THE SUNSET

16432 25TH ST. SUNSET BEACH, CA 90742

. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY WORK AND SHALL NOTIFY

THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS REQUIRED

3. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING (S

ELECTRICAL). TO WITHIN 5'-0" OF THE BUILDING TO TERMINATION POINTS AS INDICATED ON THE PLANS READY

 $6.\,$ BUILDING PADS CONSTRUCTED PER SOILS ENGINEERS SPECIFICATIONS ARE ASSUMED TO BE AT + 0.10 FT.

OF THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY

7. PAVING SHALL BE ACCOMPLISHED ACCORDING TO THE SITE PAVING SPECIFICATIONS AND THE SOIL:

MATERIAL AND ALL OTHER ASPECTS SHALL MATCH EXISTING OTHER ASSOCIATED PERMANENT

10. ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH NORMAL CHANNELS.

PAVEMENT STRIPING. PER APWA STANDARD PLANS AND CITY STANDARDS.

REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS. THE

BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE A.C OR CONCRETE PAVING, ON AND OFF SITE. IF

THE EXISTING PAVING FALLS SHORT OF THE BUILDING LINE, OR IF A PORTION OR SECTION OF THE EXISTING

APPROPRIATE TIME, REPLACE THE A.C. PAVING TO THE BUILDING LINE. THICKNESS OF THE A.C. PAVING BASE

IMPROVEMENTS SUCH AS CONCRETE CURBS, WHEELSTOPS, PLANTING AND IRRIGATION OF DISTURBED OR

DAMAGE DURING THE CONSTRUCTION PROCESS SHALL LIKEWISE BE REPLACED AND RESTORED INCLUDING

8. THE CONTRACTOR WILL PROVIDE THE OWNER WITH A LETTER OF CERTIFICATION PREPARED IMMEDIATELY

SITE DRAWINGS. THIS SHALL BE DONE BY THE SITE CIVIL ENGINEER AT THE CONTRACTORS EXPENSE. ANY

). GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT & THE OWNER OF THE ANTICIPATED POURING OF

. THE ENERGY CONSERVATION STANDARDS HAVE BEEN REVIEWED AND THE DESIGN OF THE BUILDING(S)

12. AT THE TIME OF THE FINAL BUILDING DEPARTMENT INSPECTION, THE CONTRACTOR SHALL GIVE THE

13. $\,$ ALL WOOD TRIM SHALL BE BACK- PRIMED WITH A MINIMUM ONE $\,$ (1) COAT PAINT PRIOR TO INSTALLATION.

14. NO ADDITIONAL ROOF OPENINGS OR ROOF MOUNTED EQUIPMENT ARE ALLOWED BEYOND THAT WHICH IS

SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND HIS STRUCTURAL ENGINEER.

16. ALL MATERIALS AND WORK SHALL CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS

17. COVER ALL CONCRETE SLAB SURFACES WITH CURING PAPER BEFORE STARTING ADJACENT CONCRETE

SLABS. CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SPLASHING OF FRESH CONCRETE SEE

18. ALL WALL FRAMING SHALL BE 2 X 4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED. 2X6 WOOD

COLUMNS. ALL STUDS OVER 14"-0" HEIGHT SHALL BE 2 X 6. SEE STRUCTURAL.

20. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:

IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED

CARBON MONOXIDE ALARM IS REQUIRED PER SEC 420.4 & R315

21. ALL LOW VOLTAGE WIRING TO BE SEISMIC SECURED TO LOCAL CODE

WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.

19. ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH NORMAL CHANNELS.

STUDS SHALL BE USED FOR WALLS RECEIVING HEAVY PLUMBING. ELECTRICAL PANELS. OR CONCEALING PIPE

IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FORM THE BUILDING

BUILDING OFFICIAL A CERTIFICATE OF INSULATION COMPLIANCE WITH THE ENERGY CONSERVATION

5. CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS NECESSARY PER CITY AND LOCAL CODE

DISCREPANCIES FROM THE APPROVED BUILDING LOCATION WILL BE REMOVED AT THE CONTRACTORS

AFTER FOOTINGS ARE PLACED, TO CONFIRM THAT THE LOCATION OF FOOTINGS COMPLY WITH THE APPROVED

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING, AND SCHEDULING OF ALL

4. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER (S), GAS, AND

INSPECTIONS AND TESTS INDICATED ON THE PLANS AND SPECIFICATIONS RECOMMENDED BY THE SOILS

DUE TO HIS FAILURE TO DO SO.

AS MAY BE INDICATED ON THE PLANS.

DISCREPANCIES UPON VERIFICATION.

COMPLIES WITH THE STANDARDS.

REQUIREMENTS, SECTION 3306, CBC.

STANDARDS.

FOR CONNECTION.

REPORT AND/OR REQUIRED BY ANY GOVERNMENTAL AGENCY.



PANTRY/POLE

PUSH BUTTON

PLATE/PROPERTY LINE

PENDAN

PERP. PERPENDICULAR

P.LAM. PLASTIC LAMINATE

GALVANIZED

GARBAGE DISPOSAL

SALVANIZED IRON

GLU-LAM BEAM GROUND

GYPSUM BOARD

HOLLOW CORE HEADER

HORIZONTAL

GROUND FAULT INTERRUPTER

HEATING VENTILATION & AIR

INTERNATIONAL BUILDING

INTERNATIONAL CODE

I.R.C. INTERNATIONAL RESIDENTIAL

INTEGRAL PHOTOSENSOR

MEDICINE CABINET

INSIDE DIAMETER

JUNCTION BOX

LENGTH/LONG

GARAGE

JOIST

HOSE BIB

HEIGHT

COUNCIL

IN. INCH INSUL INSULATION INT. INTERIOR

CODE

JOINT

KITCHEN

LAVATORY

MATERIA

MAXIMUM MECHANICAL

MEMBRANE

MINIMUM MIRROR

MANUFACTURER

MISCELLANEOUS

NOT APPLICABLE NATURAL

N.I.C. NOT IN CONTRACT

OVER OBSCURE ON CENTER

NO. NUMBER N.T.S. NOT TO SCALE

O/ OVER
OBS. OBSCURE
O.C. ON CENTE
O.D. OUTSIDE I
OFF. OFFICE
OPNG. OPENING

METAL THRESHOLD

N.A.A.- NATIONAL ASSOCIATION OF

ARCHITECTURAL METAL MANUFACTURERS

N.F.P.A.NATIONAL FIRE PROTECTION

OUTSIDE DIAMETER OFFICE

ABBREVIATIONS

HIGH

PERIM. PERIMETER

PLUMB PLUMBING

PWDR. POWDER

GR. GYP.-

JST.

HVAC

PLYWD.PLYWOOD

DONE ON SITE WITHOUT VERIFYING WITH ARCHITECT. DRAWINGS SHOULD NOT BE SCALED AS THEY MAY DIFFER DUE TO REPROGRAPHICAL ERRORS.

ABOVE FINISH FLOOR

STANDARDS INSTITUTI

ARCHITECT/ARCHED

ALUMINUM

ALTERNATE

BOTTOM OF

CAB. CABINET C.B.C. CALIFORNIA BUILDING

CEMENT

CERAMIC

C.E.C. CALIFORNIA ELECTRICAL

CALIFORNIA FIRE

CONTROL JOINT

MECHANICAL CODE

COMPOSITION/ COMPACTOR

CONDITION/CONDENSER

CALIFORNIA PLUMBING

CENTER LINE

CASEMENT

CALIFORNIA

COLUMN

CENTER

COLD WATER

DIMENSION

DOWNSPOU^{*}

ENCL. ENCLOSURE
EQ. EQUAL
EQUIP. EQUIPMENT
EX. EXHAUST

EXIST.

EXPANSION JOINT

FORCED AIR UNIT

FLUORESCENT

FACE OF CONCRETE FACE OF FINISH

FOUNDATION

FIXED PANEL

FRENCH FOOT OR FEET FOOTING

FIXED

FAHRENHEIT/FLOOR/FINISH

FINISH GRADE/FUEL GAS

CONTINUOUS

AUTO. AUTOMATIC AW AWNING

BDRM. BEDROOM BLDG. BUILDING BLK. BLOCK

BLKG. BLOCKING BM. BEAM

A.N.S.I. AMERICAN NATIONAL

PROJECT SITE

PROPOSED CONSTRUCTIONS OF A NEW DWELLING 2,070 SQ.FT. OF HABITABLE AREA & 1,000 SQ.FT. OF BALCONIES, DECK AND ROOF TOP DECK & 350 SQ.FT. OF ENCLOSED GARAGE SPACE (2-CAR) & 279 SQ.F.T ADU EXISTING DWELLING UNIT TO THE WEST WILL BE REMAIN AND INTERNALLY REMODELED EXISTING UNIT TO THE EAST AND THE EXISTING DECKS WILL BE DEMOLISHED TO BUILD THE NEW DWELLING UNIT

PROPOSED NEW DWELLING UNIT: 2,070 SQ.FT GARAGE: 352 SQ.FT DECK: 1,000 SQ.FT.

PROPOSED ADU:

279 SQ.FT

REMODELING & ADDITION OF THE EXISTING DWELLING UNIT ON THE WEST OF PROPERTY ADDITION OF 79 SQ.FT. TO EXISTING DWELLING UNIT (NEW BATHROOM) REMODELING OF EXISTING HOUSE, REPLACING ALL ELECTRICAL & PLUMBING

SCOPE OF WORK

DEMOLITION OF EXISTING DWELLING UNIT TO THE EAST AND TWO DECKS

D.L.A. ARCHITECTS

1215 N RED GUM ST. SUITE E **ANAHEIM, CA 92806**

THE SUNSET

16432 25TH ST. SUNSET BEACH, CA 90742

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VICINITY MAP

STANDARD YARD REQUIREMENT SETBACKS

SIDE (STREET & ALLEY): 3 FEET SIDE (BUILDING): 5 FEET

OCCUPANCY SENSOR

O.S.A. OUTSIDE AIR

RADIUS

RECPT. RECEPTACLE

ROOF DRAIN

REFRIGERATOR

REINFORCEMENT

ROUGH OPENING

SINGLE HUNG

COEFFICIENT

SINGLE HUNG SHELF SHEET

SHEATHING

SLOPE SPECIFICATION

TANDARD

TONGUE & GROOVE

STORAGE

TILE/TREAD

TEI EPHONE

T.O.C. TOP OF CONCRETE

TOP OF WALL

TRANSOM TRANS. TRANSFORMER

T.SHTG.TOP OF SHEATHING

U.B.C. UNIFORM BUILDING

U.N.O. UNLESS NOTED

UNDERWRITERS

LABORATORY

OTHERWISE

VERTICAL VESTIBULE

VOLUME

VERT.

U.M.C. UNIFORM MECHANICAL

U.P.C. UNIFORM PLUMBING CODE

VAPOR RESISTANT

WATER HEATER

WASHER/WATT

WROUGHT IRON

WALK IN CLOSET

WATER RESISTANT

WATERPROOF

WEIGHT

WEST/WIDE/WIDTH/

V.T.R. VENT THROUGH ROOF

VINYL FLOOR/ VOLT

TYP. TYPICAL

TOP OF CURB

TOP OF MASONRY

TOILET PAPER HOLDER

SHOWER SIMILAR SLIDER

SQ. FT. SQUARE FOOT

STRUCT.STRUCTURAL

TEMP. TEMPERED
THK. THICK
T.O. TOP OF

SHUT-OFF VALVE

SOUND TRANSMISSION

SECTION/SECTIONAL

RAD. R.D.

ETBACKS FOR 2ND & 3RD LEVEL 6 INCHES SIDE (STREET & ALLEY): 6 INCHES SIDE (BUILDING): 6 INCHES

STANDARD OFF-STREET PARKING REQUIREMENT

2 PARKING SPACES FOR EACH DWELLING UNITS PARKING STALL SIZE SHALL BE MINIMUM OF 9 FEET BY 18 FEET WHETHER THE STALL IS **COVERED OR UNCOVERED**

MAX HEIGHT ALLOWED: 3 STORIES MAX [35'-0" MAX HGT]

HERS INSPECTIONS

- QUALITY INSULATION INSTALLATION (QII)
- INDOOR AIR QUALITY VENTILATION KITCHEN RANGE HOOD
- MINIMUM AIRFLOW VERIFIED SEER/SEER2
- VERIFIED REFRIGERANT CHARGE FAN EFFICACY WATTS/CFM
- VERIFIED HSPF VERIFIED HEAT PUMP RATED HEATING CAPACITY
- DUCT LEAKAGE TESTING

SETBACKS & RESTRICTIONS HERS FEATURE SUMMARY

SP17 - cz | SUNSET BEACH RESIDENTIAL DISTRICT - SBR

LAND USE: RH-30 RESIDENTIAL HIGH DENSITY DENSITY: TWO DWELLING UNITS PER SITE

LOT AREA: 2,704 Sq.Ft. 178-513-05 BUILDING OCCUPANCY GROUP:

CONSTRUCTION TYPE: SPRINKLER SYSTEM: **NOT REQUIRED**

PROPOSED HEIGHT: (E) DWELLING STRUCTURE H: # OF STORIES (PROPOSED): 3 - STORIES

FIRE SEVERITY ZONE: NOT IN A FIRE HAZARD ZONE

LEGAL DESCRIPTIONS: LOT NO.: 2/125 | A-TRACT: SUNSET BEACH | BLOCK: 125 | LOT: 2 TR 757

STRUCTURAL OCEAN JEWEL LLC

NEW BEGINNINGS ENGINEERING 200 SPECTRUM CENTER DRIVE 300 **IRVINE, CA 92618** T: 949.397.5191 EMAIL: INFO@NBESOCAL.COM

ATTN: MARK BRAGEN

LAS VEGAS, NA 89118

(T) 702.427.3711

<u>OWNER</u>

D.L.A. ARCHITECTS 1215 N. RED GUM. ST. SUITE E ANAHEIM, CALIFORNIA 92806 ATTN: BEHRAD KOUCHEKI (T) 714.576.9802

4465 W HACIENDA AVE SUITE 103

(E) MARK@OCEANJEWEL.COM

CONSULTANT DIRECTORY

ARCHITECT

SHEET DESCRIPTION

ARCHITECTURAL

T-0.0 | COVER SHEET

T-1.0 GENERAL NOTES

A-0.0 EXISTING SITE PLAN

A-0.1 PROPOSED SITE PLAN

A-2.0 PROPOSED 1ST FLOOR PLAN

A-2.1 | PROPOSED 2ND FLOOR PLAN

A-2.2 PROPOSED 3RD FLOOR PLAN

A-4.3 PROPOSED ROOF UTILITY PLAN

A-8.0 | PROPOSED BUILDING SECTIONS

A-9.0 | PROPOSED PERSPECTIVE VIEWS

A-10.0 WINDOW & DOOR SCHEDULE

A-10.1 WINDOW TYPE SCHEDULE

AD-4.0 | DETAILS - WALL TYPES

AD-5.0 | DETAILS - STAIRS

AD-1.0 DETAILS

AD-2.0 DETAILS

AD-3.0 DETAILS

AD-6.0 DETAILS

A-7.0 PROPOSED ELEVATIONS - COLORED

PROPOSED ELEVATIONS - COLORED

A-5.0 | EXISTING ELEVATIONS

A-6.0 | PROPOSED ELEVATIONS

A-6.1 | PROPOSED ELEVATIONS

A-2.3 PROPOSED ROOF PLAN

T-1.1 | CAL GREEN MANDATORY MEASURES

T-1.2 CAL GREEN MANDATORY MEASURES

EXISTING 1ST & 2ND FLOOR PLAN

A-2.4 PROPOSED ENLARGED PLANTER - BENCH PLANS

A-3.0 PROPOSED 1ST & 2ND FLOOR DIMENSION PLAN

A-4.1 PROPOSED 2ND FLOOR RCP & UTILITY PLAN

A-4.2 PROPOSED 3RD FLOOR RCP & UTILITY PLAN

PROPOSED 1ST FLOOR RCP & UTILITY PLAN

PROPOSED 3RD FLOOR & ROOF DIMENSION PLAN

(E) ARCHITECT16@PIRONADG.COM

APPROVALS:

KEY PLAN:

PROJECT DATA

ROOF TRUSS SUBMITTAL: "THE ENGINEER / ARCHITECT OF RECORD SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL OR APPROPRIATE DEPARTMENT."

ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE: 1. AT LEAST ONE OF THE FOLLOWING SHALL BE PROVIDED:

- A. ESS READY INTERCONNECTION EQUIPMENT WITH A MINIMUM BACKED-UP CAPACITY OF AND A MINIMUM OF FOUR ESS-SUPPLIED BRANCH CIRCUITS, OR B. A DEDICATED RACEWAY FROM THE MAIN SERVICE TO A PANELBOARD (SUBPANEL) THAT SUPPLIES THE BRANCH CIRCUITS IN SECTIONS 150.0(s)(2). ALL BRANCH CIRCUITS ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN 1 INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS."
- 2. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.
- 3. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS

4.SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/ TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/ TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE.

DATE

SCALE

AS NOTED

SHEET TITLE

NO. REVISION

COVER SHEET

JOB NO.

GENERAL NOTES

DETACHED ADU'S SHALL BE COMPATIBLE IN EXTERIOR APPEARANCE WITH THE PRIMARY UNIT OR UNITS IN ERMS OF DESIGN, MATERIALS, FINISHES, AND COLORS WITHIN THE SAME PROPERTY ON WHICH IT IS PROPOSED TO BE CONSTRUCTED.

FENCES, HEDGES, AND WALLS SHALL NOT EXCEED A TOTAL HEIGHT OF 3 FEET WITHIN THE FIRST 15-FEET OF THE FRONT SETBACK. SUCH FEATURES SHALL NOT EXCEED A TOTAL HEIGHT OF 6 FEET WITHIN THE REMAINING AREA OF THE LOT.

