.F.



THIRD FLOOR PLAN 612 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 3E ENHANCED



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary



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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

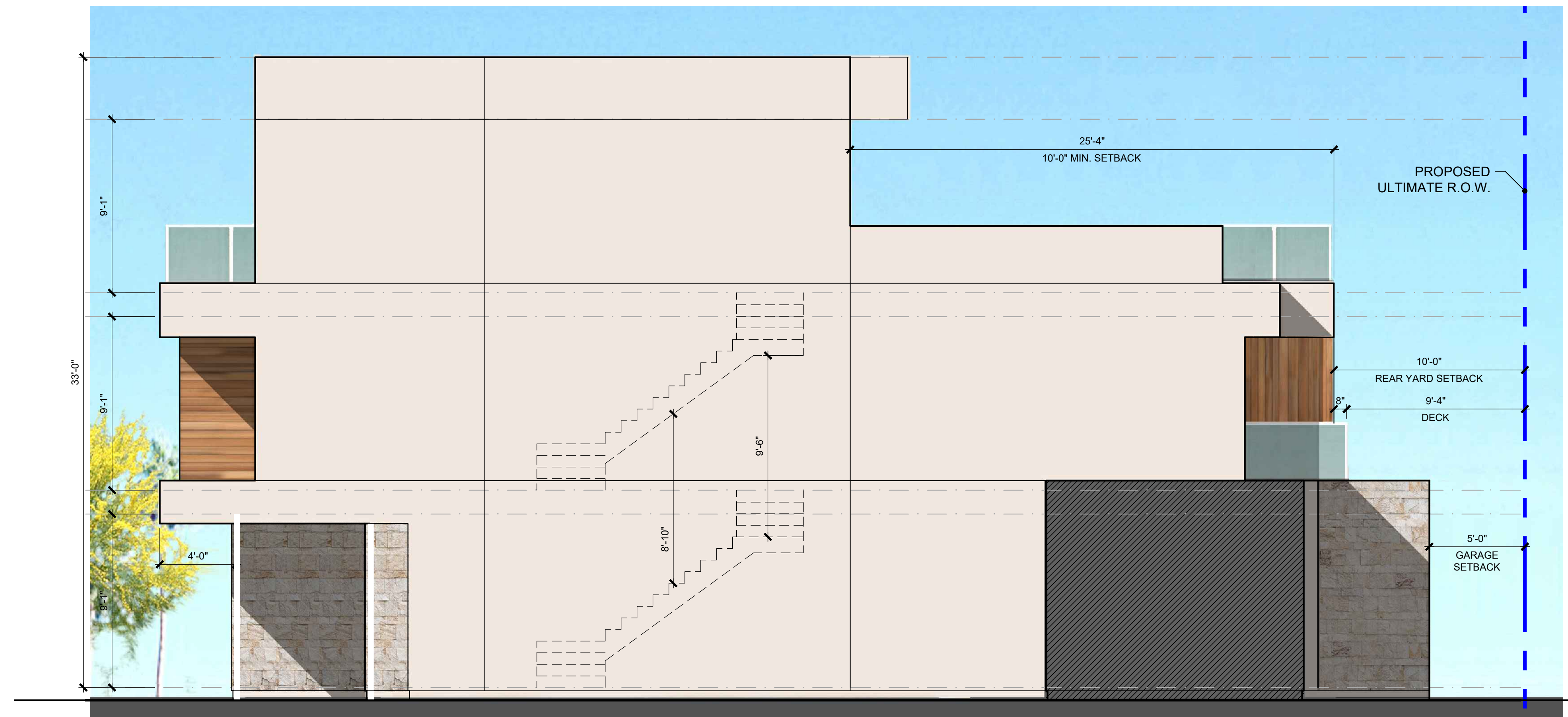


FRONT ELEVATION
MANUF. VENEER
CRAFT ORCHARD LIMESTONE
MAX. HEIGHT 35'

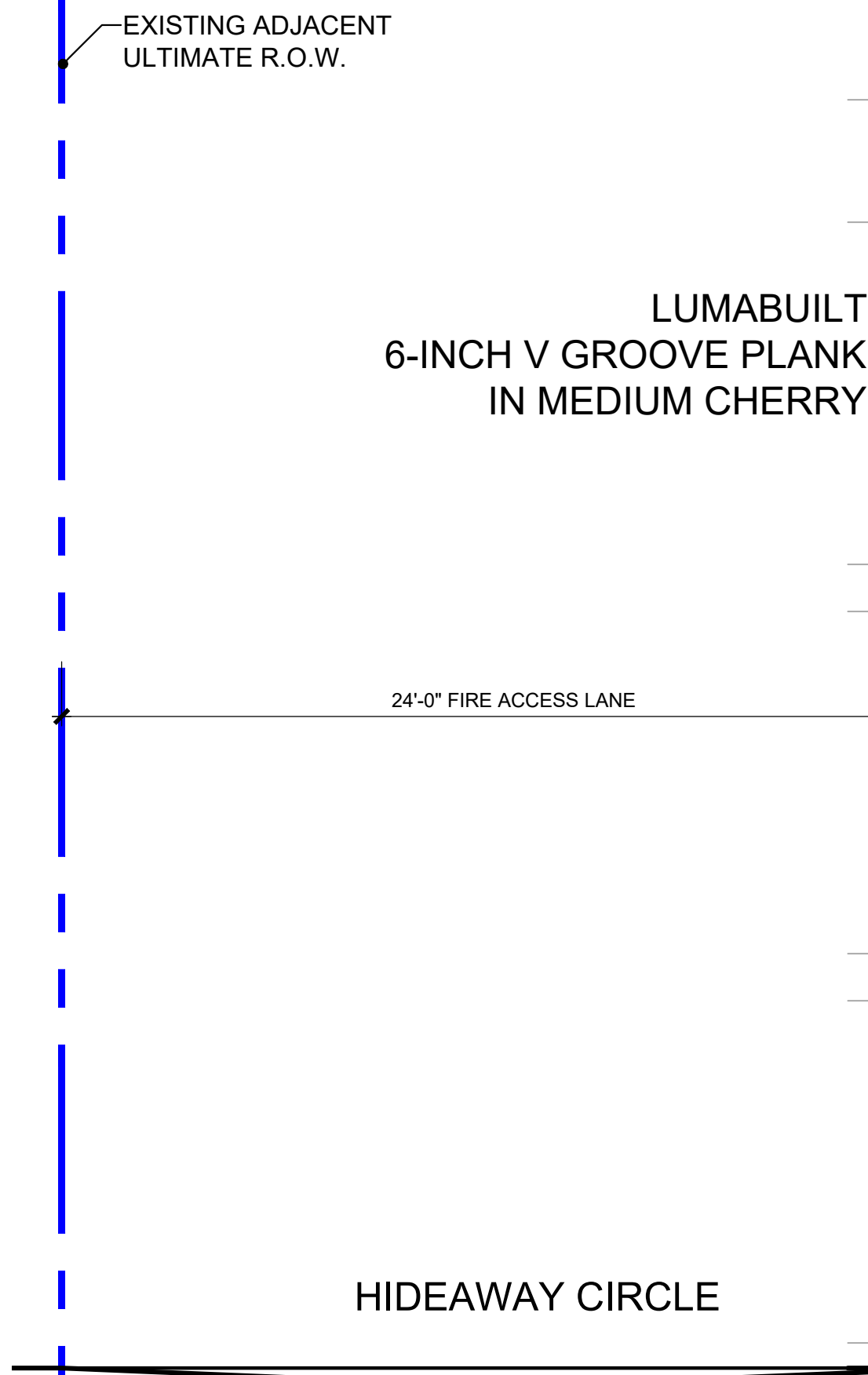


REAR ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY



LEFT ELEVATION



RIGHT ELEVATION

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 3 ENH ELEVATIONS



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

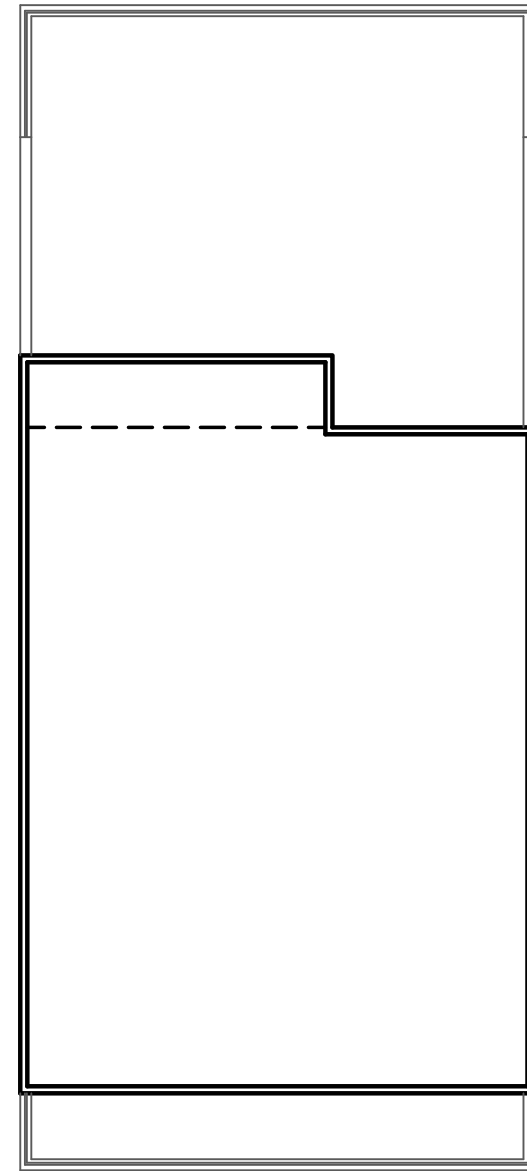
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3.8



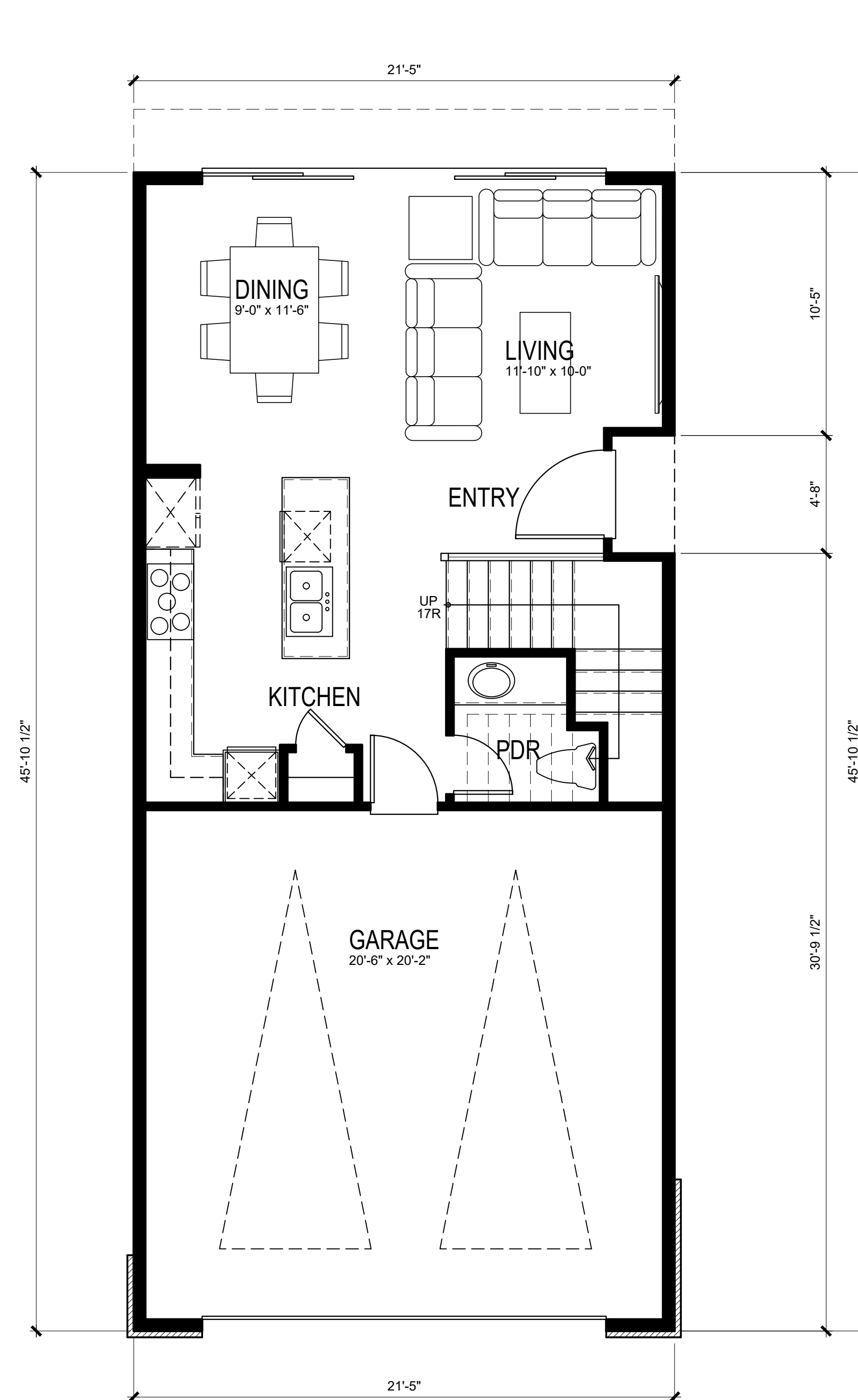
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ARCHITECTS

949.261.2070
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

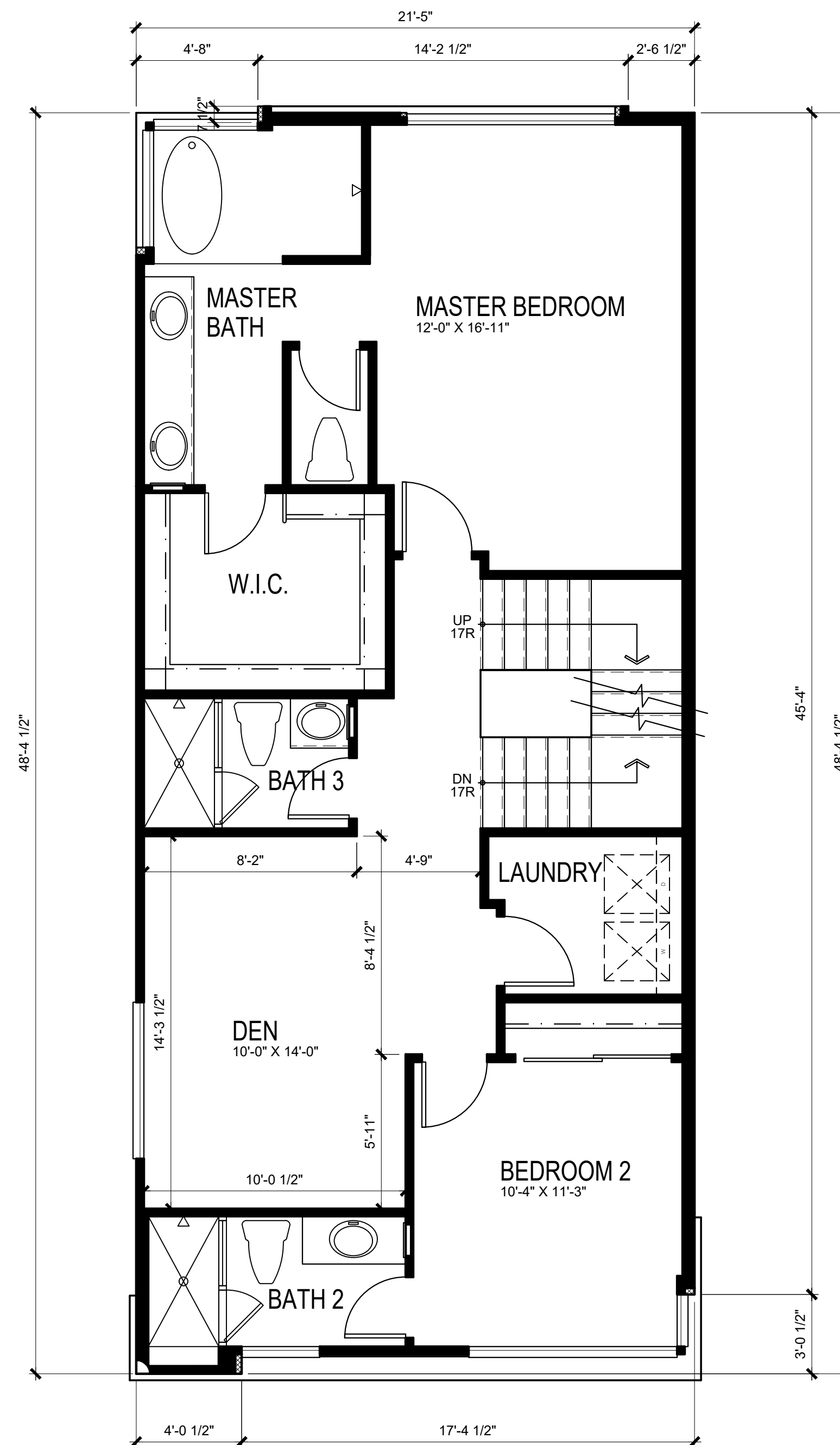


PLAN 4A
Roof

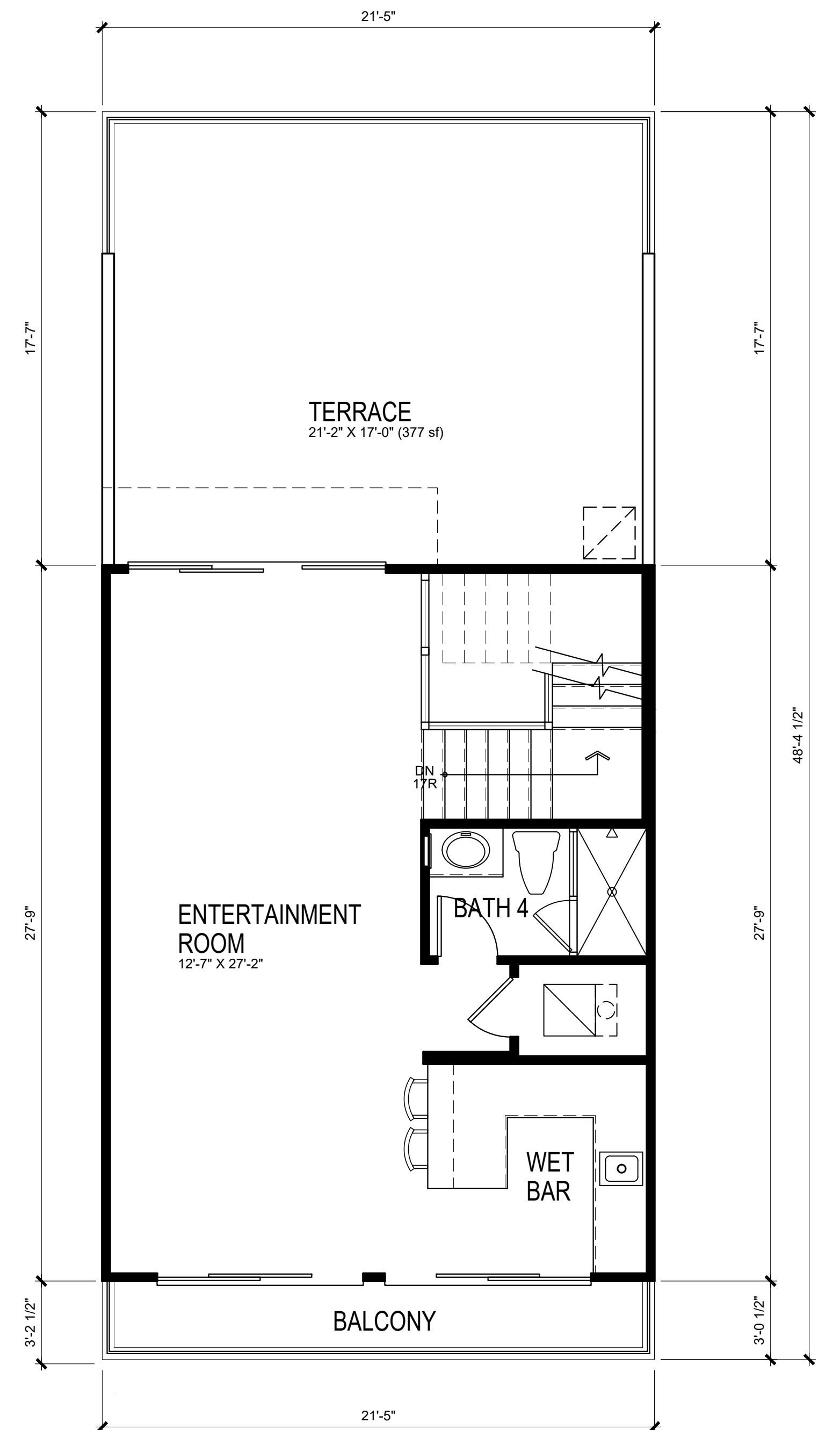
ROOF PLAN



FIRST FLOOR PLAN 529 S.F.
(EACH UNIT TOTAL) 1994 S.F.



SECOND FLOOR PLAN 943 S.F.
2-BEDROOM FOR UNIT 14



THIRD FLOOR PLAN 522 S.F.

