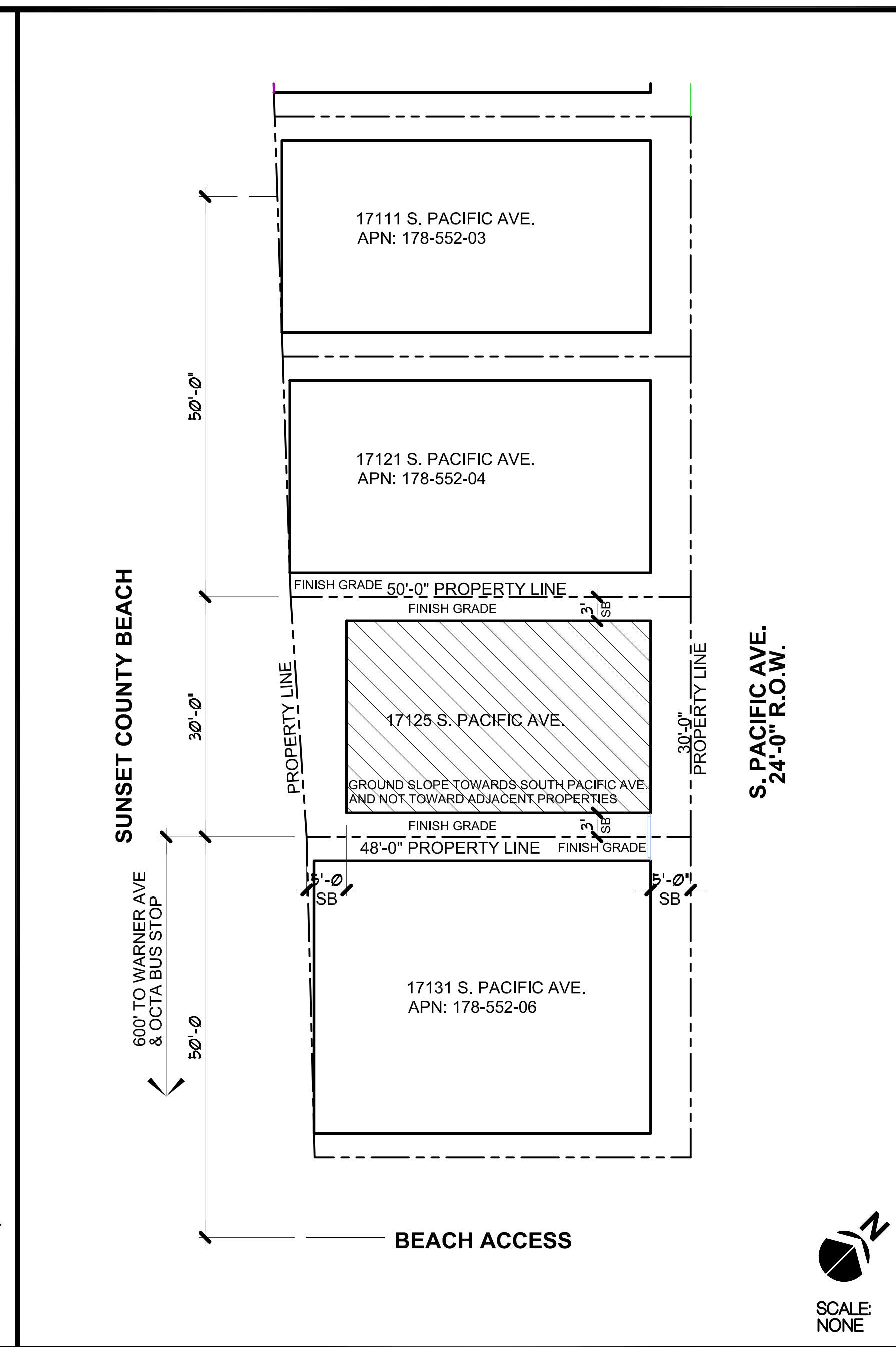


**SITE & BUILDING PLAN**

SCALE: 1/4" = 1'-0"