PLANNING NOTES

- 2022 CALIFORNIA RESIDENTIAL CODE, PART 2.5 2022 CALIFORNIA BUILDING CODE, PART 2,8 & 10 2022 CALIFORNIA ELECTRICAL CODE PART 3 2022 CALIFORNIA MECHANICAL CODE PART 4 2022 CALIFORNIA ENERGY CODE PART 6
- 2022 CALIFORNIA FIRE CODE, PART 9 2022 CALIFORNIA PLUMBING CODE
- CITY OF HUNTINGTON BEACH MUNICIPAL CODE
 - APPLICABLE CODES
- Door Symbol - Door Number Detail Symbol **Detail Identification** Equipment Symbol Equipment Number - Elevation Symbol Demolition Symbol - Row Designation Demolition Symbol Elevation Number Revision Symbol

Section Symbol Column or Reference Lines Section Identification Sht. Where Sect. is Drawn - Sht. Where Sect. is Drawn Sht. Where Sect. Is Drawn

101

- Room Name

Room Number

SYMBOL DEINITIONS

DEFERRED SUBMITTAL

SHEET INDEX

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE—24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS.
- 2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
- 3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
- 4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4).
- 5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- 6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1).
- 7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3)
- 8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 1808.7.4, CRC R403.1.7.3)

 INDOOR WATER USE CGBSC 4.303
- 1. A SCHEDULE OF PLUMBING FIXTURES AND FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER BY AT LEAST 20% SHALL BE PROVIDED.

SECTION 4.303 INDOOR WATER USE

- 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAU-CETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:
 - THE FLOW RATES FOR ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1
- 4.303.1.1 WATER CLOSETS.THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.TANK—TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR TANK—TYPE TOILETS.

NOTE:

- THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- 4.303.1.3 SHOWERHEADS.

 4.303.1.3.1 SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.
- 4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4 FAUCETS.

- 4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS.THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- 4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
- 4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
 - 4.303.1.4.4 KITCHEN FAUCETS.THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GAL—LONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- NOTE:
 WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED
 TO ACHIEVE REDUCTION.
 - 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE.

SECTION 4.304 OUTDOOR WATER USE

- 4.304.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - 1. CONTROLLERS SHALL BE WEATHER— OR SOIL MOISTURE—BASED CON—TROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
 - 2. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

NOTE: MORE INFORMATION REGARDING IRRIGATION CONTROLLER FUNCTION AND SPECIFICATIONS IS AVAILABLE FROM THE IRRIGATION ASSOCIATION.

SECTION 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

- 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF CALIFORNIA PLUMBING CODE.
- 4.406.3 PROVIDE FLASHING DETAILS FOR ROOF VALLEYS, AROUND WINDOW AND DOORS AND AT CHIMNEY TO ROOF INTERSECTIONS ON THE BUILDING PLANS.
- SECTION 4.407 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
- 4.407.4 MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE

CONSTRUCTION WASTE REDUCTION - CGBSC 4.408

1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON—HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS.

SECTION 4.410 BUILDING MAINTENANCE AND OPERATION

- 4.410.1 AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
 - 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOW-ING:
 - A. EQUIPMENT AND APPLIANCES, INCLUDING WATER—SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER—HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIP—MENT.
 - B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - D. LANDSCAPE IRRIGATION SYSTEMS.
 - E. WATER REUSE SYSTEMS.
- 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCA—TIONS.
 - 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - 5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 - 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - 7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
 - 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEA—SURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PRO-GRAMS AVAILABLE.
 - 10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

FIREPLACES - CGBSC 4.503

- 1. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIRE-PLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES. CGBSC 4.503.1
- 4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIP—MENT,
 - ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
 - ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLE 4.504.1–4.504.3.
- 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH THIS SECTION
- 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRIN—GENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
- A. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIM-ERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE
- 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.
- B. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PROD-UCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS,
- 4.504.2.4 THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR

TITLE 17, COMMENCING WITH SECTION 94507

- 3. PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COAT-ING AS A FLAT, NON FLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY (AS SHOWN IN TABLE 4.504.2.2)
- 4. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COM-MENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURIS-DICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49 (AS SHOWN IN TABLE 4.504.2.3)
- 5. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING (AS SHOWN IN TABLE 4.504.3):
- A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
- B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350.
- C. NSF/ANSI 140 AT THE GOLD LEVEL.
- D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.
- 6. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM
- 7. ALL CARPET ADHESIVE SHALL MEET MINIMUM VOC LIMITS (SEE VOC LIMITS HANDOUT). AS SHOWN IN TABLE 4.504.3.2
- 8. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING AS SHOWN IN TABLE 4.504.4:
- I. CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE
- PRODUCTS DATABASE
 II. CERTIFIED UNDER UL GREENGUARD GOLD
- III. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM
 IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350

- 9. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5.
- FORMALDEHYDE LIMITS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLY VENEER CORE	.05
HARDWOOD PLY COMPOSITE CORE	.05
PARTICLE BOARD	.09
MEDIUM DENSITY FIBERBOARD	.11
THIN MED. DENSITY FIBERBOARD	.13

- THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5)
- 10. 4.504.5.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
- A. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
- B. CHAIN OF CUSTODY CERTIFICATIONS.
- C. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
- D. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-10R PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 6363S STANDARDS.
- E. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY
- INTERIOR MOISTURE CONTROL CGBSC 4.50
- 1. 4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
- A. A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS.
- A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS.
- B. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
- C. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFES-SIONAL.

SECTION 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.

- 4.505.3 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR.
- 1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS
- 2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
- 3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PER-FORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.RE CONTENT OF BUILDING MATERIALS CGBSC 4.505.3
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET—APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

- 4.506.1 SHOW LOCATION OF EXHAUST FANS ON PLANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
- I. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

 II. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A
 - HUMIDITY CONTROL.

 A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY
 - UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.

 B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT—IN).
 - FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION.

2. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE

SECTION 4.507 ENVIRONMENTAL COMFORT 4.507.1 RESERVED.

4.507.2 THE HEATING AND AIR—CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J— 2004, ANSI/ACCA 29—D—2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36—S MANUAL S—2004.

D.L.A. ARCHITECTS

1215 N RED GUM ST. SUITE E ANAHEIM, CA 92806

THE SUNSET 16432 25TH ST. SUNSET BEACH, CA 90742

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APPROVALS:

KEY PLAN:

NO. REVISION DATE

SHEET TITLE

GENERAL NOTES

JOB NO. 2023--

SHEET NO.

AS NOTED

SCALE

T-1.0

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

installed in close proximity to the location or the proposed location of the EV space at the time of original **CHAPTER 3** construction in accordance with the California Electrical Code. 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code. Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE facilities or the addition of new parking facilities serving existing multifamily buildings. See Section system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.106.4.3 for application. 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved EV charging. lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 1.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4,408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 DIVISION 4.2 ENERGY EFFICIENCY Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, 4.201 GENERAL 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. Commission will continue to adopt mandatory standards. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 1. Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 2. Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3 high-rise buildings, no banner will be used. 3. The enforcing agency may make exceptions to the requirements of this section when isolated future EV charging. jobsites are located in areas beyond the haul boundaries of the diversion facility. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** I.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil 2.EV Readv. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power necessary and shall be available during construction for examination by the enforcing agency. shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per comply with Chapter 4 and Appendix A4, as applicable. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense bulk mixed (single stream). Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with 3. Identify diversion facilities where the construction and demolition waste material collected will be 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. sleeping units or guest rooms. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste **DIVISION 4.1 PLANNING AND DESIGN** The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated ABBREVIATION DEFINITIONS: 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission I.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical DSA-SS Division of the State Architect, Structural Safety enforcing agency, which can provide verifiable documentation that the percentage of construction and system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all OSHPD Office of Statewide Health Planning and Development demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. Low Rise 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one I.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of CHAPTER 4 showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in RESIDENTIAL MANDATORY MEASURES reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds **SECTION 4.102 DEFINITIONS** a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory IATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code Exception: Areas of parking facilities served by parking lifts. used for perimeter and inlet controls. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 4.106 SITE DEVELOPMENT 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 4.410 BUILDING MAINTENANCE AND OPERATION When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact an automatic load management system (ALMS) may be used to reduce the maximum required electrical 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less disc. web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical property, prevent erosion and retain soil runoff on the site. life cycle of the structure. capacity to the required EV capable spaces. 2. Operation and maintenance instructions for the following: Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. (d)(7) and shall be equipped with an integral automatic shutoff. appliances and equipment by the enforcing agency Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California c. Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section d. Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or 1605.3 (h)(4)(A). are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce 4.106.4.2.2.1.1 Location. resource consumption, including recycle programs and locations. EVCS shall comply with at least one of the following options: (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) TABLE H-2 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2. The charging space shall be located on an accessible route, as defined in the California Building Code, 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 2. Water collection and disposal systems 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California French drains [spray force in ounce force (ozf)] painting, grading around the building, etc. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Water retention gardens 9. Information about state solar energy and incentive programs available. 5. Other water measures which keep surface water away from buildings and aid in groundwater Product Class 1 (≤ 5.0 ozf) 10. A copy of all special inspections verifications required by the enforcing agency or this code. 1.00 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 12. Information and/or drawings identifying the location of grab bar reinforcements. Product Class 3 (> 8.0 ozf) 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate California Plumbing Code. 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4.2.2.1.3 Accessible EV spaces. 4.106.4, may adversely impact the construction cost of the project. 1701.1 of the California Plumbing Code. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall DIVISION 4.5 ENVIRONMENTAL QUALITY comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section SECTION 4.501 GENERAL THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway 4.106.4.2.3 EV space requirements. TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall FIXTURE TYPE FLOW RATE SECTION 4.502 DEFINITIONS proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is LAVATORY FAUCETS IN COMMON & PUBLIC COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and 0.5 GPM @ 60 PSI accordance with the California Electrical Code. installed in close proximity to the location or the proposed location of the EV space, at the time of original medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, USE AREAS

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

location shall be permanently and visibly marked as "EV CAPABLE".

D.L.A. ARCHITECTS

1215 N RED GUM ST. SUITE E **ANAHEIM. CA 92806**

THE SUNSET

16432 25TH ST. SUNSET BEACH, CA 90742

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APPROVALS:

KEY PLAN:

NO. REVISION DATE

SHEET TITLE

GREEN **MEASURES**

SHEET NO.

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

KITCHEN FAUCETS

WATER CLOSET

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METERING FAUCETS

SCALE

AS NOTED

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

THE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

CHAPTER 7 TABLE 4.504.5 - FORMALDEHYDE LIMITS TABLE 4.504.2 - SEALANT VOC LIMIT **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to (Less Water and Less Exempt Compounds in Grams per Liter) MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION hundredths of a gram (g O3/g ROC). **702 QUALIFICATIONS** SEALANTS VOC LIMIT PRODUCT CURRENT LIMIT Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper ARCHITECTURAL 250 HARDWOOD PLYWOOD VENEER CORE 0.05 nstallation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood MARINE DECK HARDWOOD PLYWOOD COMPOSITE CORE 0.05 responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE ROOF 300 PARTICLE BOARD 0.09 article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of ROADWAY 250 MEDIUM DENSITY FIBERBOARD 0.11 State certified apprenticeship programs. product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR. Title 17. Section 94521 (a). Public utility training programs. SINGLE-PLY ROOF MEMBRANE 450 THIN MEDIUM DENSITY FIBERBOARD2 Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to Programs sponsored by manufacturing organizations. 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED Other programs acceptable to the enforcing agency. BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL SEALANT PRIMERS MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE **702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. **ARCHITECTURAL** with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). NON-POROUS 250 to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM POROUS 775 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed considered by the enforcing agency when evaluating the qualifications of a special inspector: THICKNESS OF 5/16" (8 MM). MODIFIED BITUMINOUS 500 woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, Certification by a national or regional green building program or standard publisher. 760 MARINE DECK pellet stoves and fireplaces shall also comply with applicable local ordinances. Certification by a statewide energy consulting or verification organization, such as HERS raters, building DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) performance contractors, and home energy auditors. 750 OTHER 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California 4.504 POLLUTANT CONTROL Successful completion of a third party apprentice training program in the appropriate trade. Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING 4. Other programs acceptable to the enforcing agency. from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final California Specification 01350) startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component 1. Special inspectors shall be independent entities with no financial interest in the materials or the openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to See California Department of Public Health's website for certification programs and testing labs. educe the amount of water, dust or debris which may enter the system. project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. homes in California according to the Home Energy Rating System (HERS). TABLE 4.504.3 - VOC CONTENT LIMITS FOR 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall ARCHITECTURAL COATINGS2.3 California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance wit requirements of the following standards unless more stringent local or regional air pollution or air quality Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the management district rules apply: GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT (Emission testing method for California Specification 01350) particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a COMPOUNDS 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks ecognized state, national or international association, as determined by the local agency. The area of certification See California Department of Public Health's website for certification programs and testing labs. COATING CATEGORY shall comply with local or regional air pollution control or air quality management district rules where VOC LIMIT shall be closely related to the primary job function, as determined by the local agency. applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. Note: Special inspectors shall be independent entities with no financial interest in the materials or the Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and project they are inspecting for compliance with this code. NON-FLAT COATINGS 100 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH GLOSS COATINGS 150 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in 703 VERIFICATIONS SPECIALTY COATINGS esilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the units of product, less packaging, which do not weigh more than 1 pound and do not consist of more 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not Festing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including ALUMINUM ROOF COATINGS 400 Version 1.2, January 2017 (Emission testing method for California Specification 01350) limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific commencing with section 94507. BASEMENT SPECIALTY COATINGS 400 See California Department of Public Health's website for certification programs and testing labs. documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist. **4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits BITUMINOUS ROOF COATINGS https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. BITUMINOUS ROOF PRIMERS 350 apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss BOND BREAKERS 350 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources composite wood products used on the interior or exterior of the buildings shall meet the requirements for Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in CONCRETE CURING COMPOUNDS 350 ormaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.). by or before the dates specified in those sections, as shown in Table 4.504.5 CONCRETE/MASONRY SEALERS 100 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested DRIVEWAY SEALERS Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic by the enforcing agency. Documentation shall include at least one of the following: compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATINGS 150 Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Product certifications and specifications. Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation FAUX FINISHING COATINGS 350 Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see FIRE RESISTIVE COATINGS CCR, Title 17, Section 93120, et seq.). **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the FLOOR COATINGS 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered enforcing agency. Documentation may include, but is not limited to, the following: Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA FORM-RELEASE COMPOUNDS 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency Field verification of on-site product containers. GRAPHIC ARTS COATINGS (SIGN PAINTS) 500 HIGH TEMPERATURE COATINGS 420 INDUSTRIAL MAINTENANCE COATINGS 4.505 INTERIOR MOISTURE CONTROL 250 TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2} 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code. LOW SOLIDS COATINGS 120 (Less Water and Less Exempt Compounds in Grams per Liter) 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by MAGNESITE CEMENT COATINGS 450 California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the ARCHITECTURAL APPLICATIONS VOC LIMIT California Residential Code, Chapter 5, shall also comply with this section. MASTIC TEXTURE COATINGS 100 INDOOR CARPET ADHESIVES 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the METALLIC PIGMENTED COATINGS 500 CARPET PAD ADHESIVES MULTICOLOR COATINGS 250 OUTDOOR CARPET ADHESIVES 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with PRETREATMENT WASH PRIMERS 420 a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding WOOD FLOORING ADHESIVES shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, PRIMERS, SEALERS, & UNDERCOATERS 100 RUBBER FLOOR ADHESIVES REACTIVE PENETRATING SEALERS Other equivalent methods approved by the enforcing agency. 350 50 SUBFLOOR ADHESIVES 3. A slab design specified by a licensed design professional. RECYCLED COATINGS 250 CERAMIC TILE ADHESIVES 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage ROOF COATINGS shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent VCT & ASPHALT TILE ADHESIVES noisture content. Moisture content shall be verified in compliance with the following: RUST PREVENTATIVE COATINGS 250 DRYWALL & PANEL ADHESIVES SHELLACS 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent COVE BASE ADHESIVES moisture verification methods may be approved by the enforcing agency and shall satisfy requirements 730 found in Section 101.8 of this code MULTIPURPOSE CONSTRUCTION ADHESIVE 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end OPAQUE 550 of each piece verified. 100 STRUCTURAL GLAZING ADHESIVES SPECIALTY PRIMERS, SEALERS & At least three random moisture readings shall be performed on wall and floor framing with documentation 100 SINGLE-PLY ROOF MEMBRANE ADHESIVES UNDERCOATERS acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. STAINS OTHER ADHESIVES NOT LISTED 250 nsulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying SPECIALTY APPLICATIONS STONE CONSOLIDANTS 450 ecommendations prior to enclosure 510 SWIMMING POOL COATINGS 340 PVC WELDING 4.506 INDOOR AIR QUALITY AND EXHAUST 490 TRAFFIC MARKING COATINGS 100 CPVC WELDING **4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the TUB & TILE REFINISH COATINGS ABS WELDING 420 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. PLASTIC CEMENT WELDING 250 WATERPROOFING MEMBRANES 250 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a WOOD COATINGS 275 ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE WOOD PRESERVATIVES 350 a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of ZINC-RICH PRIMERS 250 SPECIAL PURPOSE CONTACT ADHESIVE b. A humidity control may be a separate component to the exhaust fan and is not required to be 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & STRUCTURAL WOOD MEMBER ADHESIVE integral (i.e., built-in) EXEMPT COMPOUNDS TOP & TRIM ADHESIVE 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS SUBSTRATE SPECIFIC APPLICATIONS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY METAL TO METAL 30 THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. PLASTIC FOAMS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. 4.507 ENVIRONMENTAL COMFORT POROUS MATERIAL (EXCEPT WOOD) 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: FIBERGLASS 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. Equipment Selection), or other equivalent design software or methods. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE **Exception:** Use of alternate design temperatures necessary to ensure the system functions are