PLAN 4A



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT

21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

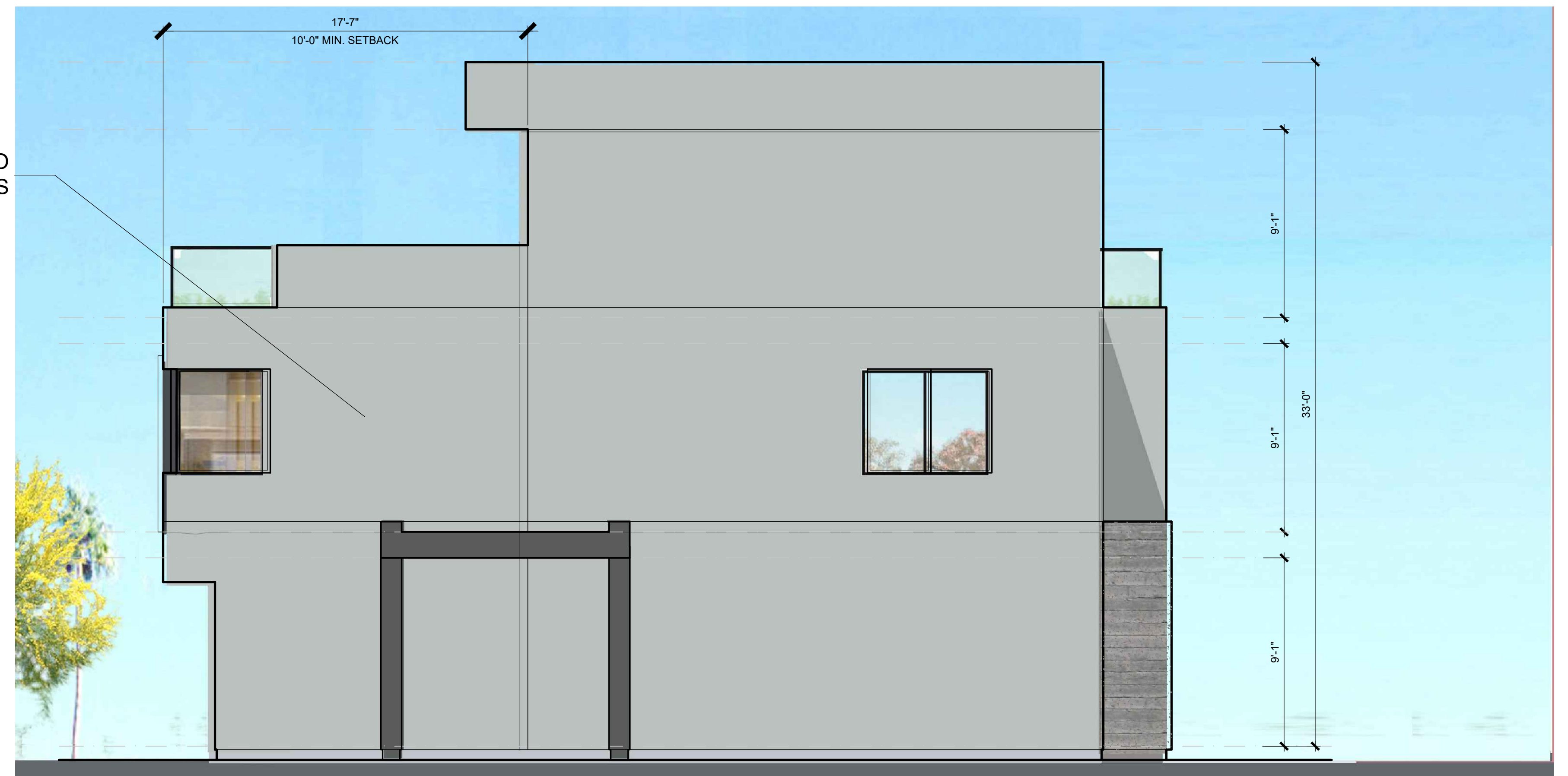
Preliminary



FRONT ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN TABLE WALNUT

PRIMARY STUCCO
DE6368 WALRUS



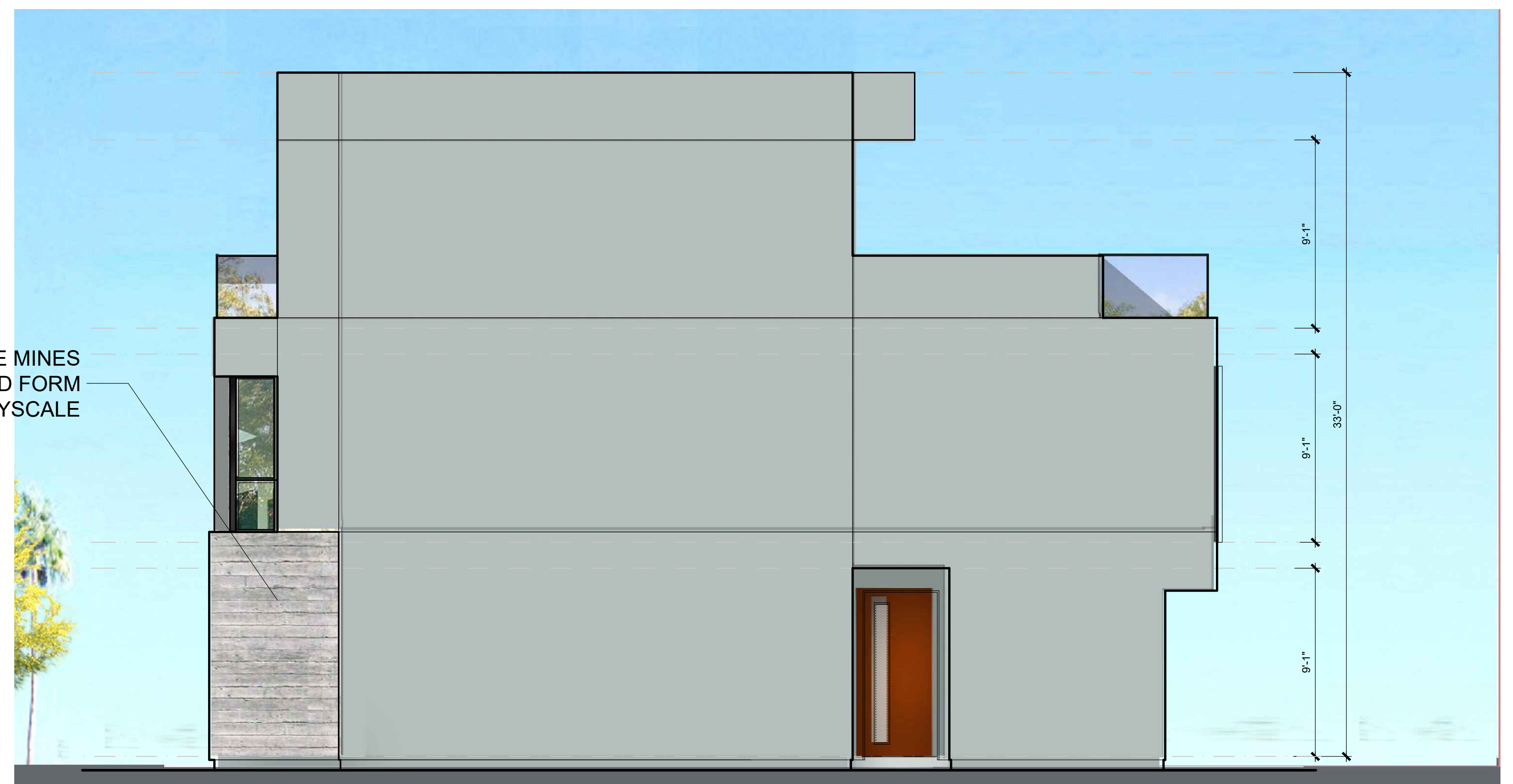
LEFT ELEVATION



REAR ELEVATION

ACCENT STUCCO
DEA188 BLACK BAY

CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE



RIGHT ELEVATION

PLAN 4A ELEVATIONS



**HANNOUCHE
ARCHITECTS**

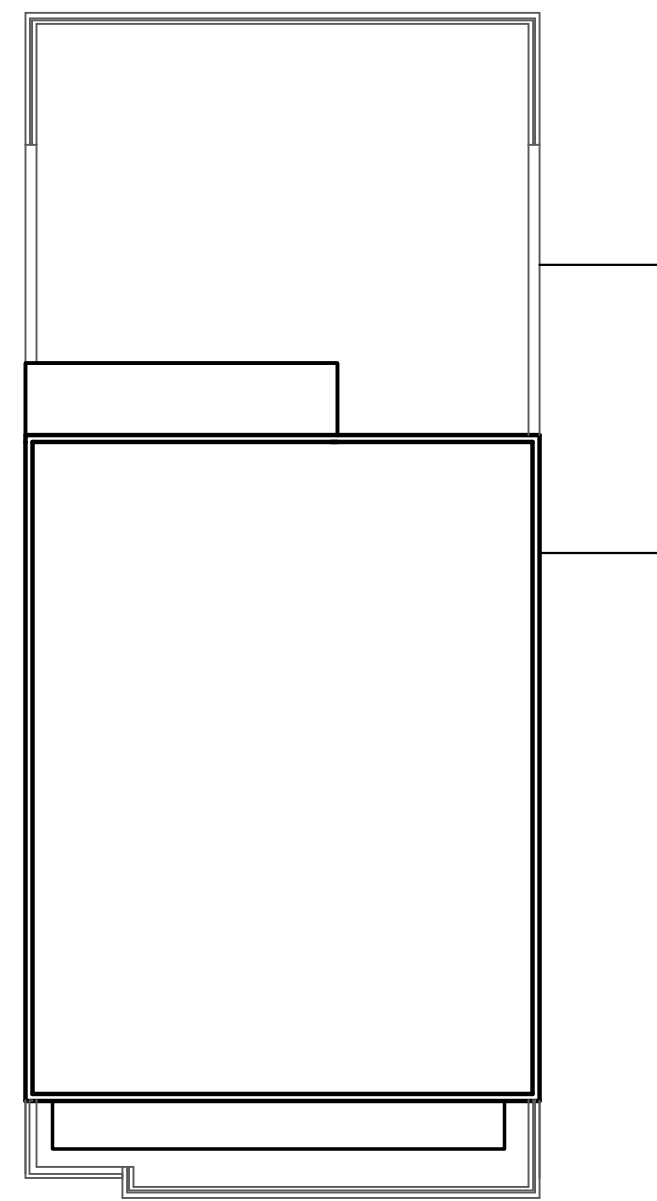
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949.261.2070
PROJECT # 22017 September 9, 2025

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

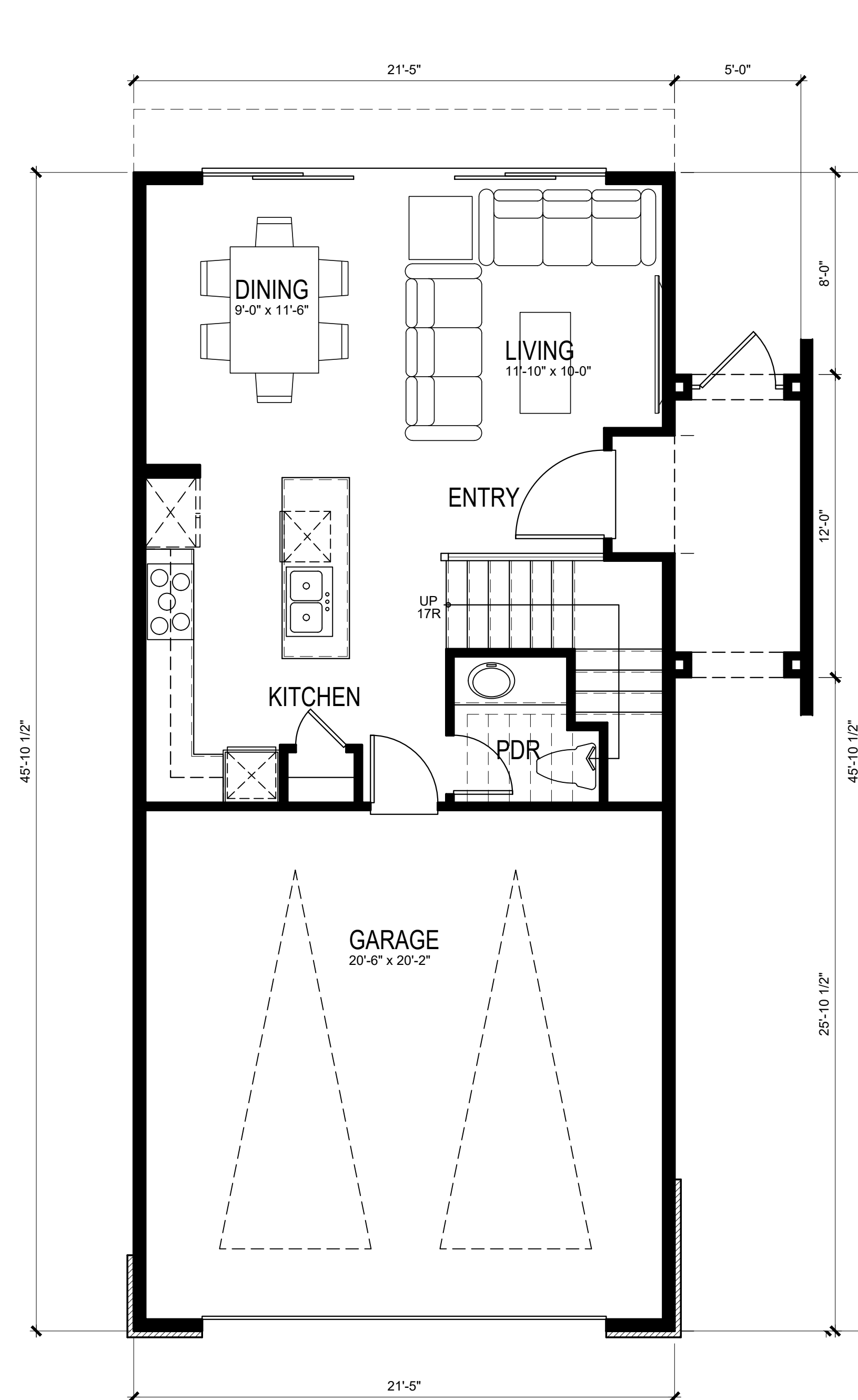
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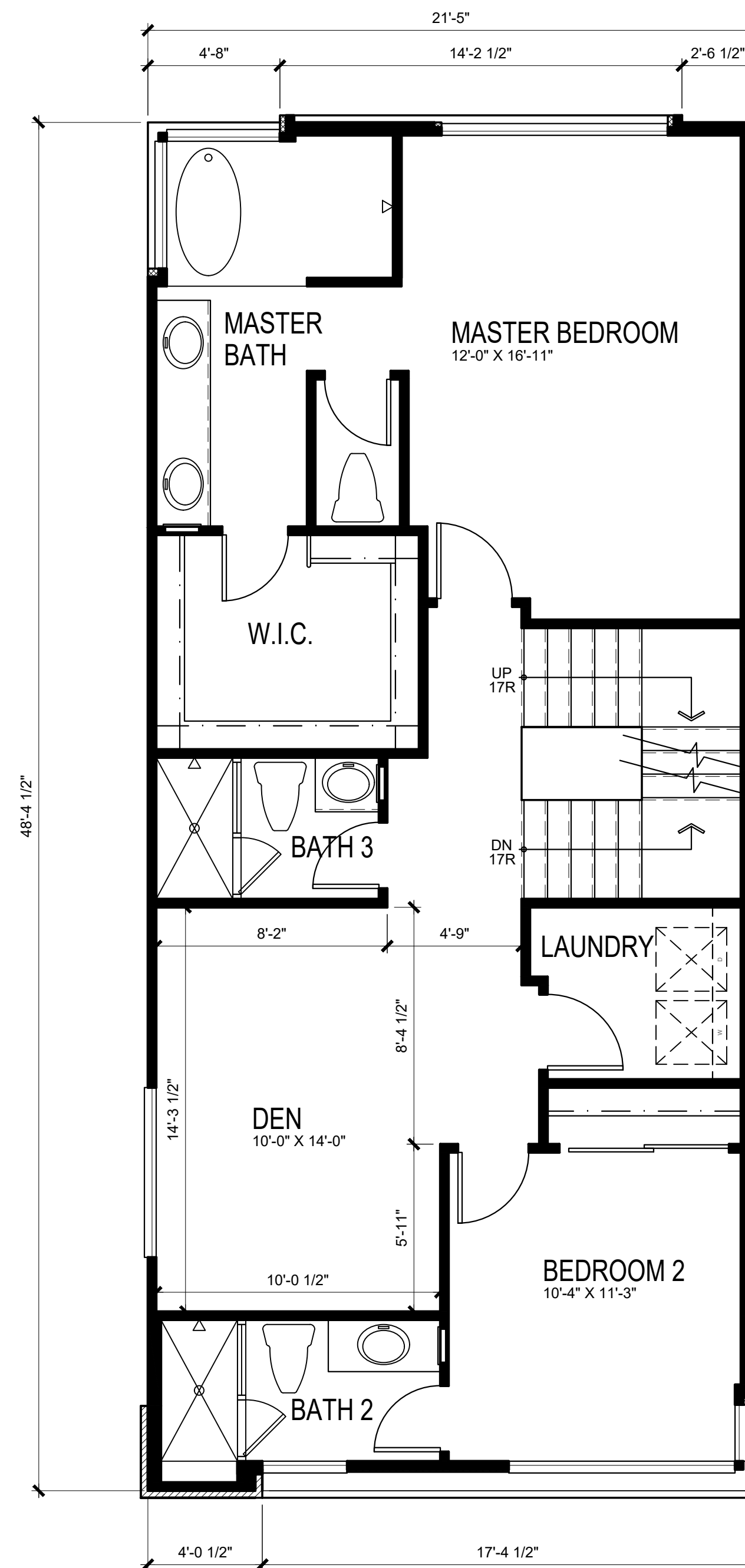
PLAN 4B
Roof

ROOF PLAN

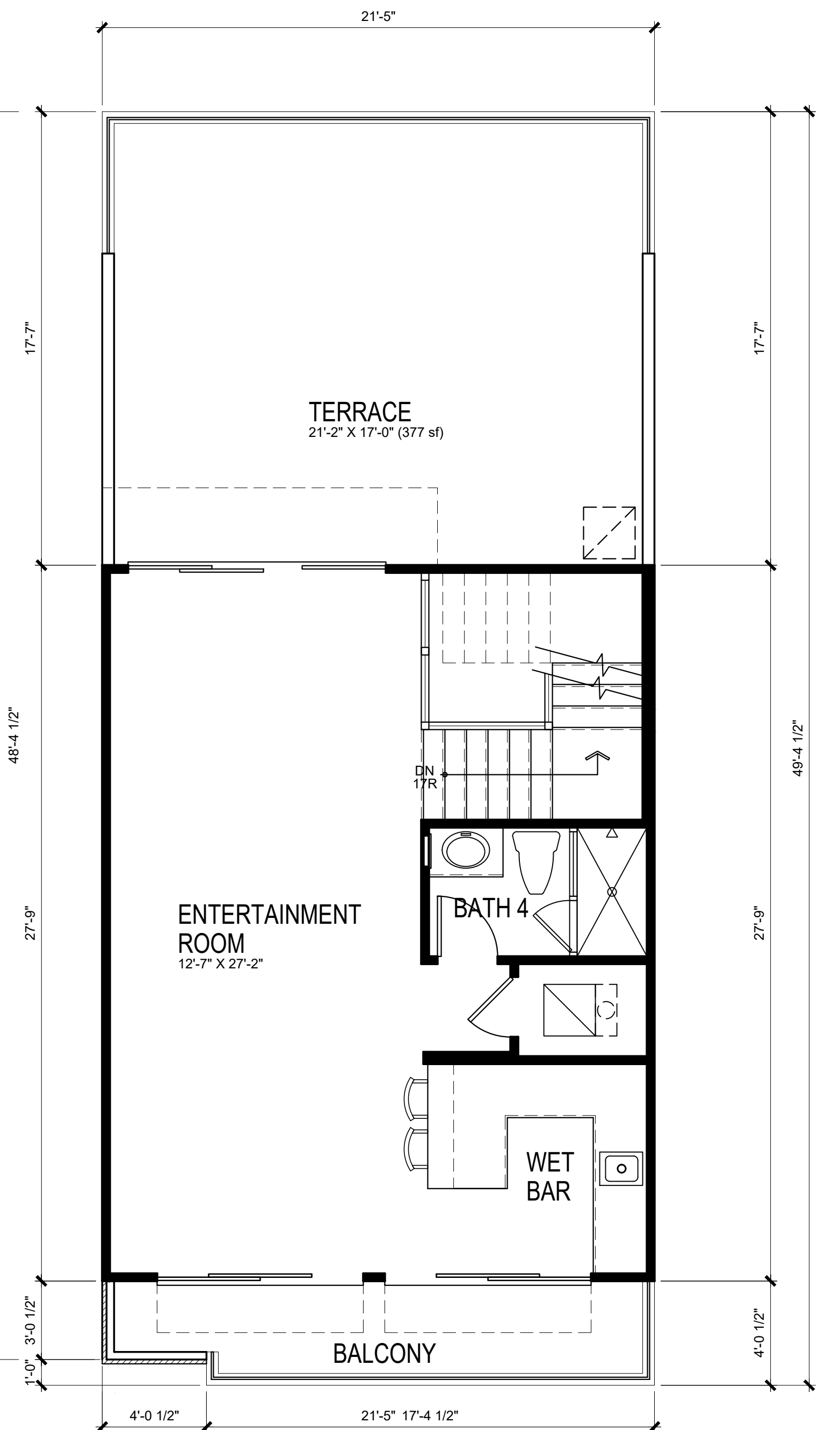
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FIRST FLOOR PLAN 529 S.F.
(EACH UNIT TOTAL) 1994 S.F.