2

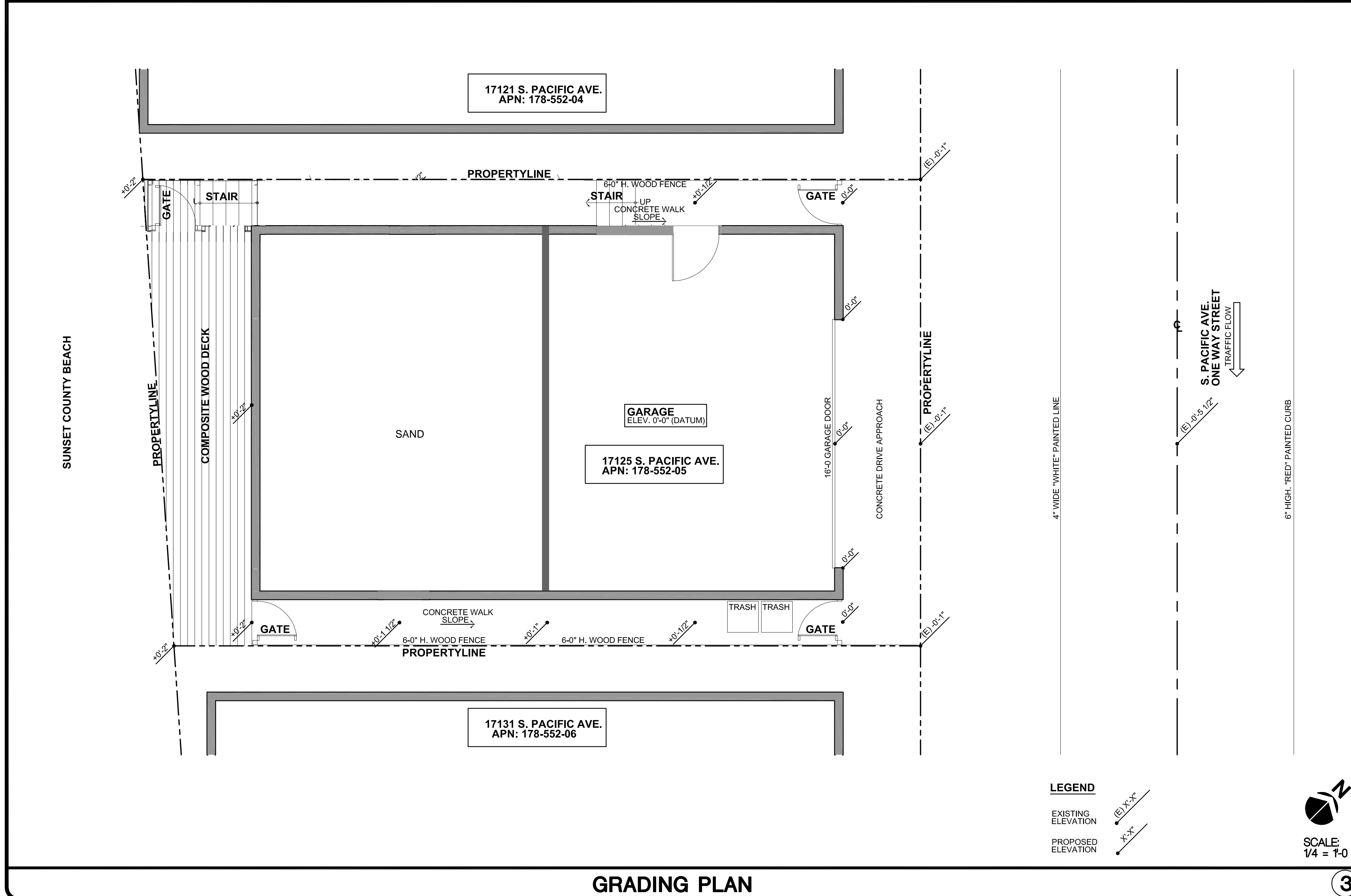


**SITE PLAN**

SCALE: NONE

1

PROJECT DATA	
ADDRESS:	17125 S. PACIFIC AVE., SUNSET BEACH CA 90742
SCOPE OF WORK:	DEMOLITION OF EXISTING 1 STORY RESIDENCE & CONSTRUCTION OF A 3 STORY RESIDENCE AND A GARAGE
LOT AREA:	1,470 SF / 0.034 AC
ASSESSORS PARCEL NO.:	178-552-05
LEGAL DECIPTION:	A-TRACT: SUNSET BEACH BLOCK: 4 LOT: 2 TR 757
FRONT SET BACK (STREET):	5'-0" (GARAGE) 6" (2ND & 3RD FLOOR)
SIDE SET BACK:	3'-0" 5 BEDROOMS 3.25 BATHS
REAR SET BACK:	5'-0" MAIN (4/2.75) ADU (1/0.75)
BUILDING AREAS:	
GARAGE	444 SF
1ST FLOOR	468 SF
2ND FLOOR	1,020 SF
3RD FLOOR	1,020 SF
TOTAL	2,508 SF
	2,952 SF WITH GARAGE
BUILDING HEIGHT:	35'-0" MAX. FROM STREET C.L.
PARKING:	
REQUIRED	2 - 9' X 18 SPACES
PROVIDED	2 - 9' X 18 SPACES
RECORDED OWNER	
APPLICANT:	CODY BOSZ
ADDRESS:	17125 S. PACIFIC AVE.
SUNSET BEACH, CA	90742
PHONE:	949-300-9881



**GRADING PLAN**

SCALE: 1/4" = 1'-0"

3

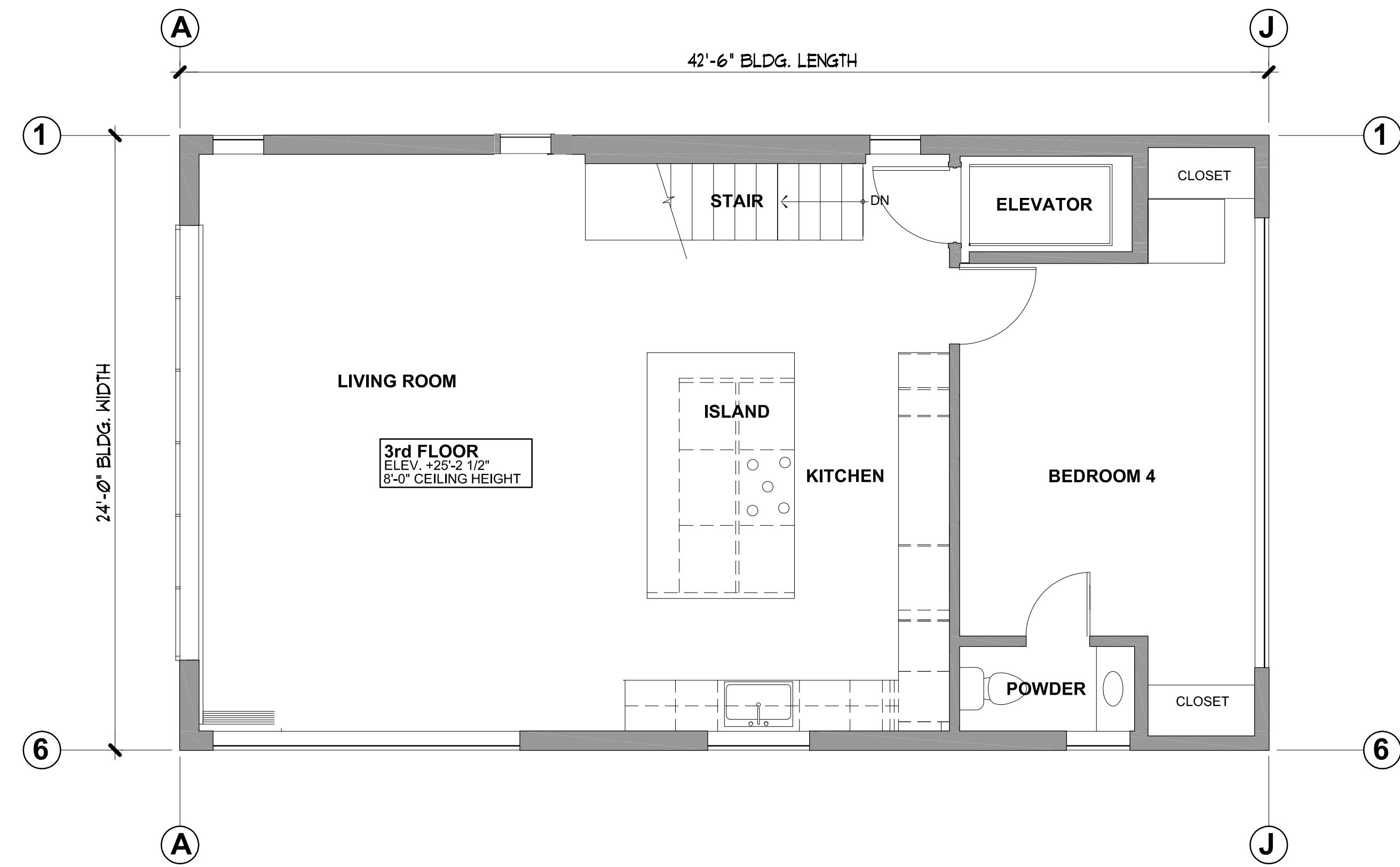
PROJECT DATA, SITE PLAN, SITE & BUILDING PLAN & GRADING PLAN

**NEW RESIDENCE**  
17125 SOUTH PACIFIC AVENUE  
SUNSET BEACH, CALIFORNIA 90742

DRAWN
CHECKED
DATE
2-28-06
SCALE
NOTED
JOB NO.