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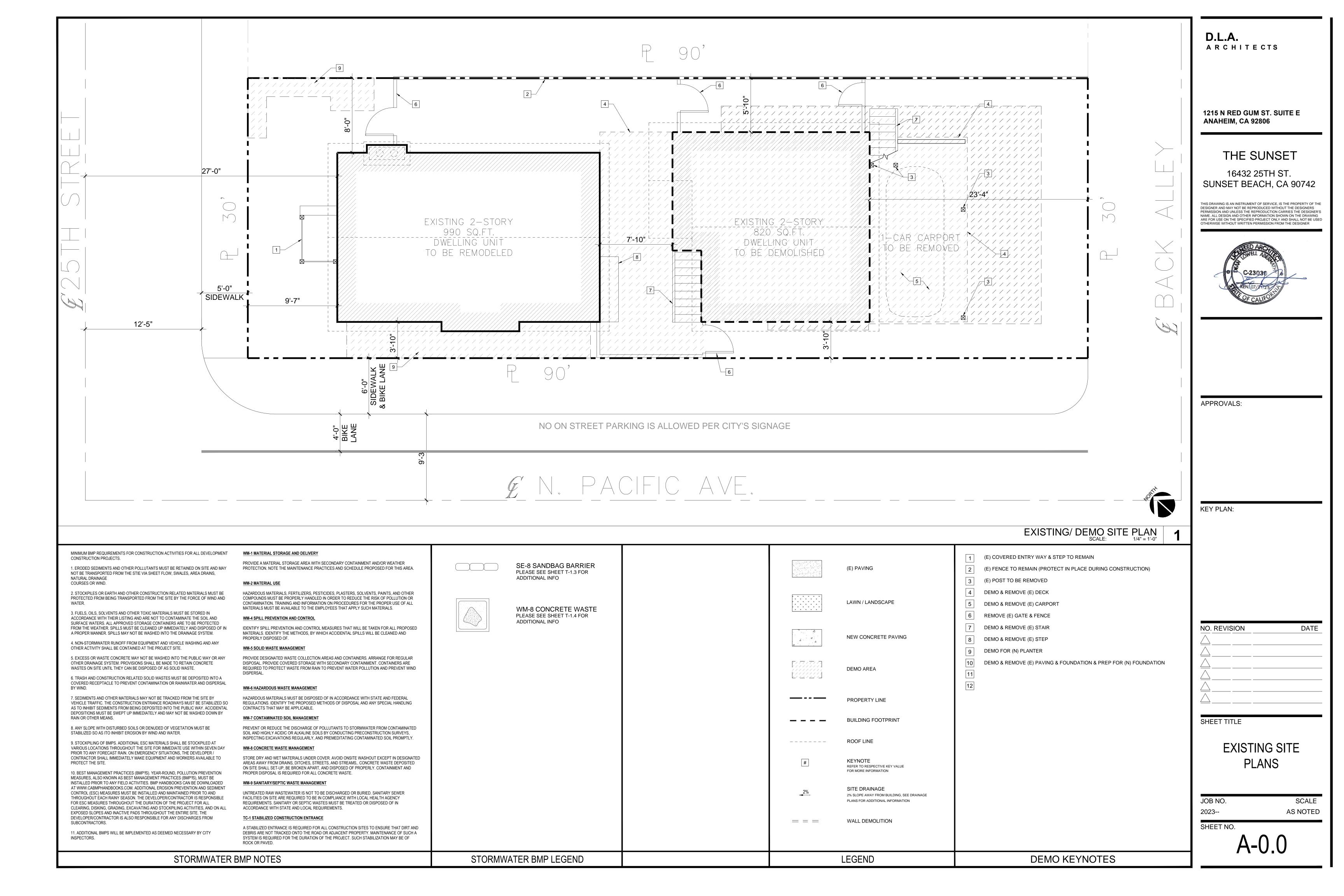
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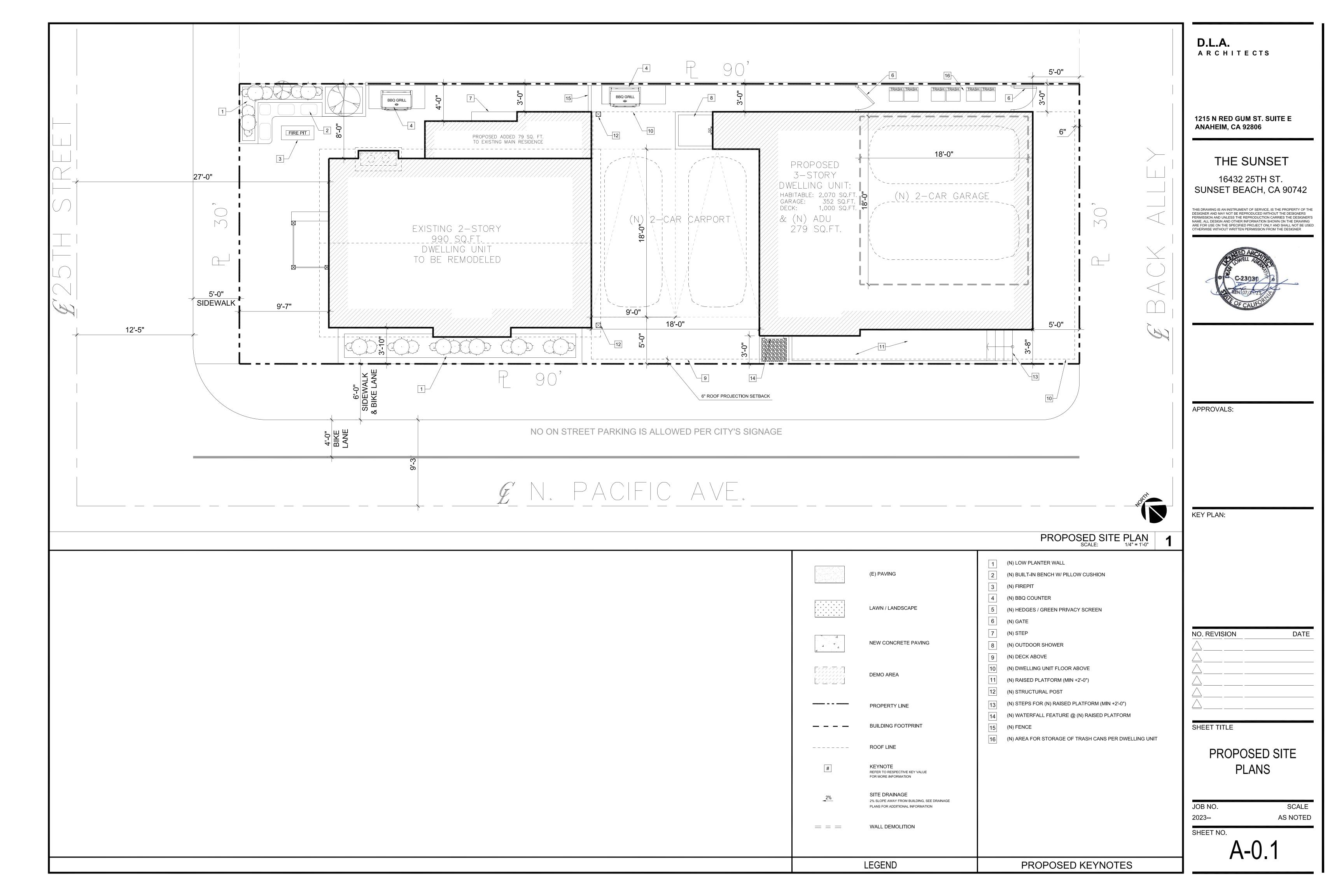
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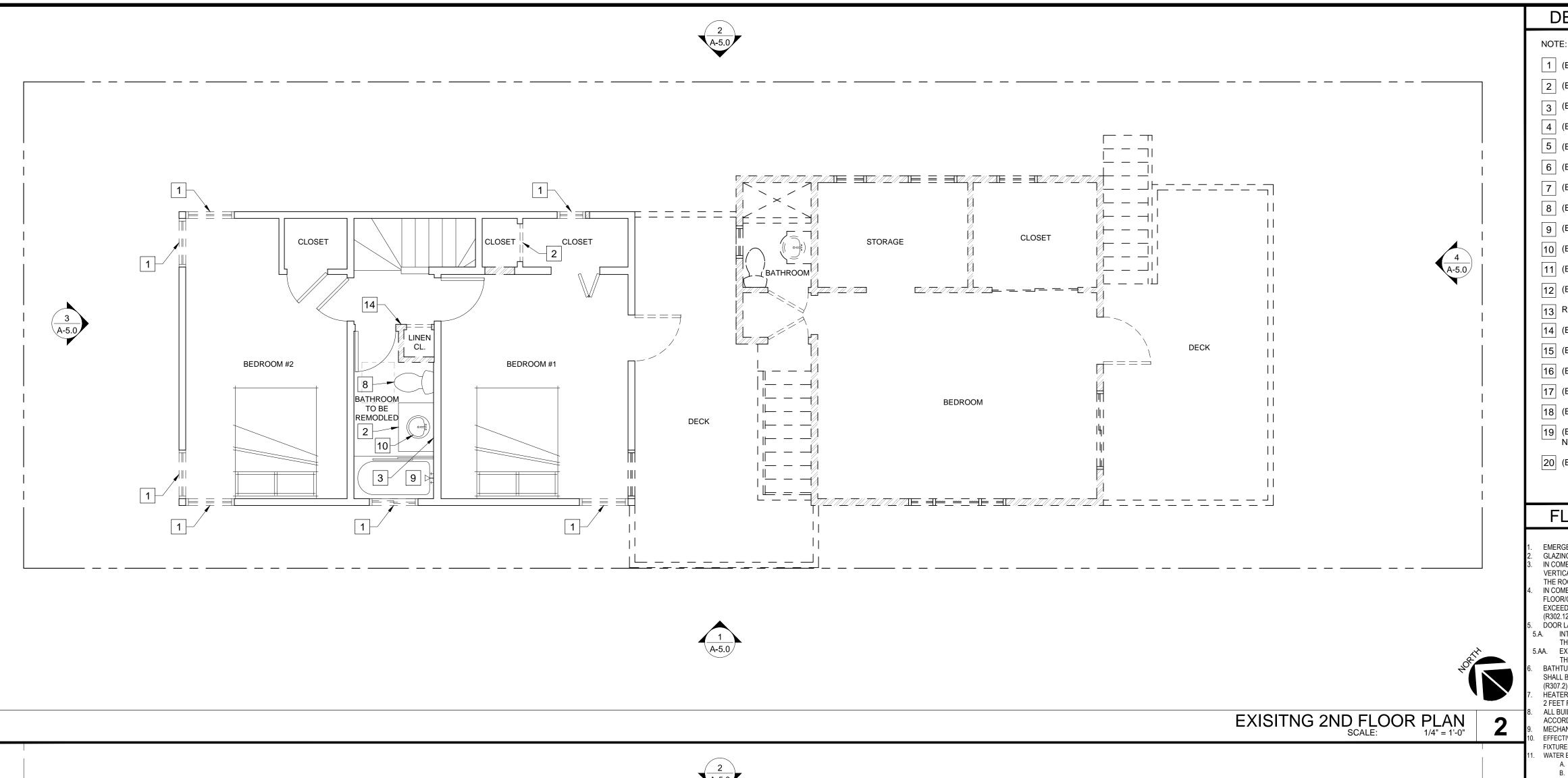
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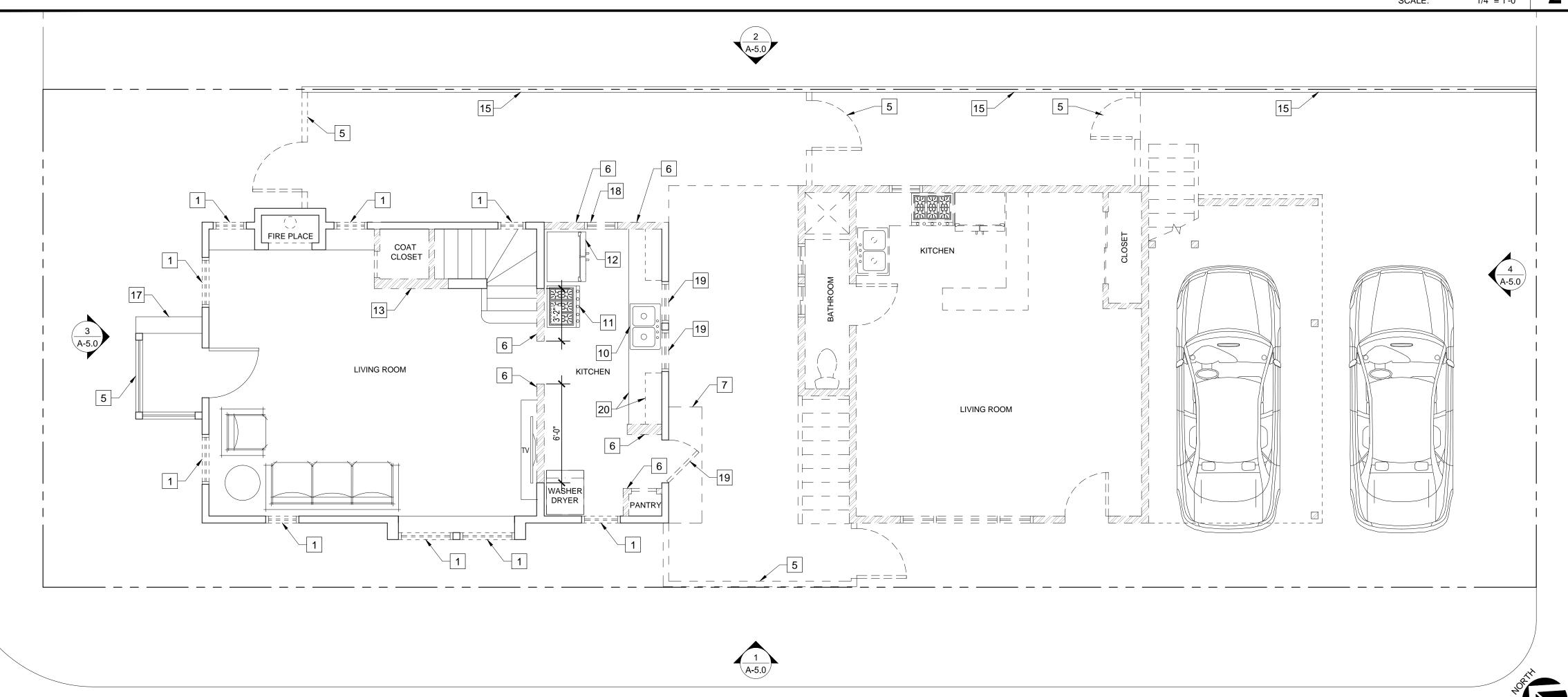
SHEET TITLE

AS NOTED









DEMO / FLOOR PLAN KEYNOTES

NOTE: NOT ALL NOTES APPLY TO THIS SHEET

1 (E) WINDOW TO BE REPLACED

2 (E) SINK & CABINET TO BE REMOVED

(E) MIRROR TO BE REMOVED

4 (E) DOOR TO BE REMOVED

5 (E) GATE & FENCE TO BE REMOVED

6 (E) PARTIAL OF WALL TO BE DEMO & REMOVED

7 (E) STEP TO BE DEMO & REMOVED

8 (E) TOILET TO BE REMOVED

9 (E) SHOWER TO BE REMOVED

10 (E) SINK TO BE REMOVED 11 (E) STOVE TO BE REMOVED

12 (E) REFRIGERATOR TO BE REMOVED

RE-FRAME (E) STAIR TO REMODEL CLOSET LARGE ENOUGH TO HOUSE WASHER / DRYER

|14| (E) LINEN CLOSET TO BE REMOVED AND FOOTPRINT ADDED TO (E) BATHROOM

| 15 | (E) NEIGHBORING VINYL FENCE TO REMAIN - PROTECT IN PLACE

16 (E) COVERED ENTRYWAY WITH PRIVACY SCREENS TO REMAIN

|17| (E) STEP AT COVERED ENTRY WAY TO REMAIN

18 (E) WINDOW TO BE REMOVED & PREP FOR (N) DOOR

|19| (E) WINDOW / DOOR TO BE REMOVED & WALL TO BE INFILLED - PATCH & REPAIR WHERE

20 (E) UPPER & LOWER CABINETRY TO BE DEMO & REMOVED

FLOOR PLAN NOTES

EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310. MEANS OF EGRESS PER C.R.C. R311.

GLAZING PER C.R.C. R301.2.1.2, R303.1 & R308 IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11) IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A

FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. DOOR LANDING REQUIREMENTS

5.A. INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2 " LOWE THAN THE TOP OF THE

5.AA. EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. (R311.3.1). BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9) ALL BUILDINGS (S.F.D & ACC.L.Q) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN

ACCORDANCE WITH SECTION R313.3 OR NFPA13D. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307. EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES. WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES; THE MAXIMUM FLOW RATES FOR ALL PLIMBING FIXTURES PER CGBSC 4.303:

A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.

C. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60

D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 60 SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3) PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4) THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCE ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS

AND/OR ADDITIONAL EXPENSES. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE

PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL B FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST I ADAPTED FOR LOW WATER CONSUMPTION. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED

WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC) FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS, MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC) FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION

SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT

HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2). EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE

TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES

ABOVE THE FLOOR LEVEL. (R303.1) . A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. . ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

PLAN LEGEND

EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

(E) WALL TO BE DEMO & REMOVED (E) WALL TO REMAIN

DOOR TAG

WINDOW TAG

TYP. TOILET LAYOUT SLAB ELEVATION CHANGE REFER TO BUILDING ELEVATIONS AND SITE PLAN FOR

ADDITIONAL HEIGHT INFORMATION. KEYNOTE REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION



SMOKE DETECTOR



OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

EXISTING 1ST & 2ND FLOOR PLAN

JOB NO. 2023--

SCALE AS NOTED

EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONEN KEY PLAN:

APPROVALS:

D.L.A.

