

ADDITION & REMODEL

SITE PLAN

* RESIDENTIAL INFILL REQUIRED
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.

SCALE: 1/8" = 1'-0" 1

OWNER:
16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

DRAFTER:
DAVID MICHAEL DESIGNS
712 CENTER STREET
COSTA MESA, CA. 92627
PH: 949.701.9539
FAX: 949.650.2192
DAVE@DMD3D.COM

ENGINEER:
PAUL ROHRER STRUCTURAL ENGINEERS
17291 IRVINE BLVD #152
TUSTIN CA 92780
O (714) 486-2531
C (714) 272-9579
PAUL@PRSEINC.COM

BUILDER:
TBD

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BUILDING DATA:
OCCUPANCY GROUP: R-3/U
SPRINKLERS: NO
AREA OF WORK: 874 S.F.
TYPE OF CONSTRUCTION: V-B
LEGAL DESCRIPTION:
NORTH TRACT #5481 - LOT #160

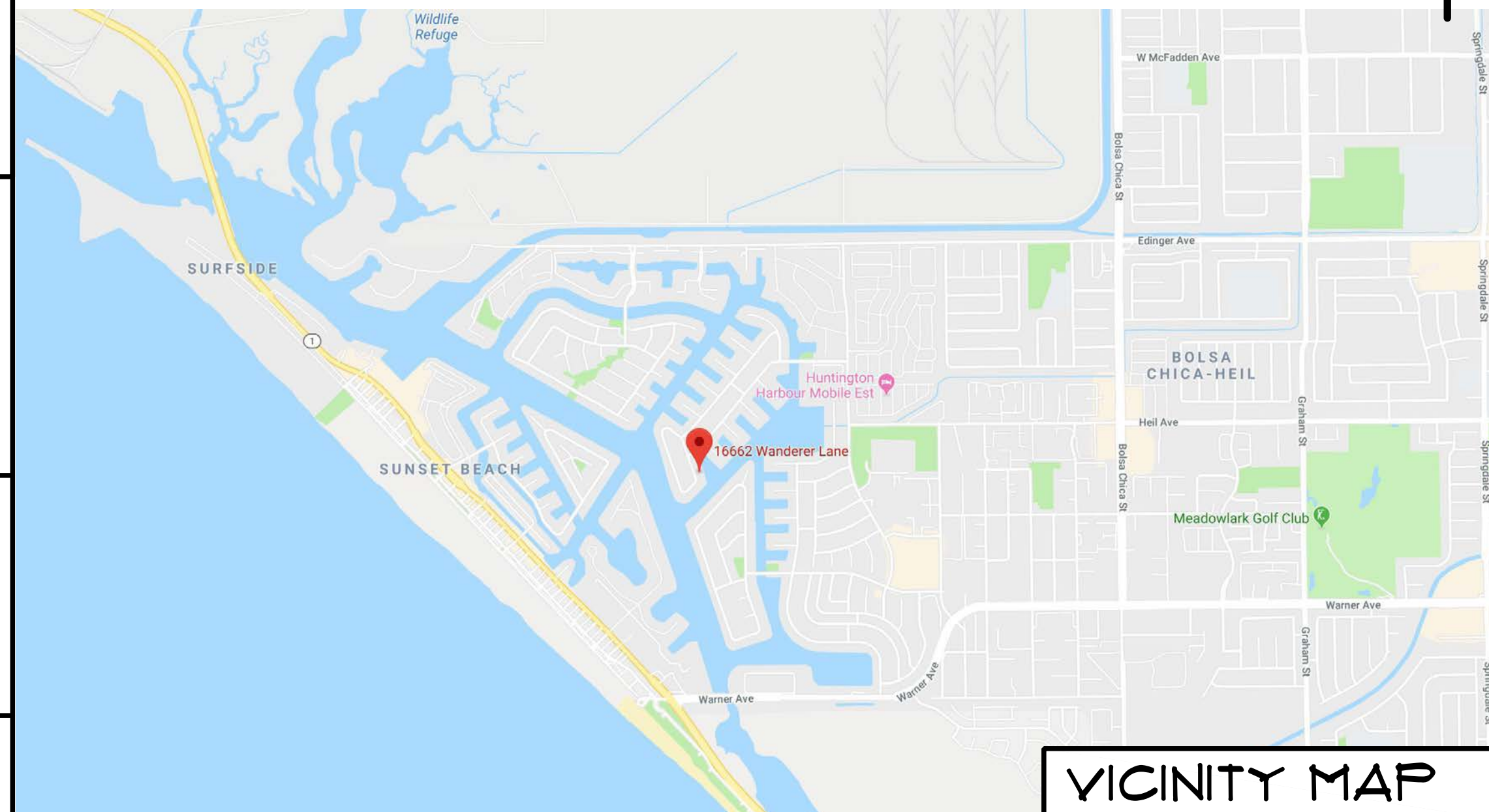
SCOPE OF WORK:
874 SQ. FT. ADDITION TO EXISTING TWO-STORY, FOUR BEDROOM, 3 BATH SINGLE FAMILY RESIDENCE. INCLUDES INTERIOR REMODEL AND ADDITION OF 1 FULL BATH.