**PR**  
1

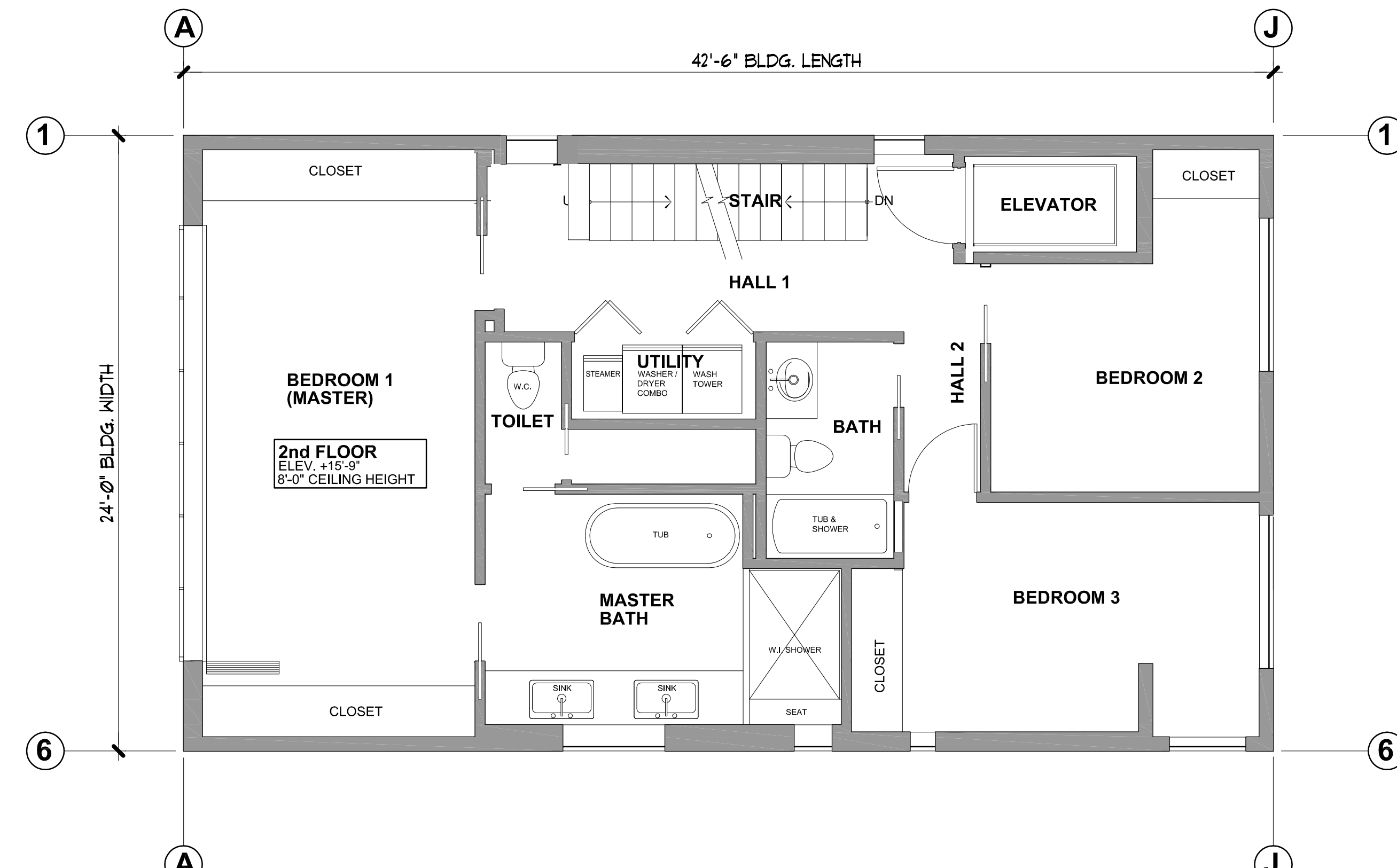
OF 4 SHEETS



SCALE  
1/4" = 1'-0"

3rd FLOOR PLAN

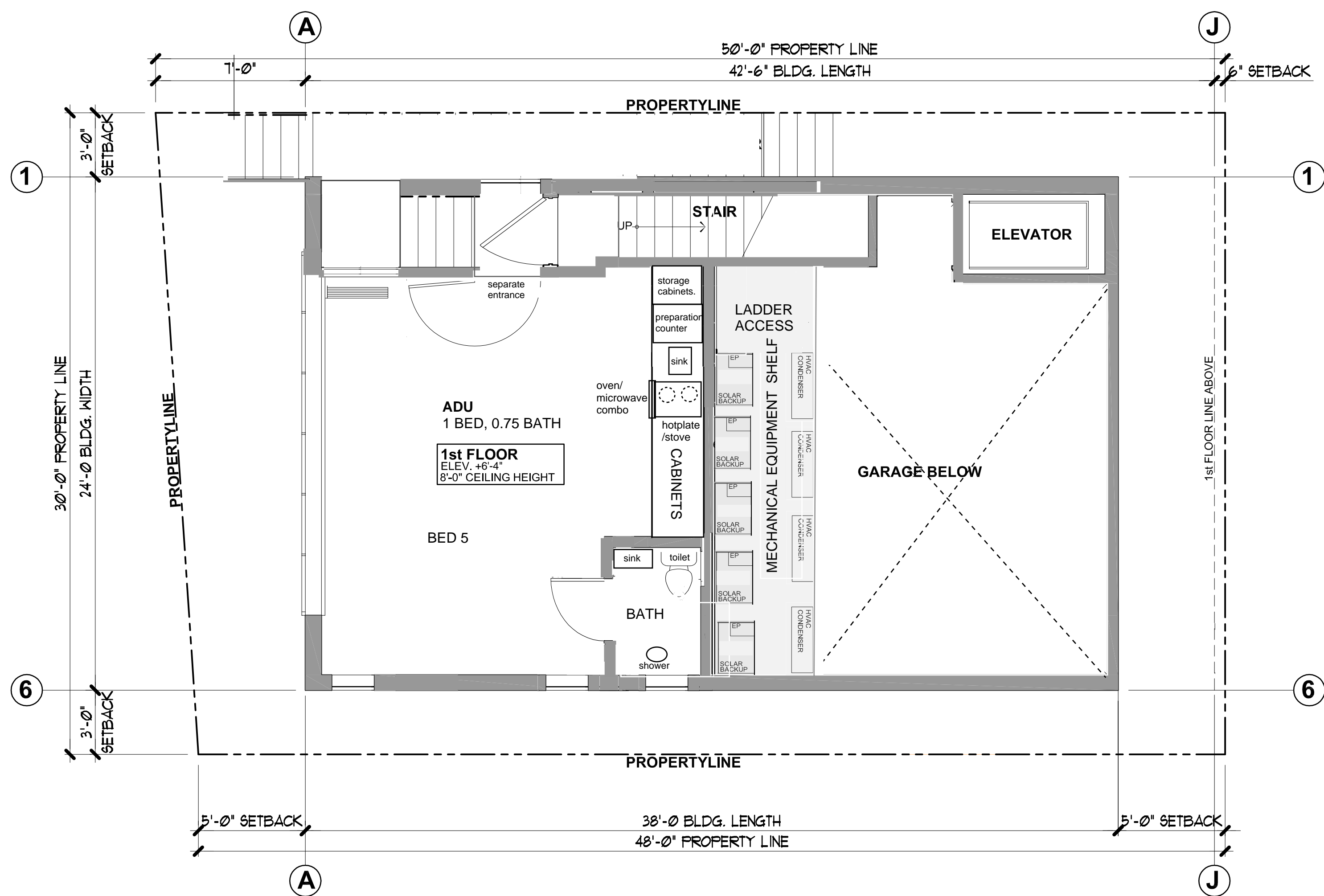
3



SCALE  
1/4" = 1'-0"