SECOND FLOOR PLAN 943 S.F.
2-BEDROOM FOR UNITS 13 & 15



THIRD FLOOR PLAN 522 S.F.

PLAN 4B

0 1 4 8

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT

21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary



FRONT ELEVATION

PRIMARY STUCCO
DEW329 WAX WING (UNIT 15)
DEW379 IGLOO (UNIT 13)

LUMABUILT
6-INCH V GROOVE PLANK
IN TABLE WALNUT



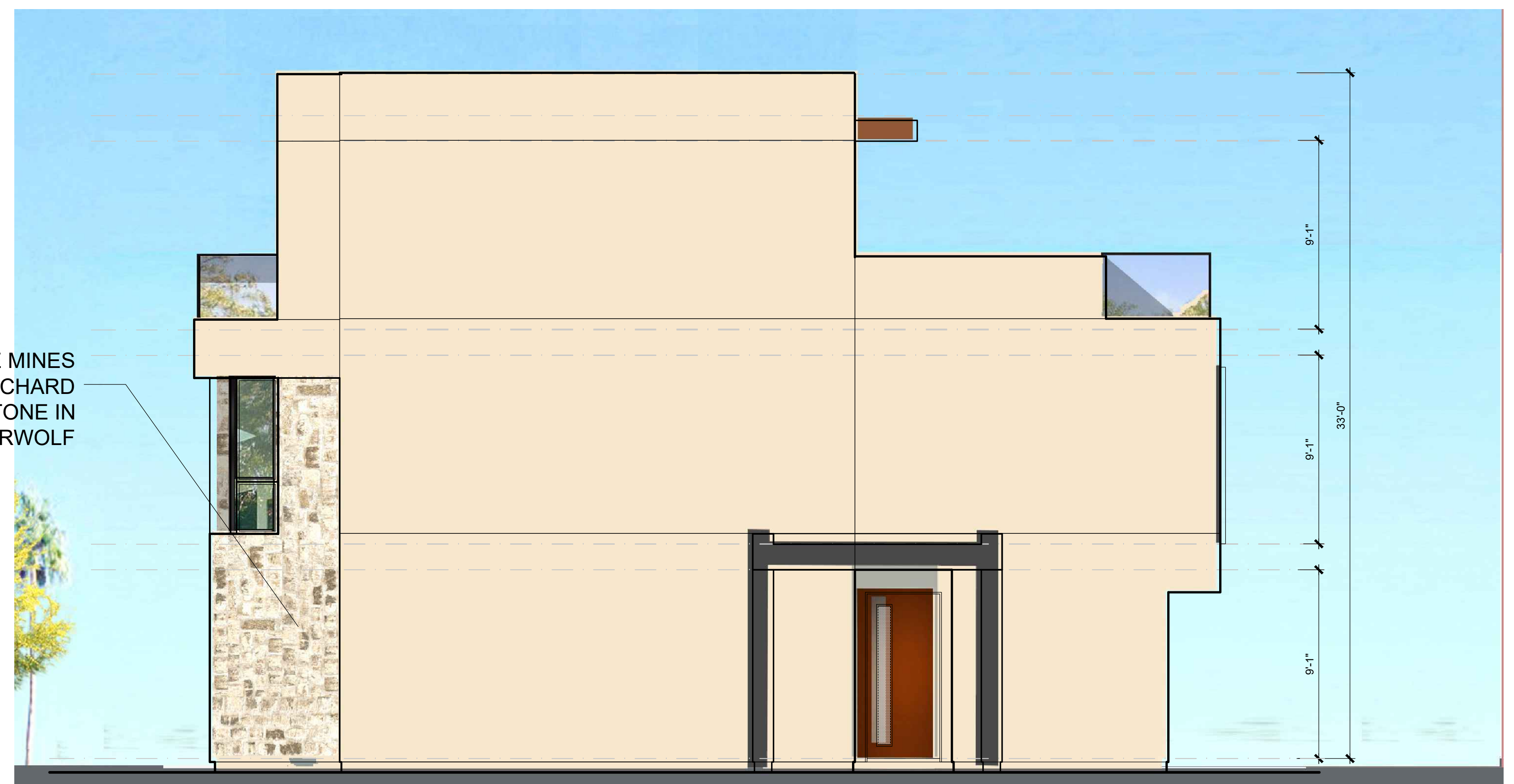
LEFT ELEVATION



REAR ELEVATION

ACCENT STUCCO
DEA188 BLACK BAY

CREATIVE MINES
CRAFT ORCHARD
LIMESTONE IN
TIMBERWOLF



RIGHT ELEVATION

PLAN 4B ELEVATIONS



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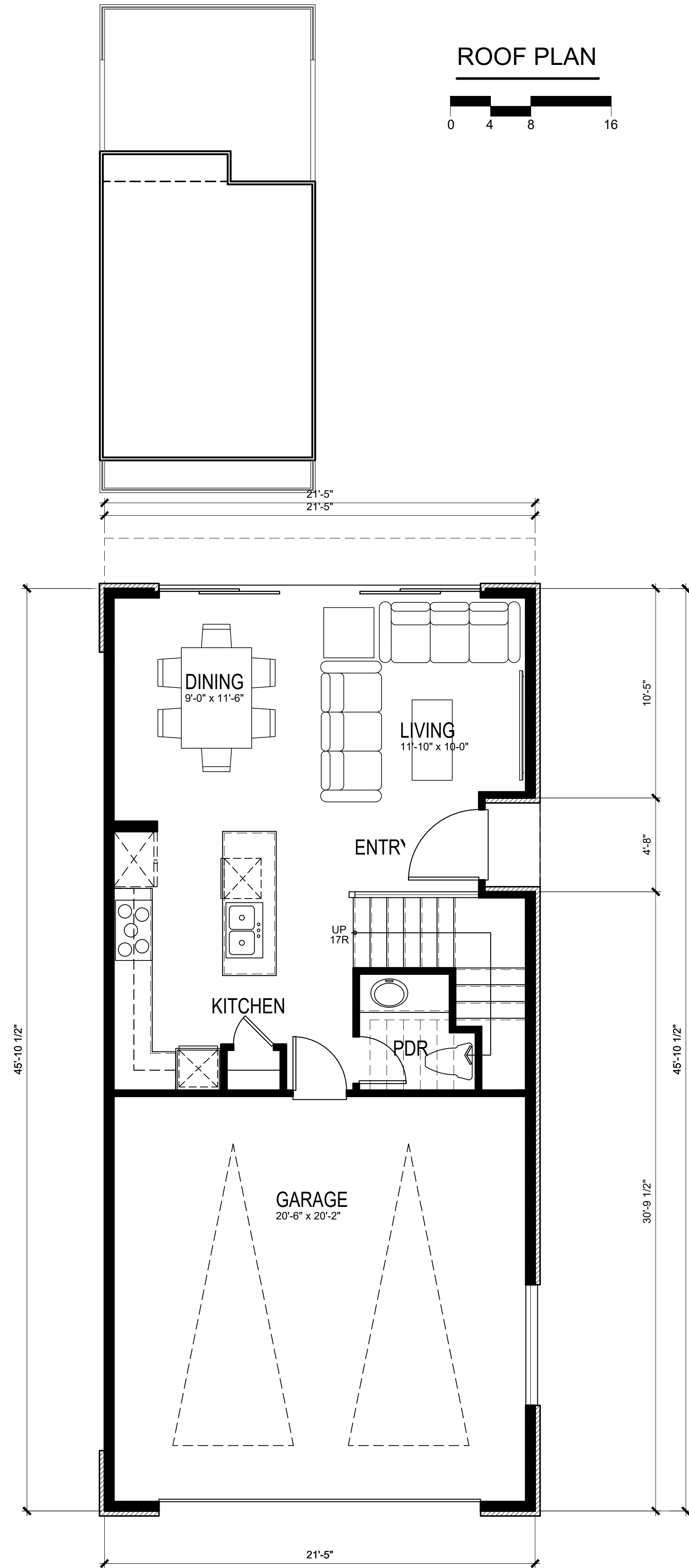
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PROJECT # 22017 September 9, 2025

HARBOUR COVE

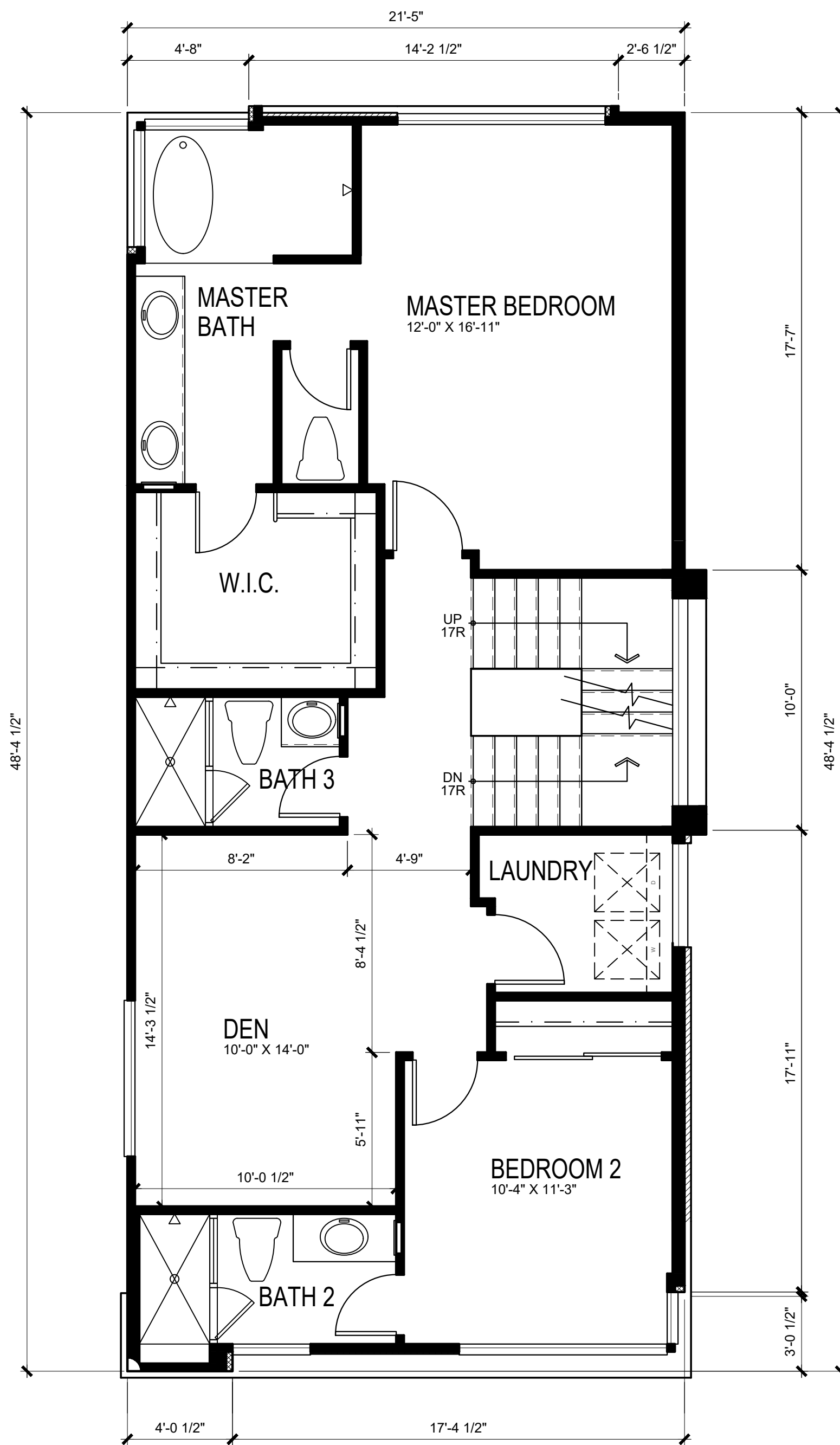
4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

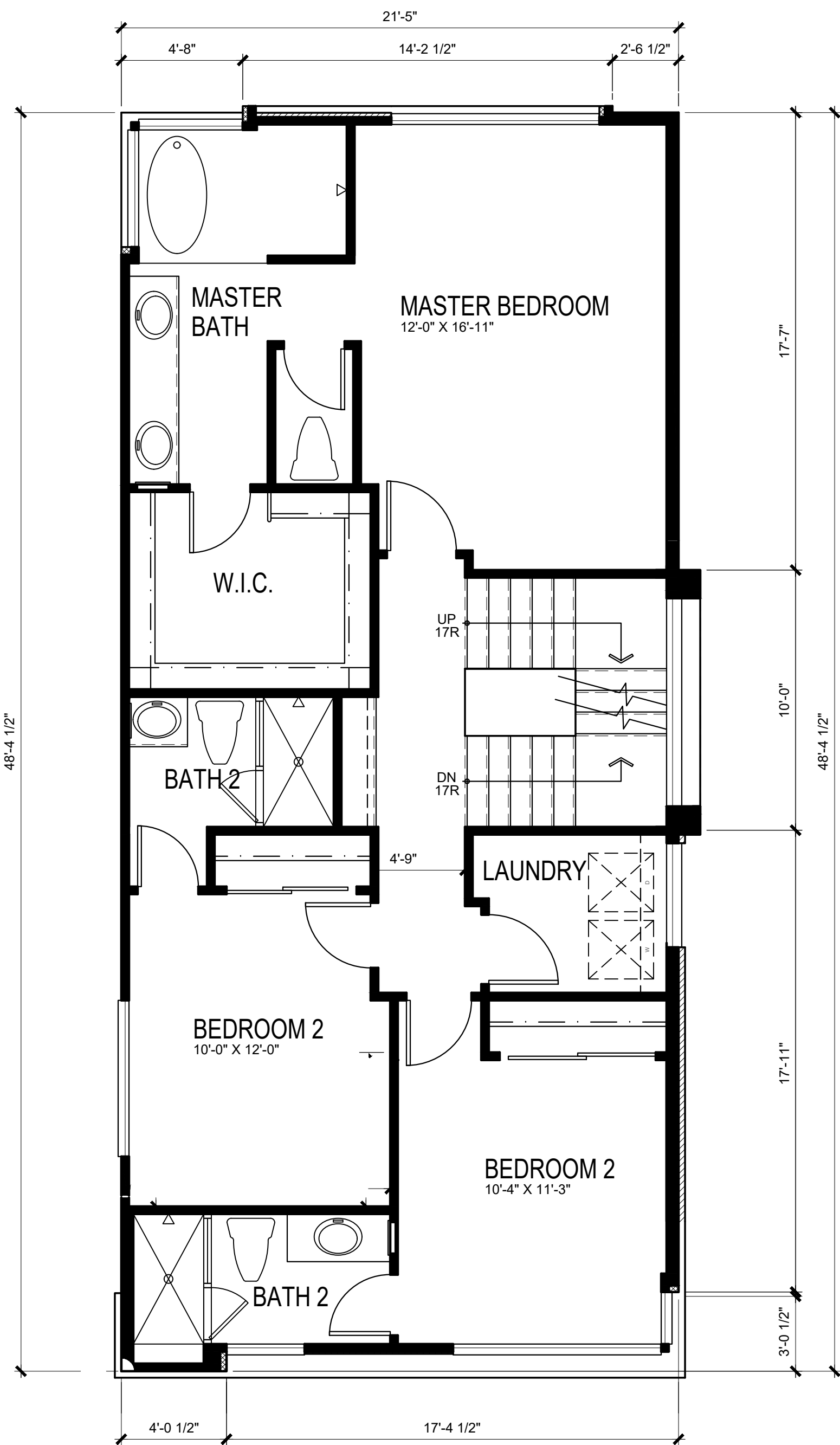
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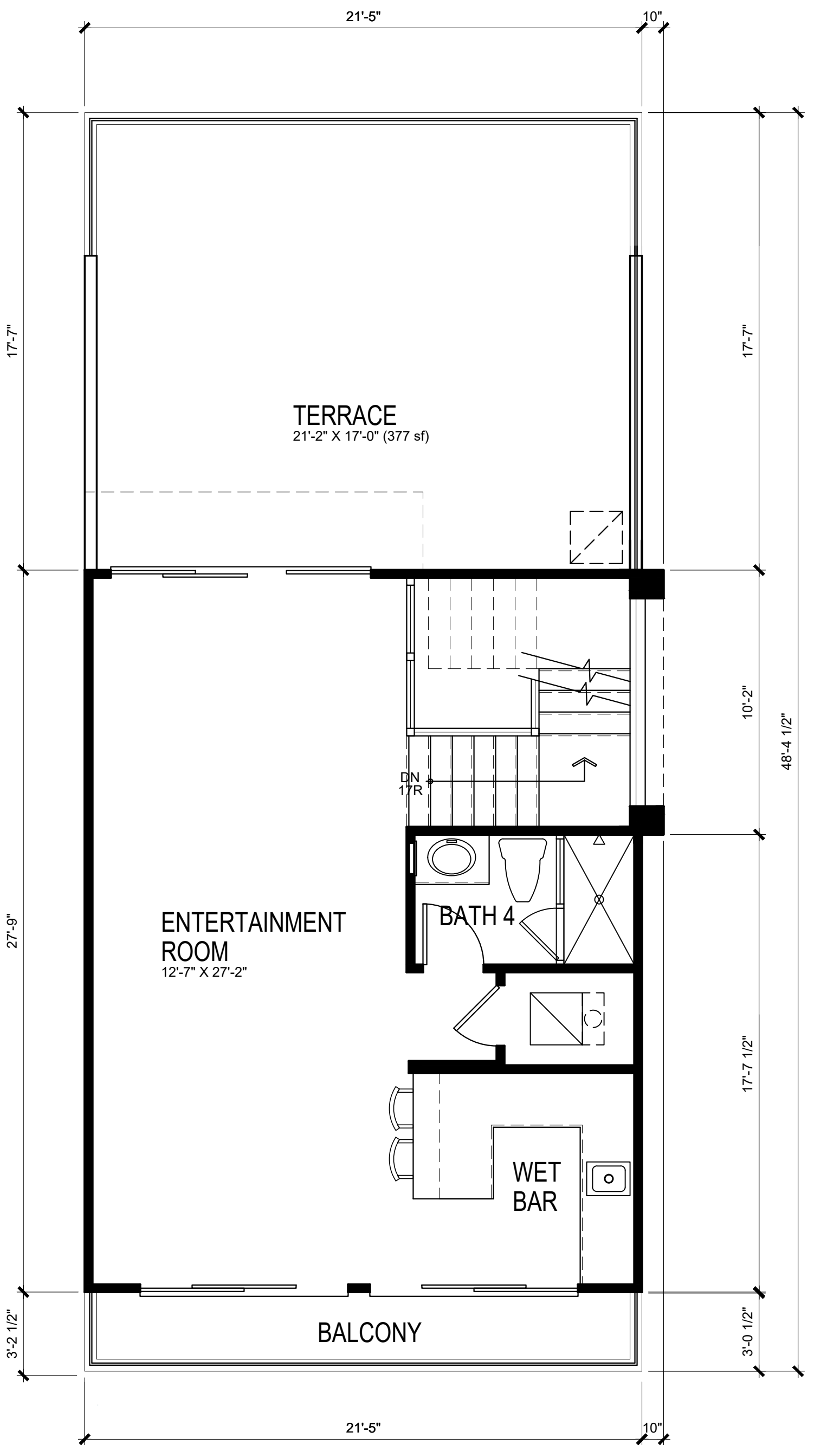
FIRST FLOOR PLAN 529 S.F.
(EACH UNIT TOTAL) 1994 S.F.



SECOND FLOOR PLAN 943 S.F.
2-BEDROOM FOR UNIT 12



SECOND FLOOR PLAN 943 S.F.
3-BEDROOM FOR UNIT 16



THIRD FLOOR PLAN 522 S.F.

