

HEARTS AND HALOS CUP



PROJECT



HEARTS AND HALOS
 15531 CONTAINER LANE
 HUNTINGTON BEACH, CA 92649

BUILDING DATA/LEGAL INFORMATION

ASSESSOR'S PARCEL NUMBER	145-461-02
LEGAL DESCRIPTION:	TRACT #8327 LOT #40
TYPE OF CONST:	V, NON SPRINKLED
OCCUPANCY:	B (VETERINARY)
NO. OF STORIES:	1
ZONE:	RT
SITE AREA:	24,102 SQ. FT. (EXISTING)
TOTAL BUILDING AREA:	10,080 SQ. FT. (EXISTING)
OFFICE AREA:	3,011 SQ. FT. (30% MAX.)
LAB AREA:	2,281 SQ. FT. (23%)

PROJECT DIRECTORY

BUILDING OWNER:
 MICHAEL J DONAHUE
 18636 PARK GLEN LANE
 HUNTINGTON BEACH, CA 90803

APPLICANT:
 AUGUSTINE DESIGN GROUP
 2272 FIRST AVENUE
 SAN DIEGO, CA 92101
 PHONE: 619-744-5884
 EMAIL: jillon@augustinedesigngroup.com

SHEET INDEX

TS	TITLE SHEET
A100	SITE PLAN
A101	FLOOR PLAN

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS AN INTERIOR TENANT IMPROVEMENT IN AN EXISTING BUILDING FOR USE BY A VETERINARY END OF LIFE AND AFTERCARE AQUAMATION FACILITY. NO NEW BUILDING AREA OR EXTERIOR REMODEL IS PROPOSED AS PART OF THIS CONDITIONAL USE PERMIT.

SITE PLAN/MODIFICATIONS

THE PROPOSED PROJECT OCCURS WITHIN AN EXISTING BUILDING ON A FULLY DEVELOPED SITE. THE ONLY NEW SITE WORK IS CONCERNED WITH DISABLED ACCESSIBLE PATH OF TRAVEL AND PARKING AS REQUIRED TO COMPLY WITH CURRENT BUILDING AND MUNICIPAL CODES. SEE SITE PLAN, SHEET A100 FOR NEW WORK.

PARKING ANALYSIS

A COMPLETE TRAFFIC AND PARKING ANALYSIS HAS BEEN COMPLETED AS PART OF THIS APPLICATION FOR A CONDITIONAL USE PERMIT. SEE ALL SUPPORTING DATA, CALCULATIONS AND PROPOSED PARKING COUNTS ON SUBMITTED 8-1/2" X 11" WRITTEN DOCUMENTS.
 PARKING PROVIDED: 28 SPACES

NEIGHBORING USES

NORTH - 5372 MCFADDEN AVENUE: MANUFACTURING COMPANY, UNKNOWN BUSINESS NAME
 NORTH WEST - 5352 MCFADDEN AVENUE: MANUFACTURING COMPANY, UNKNOWN BUSINESS NAME
 SOUTH - 15571 CONTAINER LANE: SANDIA PRODUCT - CLEANING SOLUTIONS/EQUIPMENT
 EAST - 15552 CONTAINER LANE: B. KRAMER INC. - CONSTRUCTION CONTRACTOR

POPULATION SERVED BY PROJECT

PET OWNERS SEEKING END OF LIFE SERVICES.

HOURS OF OPERATION

HOURS OPEN TO PUBLIC ARE MONDAY THRU FRIDAY 10 AM TO 4PM AND SATURDAY/ SUNDAY 10AM TO 2PM.

NUMBER OF EMPLOYEES

12 STAFF PER SHIFT MAXIMUM.

ZONING CONFORMANCE MATRIX

THE PROPOSED PROJECT OCCURS WITHIN AND EXISTING BUILDING ON A FULLY DEVELOPED SITE. BUILDING DATA IS PROVIDED BASED ON PAST RECORDED PERMITS AND IS FOR REFERENCE ONLY.