ARCHITECTS

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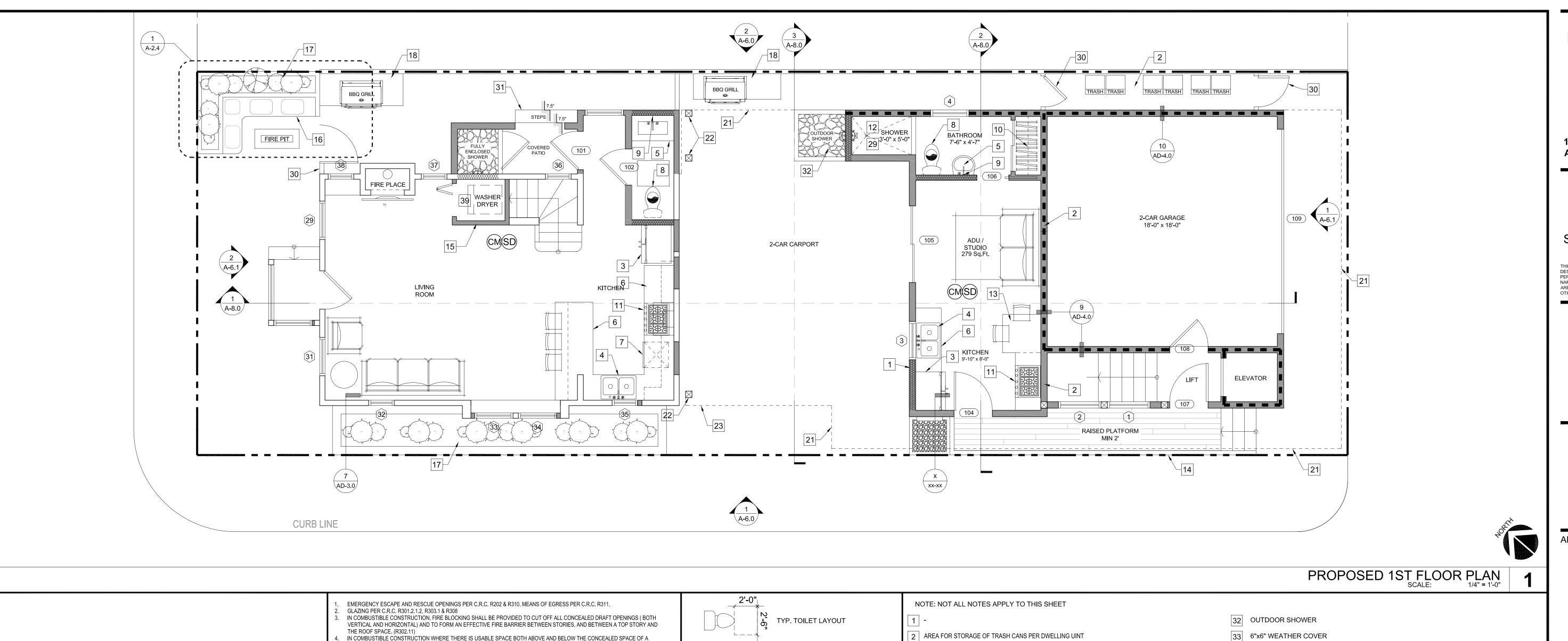
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NO. REVISION DATE

SHEET TITLE



PLAN LEGEND

FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT

DOOR LÁNDING REQUIREMENTS:

AND/OR ADDITIONAL EXPENSES.

SYSTEM (R306.3)

2977. (3162B)

ABOVE THE FLOOR LEVEL. (R303.1)

FLOOR PLAN NOTES

ABOVE THE FLOOR (R307.2).

ADAPTED FOR LOW WATER CONSUMPTION.

1. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2).

29. ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

THE LANDING OR FLOOR. (R311.3.1).

ACCORDANCE WITH SECTION R313.3 OR NFPA13D.

EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

5.A. INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2 " LOWE THAN THE TOP OF THE

5.AA. EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS

SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

ALL BUILDINGS (S.F.D & ACC.L.Q) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN

EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING

WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES; THE MAXIMUM FLOW RATES FOR ALL PLIMBING FIXTURES PER CGBSC 4.303;

SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)

3. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER

DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES,

ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS

AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR

STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS

6. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL

KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE

FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET

9. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE

LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED).

AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE

13. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION

OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO.

15. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS

6. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT

TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES

HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING

Y. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

0. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED

FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL

4. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

C. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI.

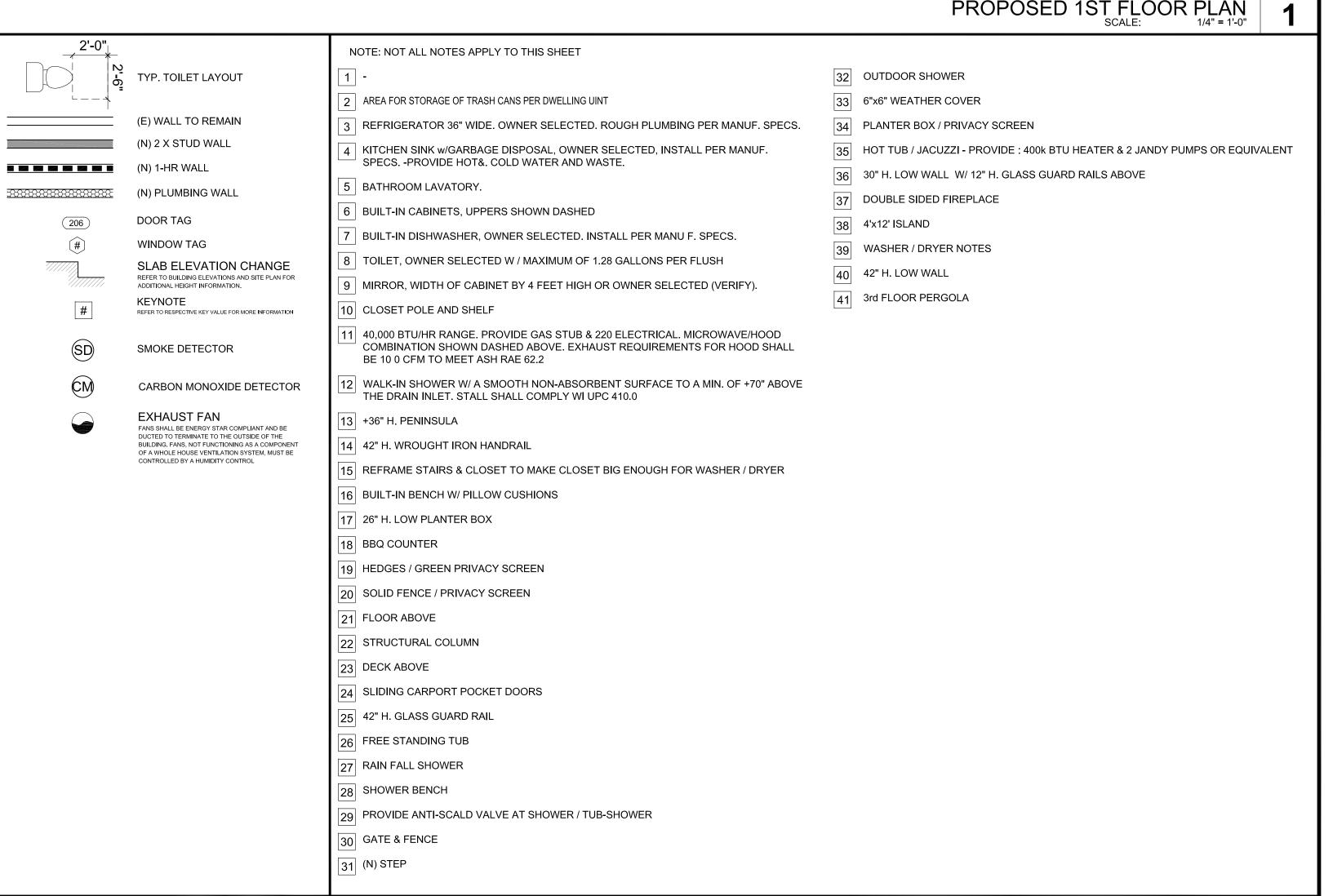
D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 60 PSI.

B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.

MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND



FLOOR PLAN KEYNOTES

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KEY PLAN:

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SHEET TITLE

PROPOSED 1ST FLOOR PLAN

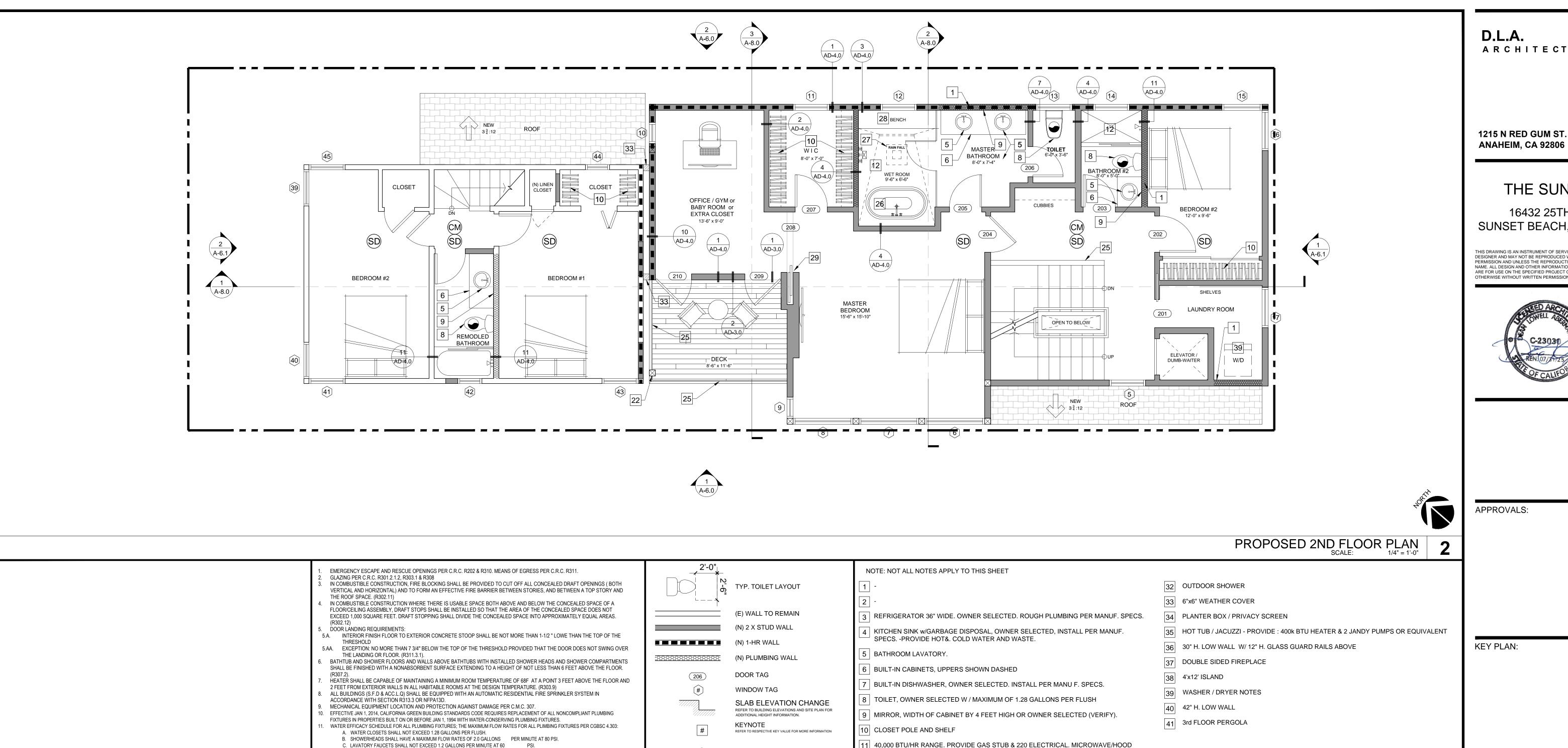
JOB NO. 2023--

- AS NOTED

SCALE

SHEET NO.

A-2.0



D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 60

REQUIRED.

(R308.6.9)

SYSTEM (R306.3)

ABOVE THE FLOOR (R307.2).

ABOVE THE FLOOR LEVEL. (R303.1)

FLOOR PLAN NOTES

ADAPTED FOR LOW WATER CONSUMPTION.

1. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2).

29. ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)

3. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4) 4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER

DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES,

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. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR

STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS

16. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL

PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

7. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE

B. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE

FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET

9. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE

LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED).

ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL

3. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION

OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO.

SOURCE SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS

5. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT

HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES

AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE

0. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED

2. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL

ARCHITECTS 1215 N RED GUM ST. SUITE E THE SUNSET 16432 25TH ST. SUNSET BEACH, CA 90742 THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS. PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DESIGNER'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE DESIGNER NO. REVISION DATE

40,000 BTU/HR RANGE. PROVIDE GAS STUB & 220 ELECTRICAL. MICROWAVE/HOOD COMBINATION SHOWN DASHED ABOVE. EXHAUST REQUIREMENTS FOR HOOD SHALL SMOKE DETECTOR BE 10 0 CFM TO MEET ASH RAE 62.2 2 WALK-IN SHOWER W/ A SMOOTH NON-ABSORBENT SURFACE TO A MIN. OF +70" ABOVE CARBON MONOXIDE DETECTOR THE DRAIN INLET. STALL SHALL COMPLY WI UPC 410.0 EXHAUST FAN 13 +36" H. PENINSULA FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE 14 42" H. WROUGHT IRON HANDRAIL CONTROLLED BY A HUMIDITY CONTROL 15 REFRAME STAIRS & CLOSET TO MAKE CLOSET BIG ENOUGH FOR WASHER / DRYER 16 BUILT-IN BENCH W/ PILLOW CUSHIONS 17 LOW PLANTER BOX 18 BBQ COUNTER 19 HEDGES / GREEN PRIVACY SCREEN 20 SOLID FENCE / PRIVACY SCREEN 21 FLOOR ABOVE 22 STRUCTURAL COLUMN 23 DECK ABOVE 24 SLIDING CARPORT POCKET DOORS 25 42" H. GLASS GUARD RAIL 26 FREE STANDING TUB 27 RAIN FALL SHOWER SHOWER BENCH - SEE DETAIL 4 / SHEET AD-3.0 29 PROVIDE ANTI-SCALD VALVE AT SHOWER / TUB-SHOWER 30 GATE & FENCE 31 (N) STEP PLAN LEGEND FLOOR PLAN KEYNOTES

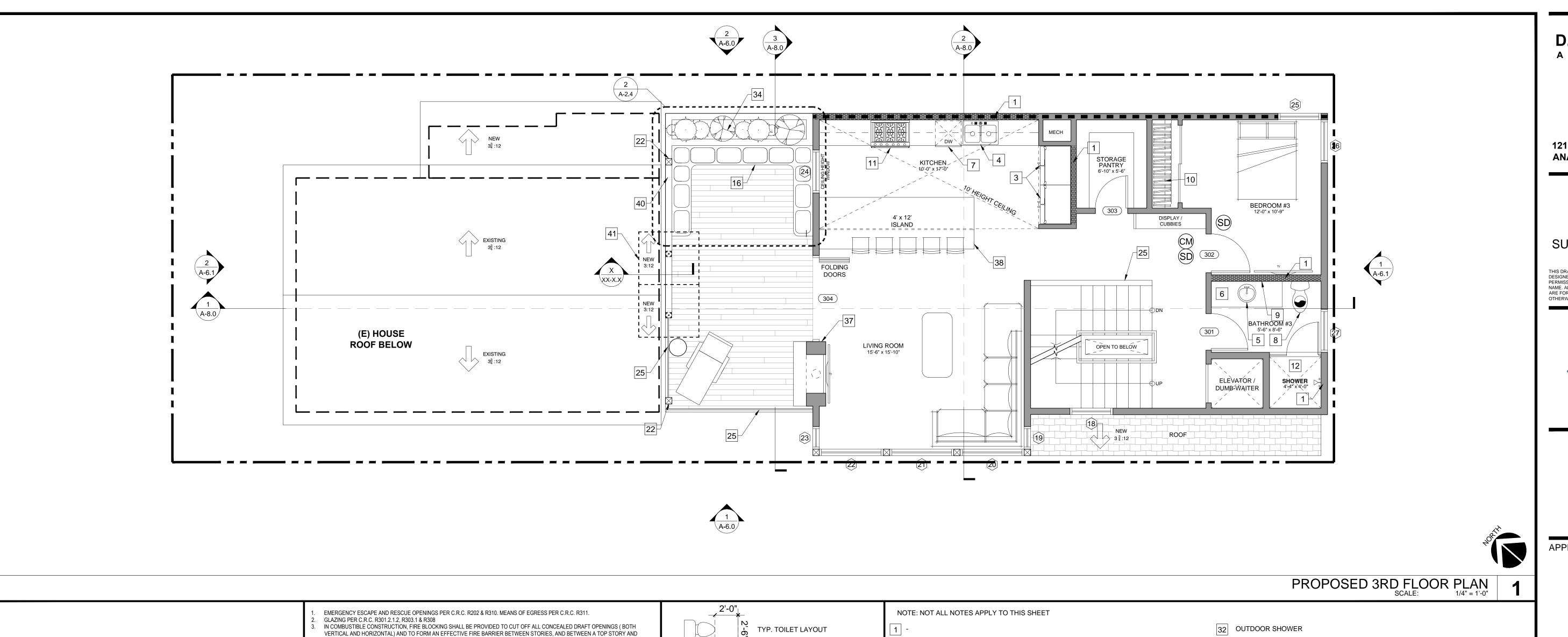
SHEET TITLE

PROPOSED

JOB NO. 2023--

AS NOTED

SCALE



(E) WALL TO REMAIN

(N) 2 X STUD WALL

(N) PLUMBING WALL

SMOKE DETECTOR

EXHAUST FAN

SLAB ELEVATION CHANGE

REFER TO BUILDING ELEVATIONS AND SITE PLAN FOR ADDITIONAL HEIGHT INFORMATION.

REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION

CARBON MONOXIDE DETECTOR

FANS SHALL BE ENERGY STAR COMPLIANT AND BE

DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

CONTROLLED BY A HUMIDITY CONTROL

DOOR TAG

KEYNOTE

WINDOW TAG

(N) 1-HR WALL

206

#

#

PLAN LEGEND

THE ROOF SPACE. (R302.11)

DOOR LÁNDING REQUIREMENTS:

REQUIRED.