PLAN 4E ENHANCED



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



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ARCHITECTS**

20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

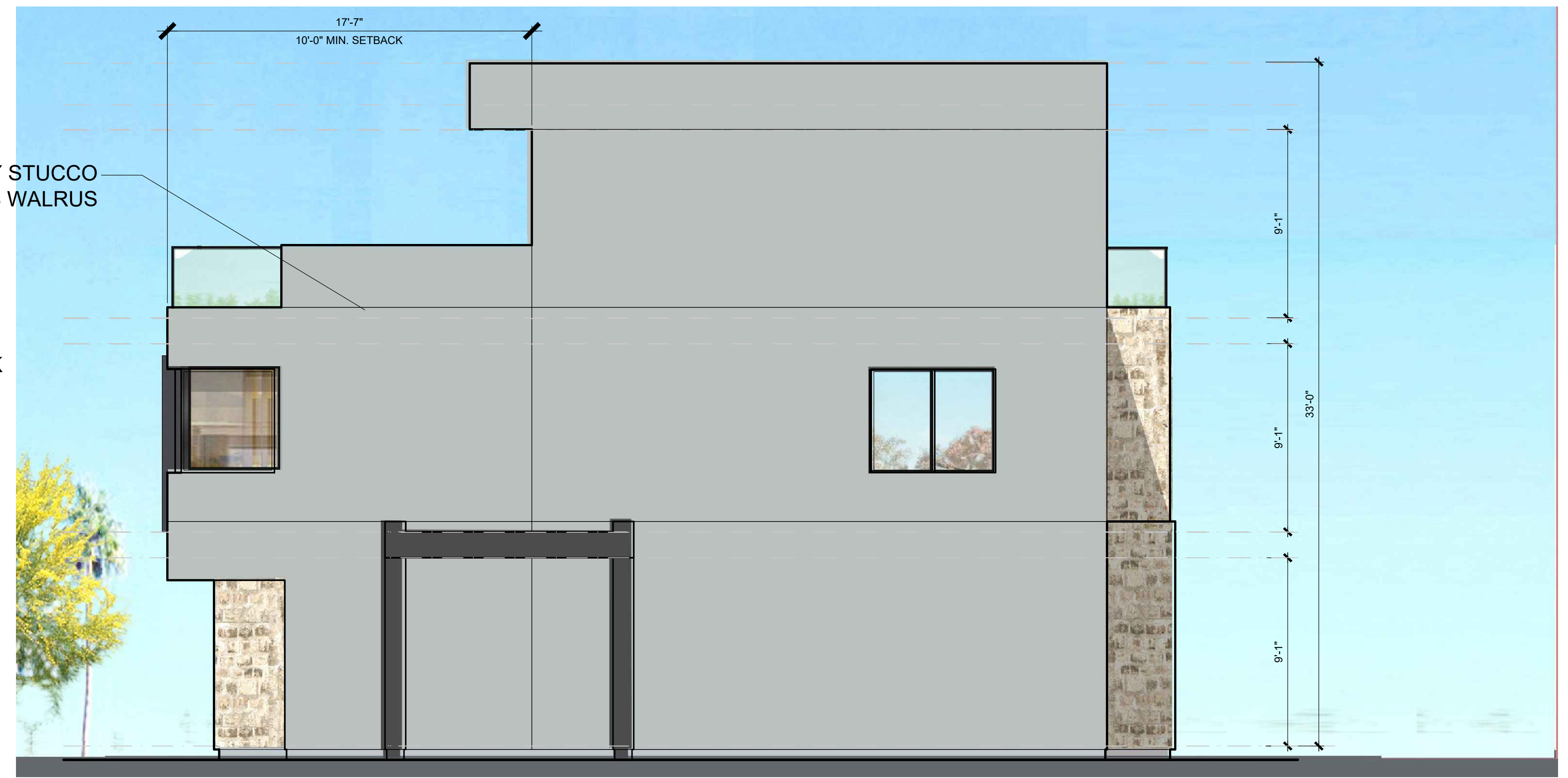
Preliminary



FRONT ELEVATION

LUMABUILT
6-INCH V GROOVE PLANK
IN TABLE WALNUT

PRIMARY STUCCO
DE6368 WALRUS



LEFT ELEVATION



REAR ELEVATION

ACCENT STUCCO
DEA188 BLACK BAY

CREATIVE MINES
CRAFT ORCHARD
LIMESTONE IN
TIMBERWOLF



RIGHT ELEVATION

PLAN 4 ENH ELEVATIONS



HANNOUCHE
ARCHITECTS

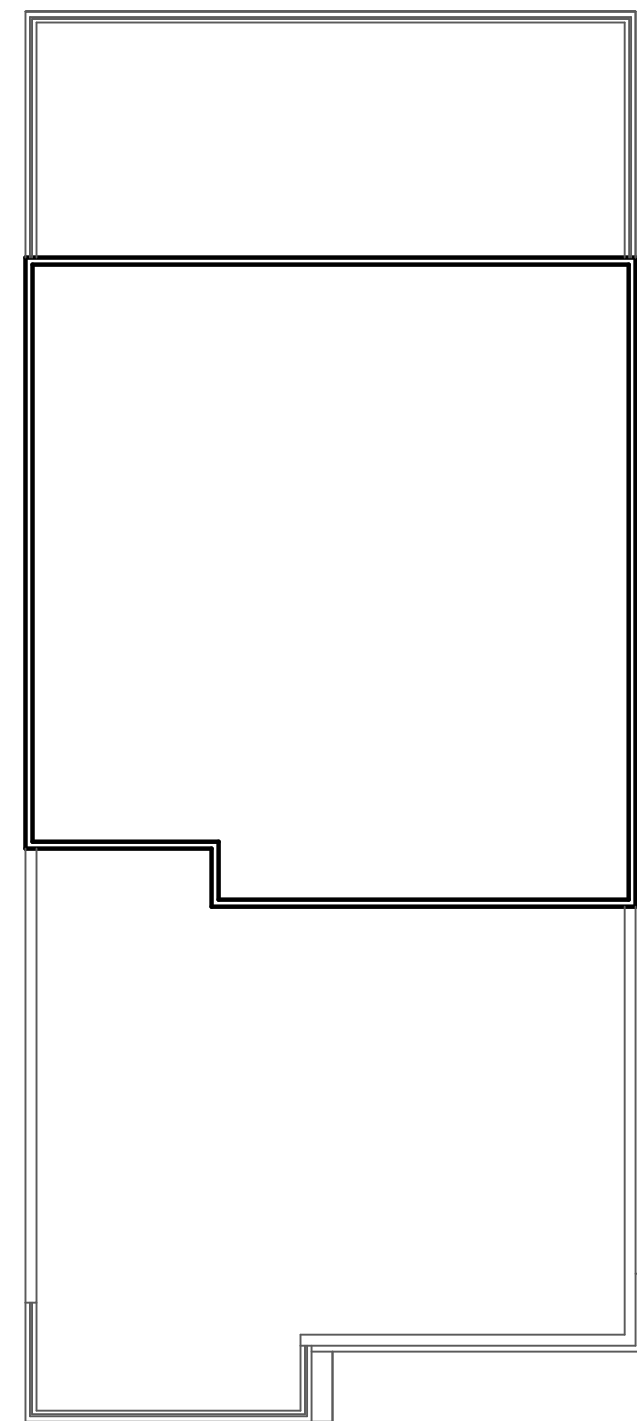
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20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025

HARBOUR COVE

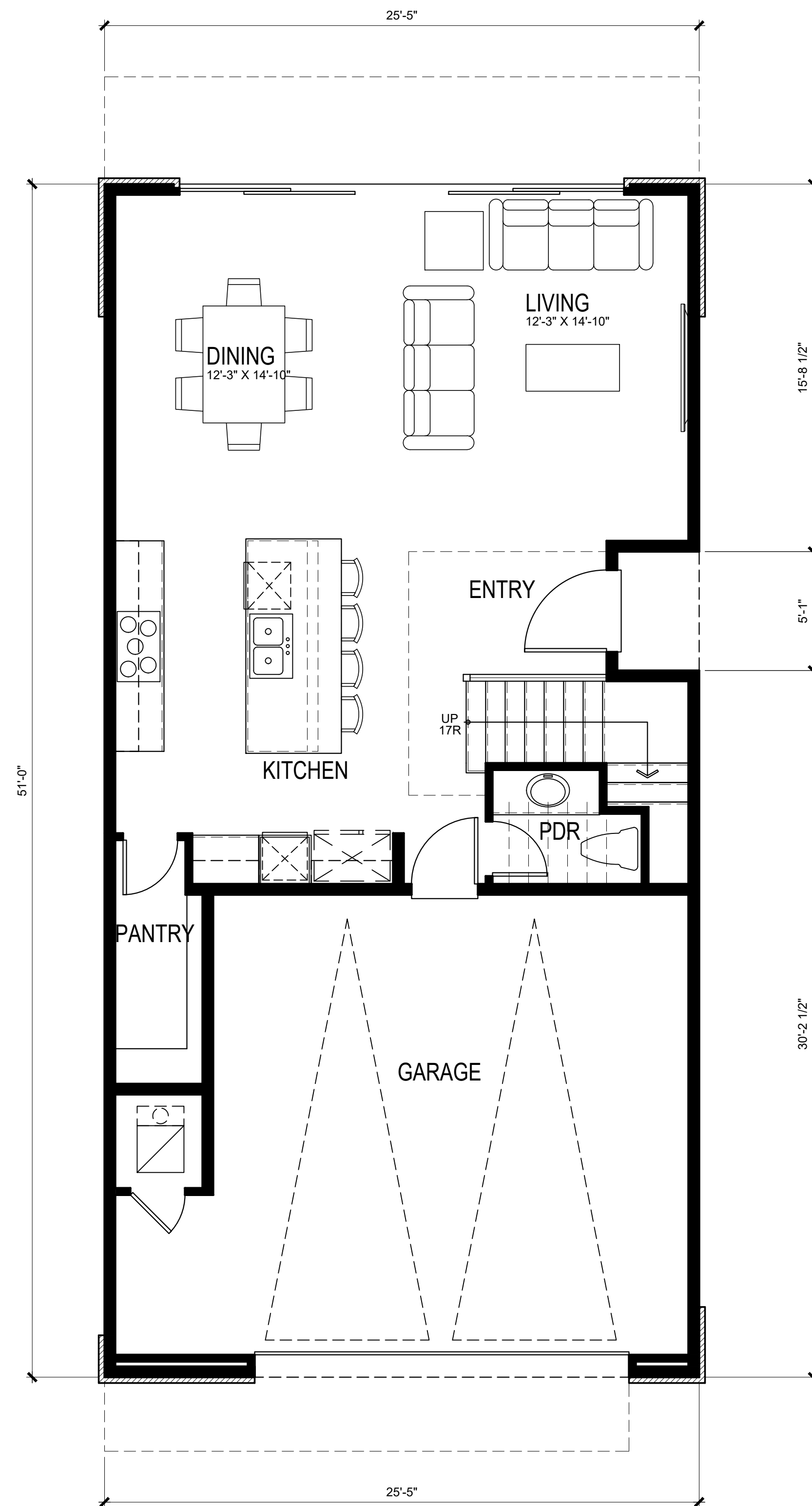
4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary



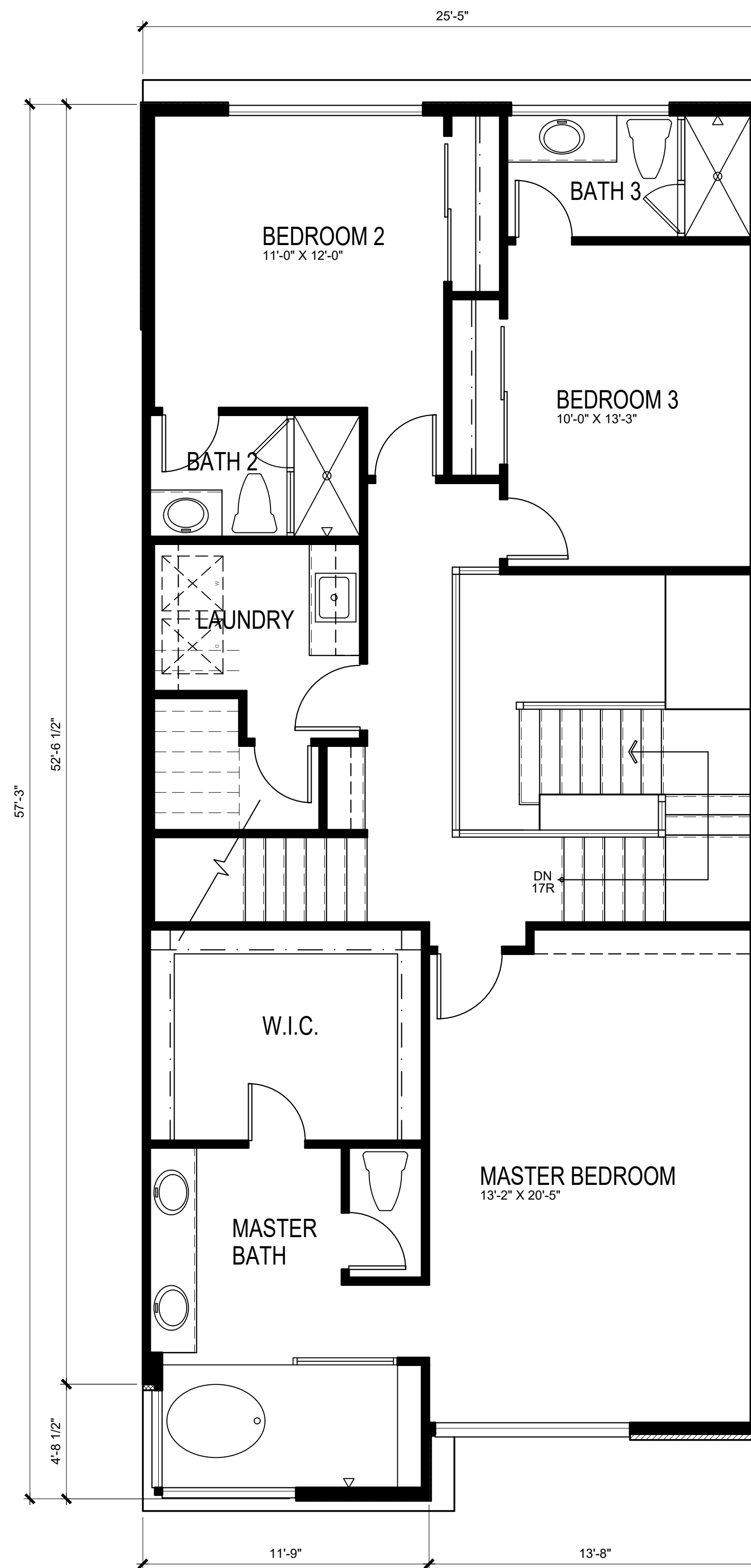
ROOF PLAN



FIRST FLOOR PLAN
(EACH UNIT TOTAL)

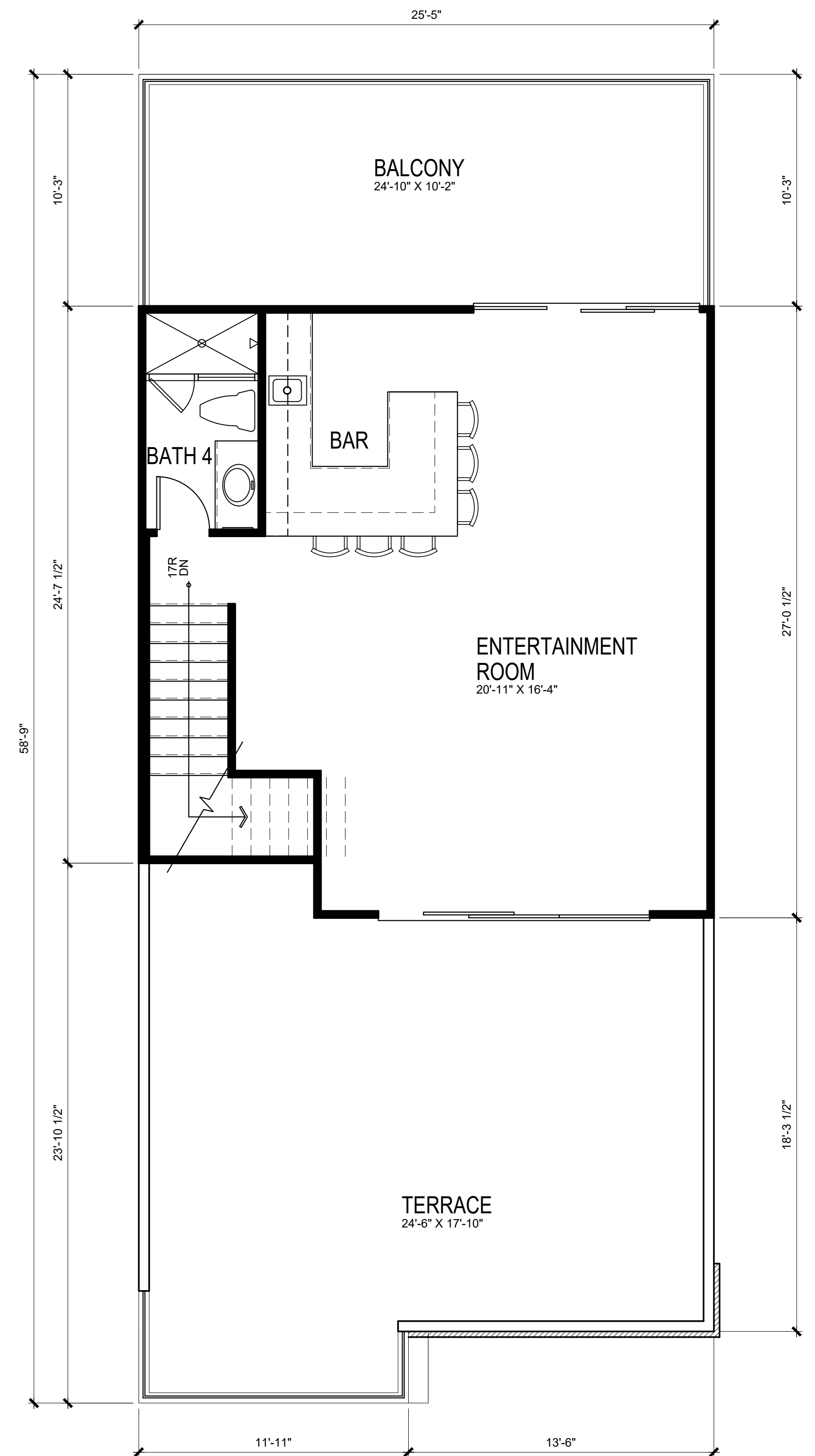
792 S.F.

2,651 S.F.



SECOND FLOOR PLAN

1250 S.F.



THIRD FLOOR PLAN

609 S.F.

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 5A



SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

5.1



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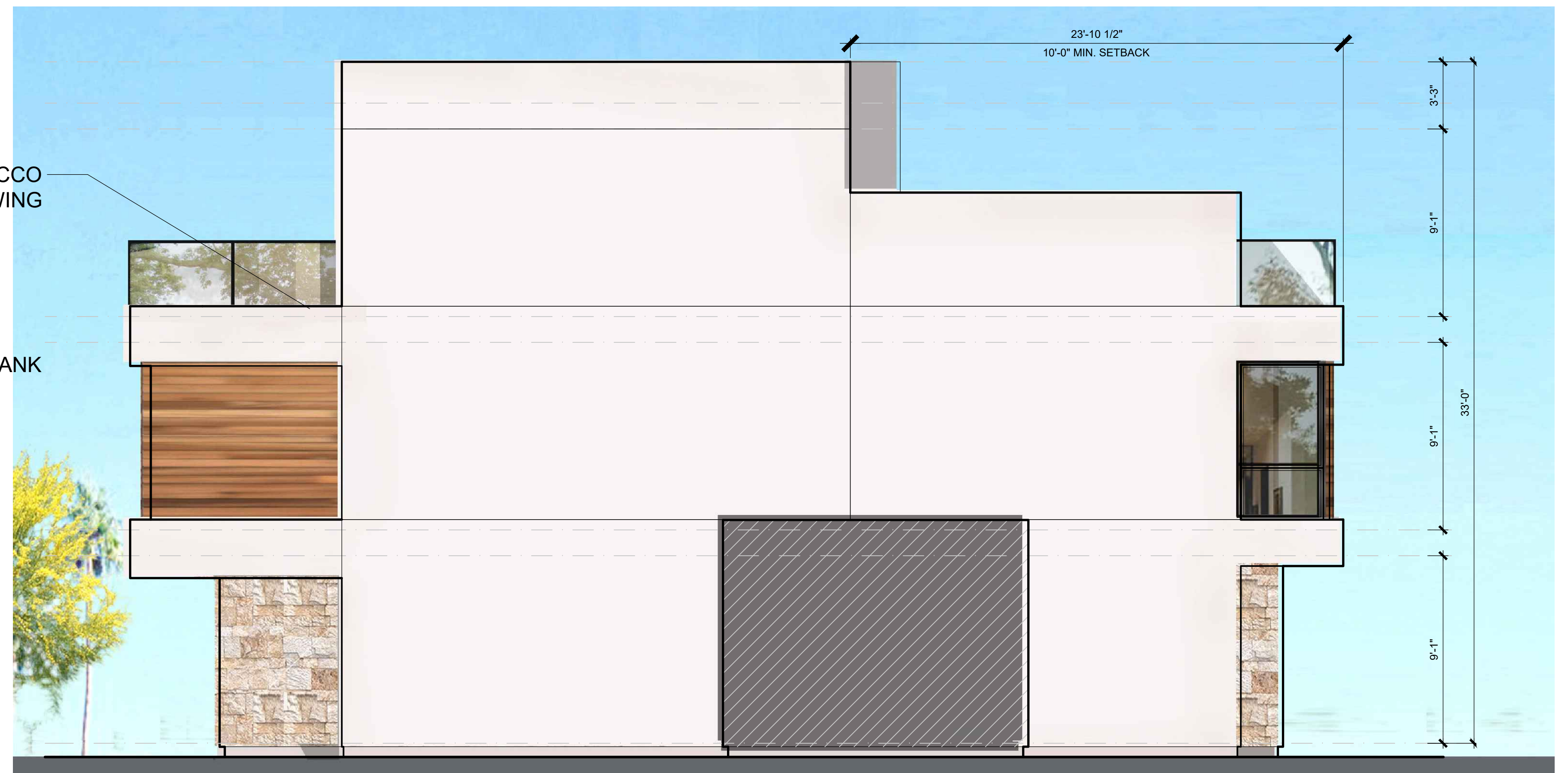
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