2nd FLOOR PLAN

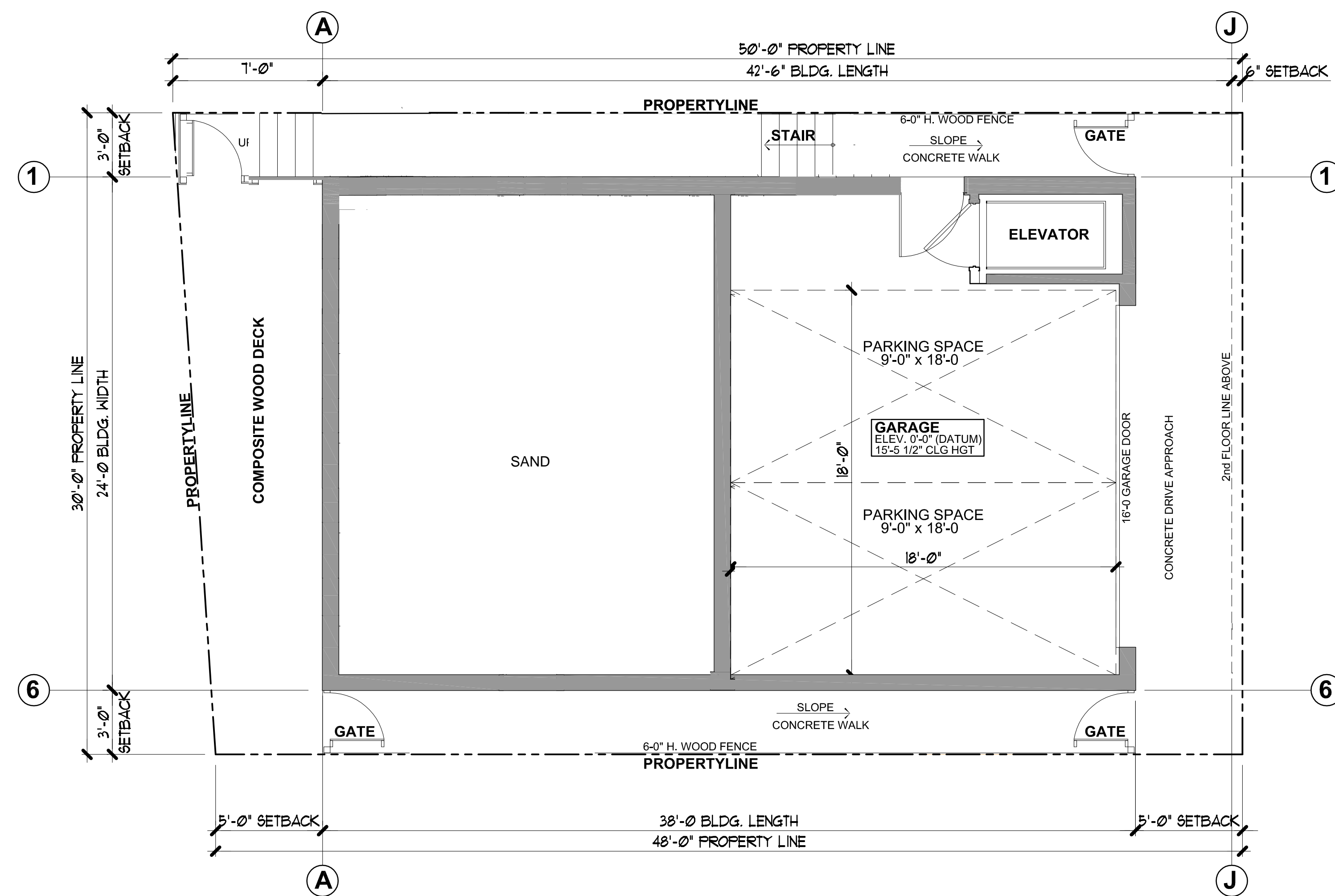
2



SCALE  
1/4" = 1'-0"

1st FLOOR & GARAGE FLOOR PLAN

1



SCALE  
1/4" = 1'-0"