(R308.6.9)

SYSTEM (R306.3)

ABOVE THE FLOOR (R307.2).

ABOVE THE FLOOR LEVEL. (R303.1)

FLOOR PLAN NOTES

ADAPTED FOR LOW WATER CONSUMPTION.

1. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2).

29. ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

THE LANDING OR FLOOR. (R311.3.1).

ACCORDANCE WITH SECTION R313.3 OR NFPA13D.

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT

EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

5.A. INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2 " LOWE THAN THE TOP OF THE

5.AA. EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS

SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND

ALL BUILDINGS (S.F.D & ACC.L.Q) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN

EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING

WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES; THE MAXIMUM FLOW RATES FOR ALL PLIMBING FIXTURES PER CGBSC 4.303:

SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)

3. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4) 4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER

DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES,

ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS

. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR

STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS

16. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL

PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

7. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE

B. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE

FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET

9. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE

LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED).

AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE

3. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO.

5. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS

6. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT

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7. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES

20. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED

2. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL

2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.

C. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 60

MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.

D.L.A. ARCHITECTS 1215 N RED GUM ST. SUITE E **ANAHEIM, CA 92806** THE SUNSET 16432 25TH ST. SUNSET BEACH, CA 90742 THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS. PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DESIGNER'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE DESIGNER APPROVALS: | 35 | HOT TUB / JACUZZI - PROVIDE : 400k BTU HEATER & 2 JANDY PUMPS OR EQUIVALENT KEY PLAN: DATE

NO. REVISION DA
PROPOSED 3RD FLOOR PLAN
JOB NO. SCA 2023 AS NOT SHEET NO. A-2.2

SCALE

AS NOTED

33 6"x6" WEATHER COVER

37 DOUBLE SIDED FIREPLACE

39 WASHER / DRYER NOTES

38 4'x12' ISLAND

40 42" H. LOW WALL

41 3rd FLOOR PERGOLA

34 38" H. PLANTER BOX / PRIVACY SCREEN

36 30" H. LOW WALL W/ 12" H. GLASS GUARD RAILS ABOVE

3 REFRIGERATOR 36" WIDE. OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECS.

KITCHEN SINK W/GARBAGE DISPOSAL, OWNER SELECTED, INSTALL PER MANUF.

7 BUILT-IN DISHWASHER, OWNER SELECTED. INSTALL PER MANU F. SPECS.

9 MIRROR, WIDTH OF CABINET BY 4 FEET HIGH OR OWNER SELECTED (VERIFY).

11 40,000 BTU/HR RANGE. PROVIDE GAS STUB & 220 ELECTRICAL. MICROWAVE/HOOD

15 REFRAME STAIRS & CLOSET TO MAKE CLOSET BIG ENOUGH FOR WASHER / DRYER

COMBINATION SHOWN DASHED ABOVE. EXHAUST REQUIREMENTS FOR HOOD SHALL

2 WALK-IN SHOWER W/ A SMOOTH NON-ABSORBENT SURFACE TO A MIN. OF +70" ABOVE

8 TOILET, OWNER SELECTED W / MAXIMUM OF 1.28 GALLONS PER FLUSH

SPECS. -PROVIDE HOT&. COLD WATER AND WASTE.