712 CENTER STREET COSTA MESA, CA 92627
PH: 949.701.9539 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS	DATE
1	11.30.18
2	

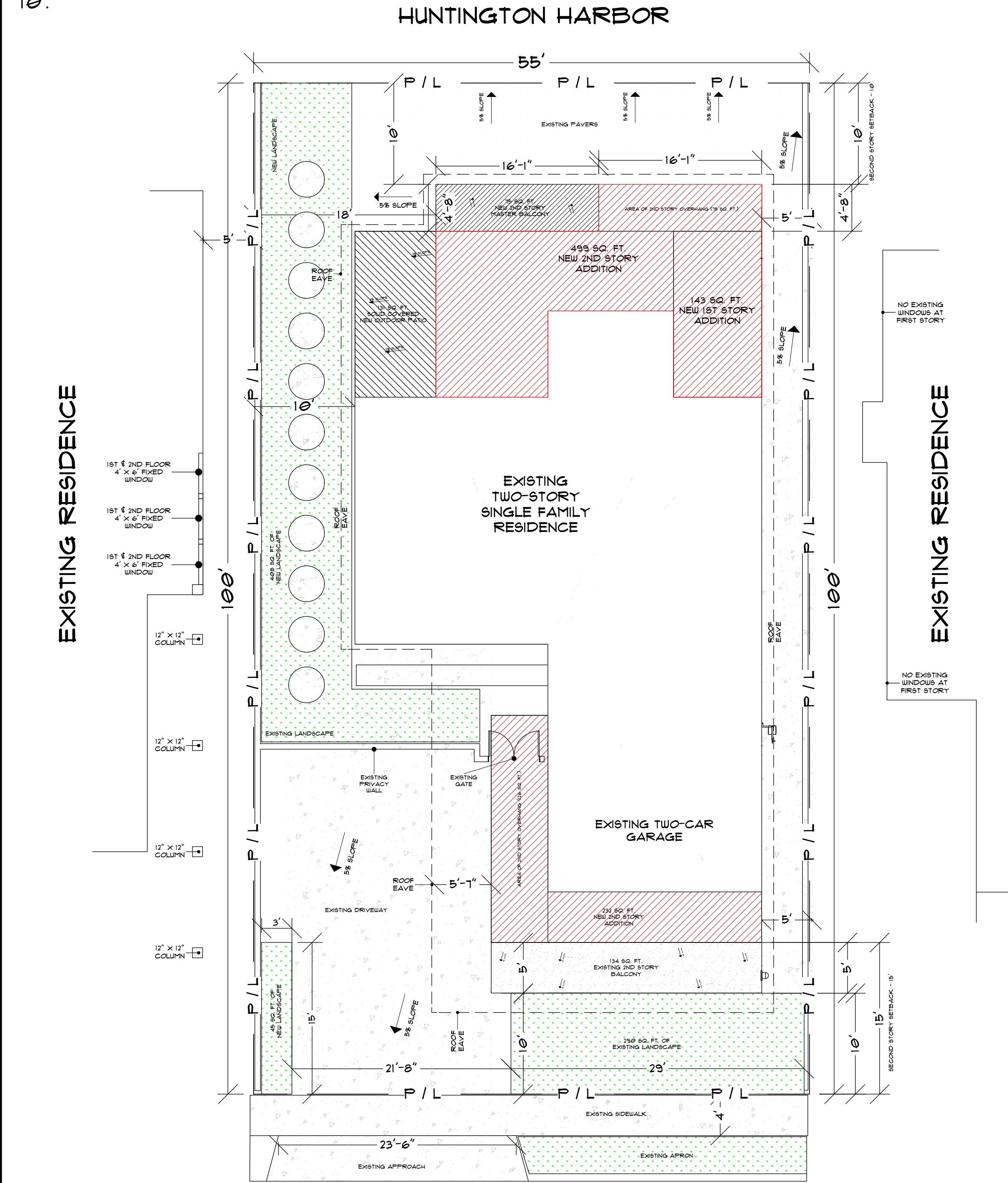
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VICINITY MAP