FRONT ELEVATION

PRIMARY STUCCO
DEW329 WAX WING

LUMABUILT
6-INCH V GROOVE PLANK
IN TABLE WALNUT



LEFT ELEVATION



REAR ELEVATION

CREATIVE MINES
CRAFT ORCHARD
LIMESTONE IN
TIMBERWOLF



RIGHT ELEVATION

PLAN 5A ELEVATIONS



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

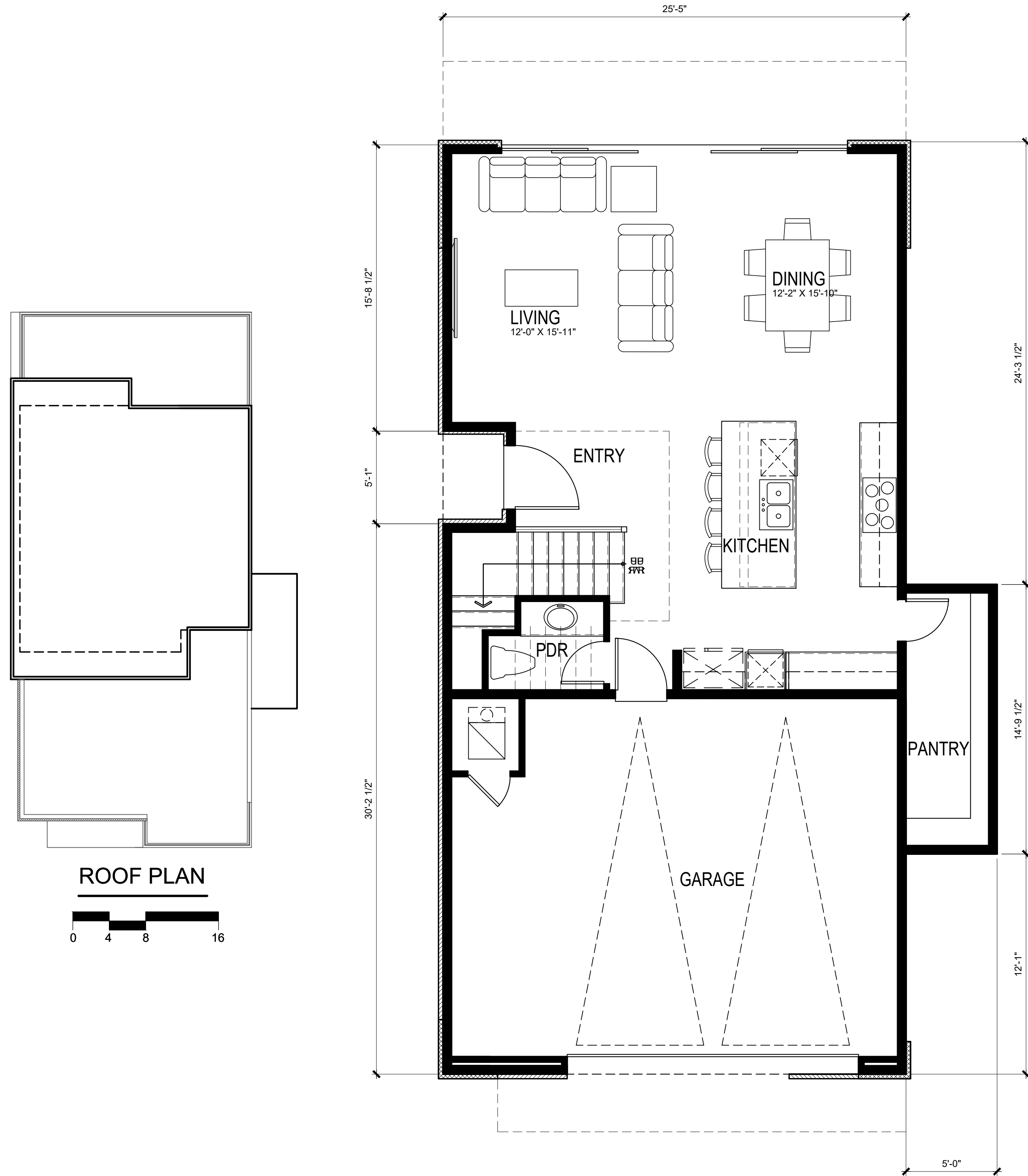
Preliminary

5.2

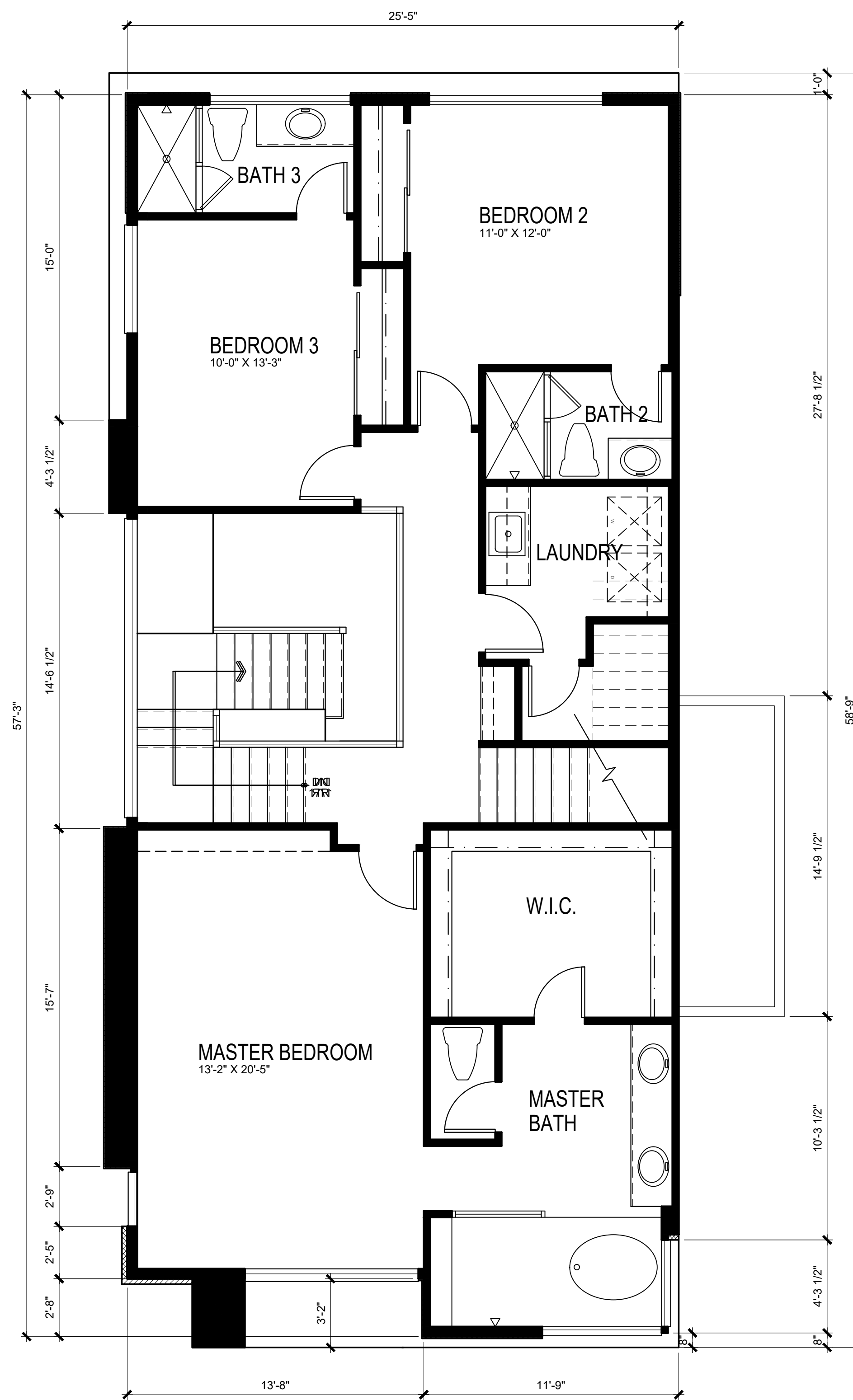


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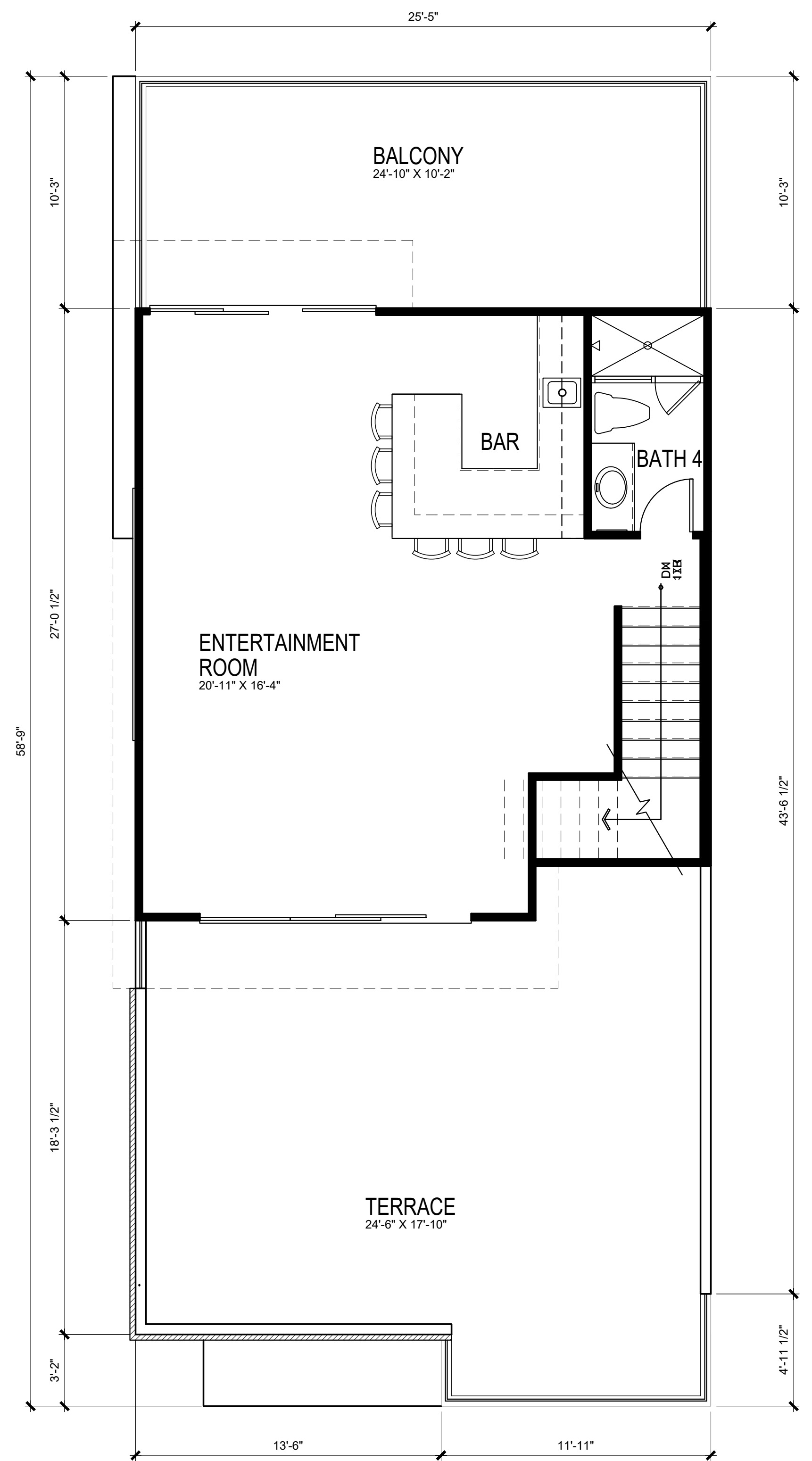
949.261.2070
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
PROJECT # 22017 September 9, 2025



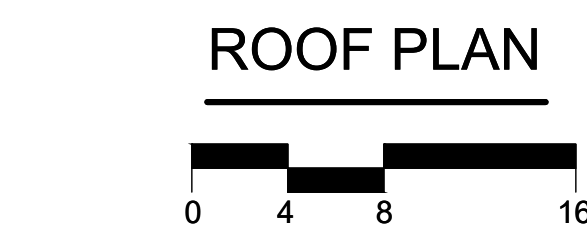
FIRST FLOOR PLAN 828 S.F.
(EACH UNIT TOTAL) 2,687 S.F.



SECOND FLOOR PLAN 1250 S.F.



THIRD FLOOR PLAN 609 S.F.



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HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

PLAN 5E

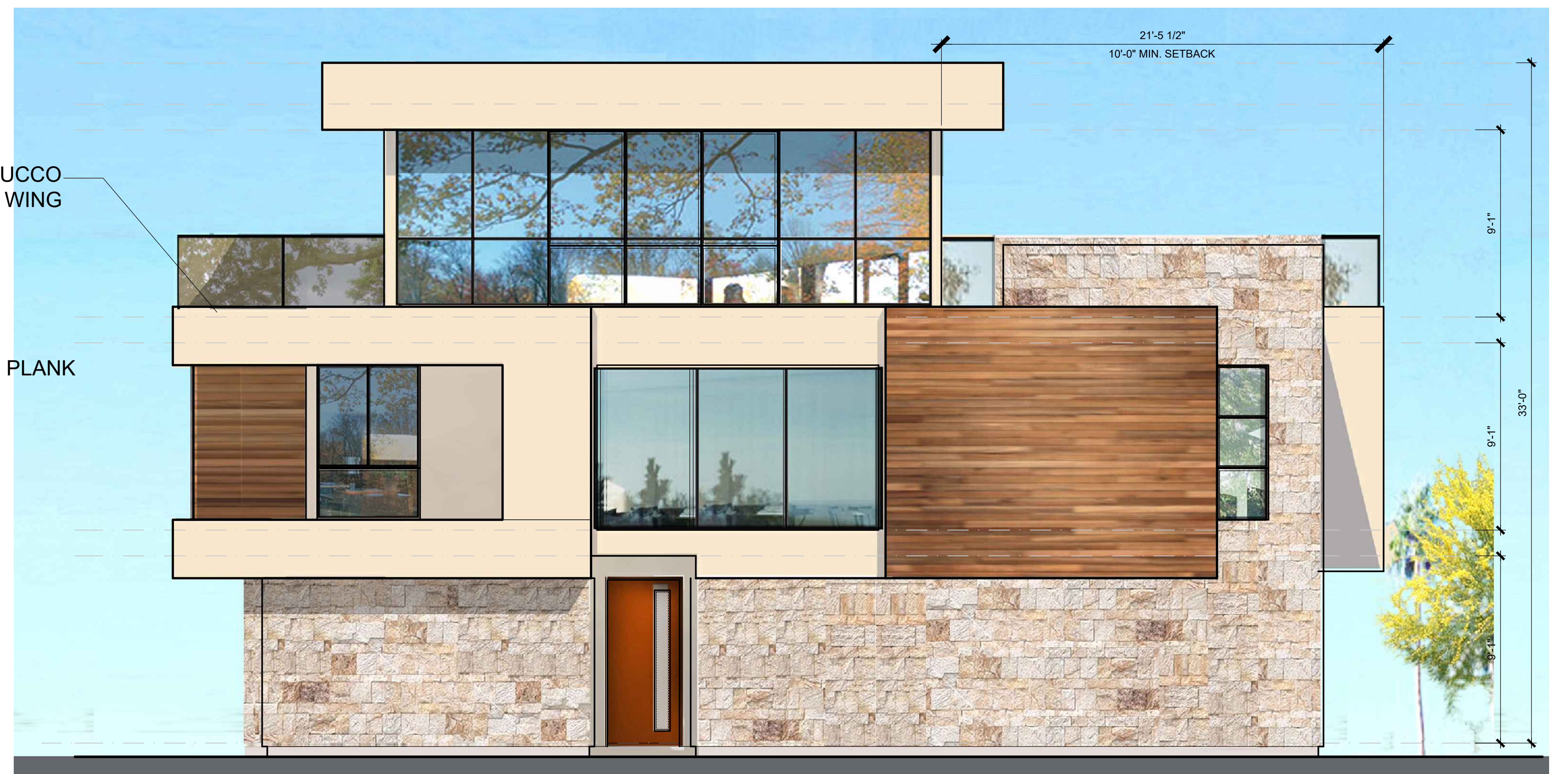


SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

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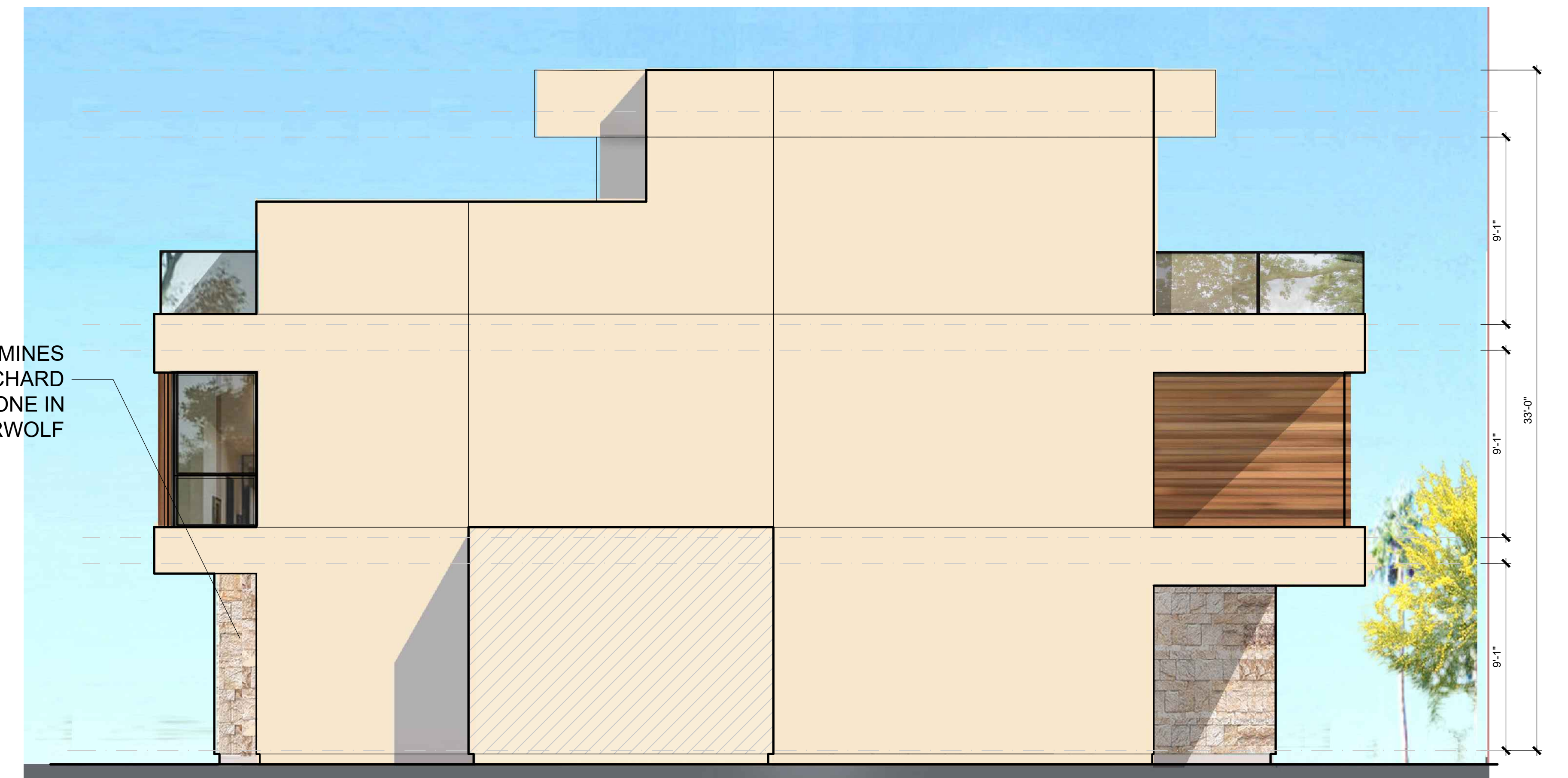
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