6 BUILT-IN CABINETS, UPPERS SHOWN DASHED

BE 10 0 CFM TO MEET ASH RAE 62.2

14 42" H. WROUGHT IRON HANDRAIL

16 BUILT-IN BENCH W/ PILLOW CUSHIONS

19 HEDGES / GREEN PRIVACY SCREEN

24 SLIDING CARPORT POCKET DOORS

29 PROVIDE ANTI-SCALD VALVE AT SHOWER / TUB-SHOWER

FLOOR PLAN KEYNOTES

20 SOLID FENCE / PRIVACY SCREEN

THE DRAIN INLET. STALL SHALL COMPLY WI UPC 410.0

5 BATHROOM LAVATORY.

10 CLOSET POLE AND SHELF

13 +36" H. PENINSULA

17 LOW PLANTER BOX

18 BBQ COUNTER

21 FLOOR ABOVE

23 DECK ABOVE

22 STRUCTURAL COLUMN

25 42" H. GLASS GUARD RAIL

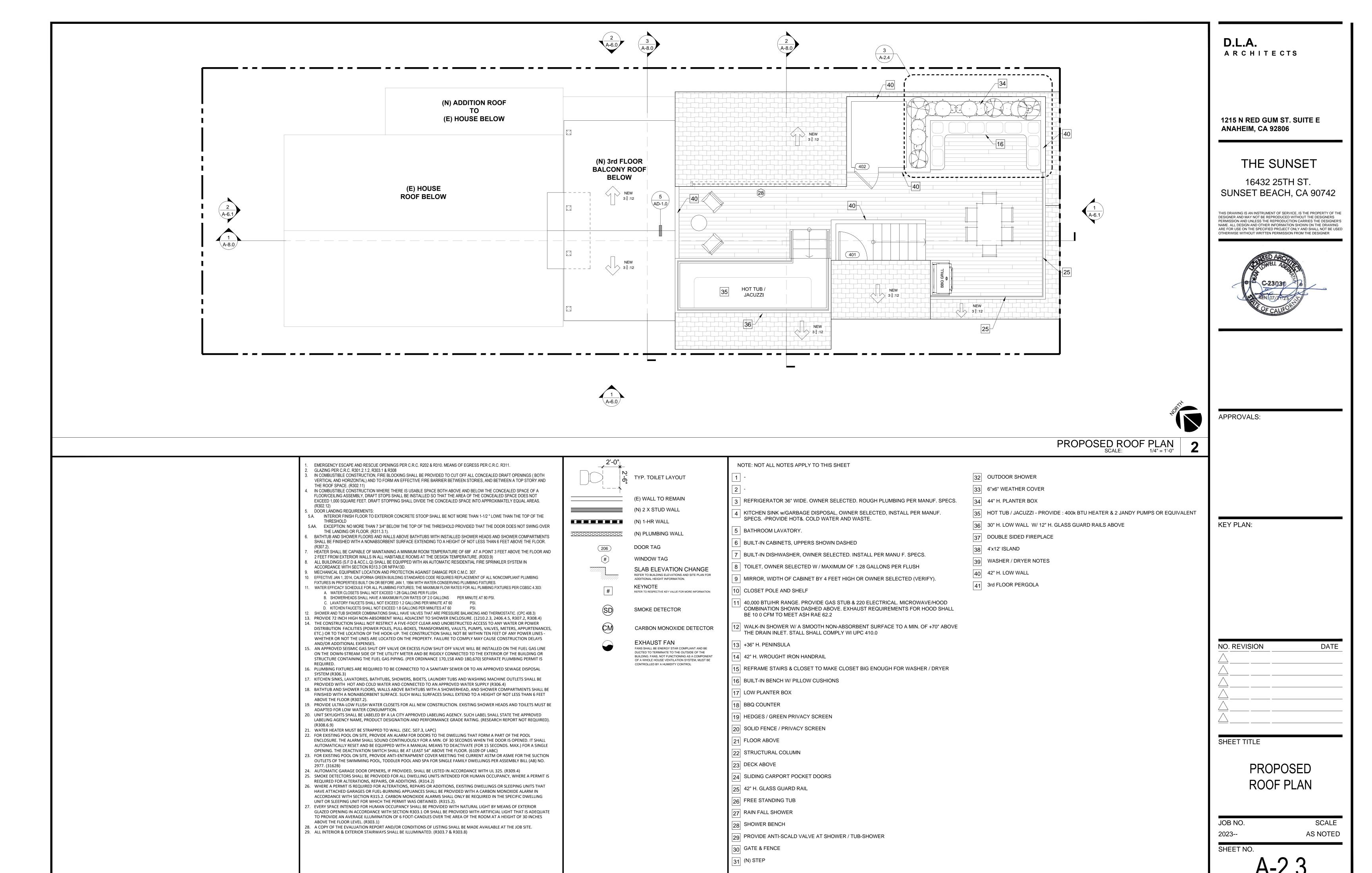
26 FREE STANDING TUB

27 RAIN FALL SHOWER

28 SHOWER BENCH

30 GATE & FENCE

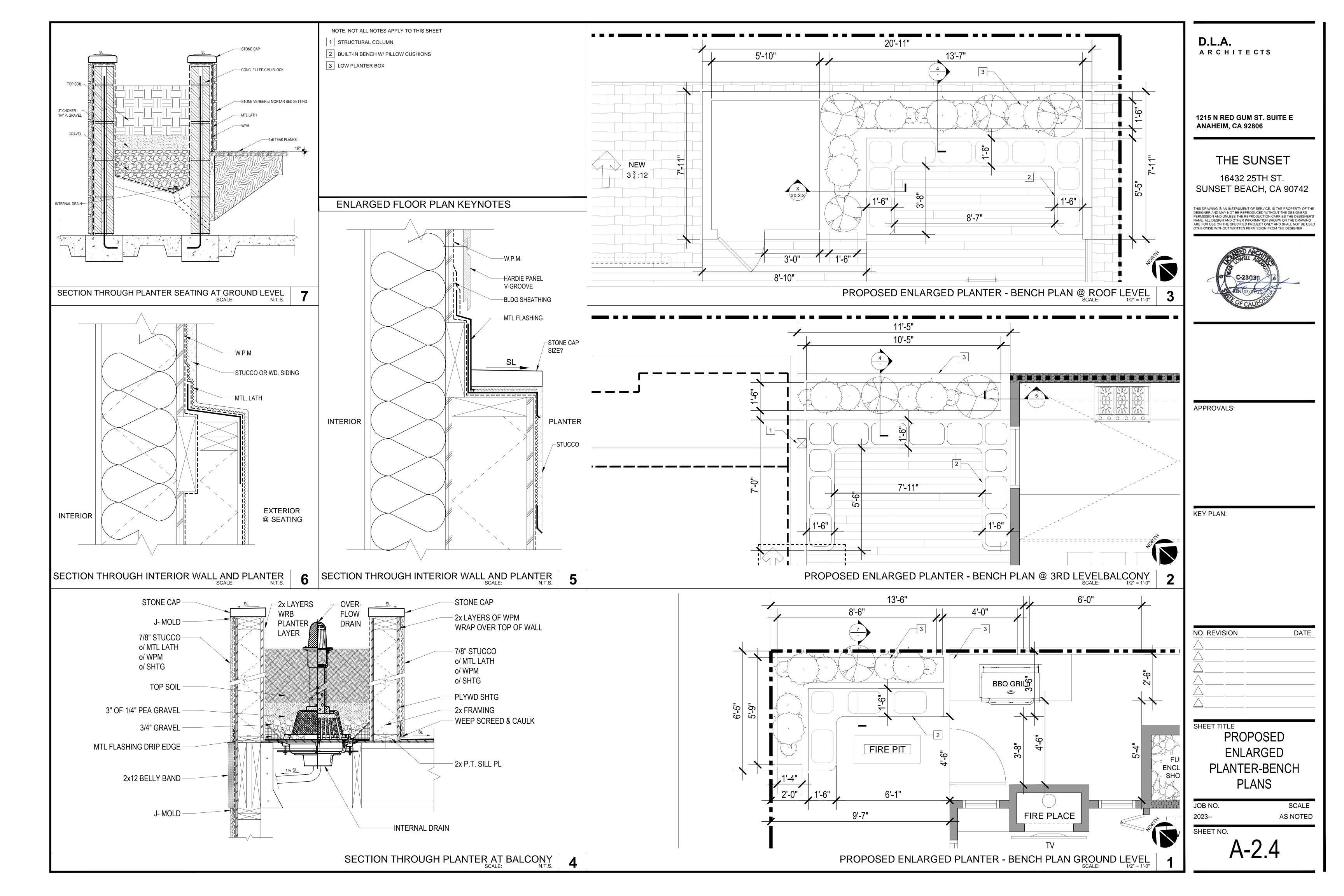
31 (N) STEP

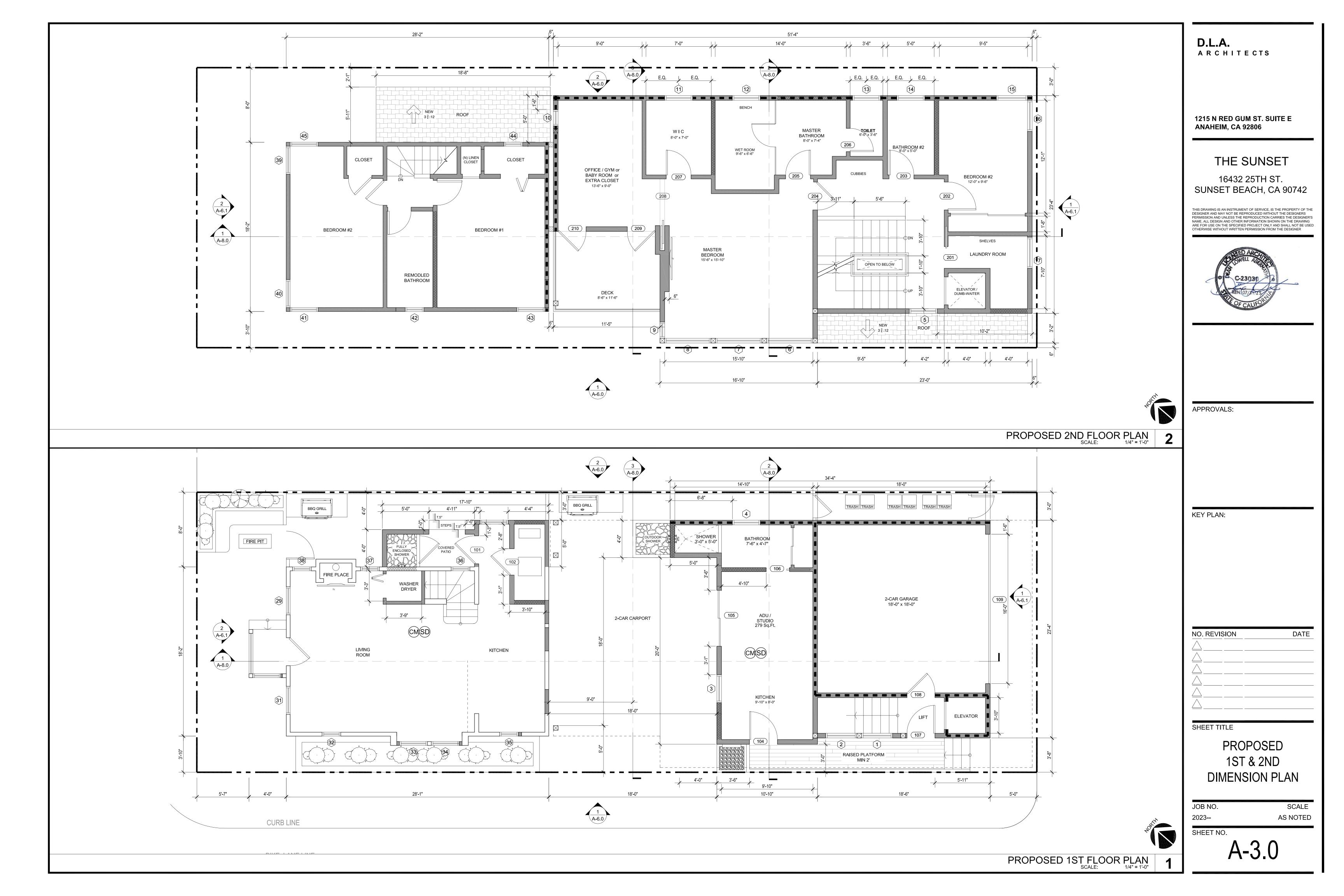


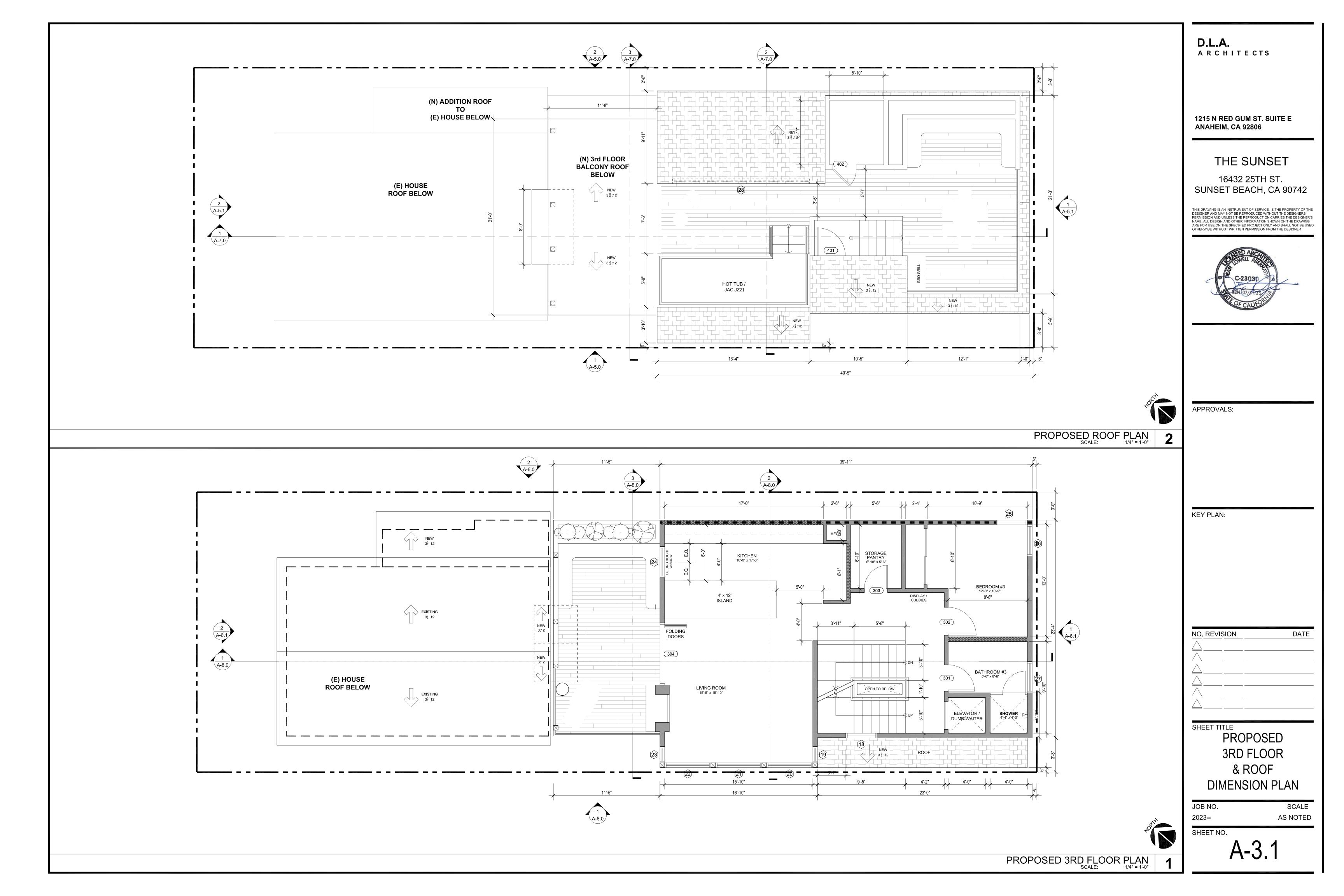
PLAN LEGEND

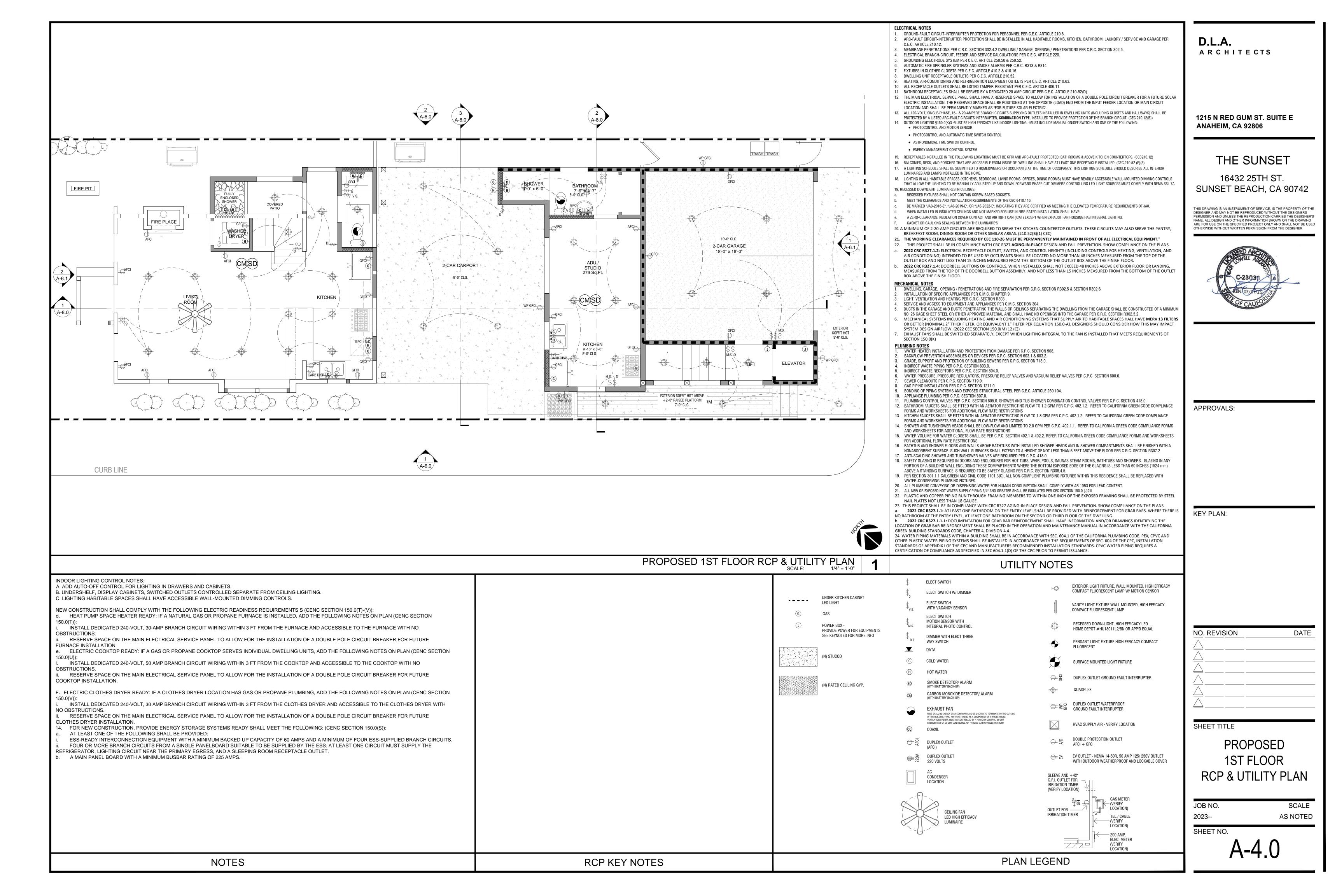
FLOOR PLAN KEYNOTES

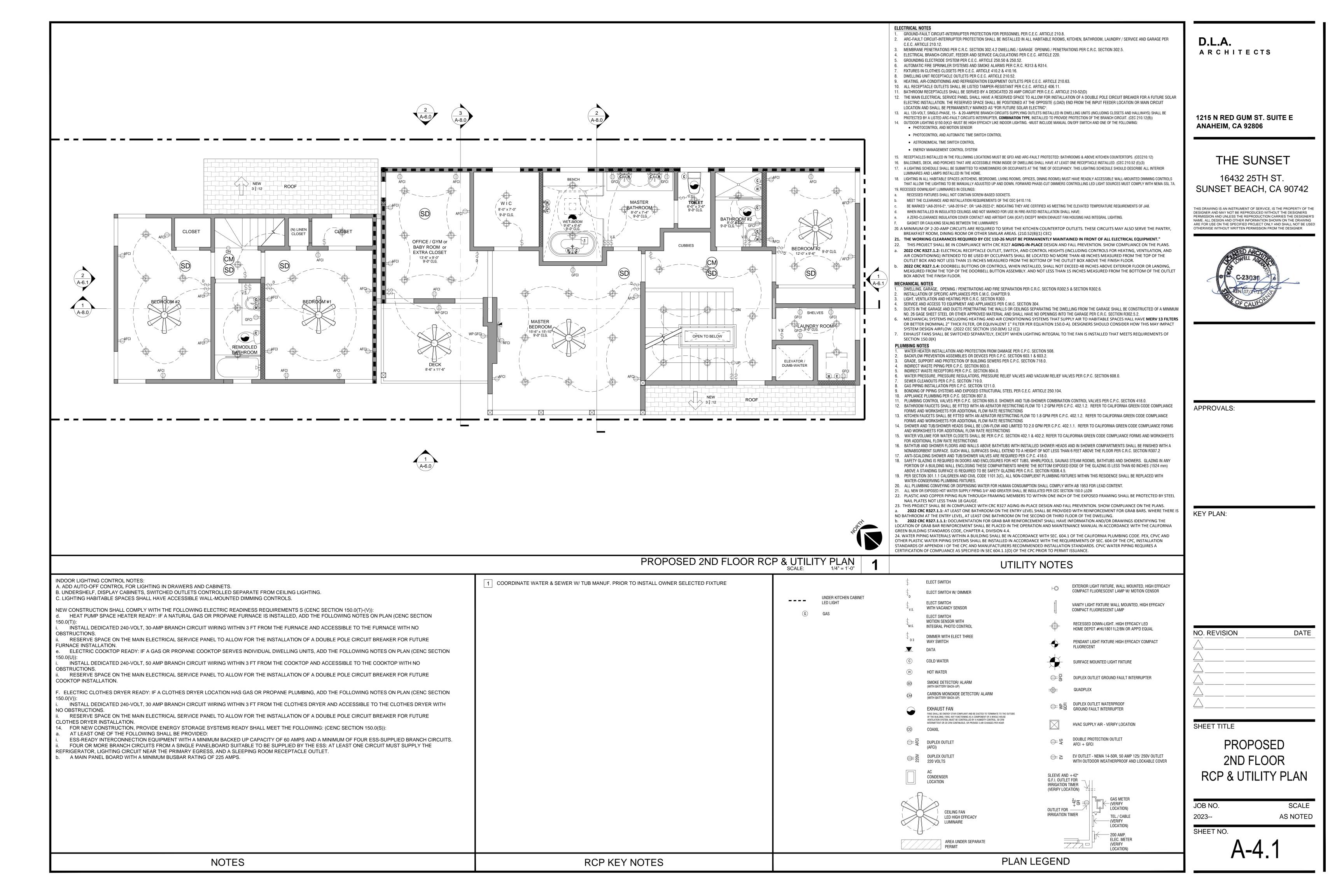
FLOOR PLAN NOTES

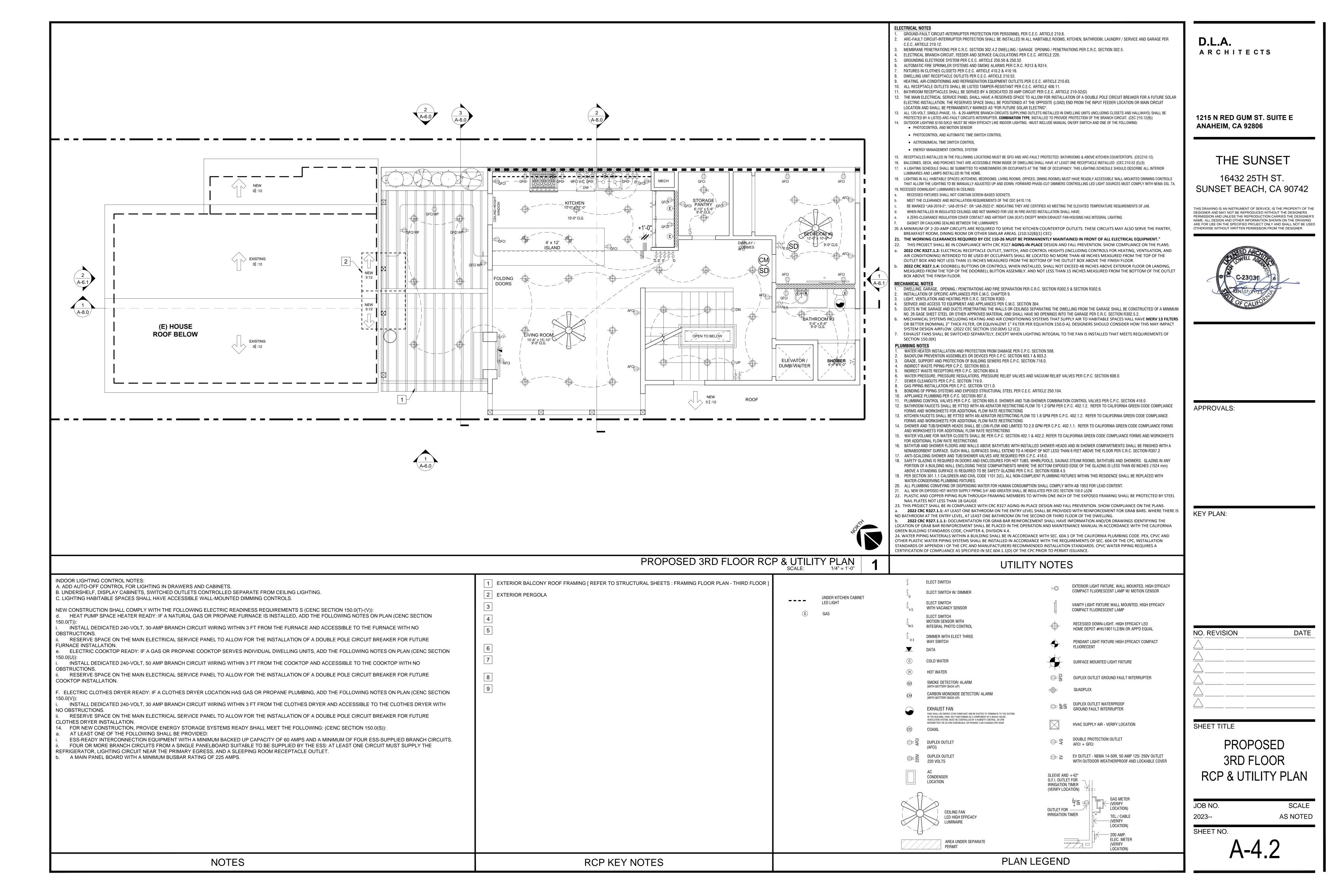


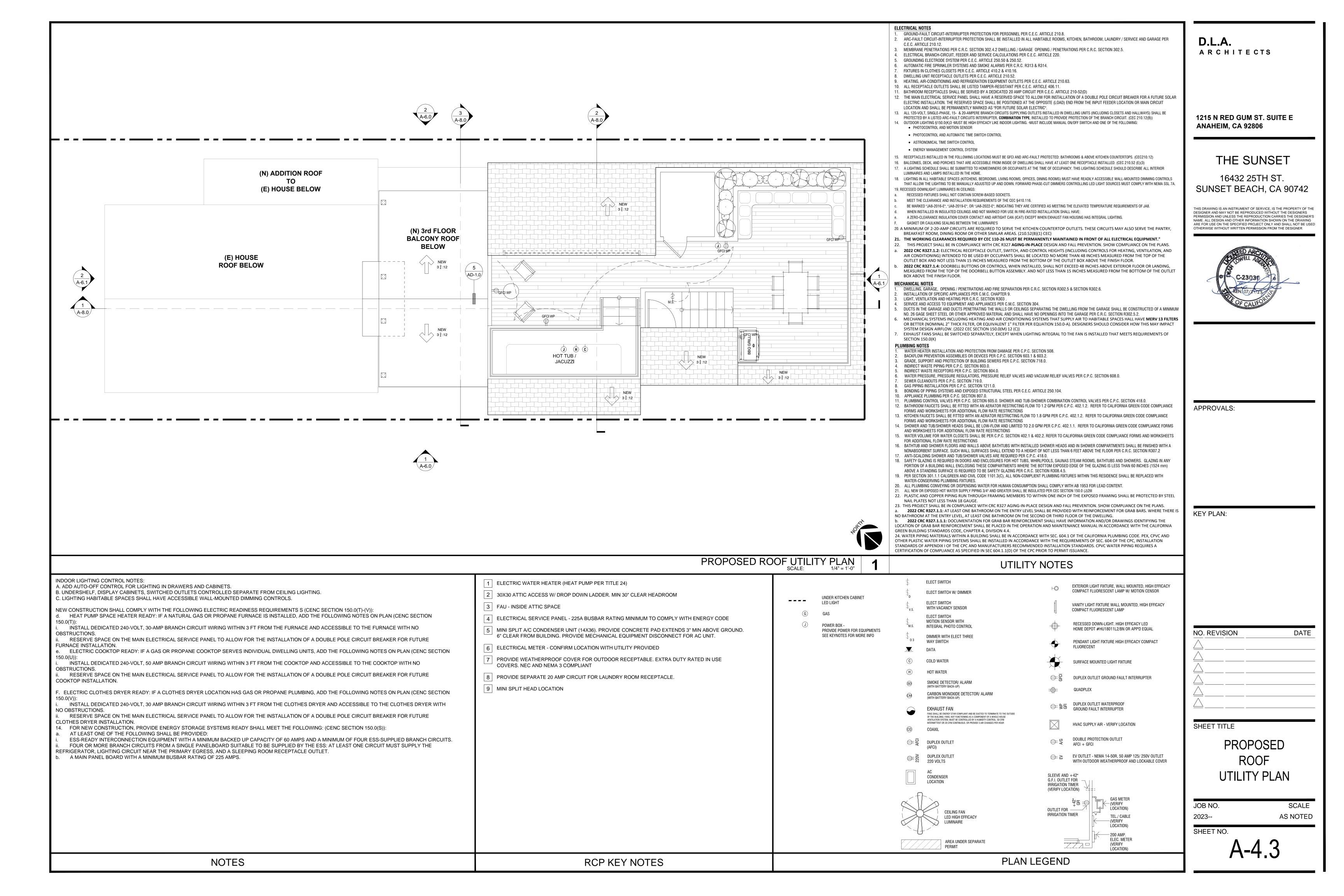


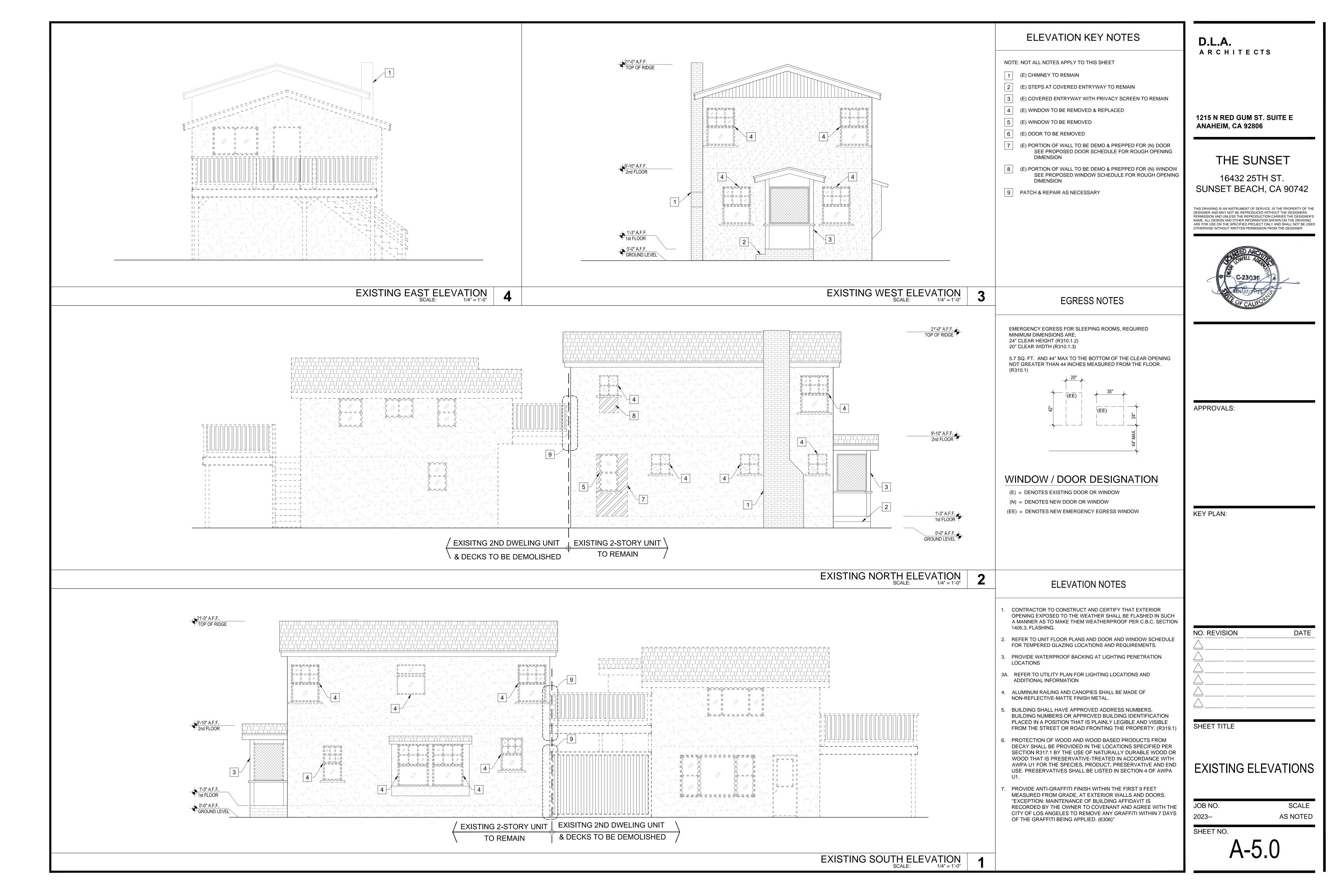


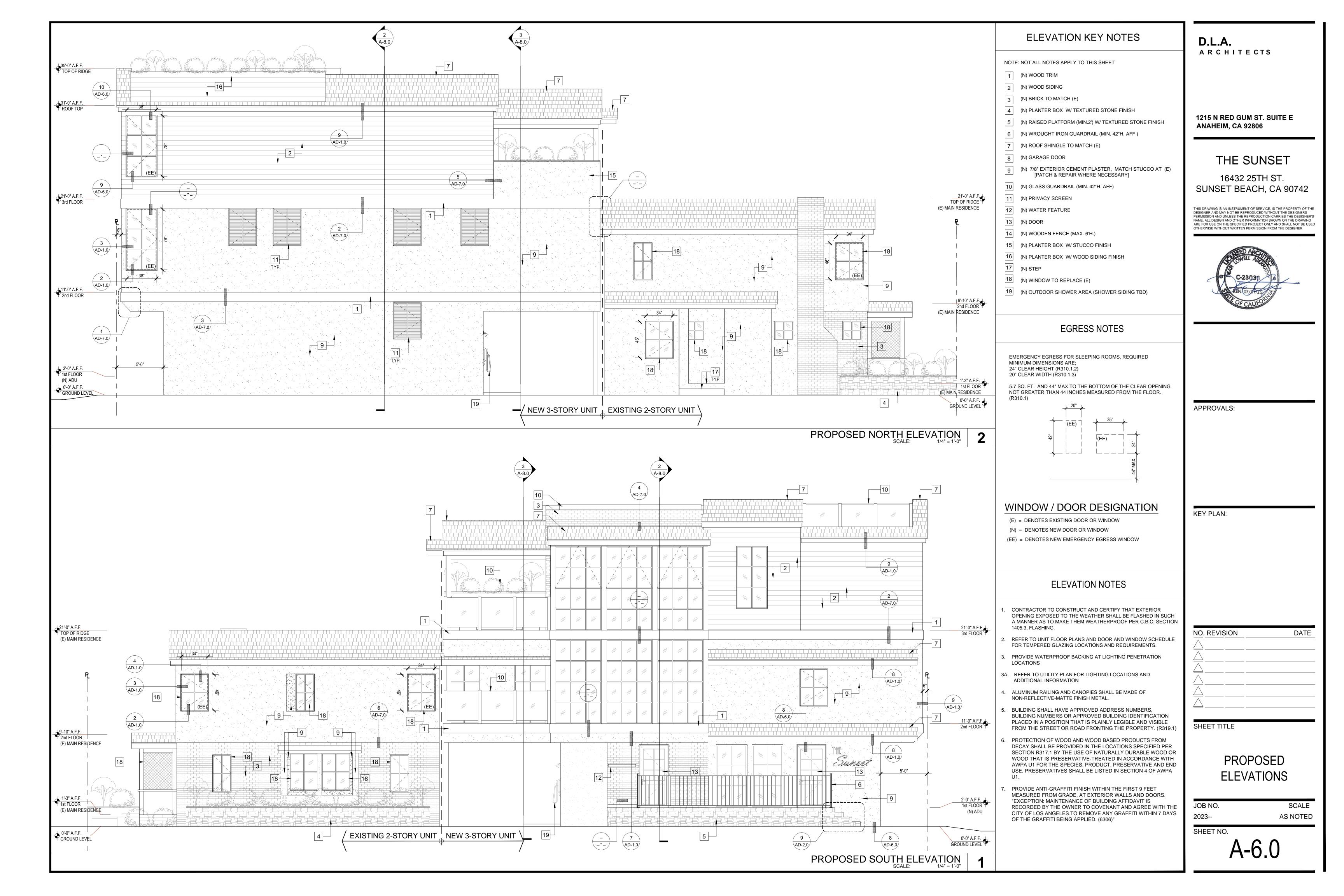


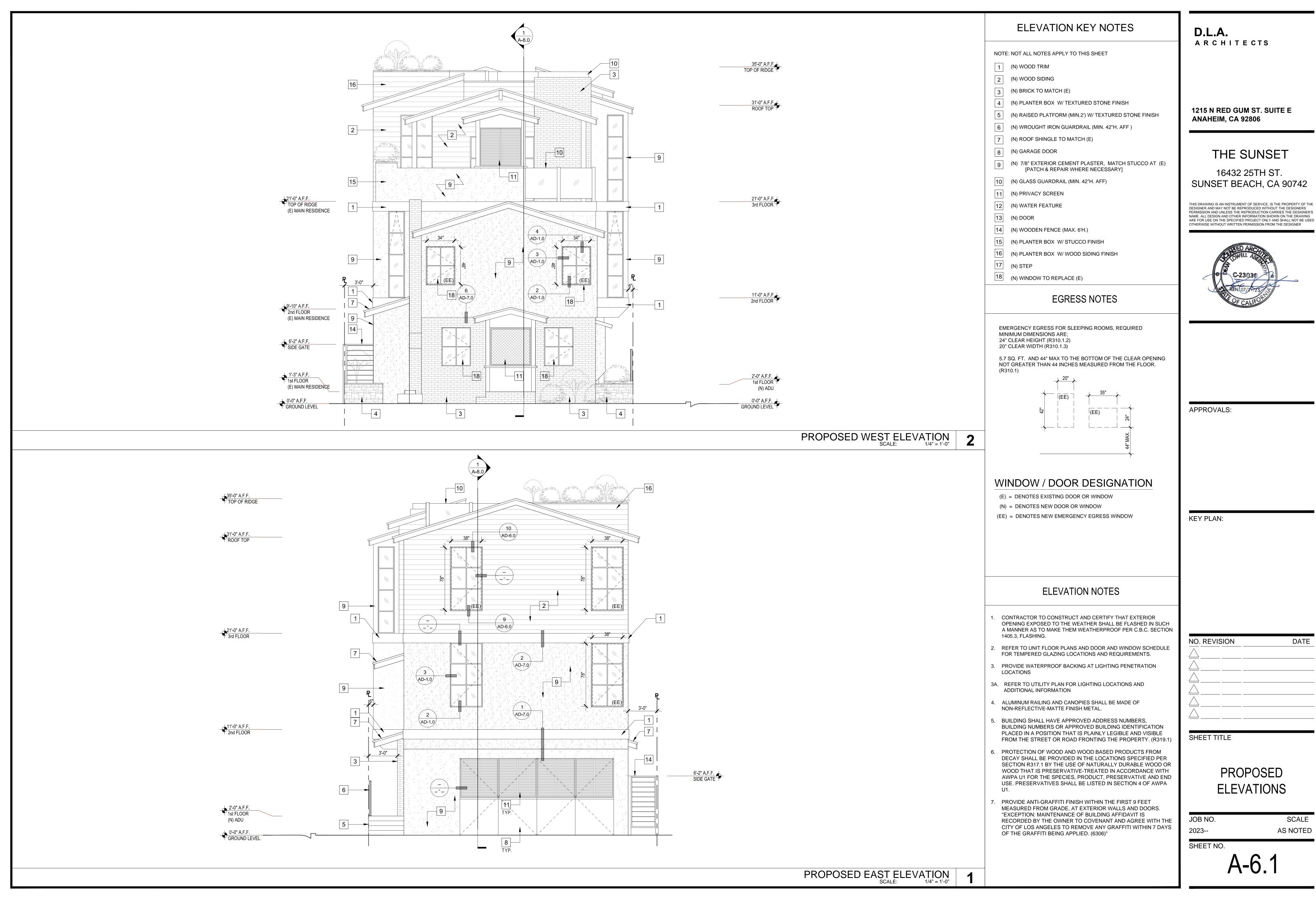






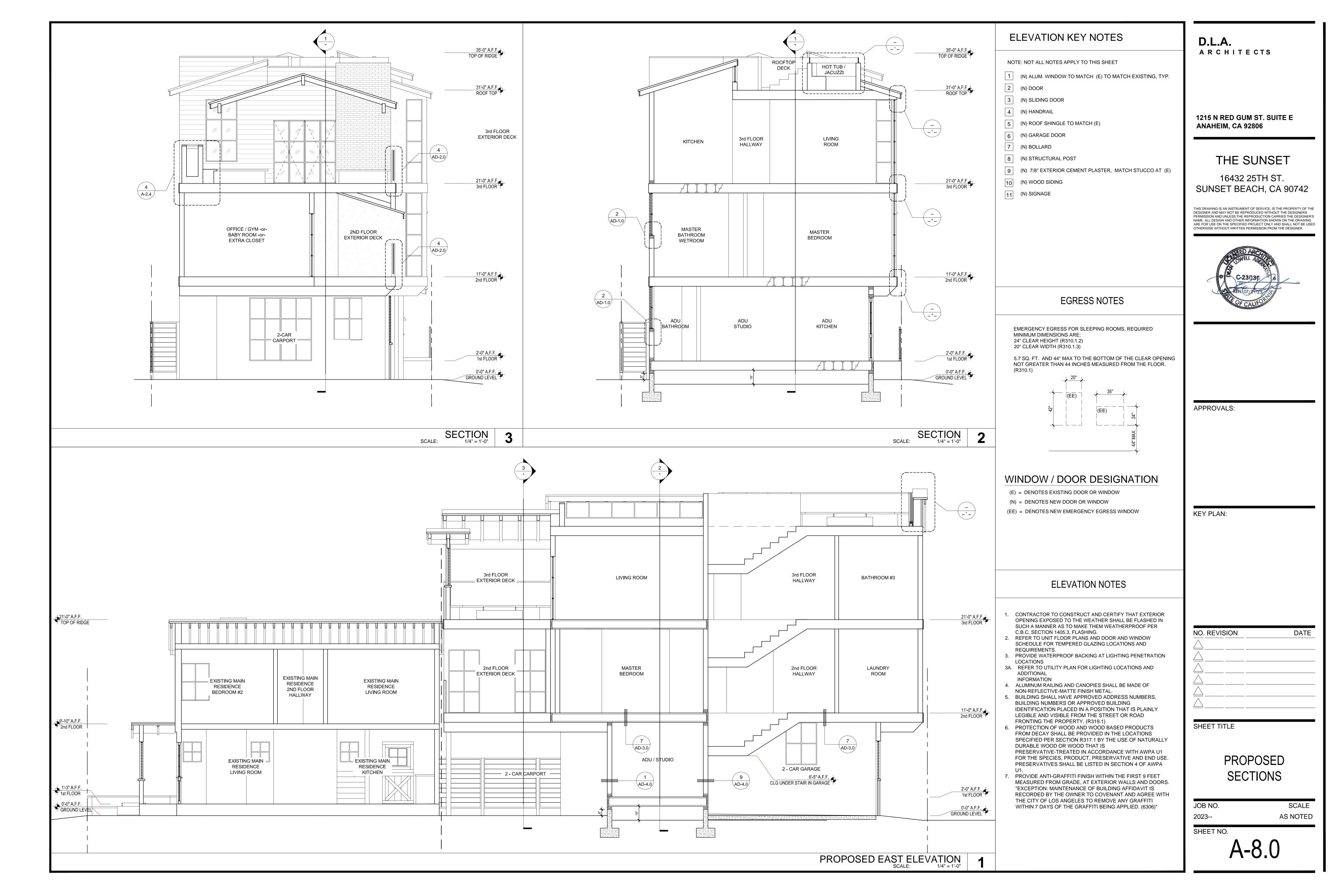






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1215 N RED GUM ST. SUITE E ANAHEIM, CA 92806

THE SUNSET

16432 25TH ST. SUNSET BEACH, CA 90742

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APPROVALS:

KEY PLAN:

NO. REVISION	DATE
\triangle	
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SHEET TITLE

PROPOSED PERSPECTIVE VIEWS

IOB NO.	SCALE
2023	AS NOTED

HEET NO.

A-9.0



WINDOW SCHEDULE - 16432 25TH ST. SUNSET BEACH # **WINDOW SIZE EMERGENCY** EXISTING U-FACTOR SHGC EGRESS GLAZING **REMARKS** 3'-4" 6'-8" WINDOW TO STAIRS FOR NEW DWELLING UNIT CLOSER TO ENTRY DOOR 3'-4" 6'-8" NEW WINDOW TO STAIRS FOR NEW DWELLING UNIT CLOSER TO ADJACENT ADU ADU KITCHEN WINDOW ABOVE ADU KITCHEN SINK 3'-0" NEW 4'-0" 3'-0" 4'-0" NEW ADU BATHROOM WINDOW [w/ METAL SCREEN] 3'-4" 4'-6" NEW NEW DWELLING UNIT WINDOW AT 2ND FLOOR HALLWAY ADJACENT TO STAIR 5'-0" 9'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM - SOUTHWEST-5'-0" 9'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM - SOUTHWEST-5'-0" 9'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM - SOUTHWEST NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM [TOP \(\frac{1}{2} \) AWNING / BOTTOM \(\frac{1}{2} \) FIXED] - NORTHWEST-1'-8" 9'-0" NEW NEW DWELLING UNIT 2ND FLOOR OFFICE / GYM / BABY ROOM OR EXTRA CLOSET [TOP \(\frac{1}{2} \) AWNING / BOTTOM \(\frac{1}{2} \) FIXED] - NORTHWEST-1'-8" 9'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM W.I.C. [w/ METAL SCREEN] -NORTHEAST-3'-0" 4'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM - MASTER BATHROOM - WETROOM [w/ METAL SCREEN] -NORTHEAST-3'-0" 4'-0" NEW NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM - MASTER BATHROOM [w/ METAL SCREEN] - TOILET ROOM -NORTHEAST-3'-0" 4'-0" NEW 3'-0" 4'-0" NEW NEW DWELLING UNIT 2ND FLOOR BATHROOM #2 [w/ METAL SCREEN] -NORTHEAST-3'-4" NEW 6'-8" NEW DWELLING UNIT 2ND FLOOR BEDROOM #2 -NORTHEAST-NEW DWELLING UNIT 2ND FLOOR BEDROOM #2 -SOUTHEAST-3'-4" 6'-8" NEW NEW NEW DWELLING UNIT 2ND FLOOR LAUNDRY ROOM -SOUTHEAST-3'-4" 6'-8" 3'-4" 6'-8" NEW DWELLING UNIT 3RD FLOOR HALLWAY AT STAIR -SOUTHWEST-1'-8" 9'-0" NEW NEW DWELLING UNIT 3RD FLOOR LIVING ROOM -SOUTHEAST-5'-0" 9'-0" NEW DWELLING UNIT 3RD FLOOR LIVING ROOM [TOP 1/2 AWNING / BOTTOM 1/2 FIXED]-SOUTHWEST-NEW 5'-0" NEW DWELLING UNIT 3RD FLOOR LIVING ROOM [TOP \(\frac{1}{2} \) AWNING / BOTTOM \(\frac{1}{2} \) FIXED] -SOUTHWEST-9'-0" NEW NEW DWELLING UNIT 3RD FLOOR LIVING ROOM [TOP 1/2 AWNING / BOTTOM 1/2 FIXED]-SOUTHWEST-5'-0" 9'-0" NEW 1'-8" 9'-0" NEW NEW DWELLING UNIT 3RD FLOOR LIVING ROOM -NORTHWEST-3'-4" NEW 6'-8" NEW DWELLING UNIT 3RD FLOOR KTCHEN -NORTHWEST-3'-4" 6'-8" NEW NEW DWELLING UNIT 3RD FLOOR BEDROOM #3 -NORTHEAST-3'-4" 6'-8" NEW NEW DWELLING UNIT 3RD FLOOR BEDROOM #3 -SOUTHEAST-3'-4" 6'-8" NEW NEW DWELLING UNIT 3RD FLOOR BATHROOM #3 -SOUTHEAST-14'-8" 1'-8" NEW NEW DWELLING UNIT ROOF CLERESTORY WINDOW -SOUTHEAST-XISTING MAIN RESIDENCE WINDOWS TO BE REPLACED EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM 25TH ST SIDE NEAR FIREPLACE 3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM 25TH ST SIDE CLOSEST TO INTERSECTION 2'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM PACIFIC N. AVE STREET SIDE CLOSEST TO INTERSECTION 3'-0" NEW 4'-0" EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM WINDOW PROTRUSION 3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM WINDOW PROTRUSION EXISTING MAIN RESIDENCE WINDOW AT NEW FIRST FLOOR BATHROOM 2'-0" 4'-0" NEW 2'-0" 2'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT STAIR 2'-0" 2'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM BETWEEN FIREPLACE AND NEW WASHER/DRYER AREA -SIDE YARD SIDE-2'-0" 2'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT LIVING ROOM NEAR FIREPLACE CLOSESTTO INTERSECTION -SIDE YARD SIDE-3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT BEDROOM #2 FURTHER FROM INTERSECTION -25TH STREET SIDE-3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT BEDROOM #2 CLOSEST TO INTERSECTION -25TH STREET SIDE-3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT BEDROOM #2 CLOSEST TO INTERSECTION -N PACIFIC AVE STREET SIDE-2'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT REMODELED BATHROOM 2ND FLOOR 3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT REMODELED BATHROOM 2ND FLOOR 2'-0" 2'-0" NEW EXISTING MAIN RESIDENCE WINDOW REPLACED AT BEDROOM #1 CLOSET 3'-0" 4'-0" NEW EXISTING MAIN RESIDENCE WINDOW AT BEDROOM #2 SIDE YARD SIDE