GARAGE FLOOR PLAN

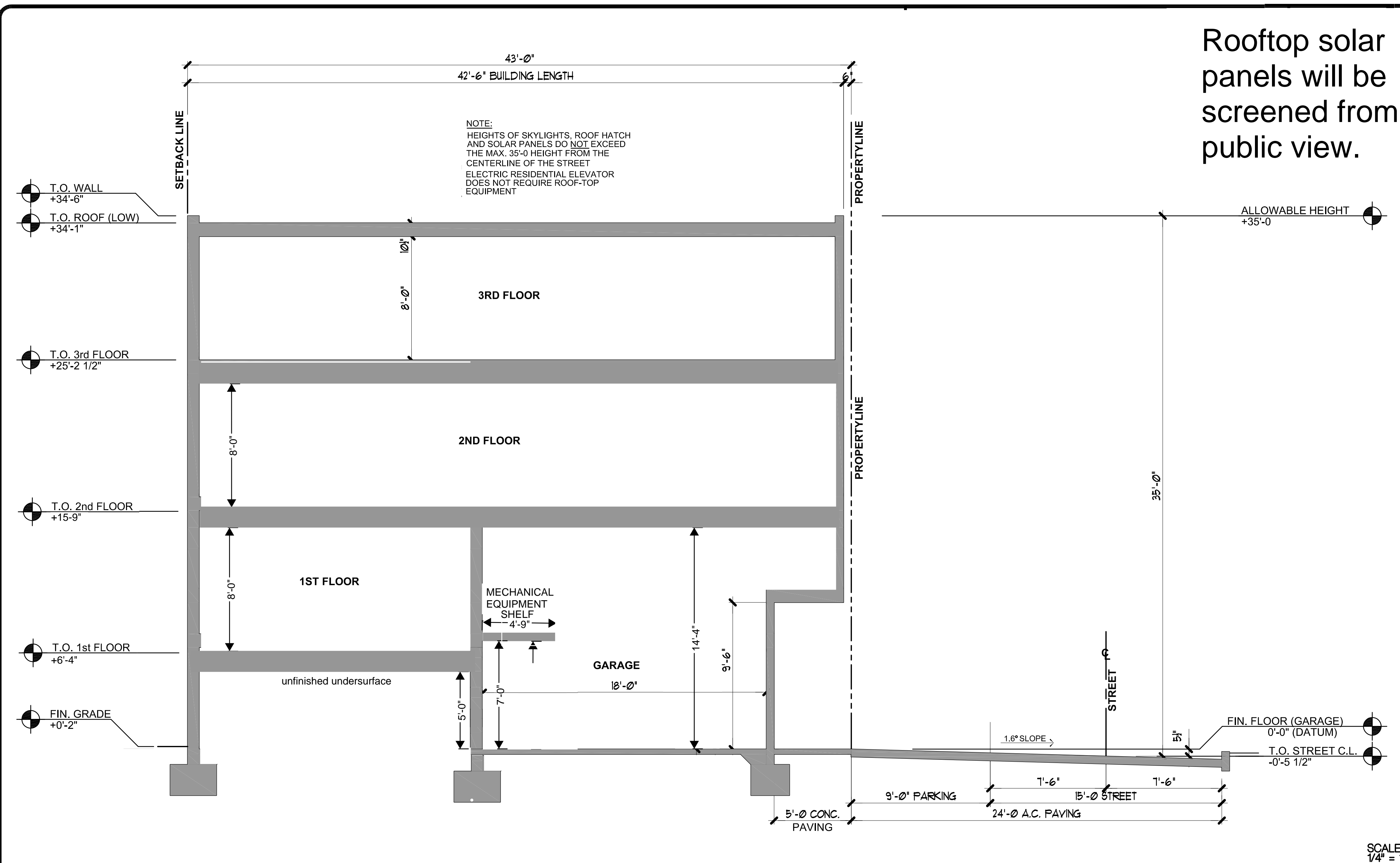
G

FLOOR PLANS

**NEW RESIDENCE**  
7125 SOUTH PACIFIC AVENUE  
SUNSET BEACH, CALIFORNIA 90742

DRAWN  
CHECKED  
DATE  
2-26-26  
SCALE  
1/4" = 1'-0"  
JOB NO.

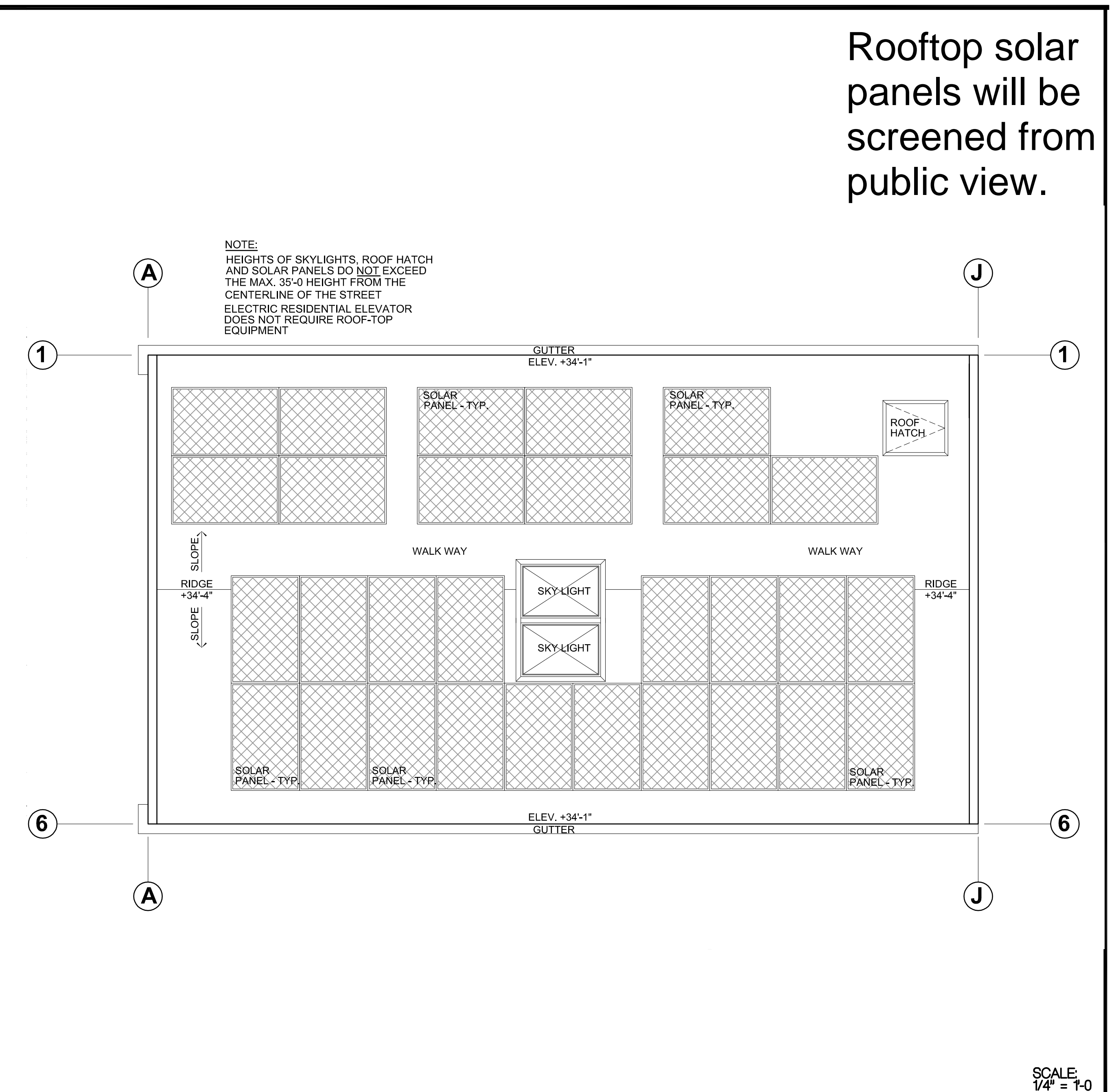
PR  
2  
OF 4 SHEETS



Rooftop solar panels will be screened from public view.