PLAN 5 ENH ELEVATIONS



HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

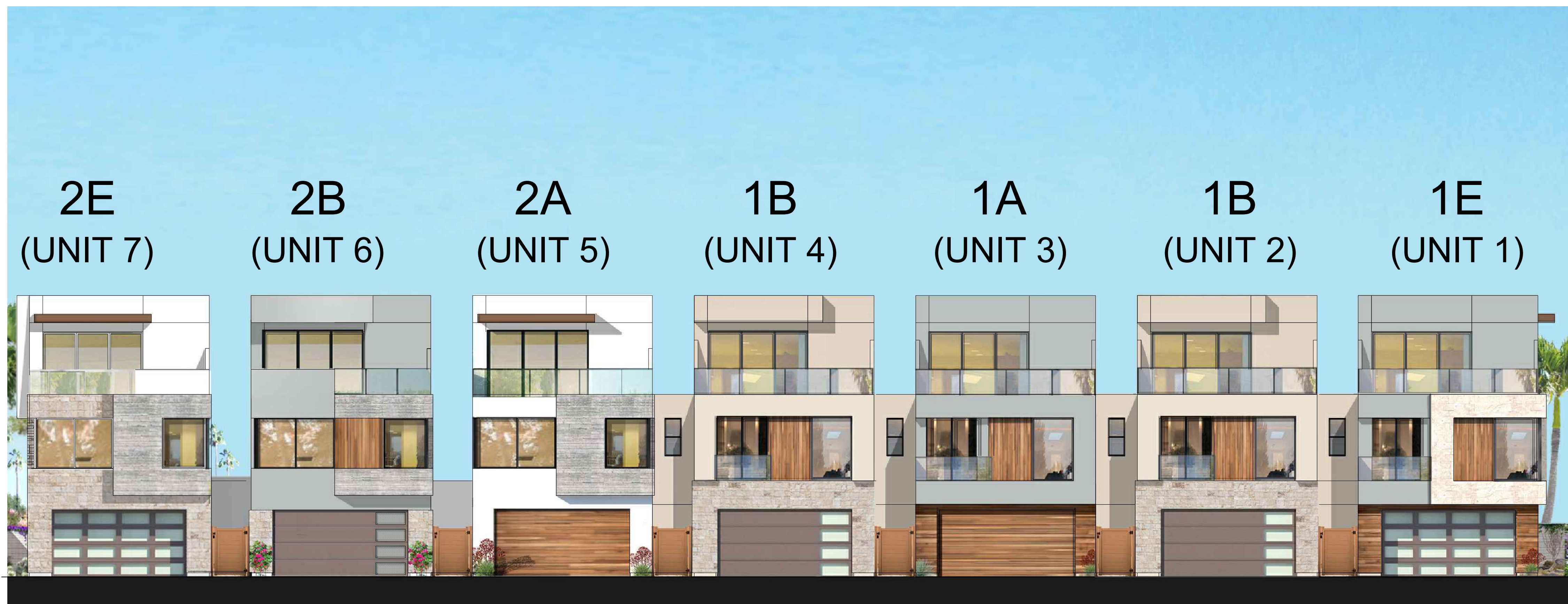
SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

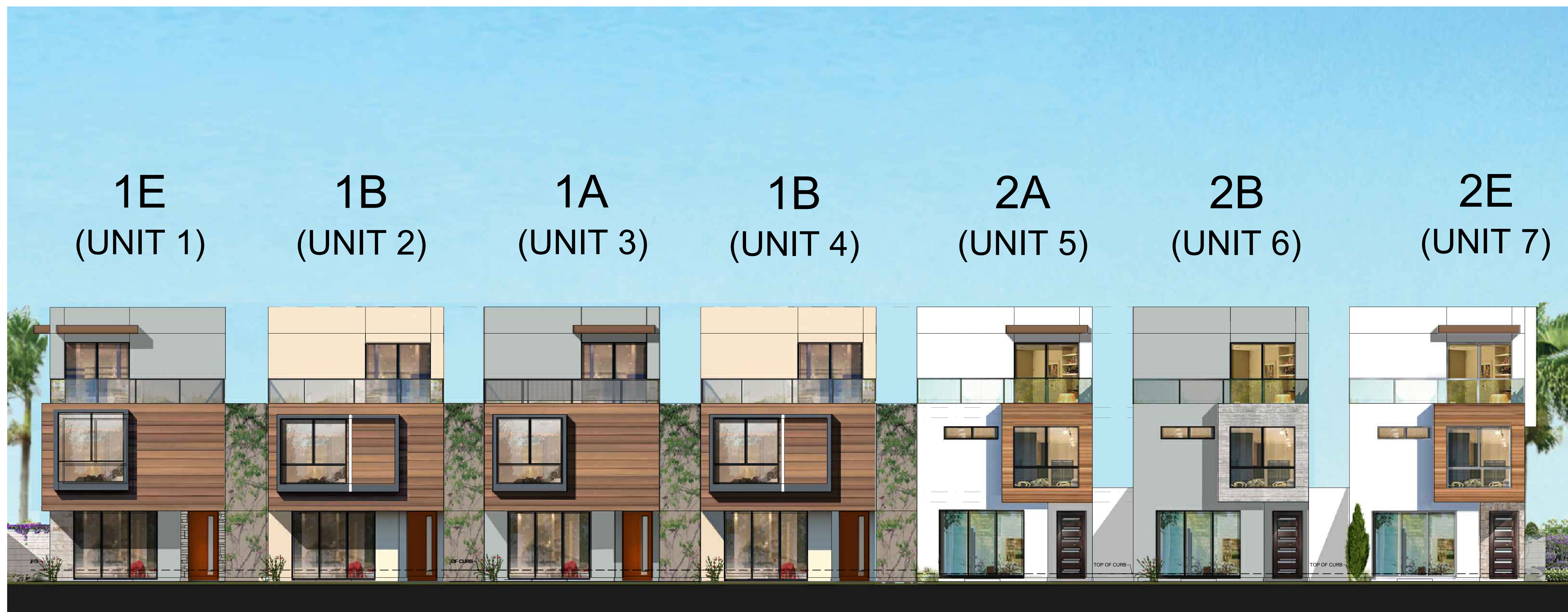


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GARAGE STREET ELEVATION



PASEO ELEVATION

PLAN 1&2 STREET VIEW ELEVATIONS

HARBOUR COVE

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ALLEY ELEVATION



PASEO ELEVATION

PLAN 3 STREET VIEW ELEAVATIONS

HARBOUR COVE



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GARAGE STREET ELEVATION



REAR ELEVATION

PLAN 4 STREET VIEW ELEVATIONS

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA



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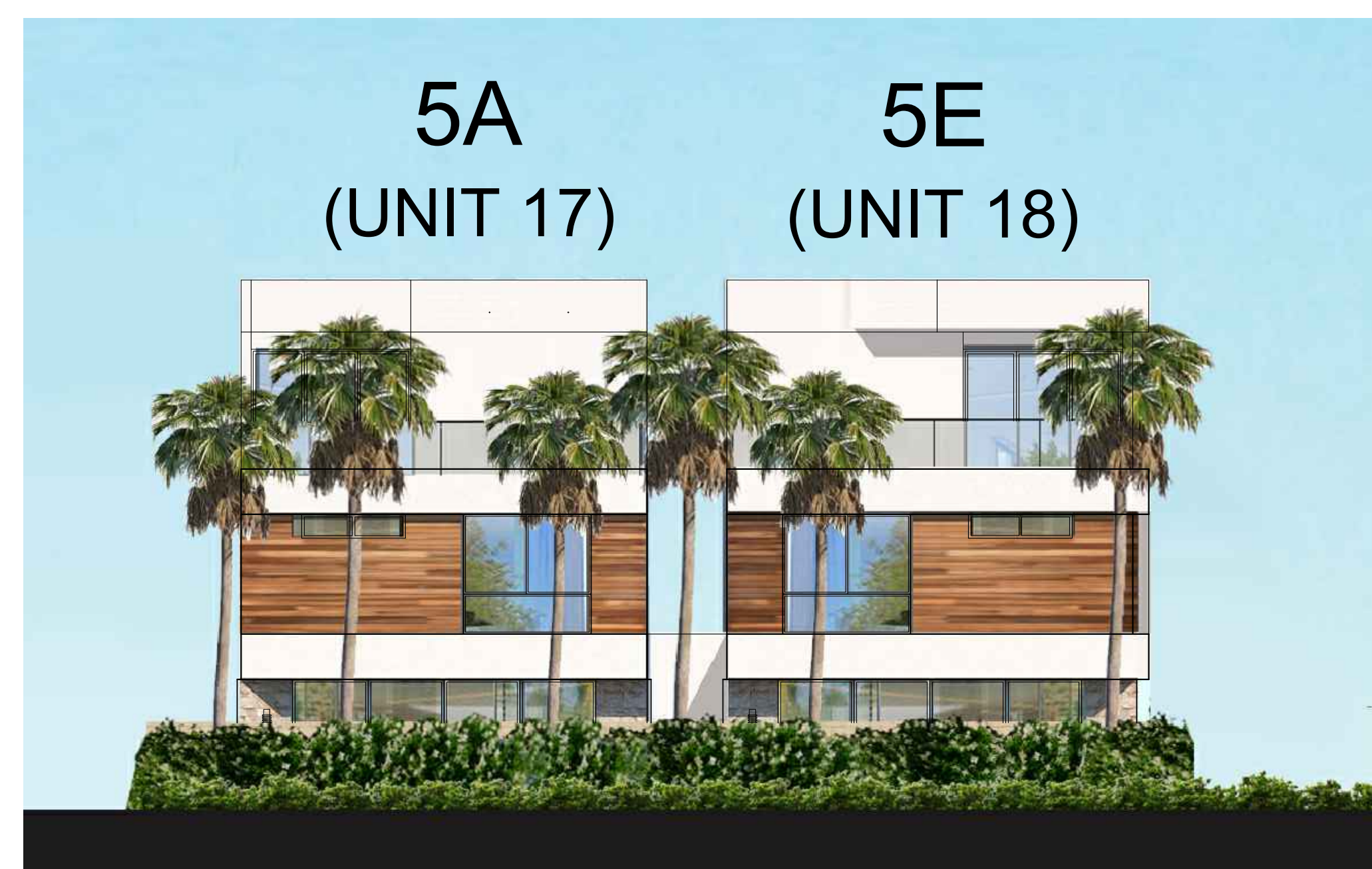
20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT # 22017 September 9, 2025

SAS DEVELOPMENT
21190 BEACH BLVD
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Preliminary



GARAGE STREET ELEVATION



PEARCE STREET ELEVATION

PLAN 5 STREET VIEW ELEVATIONS



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PROJECT # 22017 949.261.2070
September 9, 2025

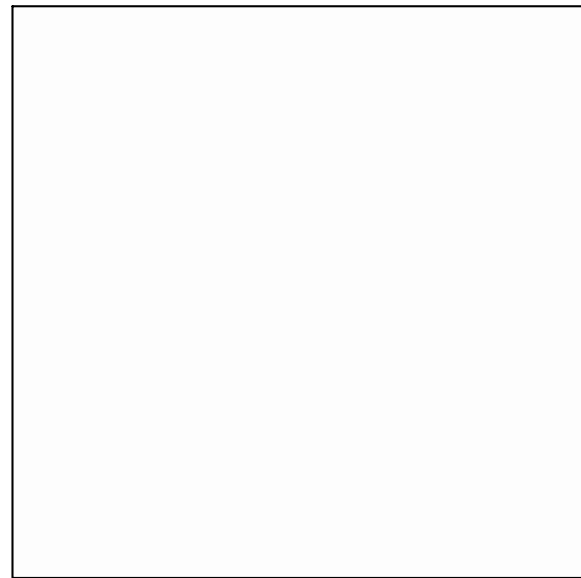
HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

SAS DEVELOPMENT
21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

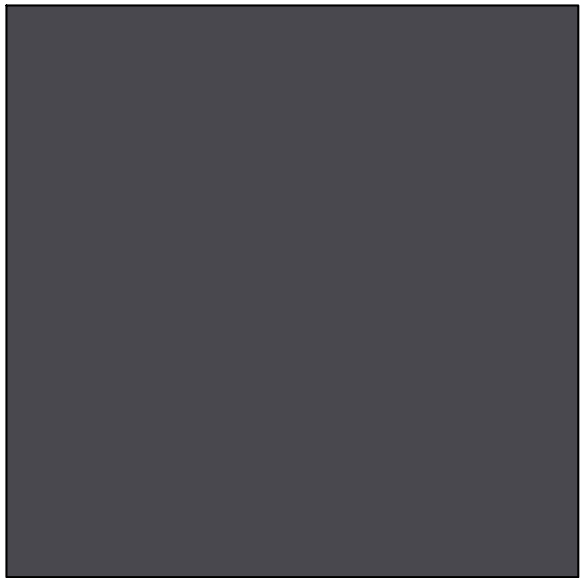
Preliminary

COLOR AND MATERIAL SELECTIONS



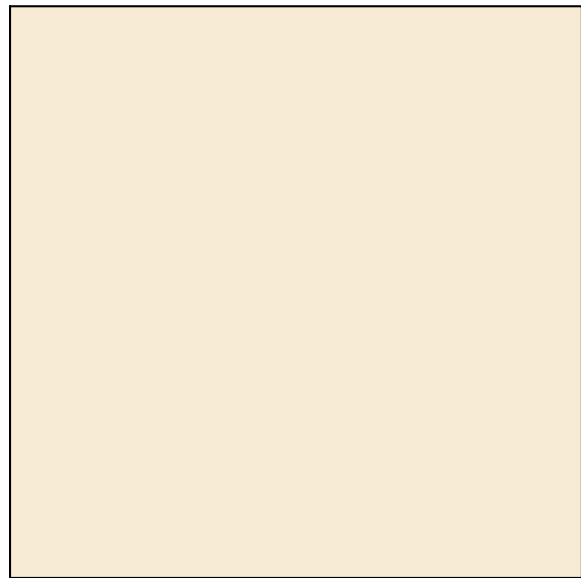
STUCCO :
DUNN EDWARDS
DEW 379 IGLOO

PLAN 2A
PLAN 2ENH
PLAN 3A
PLAN 3C
PLAN 4B (UNIT 13)
PLAN 4A



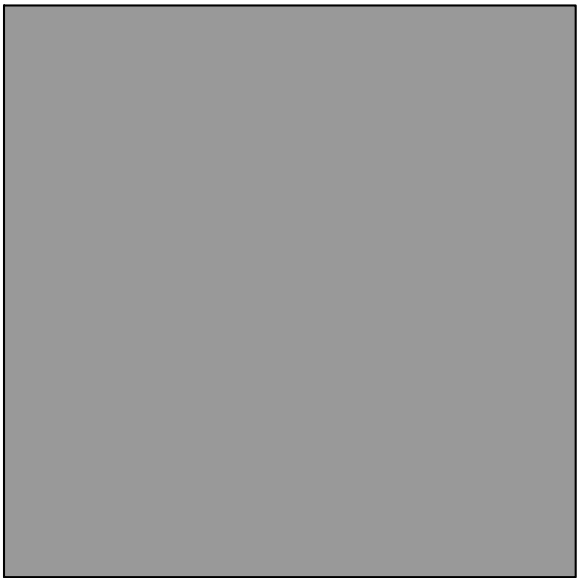
STUCCO (ACCENT COLOR):
DUNN EDWARDS
DEA 188 BLACK BAY

PLAN 1A
PLAN 1B
PLAN 1ENH
PLAN 4



STUCCO :
DUNN EDWARDS
DEW 329 WAX WING

PLAN 1B
PLAN 3ENH
PLAN 4B (UNIT 15)
PLAN 5ENH



STUCCO :
DUNN EDWARDS
DE 6368 WALRUS

PLAN 1A
PLAN 1ENH
PLAN 2B
PLAN 3B
PLAN 4A
PLAN 4ENH



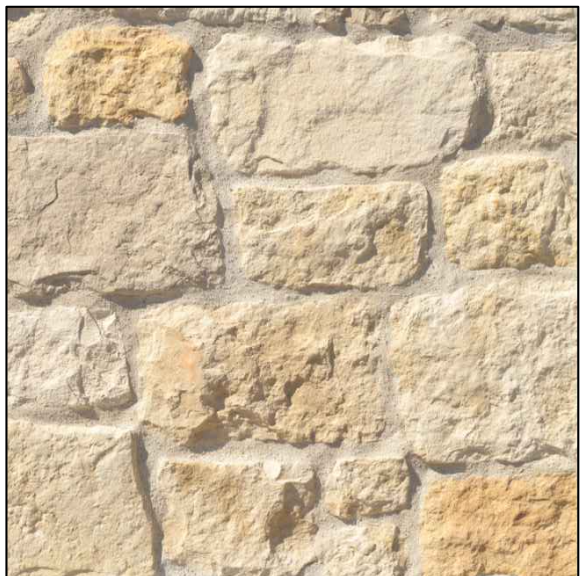
WOOD:
LUMABUILT
6-INCH V GROOVE PLANK
IN MEDIUM CHERRY

PLAN 1A
PLAN 1B
PLAN 1ENH
PLAN 2A
PLAN 2B
PLAN 2ENH
PLAN 3A
PLAN 3B
PLAN 3C
PLAN 3ENH



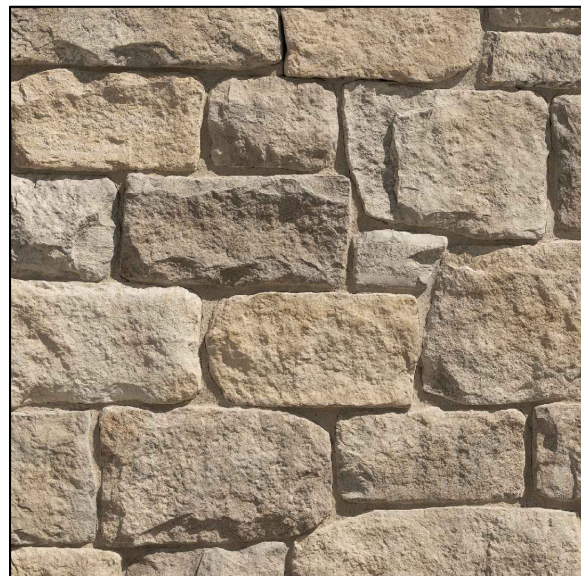
WOOD:
LUMABUILT
6-INCH V GRROVE PLANK
IN TABLE WALNUT

PLAN 4A
PLAN 4B
PLAN 4ENH
PLAN 5A
PLAN 5ENH



STONE:
CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN WHITEGOLD

PLAN 1ENH
PLAN 1B
PLAN 2B
PLAN 2ENH
PLAN 3A
PLAN 3C
PLAN 3ENH



STONE:
CREATIVE MINES
CRAFT ORCHARD LIMESTONE
IN TIMBERWOLF

PLAN 4B
PLAN 4ENH
PLAN 5A
PLAN 5ENH



STONE:
CREATIVE MINES
CRAFT BOARD FORM
IN GRAYSCALE

PLAN 2A
PLAN 2B
PLAN 2ENH
PLAN 3B
PLAN 4A

HARBOUR COVE

4861 PEARCE DRIVE, HUNTINGTON BEACH, CA

HARBOUR COVE COMMUNITIES RESERVES THE RIGHT TO CHANGE SPECIFICATIONS OR MATERIALS WITHOUT NOTICE.