SIDE SETBACK REQUIRED: 0"	SIDE (NORTH) SETBACK EXISTING: 45'-8"	SIDE (SOUTH) SETBACK EXISTING: 0"
FRONT/STREET SIDE SETBACK REQUIRED: 10' MIN.	FRONT/STREET SIDE SETBACK EXISTING: 15'-7"	
REAR SETBACK REQUIRED: 0"	REAR SETBACK EXISTING: 66'-0"	
BUILDING HEIGHT ALLOWED: 40'-0"	BUILDING HEIGHT EXISTING: 16'-0"	

SCOPE DOCUMENT

COPYRIGHT 2024 AUGUSTINE DESIGN GROUP
 All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of, Augustine Design Group, and were created, revised and developed for use on, and in conjunction with, the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Augustine Design Group. Written permission on these drawings shall have precedence over verbal directions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and this office shall be notified of any variation from the dimensions and conditions shown by these drawings.

PROJECT NO.	DATE
HAH-2314	PER BELOW

SHEET ISSUE

NO.	DATE	ITEM
1.	06.03.24	CUP SUBMITTAL
1	07.16.24	CUP RESUBMITTAL NO. 01

SHEET TITLE

TITLE SHEET

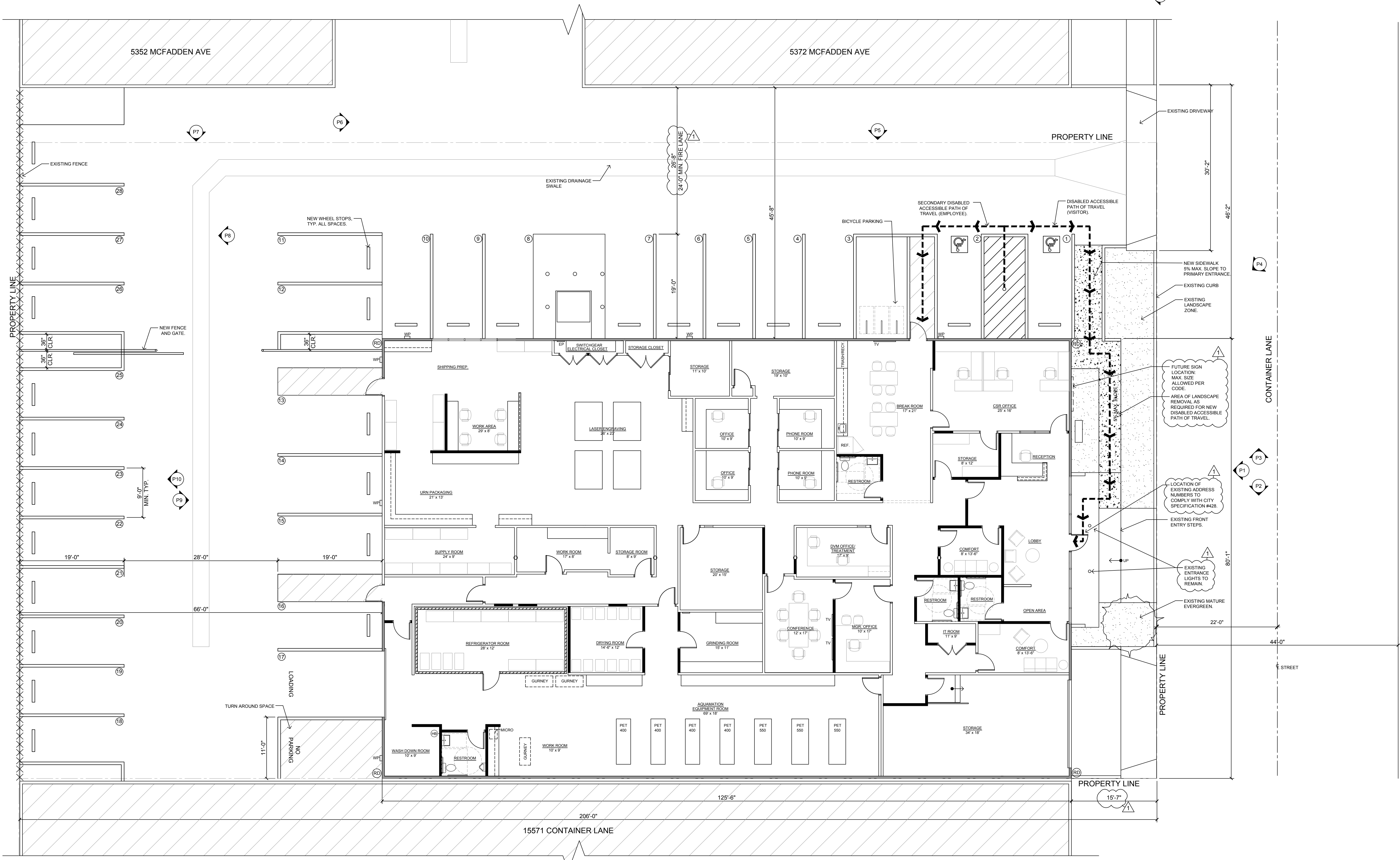
SHEET NO.