Window Types

PLEASE REFER TO SHEET A-9.1 FOR WINDOW TYPE SCHEDULE **EGRESS NOTES:** EMERGENCY EGRESS FOR SLEEPING ROOMS, REQUIRED MINIMUM DIMENSIONS ARE; 24" CLEAR HEIGHT (R310.1.2)

44 INCHES MEASURED FROM THE FLOOR. (R310.1)

ALL WINDOW DIMENSIONS ARE NOMINAL FIELD VERIFY DIMENSIONS PRIOR TO ORDERING VERIFY SIZES WITH MANUFACTURER PRIOR TO CONSTRUCTION

SAFETY GLAZING NOTES:

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3:

- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF FOLLOWING CONDITIONS:
- EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET

5.7 SQ. FT. AND 44" MAX TO THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN

TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

Abbreviations

AT1 - 2 X 4 Acoustic Tile/ T-Bar Grid C - Concrete

CPT- Carpet CB - Carpet Base CT - Ceramic Tile

AL - Aluminum

CV - Coved Sheet Vinyl Base FF - Factory Finish

FRP- Fiber Reinforced Plastic

G - Glass GLB - Glass Block

PL -Plastic

PR -Pair of Doors

GB - Gypsum Board Taped MC - Modular Carpet M - "Marlite" PVC Wainscot MTL - Metal NWSF-New Wood Sub-Floor P-1 -Painted P-2 -Primer Ready For Finish RB -Rubber Base

RT -Resilient Vinyl Comp. Tile SCW -Solid Core Door SCV -Self Coved Vinyl Base SLT -Self-Leveling Topping

SV -Sheet Vinyl/Seamless

S -Stone

TG - Tempered glass VCT -VCT- Armstrong Exceleon VT - Vinyl Topset W - Wood WC -Wall Covering WDB -Wood Base WGB -Water Resistant Gyp. Board DOOR SCHEDULE - 16432 25TH ST. SUNSET BEACH

DOOR SIZE

		DOOR SI	ZE						
DOOR NO.	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	NEW / EXISTING	FRAME REMARKS	
101	3'-0"	6'-8"		1	W,G		NEW	NEW DUTCH DOOR AT EXISTING DWELLING UNIT KITCHEN	
102	2'-10"	6'-8"		Α	W		NEW	NEW BATHROOM DOOR AT EXISTING DWELLING UNIT NEW FIRST FLOOR BATHROOM	
103	11'-5"	9'-0"		G, H			NEW	NEW GARAGE SLIDING CARPORT DOORS AT SOUTHEAST SIDE	4045 N DED OUM OT
104	3'-0"	6'-8"		В	W,G		NEW	NEW ADU ENTRY DOOR	1215 N RED GUM ST. 3 ANAHEIM, CA 92806
105	6'-0"	6'-8"		G	G		NEW	NEW ADU SLIDING DOOR TO 2-CAR CARPORT	71171121111, 971 92000
106	2'-6"	6'-8"		G	W		NEW	NEW ADU BATHROOM SLIDING DOOR	
107	3'-0"	6'-8"		В	W,G		NEW	NEW DWELLING UNIT ENTRY DOOR TO STAIR ROOM	THE SUN
108	3'-0"	6'-8"		В	W		NEW	NEW 2-CAR GARAGE TO 1ST FLOOR STAIR ROOM FOR NEW DWELLING UNIT	THE SUN
109	16'-0"	8'-0"		Н	W		NEW	NEW DWELLING UNIT 2-CAR GARAGE DOOR -EAST-	16432 25TH
									SUNSET BEACH,
201	2'-4"	6'-8"		G	W		NEW	NEW DWELLING UNIT 2ND FLOOR LAUNDRY ROOM	
202	3'-0"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR BEDROOM #2	THIS DRAWING IS AN INSTRUMENT OF SERVICE DESIGNER AND MAY NOT BE REPRODUCED WE
203	2'-8"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR BATHROOM #2	PERMISSION AND UNLESS THE REPRODUCTION NAME. ALL DESIGN AND OTHER INFORMATION ARE FOR USE ON THE SPECIFIED PROJECT OF
204	3'-0"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR HALLWAY TO MASTER BEDROOM	OTHERWISE WITHOUT WRITTEN PERMISSION
205	2'-8"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM TO MASTER BATHROOM	
206	2'-6"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR MASTER BATHROOM TO MASTER BEDROOM	ESSED ARCAY
207	2'-8"	6'-8"		Α	W		NEW	NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM TO W.I.C.	
208	5'-0"	6'-8"		G	W		NEW	NEW DWELLING UNIT 2ND FLOOR MASTER BEDROOM TO [OFFICE / GYM OR BABY ROOM OR EXTRA CLOSET]	C-23030
209	3'-0"	6'-8"		G	W		NEW	NEW DWELLING UNIT 2ND FLOOR [OFFICE / GYM OR BABY ROOM OR EXTRA CLOSET] TO 2ND FLOOR DECK	REN.(07/24725/
210	3'-0"	6'-8"		G	W		NEW	NEW DWELLING UNIT 2ND FLOOR [OFFICE / GYM OR BABY ROOM OR EXTRA CLOSET] TO 2ND FLOOR DECK	PROF CALIFOR
									CALL
301	2'-10"	6'-8"		G	W		NEW	NEW DWELLING UNIT 3RD FLOOR HALLWAY TO BATHROOM #3	
302	3'-0"	6'-8"		G	W		NEW	NEW DWELLING UNIT 3RD FLOOR HALLWAY TO BEDROOM #3	
303	2'-6"	6'-8"		G	W		NEW	NEW DWELLING UNIT 3RD FLOOR HALLWAY TO STORAGE PANTRY	
304	6'-4"	6'-10"		Е			NEW	NEW DWELLING UNIT 3RD FLOOR LIVING ROOM TO 3RD FLOOR DECK	
401	3'-0"	6'-10"		Α			NEW	NEW DWELLING UNIT 3RD FLOOR TO ROOFTOP ACCESS	
402	2'-6"	3'-6"		Α			NEW	NEW DWELLING UNIT ROOFTOP DOOR TO MECHANICAL ENCLOSURE	

Door Notes

- DOOR HEIGHT DIMENSIONS ARE FROM THE FLOOR LINE TO FRAME OPENING EXCLUSIVE OF THRESHOLDS AND CLEARANCE UNLESS NOTED OTHERWISE
- DOOR AND FRAME FINISHES SHALL BE AS INDICATED ON FINISH **SCHEDULE**
- WOOD DOORS SHALL BE SOLID CORE WITH 3-PLY WOOD CROSS BANDING, FACED AND EDGE BAND PER DOOR SCHEDULE.
- PROVIDE FIRE RATED DOORS WHERE REQUIRED.
- 5. ALL DOORS SHALL BE "CUSTOM GRADE" QUALITY, WEYERHAEUSER OR
- FACTORY REFIT DOORS TO FRAMES WHERE SPECIFIED.
- LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. [CRCR311.3]
- A DOOR MAY SWING OVER LANDING THAT IS NOT MORE THAN .5 INCH BELOW THRESHOLD AND .75 FOR SLIDING DOOR. [CBC1010.1.7]

Door Types

TYPE: A - HOLLOW CORE WOOD DOOR TYPE: B - SOLID CORE WOOD DOOR

TYPE: C - FRENCH DOOR TYPE: D - BACKYARD DOOR

TYPE: E - FOLDING DOOR TYPE: F - BARN DOOR TYPE: G - SLIDING DOOR

TYPE: H - GARAGE DOOR TYPE: I - DUTCH DOOR

REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION

NOTE: ALL GLASS ON DOORS TO BE

(TG) TEMPERED GLASS.

SECURITY REQUIREMENTS NOTES:

ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706)

WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. (6709.4)

PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1

METAL OR WOODEN OVERHEAD AND SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6715.1)

SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.

ANY RELEASE FOR METAL BARS, GRILLES, GRATED OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4) ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (6716)

D.L.A. ARCHITECTS

1215 N RED GUM ST. SUITE E

THE SUNSET

16432 25TH ST. SUNSET BEACH, CA 90742

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APPROVALS:

KEY PLAN:

NO. REVISION	DATE
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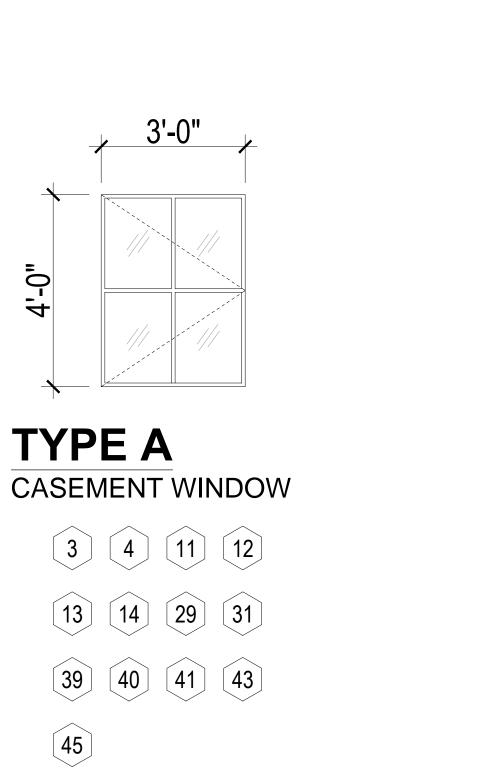
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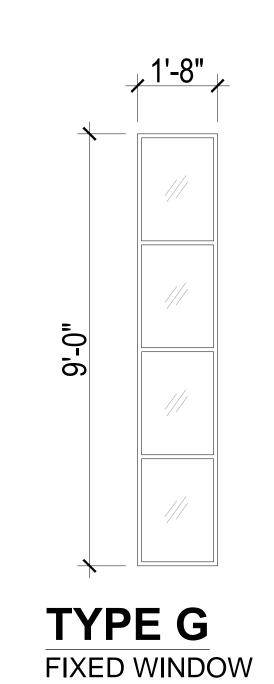
WINDOW & DOOR SCHEDULE

JOB NO. 2023--

AS NOTED

SCALE





6 7

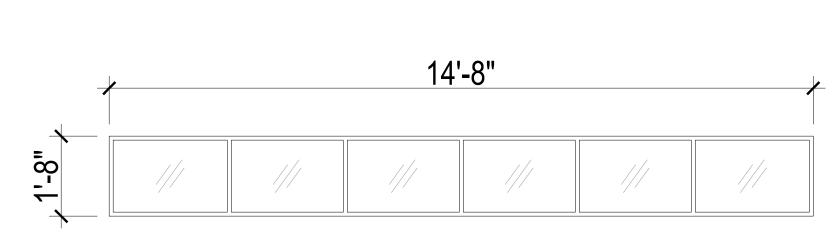
6'-8"

TYPE B

CASEMENT WINDOW

15 16 17

25 26 27



TYPE K FIXED CLERESTORY WINDOW

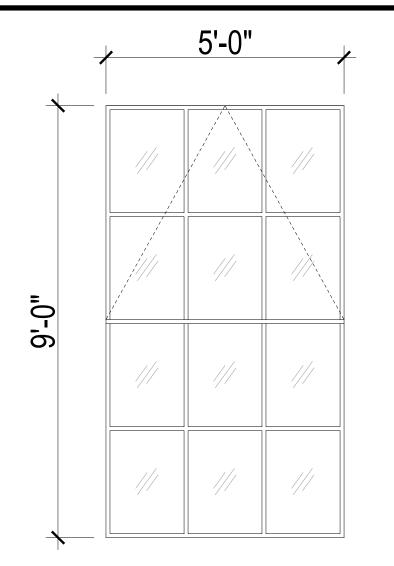


4'-0"

TYPE F

CASEMENT WINDOW

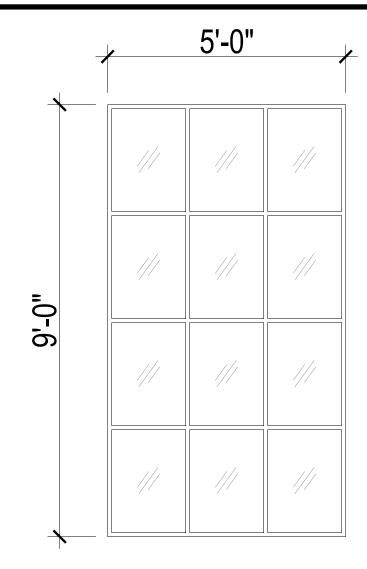
32 35 42 44



TYPE C $\frac{1}{2}$ of WINDOW : AWNING (TOP) $\frac{1}{2}$ of WINDOW : FIXED (BOTTOM)

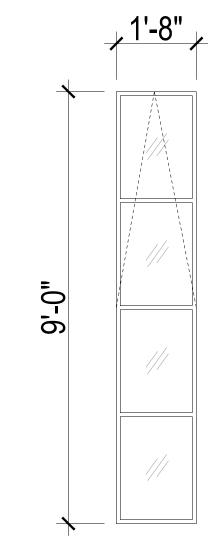
3'-4"





TYPE D FIXEDWINDOW 6 7 8

ALL WINDOW DIMENSIONS ARE NOMINAL



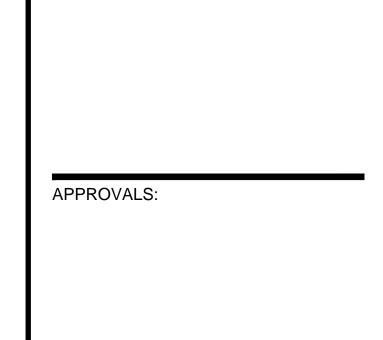
TYPE C $\frac{1}{2}$ of WINDOW : AWNING (TOP) $\frac{1}{2}$ of WINDOW : FIXED (BOTTOM) 9 10

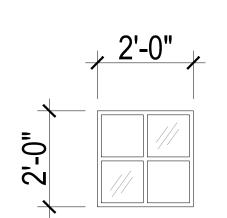




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ARCHITECTS





TYPE J FIXED WINDOW



	NO. REVISION	DATE
37 38		

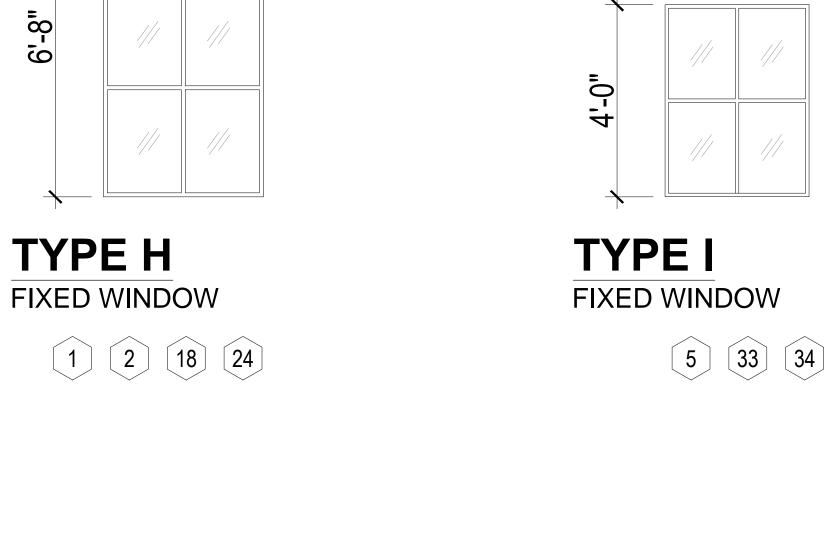
KEY PLAN:

WINDOW TYPE SCHEDULE

JOB NO. 2023--

SCALE AS NOTED

A-10.1



7. TEMPERED GLASS WILL OCCUR AT ANY GLAZING WITHIN 24" OF A DOOR AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FIELD VERIFY DIMENSIONS PRIOR TO ORDERING VERIFY SIZES WITH MANUFACTURER PRIOR TO CONSTRUCTION

GENERAL NOTES:

1. ALL WINDOW / DOOR GLAZING TO BE TEMPERED GLASS. 2. ALL WINDOWS ARE FIXED UNLESS NOTED OTHERWISE. 3. SIZES ARE NOMINAL. CONTRACTOR TO COORDINATE EXPANSION JOINTS, SEALANTS, SHIM TOLERANCE, ETC. SHEET TITLE REQUIREMENTS WITH MANUFACTURER. 4. FIELD VERIFY ALL OPENINGS. 5. PROTECT PREFINISHED SURFACES AND REPAIR ANY DAMAGE. 6. TEMPERED GLASS WILL OCCUR AT THE FOLLOWING LOCATIONS WHEN ALL APPLY:

A. AREA OF GLAZING IS GREATER THAN 9 SQ. FT.

B. THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR C. THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR D. A WALKING SURFACE WITHIN 36" HORIZONTALLY OF THE

FLOOR. (2010 CBC SEC. 2406.4) 8. PROVIDE LIMITER AT OPERABLE LOCATIONS LESS THAN 42" A.F.F. LIMITER TO REFUSE PASSAGE OF A 4" SPHERE.