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PROJECT # 22017
949.261.2070
September 9, 2025

SAS DEVELOPMENT

21190 BEACH BLVD
HUNTINGTON BEACH, CA 92648

Preliminary

Conceptual Design Plans:

Harbour Cove

Tenative Tract #16295
Huntington Beach, CA

SAS Development
21190 Beach Blvd
Huntington Beach, CA 92648
Contact: Brian Sassounian Tel: (714) 374-5678

CONSULTANT TEAM

LANDSCAPE ARCHITECTURE
FORMA
3050 Fullman Street
COSTA MESA, CA 92626
TEL: 714.673.6200 FAX: 714.673.6299
CONTACT: CAROL MACFARLANE / NATALIE BENNETT THOMAS

ARCHITECT (CLIENT CONSULTANT)
HANNOUCHE ARCHITECTS
20750 SW Acacia Street #45
NEUFORT BEACH, CA 92660
TEL: 949.261.2010
CONTACT: WUN SZE LI

CIVIL ENGINEER (CLIENT CONSULTANT)
JONES CAHL & ASSOCIATES INC.
18090 BEACH BLVD., SUITE #2
HUNTINGTON BEACH, CA 92648
TEL: 714.848.0506
CONTACT: DAN RUBIO

NOTES

VICINITY MAP



ABBREVIATIONS

AC.	ASPHALTIC CONCRETE	EA.	EACH	M	MULTI-TRUNKED	T.	TURF
A/C	AIR CONDITIONING	E.J.	EXPANSION JOINT	MAX.	MAXIMUM	T.C.	TOP OF CURB
ALIGN	ALIGN	ELEV.	ELEVATION	MIN.	MINIMUM	T.F.	TOP OF FENCE
ARCH.	ARCHITECT(URAL)	ESP.	ESPA LIER	MED.	MEDIUM	T.O.F.	TOP OF FOOTING
AUTO.	AUTOMATIC	EQ.	EQUAL	MFR.	MANUFACTURER	T.G.	TOP OF GRATE
		EXIST.	EXISTING	MISC.	MISCELLANEOUS	THK.	THICK(NESS)
		EXT.	EXTERIOR			T.P.	TOP OF FILASTER
BLDG.	BUILDING			NAT.	NATURAL	T.S.	TOP OF STEP
BLK.	BLOCK	FF.	FINISH FLOOR	NO.	NUMBER	T.W.	TOP OF WALL
B.O.C.	BACK OF CURB	FG.	FINISH GRADE	N.I.C.	NOT IN CONTRACT	TYP.	TYPICAL
B.S.	BOTTOM OF STEP	FIN.	FINISH (ED)	N.T.S.	NOT TO SCALE		
B.W.	BOTTOM OF WALL	F.J.	FOUNTAIN JET			W/	WITH
		FL.	FLOW LINE	O.C.	ON CENTER	W/O	WITHOUT
C.B.	CATCH BASIN	F.O.C.	FACE OF CURB	O.D.	OUTSIDE DIAMETER	WD.	WOOD
C.I.	CAST IRON	F.O.W.	FACE OF WALL	P.A.	PLANTING AREA	WI.	WROUGHT IRON
C.J.	COLD JOINT	F.S.	FINISH SURFACE	P.E.	PAD ELEVATION	W.W.M.	WELDED WIRE MESH
CL.	CENTERLINE	FT.	FOOT OR FEET	P.L.	PROPERTY LINE	W.S.	WATER SURFACE
CLR.	CLEAR	FTG.	FOOTING	P.O.T.	POINT OF TANGENCY		
COL.	COLUMN			PR	PAIR		
CONC.	CONCRETE	GA.	GAUGE	PRFAB.	PREFABRICATED		
CONT.	CONTINUOUS	GAL.	GALLON				
		GALV.	GALVANIZED	R/RAD.	RADIUS		
d	PENNY (NAIL SIZE)	G.C.	GROUND COVER	REF.	REFERENCE		
DBL.	DOUBLE	G.F.F.	GARAGE FINISH FLOOR	REV.	REVISION		
D.D.	DECK DRAIN	GR.	GRADE	RWD.	REDWOOD		
DET.	DETAIL						
DIA.	DIAMETER	HORIZ.	HORIZONTAL	SHT.	SHEET		
DIAG.	DIAGONAL	H.P.	HIGH POINT	SIM.	SIMILAR		
DIM.	DIRECTION OF FLOW	HT.	HEIGHT	SPEC.	SPECIFICATION		
D.F.	DOUGLAS FIR			S.L.	SCORE LINE		
D.L.	DRAIN LINE	ID.	INSIDE DIAMETER	SQ.	SQUARE		
DN	DOWN	INV.	INVERT	STD.	STANDARD		
D.S.	DOWN SPOUT	INT.	INTERIOR				
DWG.	DRAWING	L.A.	LANDSCAPE ARCHITECT				

SHEET INDEX

SHEET NUMBER	DESCRIPTION	SHEET REFERENCE
1 OF 8	COVER SHEET	CS-0
2 OF 8	SITE PLAN/ OPEN SPACE CALC'S	SP-1
3 OF 8	WALL AND FENCE PLAN	WF-1
4 OF 8	WALL AND FENCE DETAILS AND IMAGES	WF-2
5 OF 8	LIGHTING LAYOUT CONCEPT PLAN	LT-1
6 OF 8	PLANTING PLAN - TREES	LP-1
7 OF 8	PLANTING PLAN - SHRUBS	LP-2
8 OF 8	ELEVATIONS	E-1

SUBMITTALS

DATE	DESCRIPTION
12/18/2018	CITY SUBMITTAL
9/4/2019	CITY SUBMITTAL
9/23/2022	CITY SUBMITTAL
7/22/2024	CITY SUBMITTAL
10/24/2024	CITY SUBMITTAL
8/27/2025	CITY SUBMITTAL

Client:
SAS Development
21190 Beach Blvd.
Huntington Beach, CA 92648

Project:
Harbour Cove
Huntington Beach, CA

Revisions:

Sheet Info:

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Checked By: CSM
Scale: N/A
Date: Aug. 27, 2025
Job No.: 1947.002

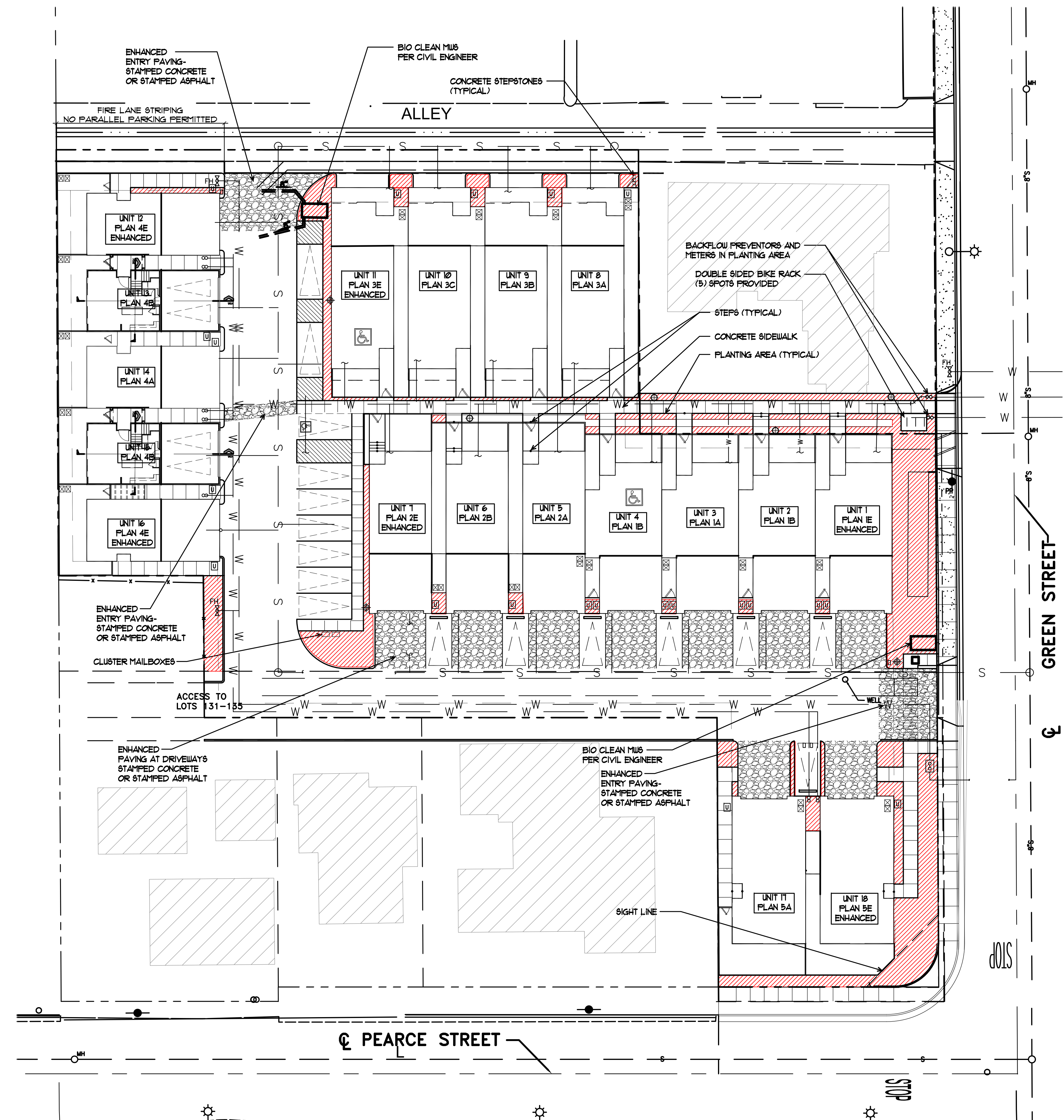
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Cover Sheet

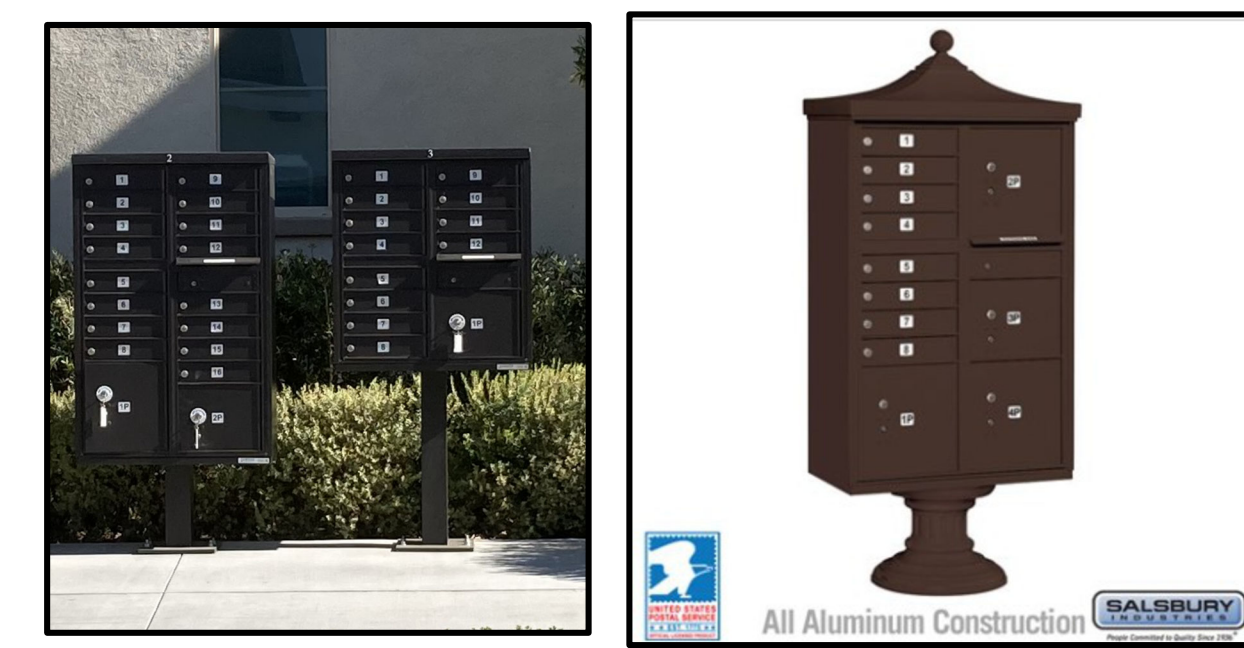
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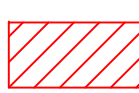
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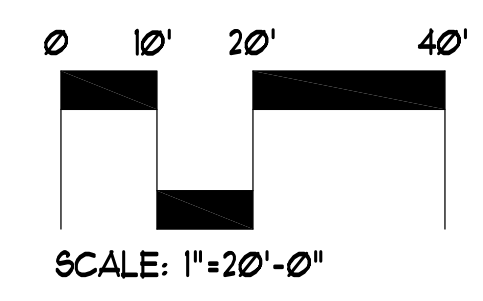


MAILBOX CLUSTER EXAMPLES



LANDSCAPE/OPEN SPACE
AREA CALCULATIONS

LANDSCAPE SUMMARY	
Total Lot Size:	53,911 SF.
Total Landscape Area:	4,813 SF. 
Turf Area:	0 SF.
Shrub Area:	4,741 SF. = 8.9% of Site (Exceeds 8% Min. City Requirement)



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Huntington Beach, CA

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Job No.: 1947.002

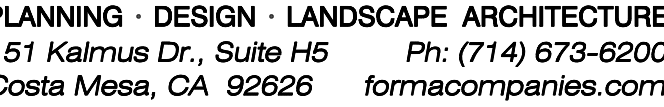
Sheet Title:

Site Plan
Open Space Calcs.

Sheet Reference:

SP-1

Sheet: 2 of 8



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51 Kalmus Dr., Suite H5 Ph: (714) 673-6200
Costa Mesa, CA 92626 formacompanies.com

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**Harbour
Cove**
Huntington Beach, CA

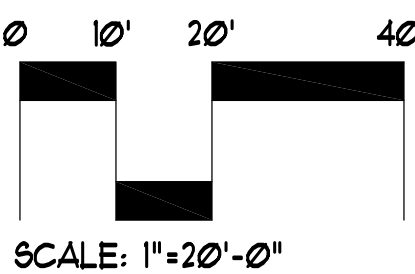
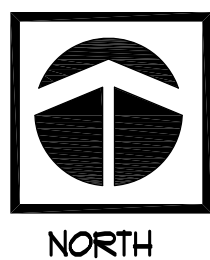
WF-1

Sheet: **3** of **8**



<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>ELEVATION</u>
	6' High Privacy Block Wall	See Elevation 'A', Sheet WF-2
	6'-6" High Pilaster with Cap	See Elevation 'B', Sheet WF-2
	5'-6" High Metal Privacy Fence and Gate	See Elevation 'C', Sheet WF-2
	43" High Low Metal Fence and Gate	See Image Example 'D', Sheet WF-2

Note: See Sheet WF-2 for Wall and Fence Elevations and Concept Images



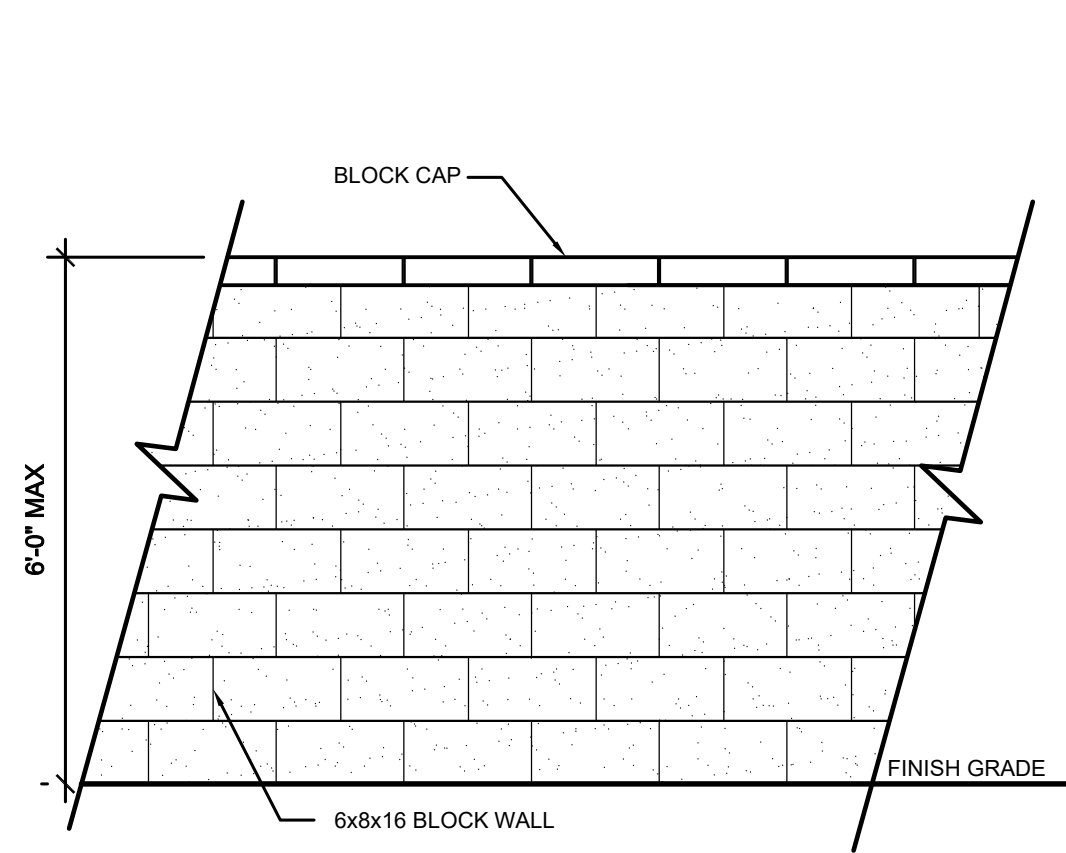
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Disclaimers for Construction Drawings

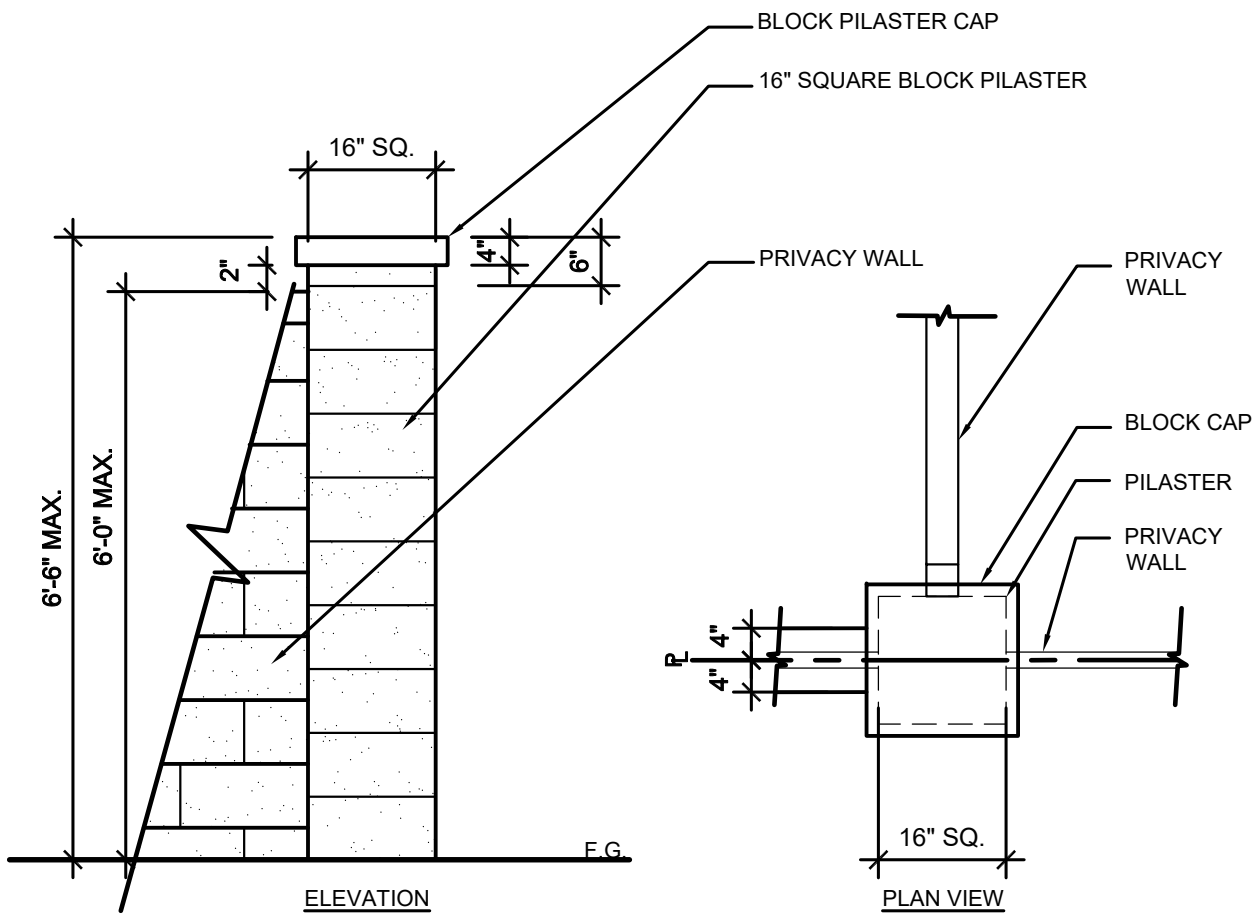
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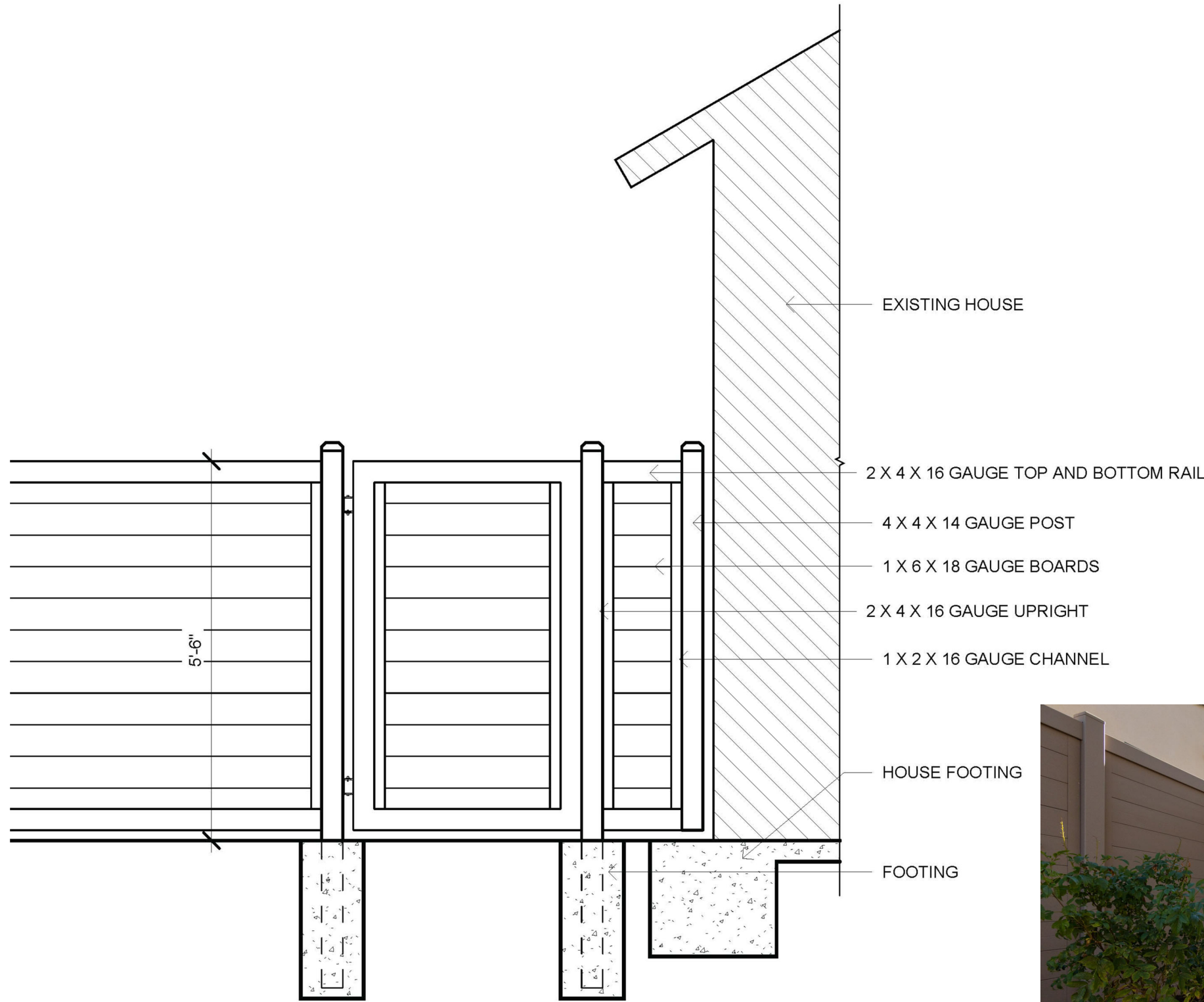
PRIVACY BLOCK WALL EXAMPLE AND PROPOSED COLOR