TS



LEGEND

- EXISTING LIGHTING WALL PACK TO REMAIN.
- EXISTING ROOF DRAIN TO REMAIN.
- DISABLED ACCESSIBLE PATH OF TRAVEL.
- PHOTO TOUR SYMBOL. SEE 8-1/2"x11" PHOTO TOUR DOCUMENT.



SCALE: 1/8" = 1'-0"



AUGUSTINE DESIGN GROUP
 2272 First Avenue San Diego, CA 92101
 619.744.5884 augustinedesigngroup.com



PROJECT



HEARTS AND HALOS
 15531 CONTAINER LANE
 HUNTINGTON BEACH, CA 92649

SCOPE DOCUMENT

COPYRIGHT 2024 AUGUSTINE DESIGN GROUP
 All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of, Augustine Design Group, and were created, owned and developed for use on, and in conjunction with, the specified project. None of these ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Augustine Design Group. Terms, conditions and other drawings shall have precedence over social dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the office must be notified of any variation from the dimensions and conditions shown by these drawings.

PROJECT NO. DATE
 HAH-2314 PER BELOW

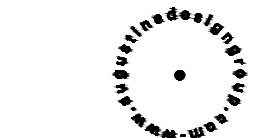
SHEET ISSUE		
NO.	DATE	ITEM
1.	06.03.24	CLP SUBMITTAL
1.	07.16.24	CLP RESUBMITTAL NO. 01