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC); 2016 CALIFORNIA BUILDING CODE (CBC); 2016 CALIFORNIA PLUMBING CODE (CPC); 2016 CALIFORNIA ELECTRICAL CODE (CEC); 2016 CALIFORNIA MECHANICAL CODE (CMC); 2016 BUILDING ENERGY EFFICIENCY STANDARDS (BEES); 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN); AND THE HUNTINGTON BEACH MUNICIPAL CODE (HBMC).
- BEFORE ANY WORK HAS BEGUN, THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE BUILDING AND SITE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTING EXISTING WORK TO REMAIN AND NOTIFYING THE OWNER AND DRAFTER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- ANY OMISSIONS, CONFLICTS, OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DRAFTER. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
- VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH ALL PARTICIPANTS TRADES SUCH AS HEATING, PLUMBING, ELECTRICAL TRADES FOR SIZE AND LOCATION. NOTIFY OWNER AND DRAFTER IN WRITING OF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
- FOLLOW DIMENSIONS EXPLICITLY, DO NOT SCALE DRAWINGS. CONFIRM WITH DRAFTER BEFORE PROCEEDING IF CONFLICT ARISE.
- POOL, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE PERMIT AND REVIEW.
- CONTRACTOR WITH HIS SELECTED H.V.A.C. SUBCONTRACTOR TO ASSESS EXISTING H.V.A.C. SYSTEMS TO DETERMINE FUNCTIONALITY & CODE COMPLIANCE. MAKE RECOMMENDATIONS TO OWNER AS TO PROPOSED MODIFICATIONS & COST. ADVISE OWNER AND DRAFTER IF FRAMING MODIFICATIONS ARE NECESSARY.
- VERIFY & COORDINATE EXTERIOR HARDSCAPE, LANDSCAPE & IRRIGATION SYSTEMS WITH OWNER AND LANDSCAPE DRAFTER/ARCHITECT.
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS THAT HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCES OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5)
- CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R103.1.1.1)
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R103.1.2)
- THE PLANS SHALL PROVIDE A STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL INSPECTIONS SHALL BE AS REQUIRED BY SECTION 1705 OF THE CBC.
- WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH.
- SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.0 GALLONS PER MINUTE.
- LAVATORY FAUCETS SHALL HAVE A WATER FLOW NOT TO EXCEED 1.2 GALLONS PER MINUTE.
- FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8/2.2 GALLONS PER MINUTE.
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.



(E) LIVING SPACE = 2,623 SQ. FT.
(E) GARAGE = 485 SQ. FT.
(E) BALCONY = 420 SQ. FT.

(N) LIVING SPACE = 874 SQ. FT.
(N) MASTER BALCONY = 75 SQ. FT.
(N) COVERED PATIO = 131 SQ. FT.

(T) LIVING AREA = 3,497 SQ. FT.
(T) GARAGE = 485 SQ. FT.
(T) BALCONY = 209 SQ. FT.
(T) COVERED PATIO = 131 SQ. FT.