A PRIVACY BLOCK WALL SCALE 1/2" = 1'-0"



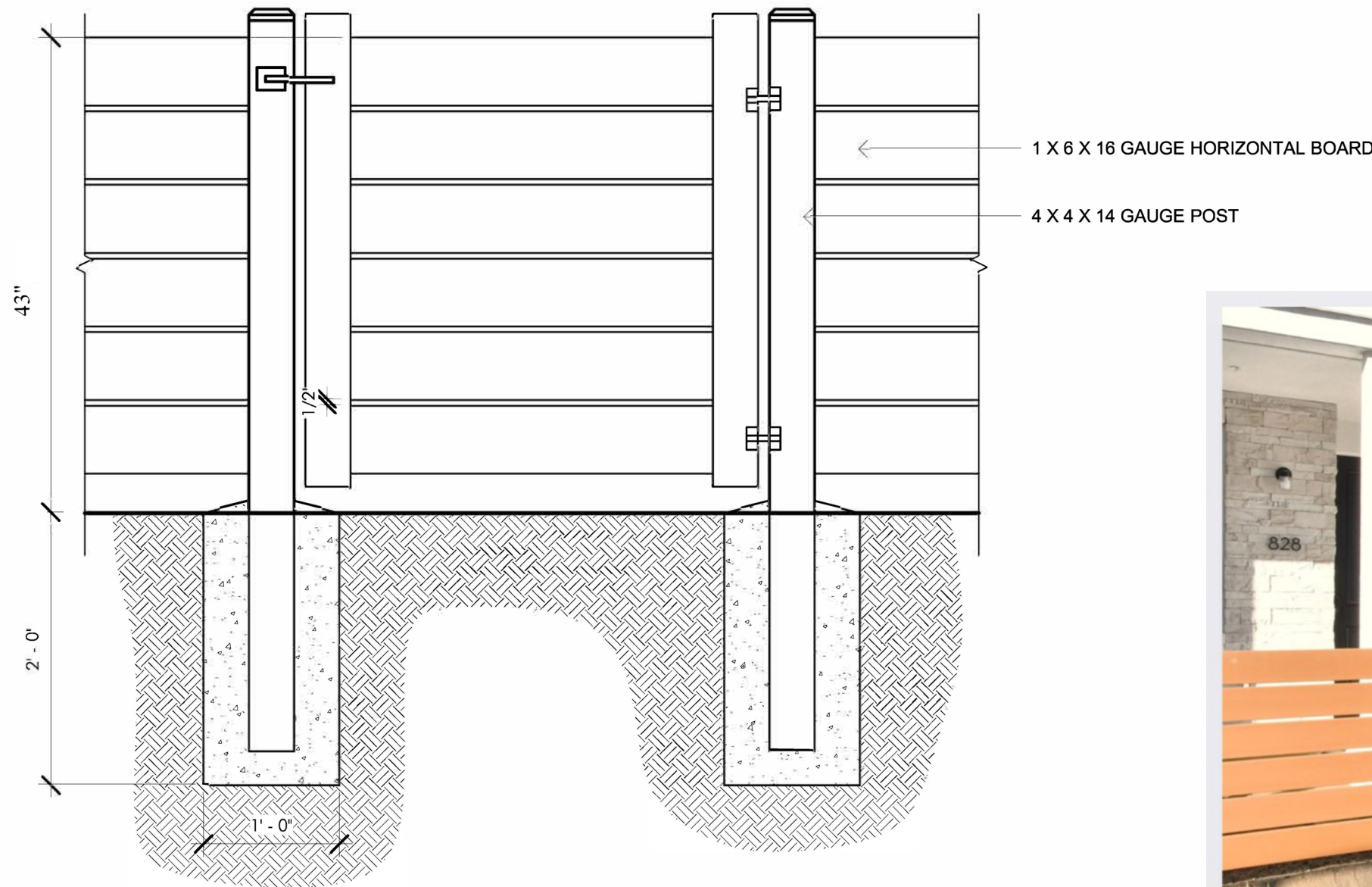
B PERIMETER PILASTER SCALE 1/2" = 1'-0"



C METAL PRIVACY FENCE AND GATE



METAL PRIVACY FENCE AN GATE EXAMPLE COLOR TO MATCH PROPOSED PATIO FENCE COLOR BELOW



D LOW METAL FENCE AND GATE



LOW PATIO METAL FENCE AND GATE EXAMPLE AND PROPOSED COLOR

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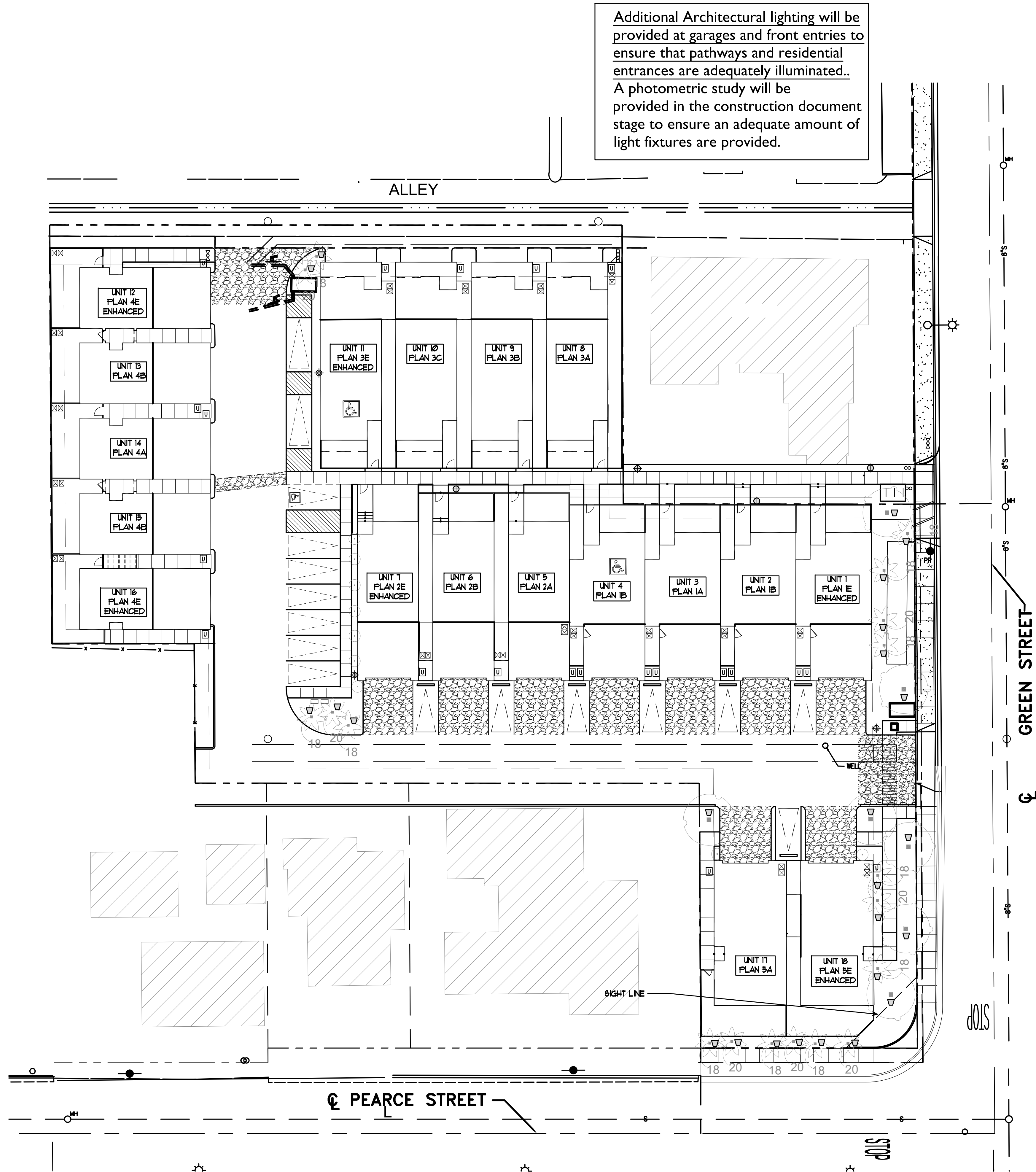
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**Wall and Fence
Details and Images**

Sheet Reference:

WF-2

Sheet: **4** of **8**



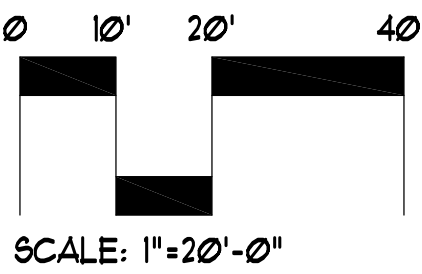
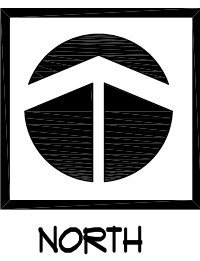
STREET LIGHT 
Huntington Beach Standard Street
Light- SCE Nostalgic Fixture
Light locations are provided for reference
only. A photometric study will be
provided in the construction document
stage to ensure an adequate amount of
light fixtures are provided.



TREE UPLIGHT 



LIGHT BOLLARD 
Lighting option at walkways where
palm/tree uplights, house lighting and
street lighting are not sufficient.
Light locations are provided for reference
only. A photometric study will be
provided in the construction document
stage to ensure an adequate amount of
light fixtures are provided.



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Job No.: 1947.002

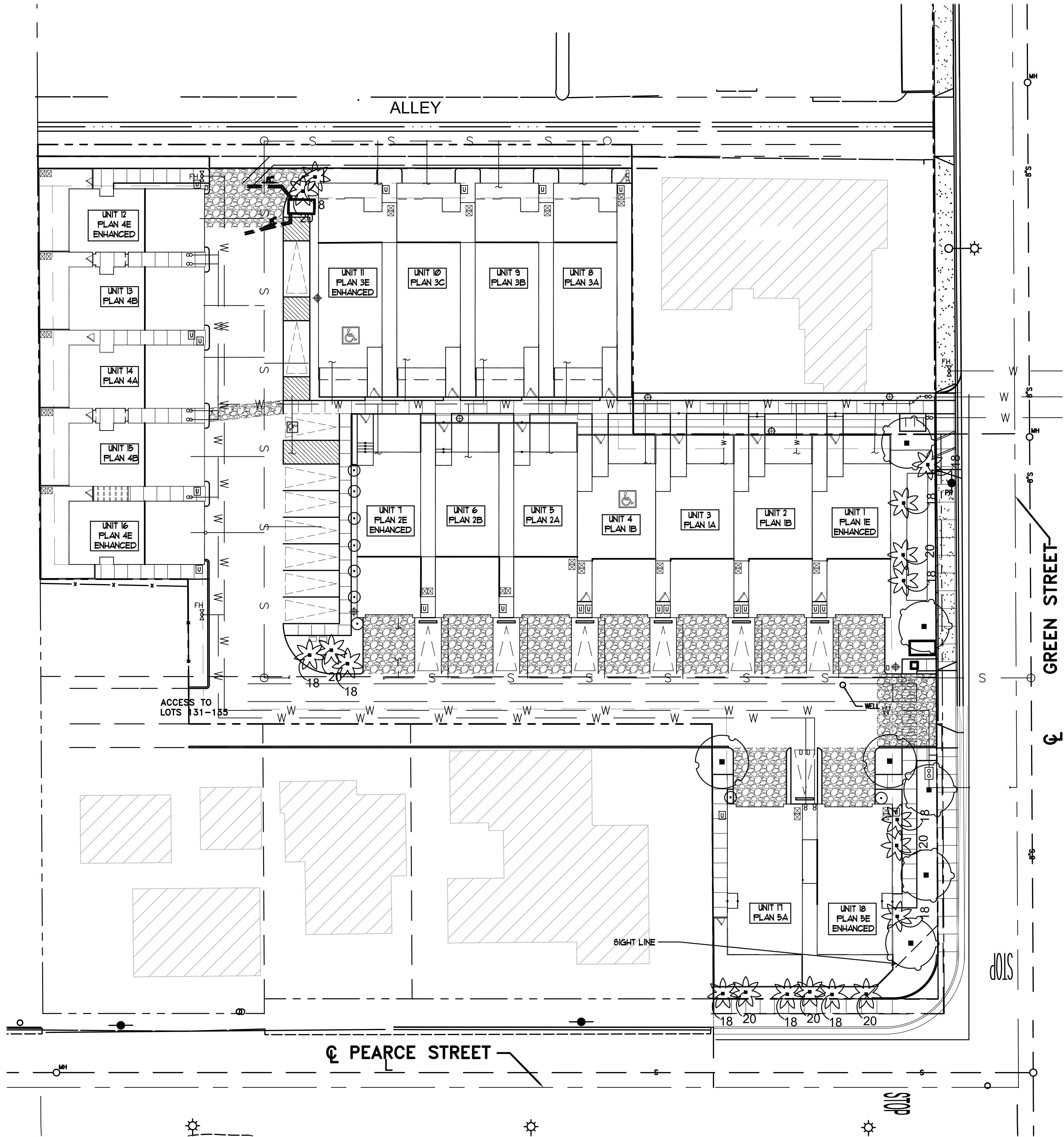
Sheet Title:

**Lighting Layout
Concept Plan**

Sheet Reference:

LT-1

Sheet: **5** of **8**



TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS RATING	QTY.
	Cupressus sempervirens 'Tiny Tower'	'Tiny Tower' Italian Cypress	15 Gallon Columnar	L	9
	Parkinsonia florida	Blue Palo Verde	36" Box Upright Multi.	VL	5
	Ulmus parvifolia 'Drake' or (Select best variety available at time of installation) The canopy of the tree will be maintained at a minimum of 6' from the ground up to maintain visibility around the garages and in the alley.	'Drake' Chinese Elm	36" Box Std.	M	2
	Washingtonia robusta	Mexican Fan Palm	18' B.T.H. 20' B.T.H. All Heights to be skinned and planted plumb	L	12 6

TREE REQUIREMENT NOTE:

PER CITY REQUIREMENTS
ONE (1) 36" BOX TREE OR 18' BTH PALM PER UNIT

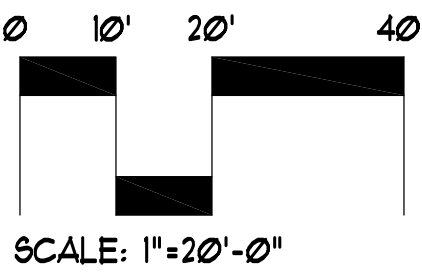
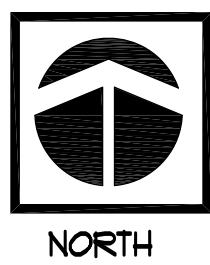
18 UNITS - 18 TREES REQUIRED

ONE (1) 36" BOX TREE OR 18' BTH PALM PER EVERY 45 LINEAL FEET OF STREET FRONTAGE

300 L.F. OF STREET FRONTAGE ALONG GREEN AND PEARCE STREET - 1 TREES REQUIRED

TOTAL REQUIRED - 25
TOTAL PROVIDED - 25
(7) 36" BOX TREES
(18) 18' BTH (MIN.) PALMS

TOTAL TREE REQUIREMENT HAS BEEN SATISFIED AND/OR EXCEEDED WITHIN THIS PACKAGE.



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Huntington Beach, CA

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Date: Aug. 27, 2025
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Sheet Title:

**Planting Plan
Trees**

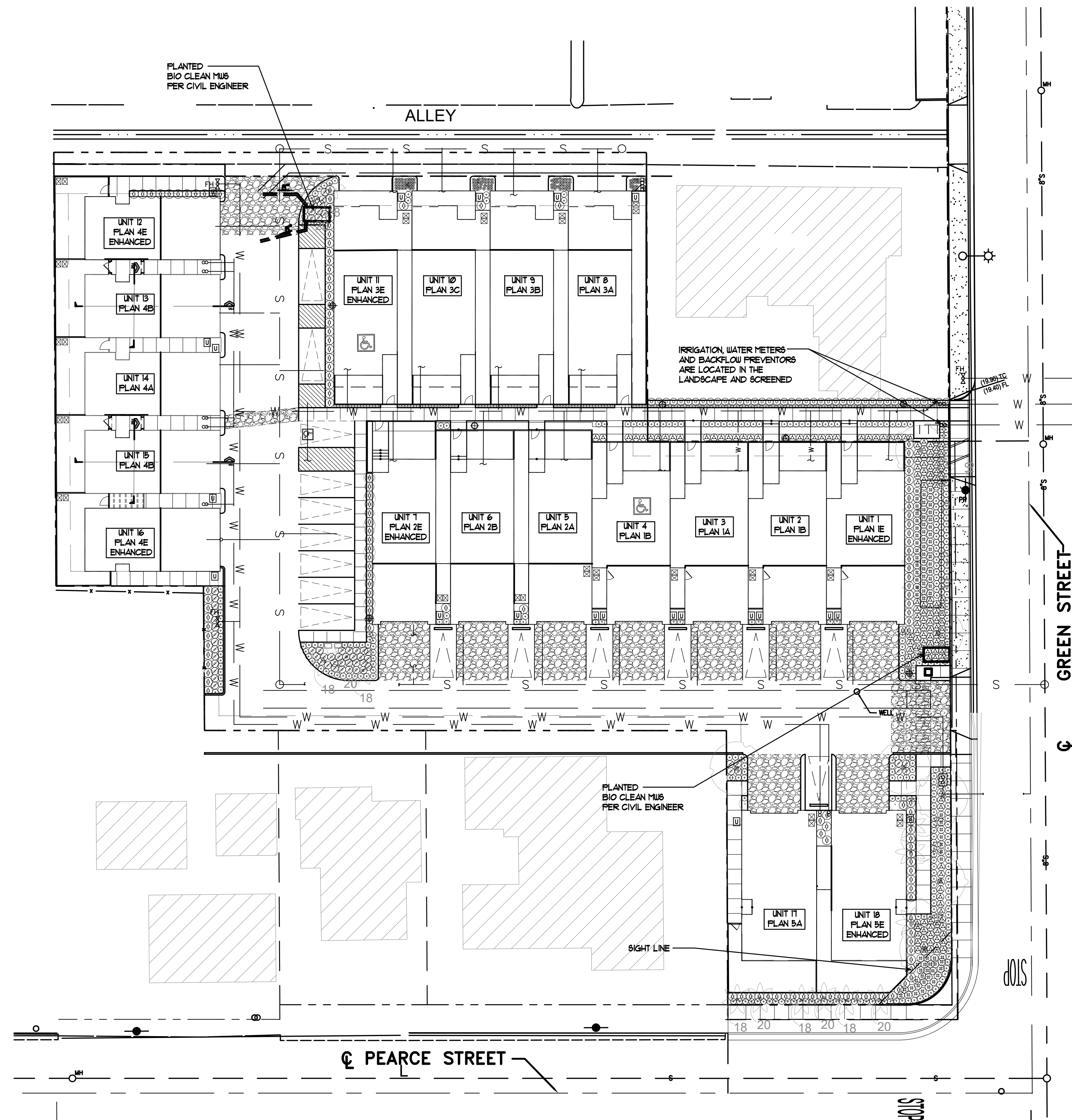
Sheet Reference:

LP-1

Sheet: **6** of **8**

SHRUB LEGEND

SYM	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS RATING	QTY.
⊕	<i>Carissa macrocarpa</i> 'Boxwood Beauty'	Boxwood Beauty Natal Plum	1 gal.	L	356
▼	<i>Dianella caerulea</i> 'Aranda'	Aranda Faroo Lily	1 gal.	M	97
○	<i>Eleaocarpus decipiens</i>	Japanese Blueberry	5-15 gal.- Full to ground, Hedge form	M	41
●	<i>Festuca glauca</i>	Blue Fescue	1 gal.	L	184
⊙	<i>Ligustrum japonicum</i> 'Texanum'	Texanum Wax-leaf Privet	5-15 gal.	M	141
⊕	<i>Muhlenbergia</i> 'Pink Flamingo'	Pink Flamingo Muhly	1-5 gal.	M	151
⊕	<i>Phormium tenax</i> 'Atropurpureum'	New Zealand Flax	5-15 gal.	L	80
⊗	<i>Salvia leucantha</i>	Mexican Bush Sage	1-5 gal.	L	60



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Job No.: 1947.002

Sheet Title:

**Planting Plan
Shrubs**

Sheet Reference:

LP-2
Sheet: **7** of **8**