**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

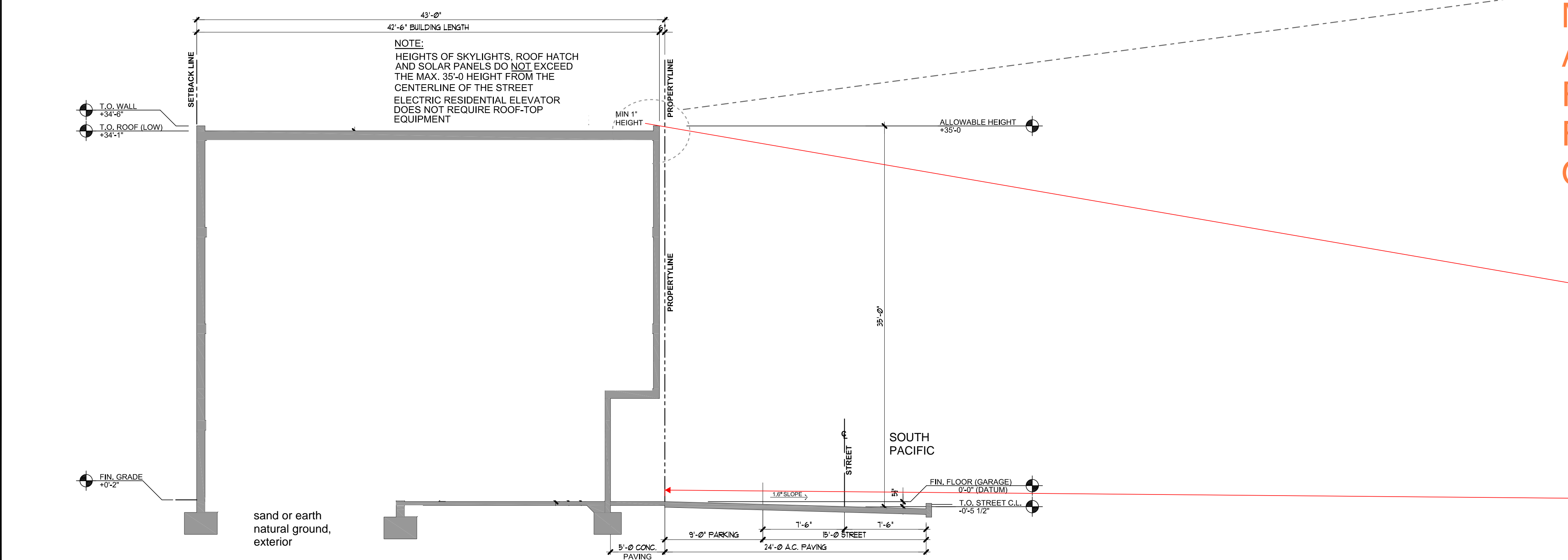


Rooftop solar panels will be screened from public view.

**ROOF PLAN**

SCALE: 1/4" = 1'-0"

Rooftop solar panels will be screened from public view.



MAX HEIGHT OF ANYTHING ON ROOF 34'-11" FROM CENTERLINE OF STREET

35'-0" FROM CENTERLINE OF STREET

SOLAR PANELS

LINE OF SIGHT FROM NORTH PACIFIC

EXTERIOR WALL

**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

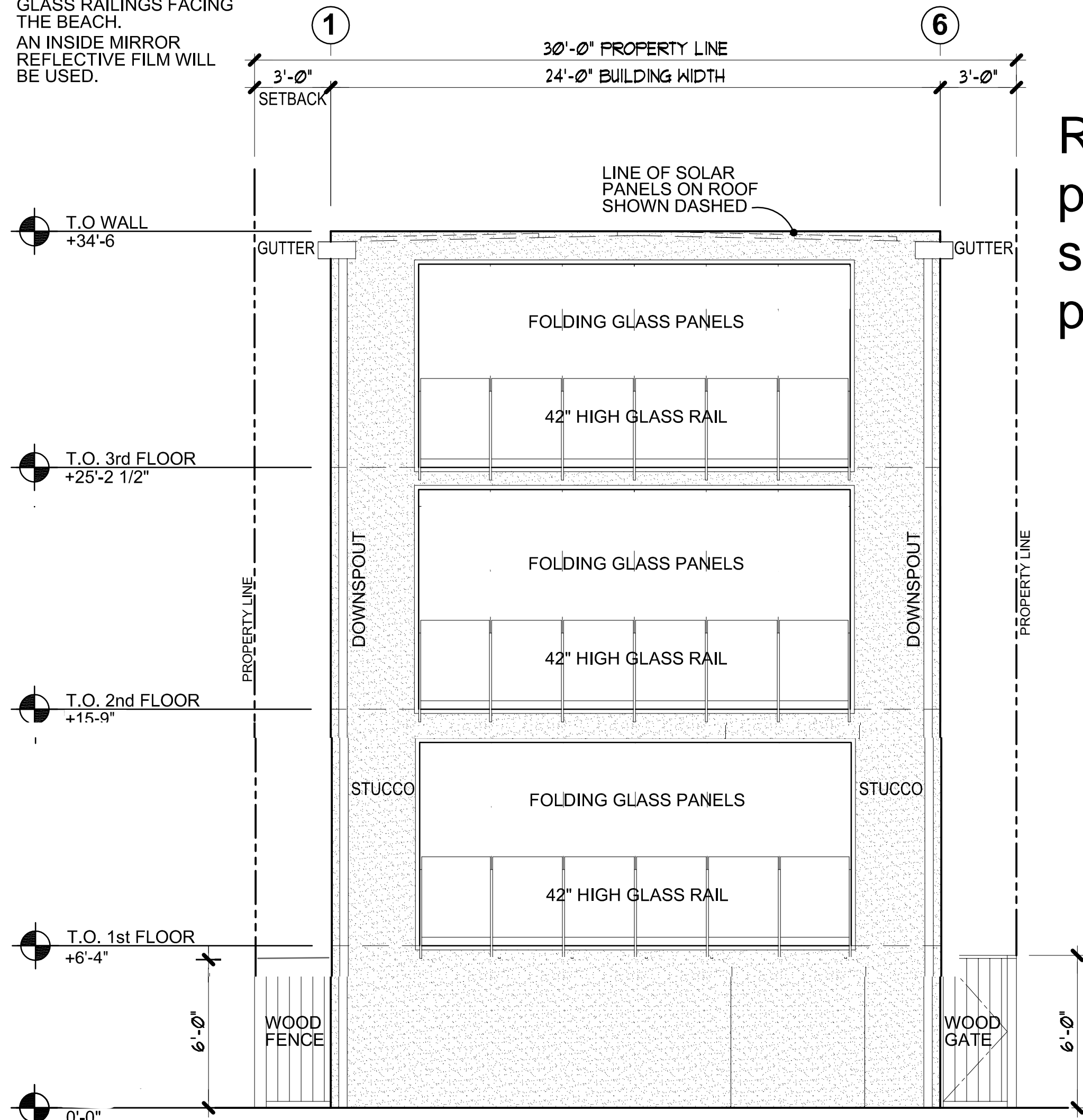
ROOF PLAN & BUILDING SECTION

**NEW RESIDENCE**  
17125 SOUTH PACIFIC AVENUE  
SUNSET BEACH, CALIFORNIA 90742

DRAWN
CHECKED
DATE
2-26-26
SCALE
1/4" = 1'-0"
JOB NO.