BUILDING FOOTPRINT: 2,373 SQ. FT.
2ND STORY OVERHANGS: 276 SQ. FT.
LOT SIZE: 5,501 SQ. FT
48.15% LOT COVERAGE

CLIENT: 16662 WANDERER LANE HUNTINGTON BEACH, CA 92649

TITLE	TITLE SHEET
DATE	1/23/2019
SCALE	1/8" = 1'-0"
ARTIST DAVID MICHAEL DESIGNS	

SHEET
A1



- Sliding glass doors and windows located less than 16 feet above any surface available for use by the public shall be capable of being locked securely. Moveable panels shall not be easily removed from the frame.
- All main or front entry to dwellings shall be arranged so that the occupant has a view of the area immediately outside without opening door. Such view may be provided by a door view, a view port, window, or other opening.
- Exterior wooden doors shall be of solid core construction or shall be covered on the inside face with 16 gauge sheet metal attached with screws at 6 inch on centers around the perimeter.
- All swinging doors shall be equipped with a dead bolt with a minimum throw of 1 inch and an embedment of not less than 5/8 inch.
- The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a dead bolt.
- Non-removable pins shall be used in pin type hinges which are accessible from the outside when the door is closed.
- Unframed glass doors shall be fully tempered glass not less than 1/2 inch thick.
- Narrow-framed glass doors shall be fully tempered glass not less than 1/4 inch thick.
- Any glass which is located with in 40 inches of the locking device on a door shall be fully tempered, or have approved metal bars, screens or grills.
- Solid wooden hatchways less than 1-3/4 inches thick shall be covered on the inside with 16 gauge sheet metal attached with screws at 6 inch on center around the perimeter and shall be secured from the inside with a slide bar, slide bolts, and/or padlock with hardened steel shackle. All other openings larger than 96 square inches with a dimension in excess of 8 inches shall be secured by metal bars, screens, or grills. (Exception: Non-opening skylights).
- A development which includes 3 or more dwelling units shall be provided with fully-enclosed garages. Garage space for each tenant shall be separated by partitions of 3/8 inch plywood or equivalent with studs set no more than 24 inches on center.

SECTION		REQUIREMENTS
Chapter 1 - ADMINISTRATION		
Scope		
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.	
Chapter 3 - GREEN BUILDING		
Additions and alterations		
301.1.1	<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. Note directs code users to Civil Code Section 1101.1 et seq., regarding replacement of non-compliant plumbing fixtures. 	
Low-rise and high-rise buildings		
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].	
Division 4.1 - PLANNING AND DESIGN (SITE DEVELOPMENT)		
Storm water drainage and retention during construction		
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.	
Grading and paving		
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path.	
Electric vehicle (EV) charging for new construction		
4.106.4	<ul style="list-style-type: none"> Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: <ol style="list-style-type: none"> Where there is no commercial power supply. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit. 	
EV charging: 1- & 2-family dwellings/townhouses with attached private garages		
4.106.4.1 & 4.106.4.1.1	<ul style="list-style-type: none"> Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit 	



712 CENTER STREET COSTA MESA, CA 92627
PH: 949.491.5535 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS	
1	11.30.18
2	

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CLIENT: 16662 WANDERER LANE HUNTINGTON BEACH, CA 92649

3	CAL GREEN
DATE	1/23/2019
SCALE	
ARTIST DAVID MICHAEL DESIGNS	

SHEET	A3
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RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
4.106.4.1 & 4.106.4.1.1 continued	directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
EV charging for multifamily dwellings	
4.106.4.2	<ul style="list-style-type: none"> Applies to building sites with 17 or more multifamily dwelling units constructed on the site. 3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>
EV charging space (EV space) locations	
4.106.4.2.1	<ul style="list-style-type: none"> Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all residents. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, Item 3, shall comply with at least 1 of the following options: <ol style="list-style-type: none"> The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.
EV charging space (EV space) dimensions	
4.106.4.2.2	<ul style="list-style-type: none"> EV spaces shall be designed to comply with the following: <ol style="list-style-type: none"> The minimum length of each EV space shall be 18 feet. The minimum width of each EV space shall be 9 feet. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.
Single EV space required	
4.106.4.2.3	<ul style="list-style-type: none"> Install listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. <ul style="list-style-type: none"> The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.



RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
4.106.4.2.3 continued	<ul style="list-style-type: none"> Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required	
4.106.4.2.4	<ul style="list-style-type: none"> Construction documents shall indicate raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
Identification	
4.106.4.2.5	<ul style="list-style-type: none"> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. <p>Notes:</p> <ol style="list-style-type: none"> The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives Number 12-01. Website: http://www.dot.ca.gov/hq/traffops/policy/13-01.pdf See Vehicle Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces. The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses. Website: http://opr.ca.gov/docs/ZEV_Guidebook.pdf
Division 4.2- ENERGY EFFICIENCY	
Scope	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2016 California Energy Code.



RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.3 - WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)	
Water conserving plumbing fixtures and fittings	
4.303.1	<ul style="list-style-type: none"> Plumbing fixtures and fittings shall comply with the following: <ul style="list-style-type: none"> Water Closets: ≤ 1.28 gal/flush Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush Single Showerheads: ≤ 2.0 gpm @ 80 psi Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≥ 0.8 gpm @ 20 psi Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi Metering Faucets: ≤ 0.25 gallons per cycle Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
4.303.2	<ul style="list-style-type: none"> Standards for plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
Division 4.3 - WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE)	
Outdoor potable water use in landscape areas	
4.304.1	<ul style="list-style-type: none"> After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following: <ol style="list-style-type: none"> A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL), whichever is more stringent, or Projects with aggregate landscape areas less than 2500 square feet may comply with the MWEL's Appendix D Prescriptive Compliance Option.
Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE)	
Rodent proofing	
4.406.1	<ul style="list-style-type: none"> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING)	
Construction waste reduction of at least 65%	
4.408.1	<ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4; OR meet a more stringent local construction and demolition waste management ordinance.

CAL GREEN REQUIREMENTS

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
4.408.1 continued	<ul style="list-style-type: none"> Documentation is required per Section 4.408.5. <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
4.408.2	<p>Construction waste management plan</p> <p>Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.</p>
4.408.3	<p>Waste management company</p> <p>Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.</p>
4.408.4 4.408.4.1	<p>Waste stream reduction alternative</p> <ul style="list-style-type: none"> (LR) Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY (BUILDING MAINTENANCE & OPERATION)	
4.410.1	<p>Operation and maintenance manual</p> <p>At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.</p>
4.410.2	<p>Recycling by occupants</p> <p>Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.</p> <p>Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply with the organic waste portion of this section.</p>

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.5 – ENVIRONMENTAL QUALITY (FIREPLACES)	
General	
4.503.1	<p>Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.</p>
Division 4.5 – ENVIRONMENTAL QUALITY (POLLUTANT CONTROL)	
Protection during construction	
4.504.1	<p>At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.</p>
Adhesives, sealants and caulks	
4.504.2.1	<p>Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507.
Paints and coatings	
4.504.2.2	<p>Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply.</p> <p>The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p>

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
Aerosol paints and coatings	
4.504.2.3	<p>Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(e)(1) and (f)(1) of the CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</p>
Carpet systems	
4.504.3	<p>Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following:</p> <ol style="list-style-type: none"> Carpet and Rug Institute's Green Label Plus Program California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350) NSF/ANSI 140 at the Gold level Scientific Certifications Systems Indoor Advantage™ Gold
4.504.3.1	<p>Carpet cushion</p> <p>Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.</p>
4.504.3.2	<p>Carpet adhesive</p> <p>Carpet adhesives shall meet the requirements of Table 4.504.1.</p>
Resilient flooring systems	
4.504.4	<p>Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:</p> <ol style="list-style-type: none"> Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools Program) Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)
4.504.5	<p>Composite wood products</p> <ul style="list-style-type: none"> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
4.504.5 continued	<p>for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et. seq.), as shown in Table 4.504.5.</p> <p>Documentation is required per Section 4.504.5.1.</p> <ul style="list-style-type: none"> Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).
4.504.5.1	<p>Documentation</p> <p>Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1.</p>
Division 4.5 – ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL)	
Concrete slab foundations	
4.505.2	<p>Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.</p>
Capillary break	
4.505.2.1	<p>A capillary break shall be installed in compliance with at least 1 of the following:</p> <ol style="list-style-type: none"> A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
Moisture content of building materials	
4.505.3	<p>Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following:</p> <ol style="list-style-type: none"> Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.</p>

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
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SECTION	REQUIREMENTS
Division 4.5 – ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXHAUST)	
Bathroom exhaust fans	
4.506.1	<p>Each bathroom shall be mechanically ventilated and shall comply with the following:</p> <ol style="list-style-type: none"> Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. <ol style="list-style-type: none"> Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. <p>Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.</p>
Division 4.5 – ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT)	
Heating and air conditioning system design	
4.507.2	<p>Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods:</p> <ol style="list-style-type: none"> The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable.
CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATION (QUALIFICATIONS, VERIFICATIONS)	
Installer training	
702.1	<p>HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not limited to the following:</p> <ol style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

CALGreen RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN CODE

SECTION	REQUIREMENTS
702.2	<p>Special inspection</p> <p>Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.</p>
703.1	<p>Documentation</p> <p>Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.</p>