SHEET TITLE

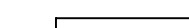


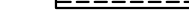
SITE PLAN

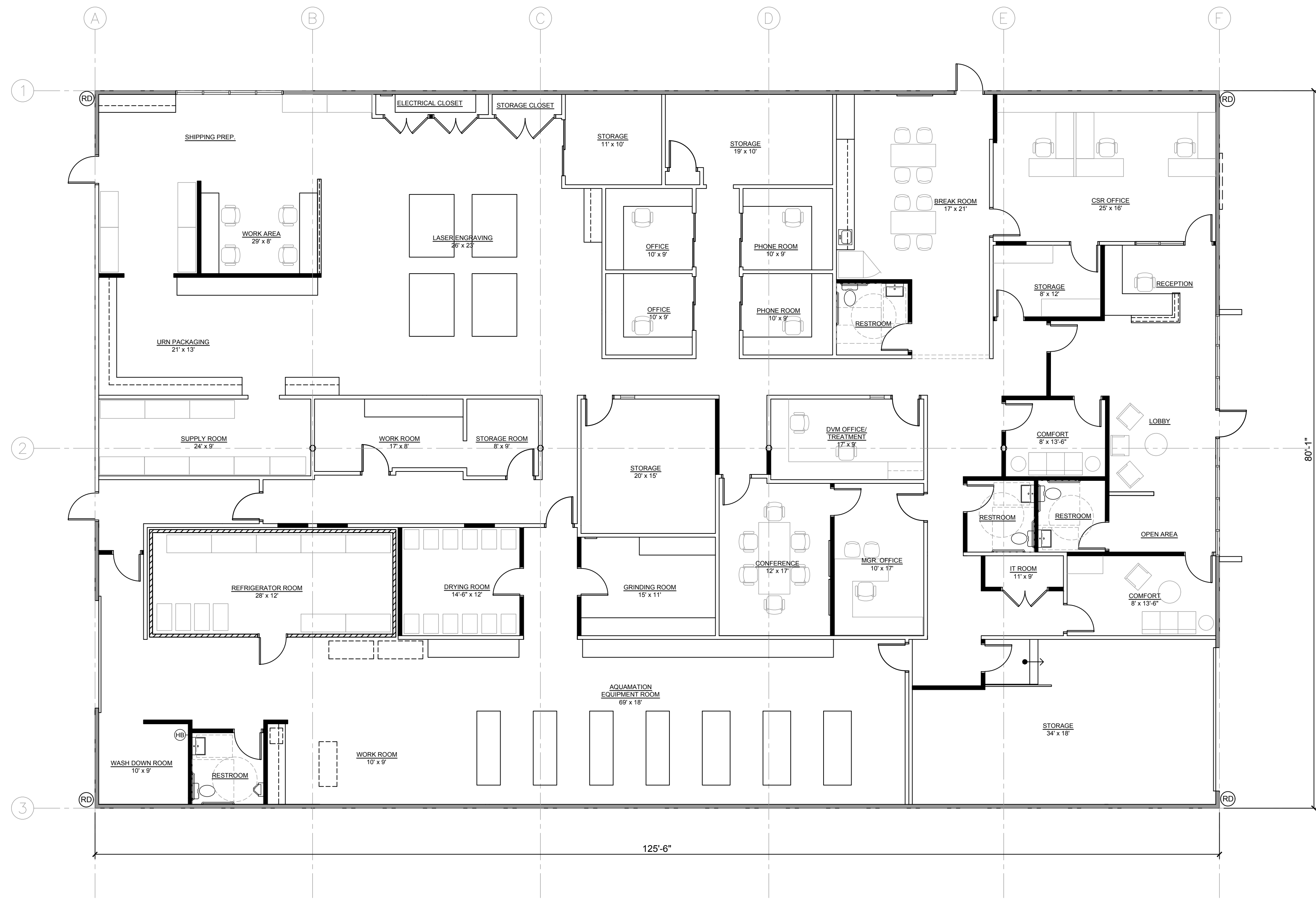
SHEET NO.

A100

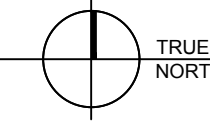


LEGEND

-  EXISTING INTERIOR/ EXTERIOR PARTITION TO REMAIN.
-  NEW INTERIOR PARTITION.
-  NEW INTERIOR LOW HEIGHT PARTITION.
-  REFRIGERATION PANEL SYSTEM.



SCALE: 1/8" = 1'-0"



AUGUSTINE DESIGN GROUP
 2272 First Avenue San Diego, CA 92101
 619.744.5884 augustinedesigngroup.com



PROJECT



HEARTS AND HALOS
 15531 CONTAINER LANE
 HUNTINGTON BEACH, CA 92649

SCOPE DOCUMENT

COPYRIGHT 2024 AUGUSTINE DESIGN GROUP
 All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of, Augustine Design Group, and were created, revised and developed for use on, and in conjunction with, the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Augustine Design Group. Review dimensions on these drawings shall have precedence over noted dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and this office shall be notified of any variation from the dimensions and conditions shown by these drawings.

PROJECT NO. HAH-2314
 DATE PER BELOW

SHEET ISSUE		
NO.	DATE	ITEM
1.	06.03.24	CLP SUBMITTAL
2.	07.16.24	CLP RESUBMITTAL NO. 01

SHEET TITLE

FLOOR PLAN

SHEET NO.

A101