**3**  
OF 4 SHEETS

NOTE:  
BIRD SAFE GLASS SHALL BE USED FOR ALL WINDOWS AND GLASS RAILINGS FACING THE BEACH.  
AN INSIDE MIRROR REFLECTIVE FILM WILL BE USED.

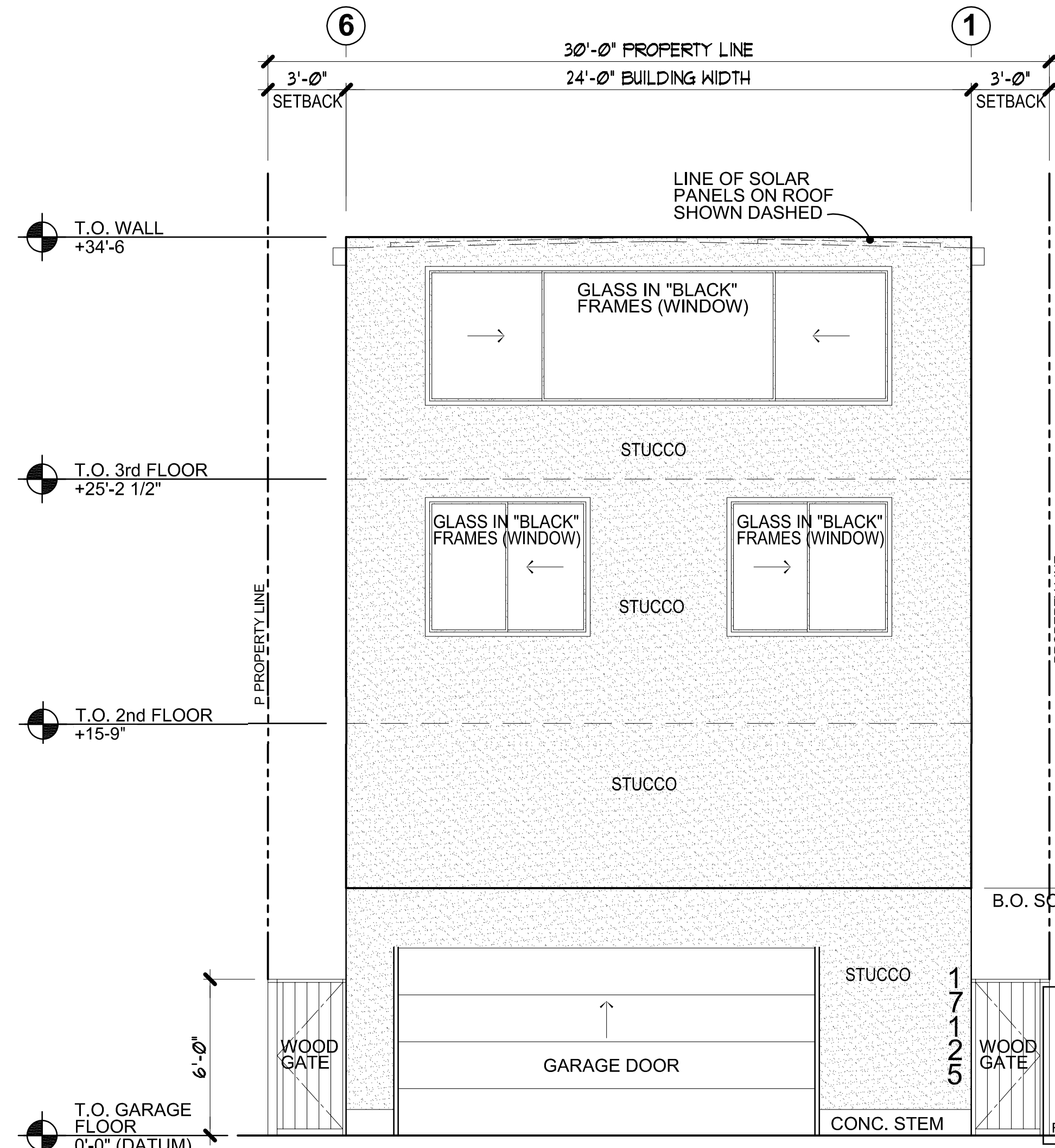


Rooftop solar panels will be screened from public view.

SCALE: 1/4" = 1'-0"

WEST ELEVATION (BEACH SIDE)

NOTE:  
HEIGHTS OF SKYLIGHTS, ROOF HATCH AND SOLAR PANELS DO NOT EXCEED THE MAX. 35'-0" HEIGHT FROM THE CENTERLINE OF THE STREET.  
ELECTRIC RESIDENTIAL ELEVATOR DOES NOT REQUIRE ROOF-TOP EQUIPMENT

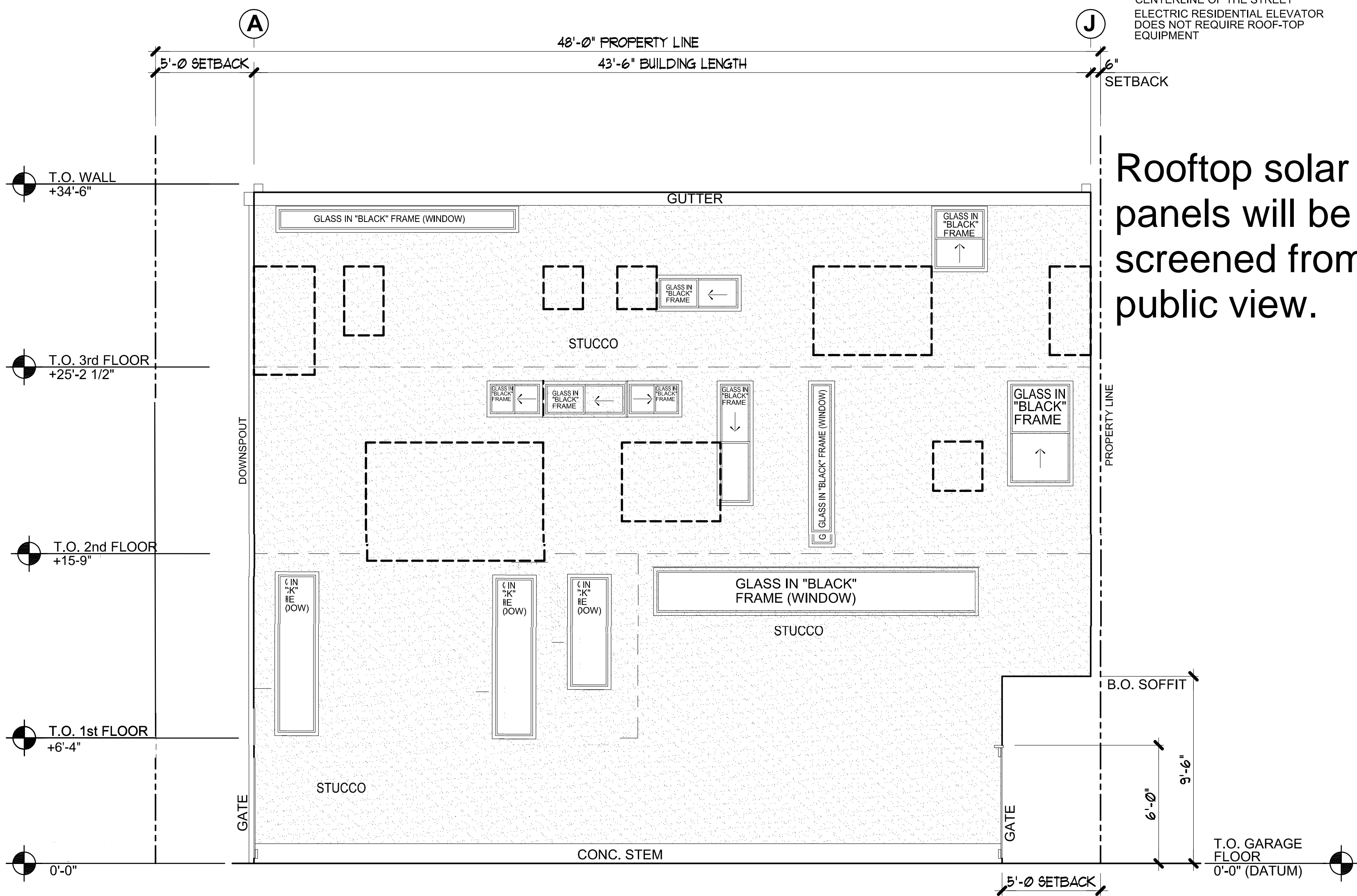


Rooftop solar panels will be screened from public view.

SCALE: 1/4" = 1'-0"

EAST ELEVATION (STREET SIDE)

NOTE:  
HEIGHTS OF SKYLIGHTS, ROOF HATCH AND SOLAR PANELS DO NOT EXCEED THE MAX. 35'-0" HEIGHT FROM THE CENTERLINE OF THE STREET.  
ELECTRIC RESIDENTIAL ELEVATOR DOES NOT REQUIRE ROOF-TOP EQUIPMENT

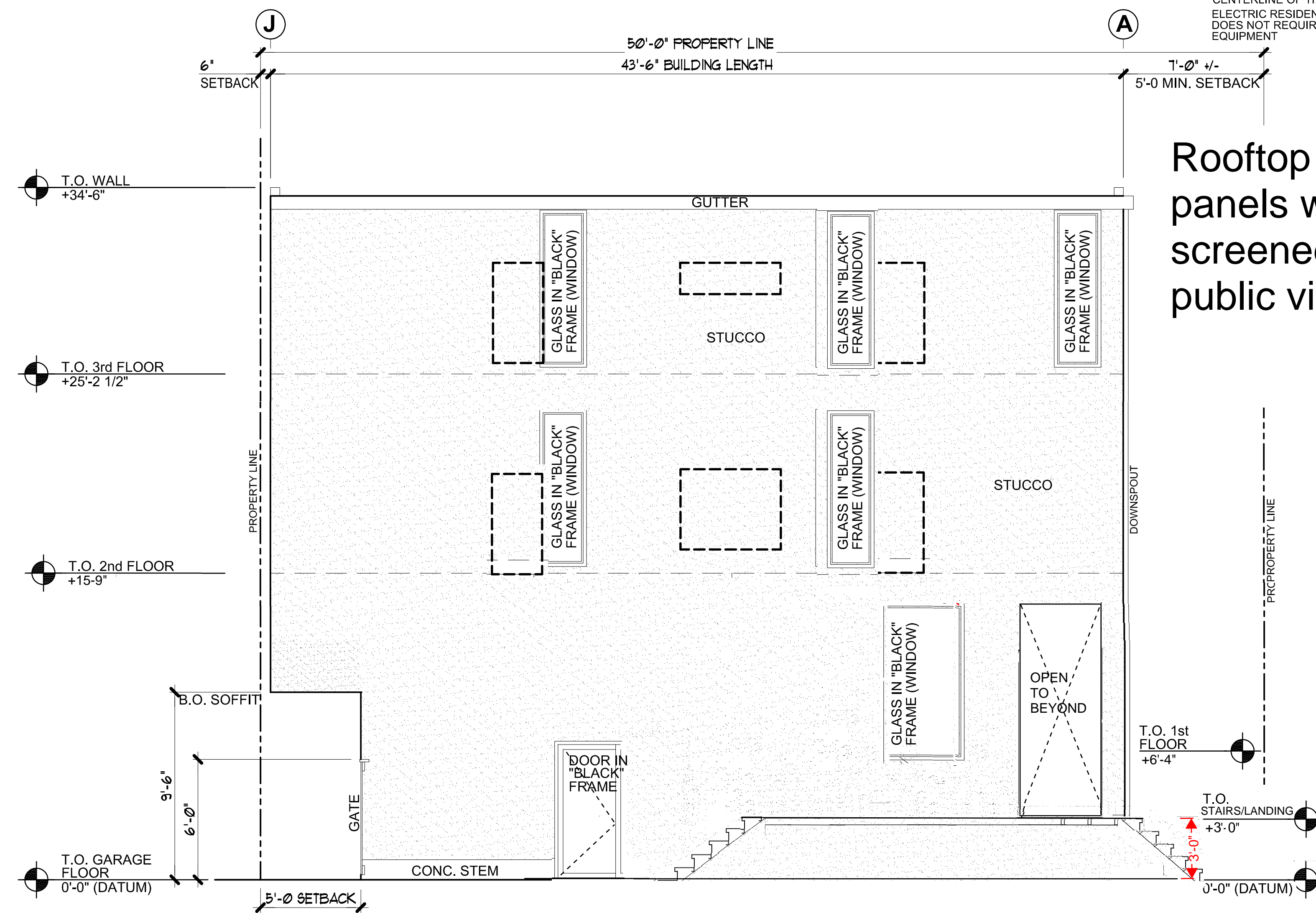


Rooftop solar panels will be screened from public view.

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

NOTE:  
HEIGHTS OF SKYLIGHTS, ROOF HATCH AND SOLAR PANELS DO NOT EXCEED THE MAX. 35'-0" HEIGHT FROM THE CENTERLINE OF THE STREET.  
ELECTRIC RESIDENTIAL ELEVATOR DOES NOT REQUIRE ROOF-TOP EQUIPMENT



Rooftop solar panels will be screened from public view.

SCALE: 1/4" = 1'-0"

NORTH ELEVATION

EXTERIOR ELEVATIONS

**NEW RESIDENCE**  
1725 SOUTH PACIFIC AVENUE  
SUNSET BEACH, CALIFORNIA 90742

DRAWN  
CHECKED  
DATE  
2-26-26  
SCALE  
1/4" = 1'-0"  
JOB NO.

PR  
4  
OF 4 SHEETS