JONATHONS STUDIO

DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
PH: 949.191.5535 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

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4
TITLE: CAL GREEN
DATE: 1/23/2019
SCALE:
ARTIST: DAVID MICHAEL DESIGNS
SHEET: A4

CAL GREEN REQUIREMENTS

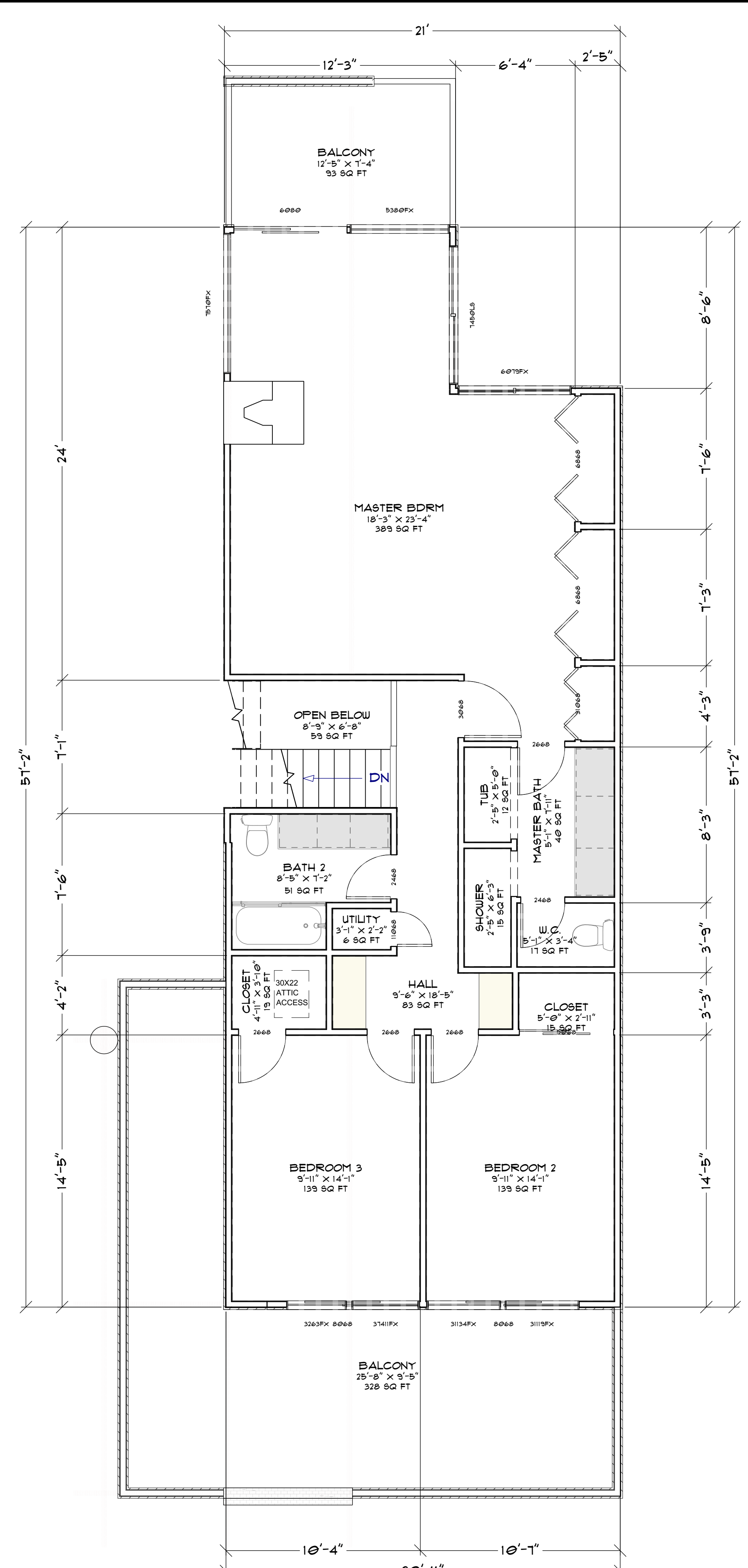
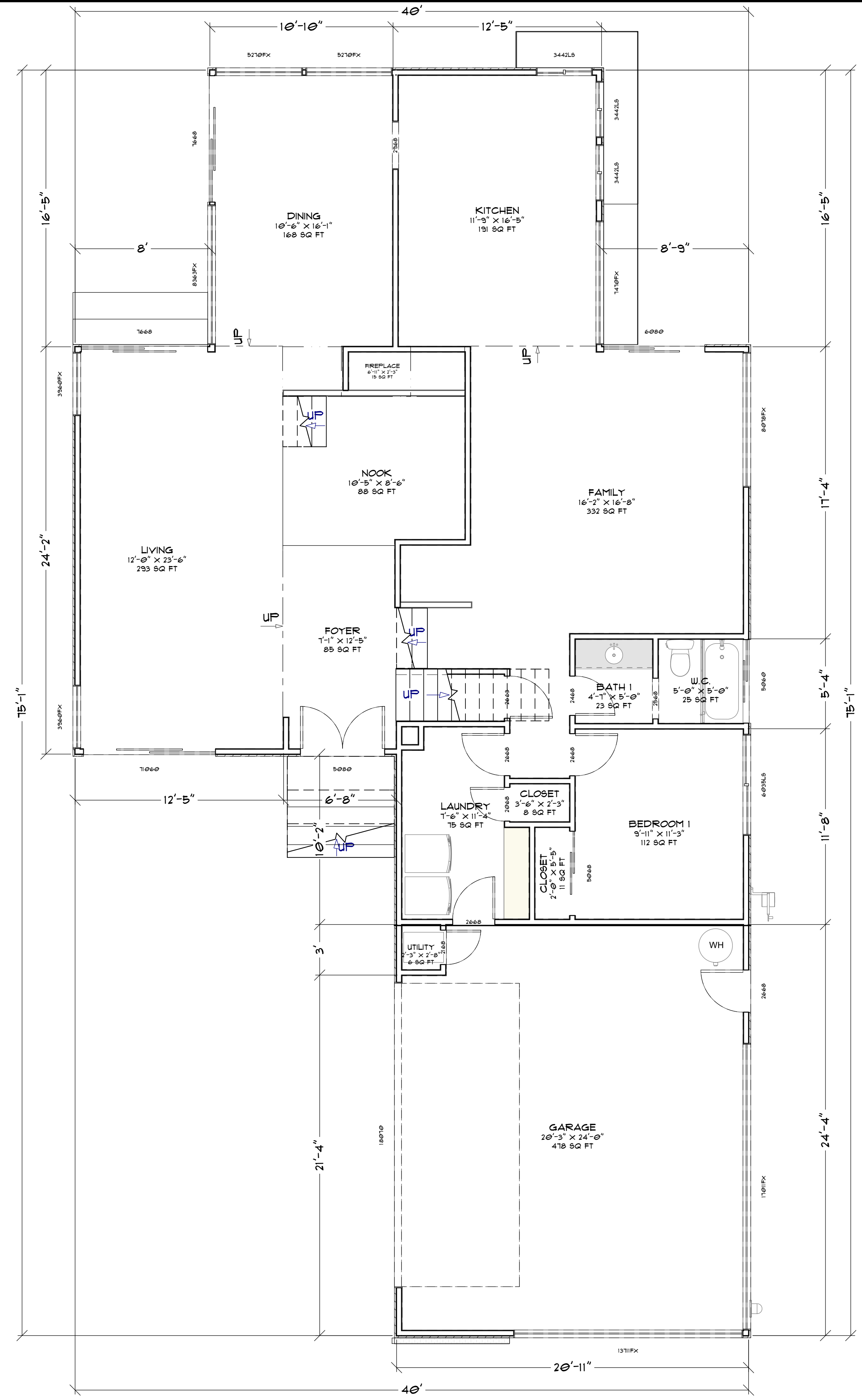
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**16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649**

5	TITLE	FLOOR PLAN
	DATE	1/23/2019
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET
A5



W/	WALL LEGEND & BASIC CALL OUT'S
---	DEMO WALLS
---	(N) EXTERIOR WALL
---	(E) EXTERIOR WALL
---	(N) INTERIOR WALL
---	(E) INTERIOR WALL
---	(N) SQ. FT. AREA
(N)	= NEW
(E)	= EXISTING
F.F.	= FINISHED FLOOR
N.G.	= NATURAL GRADE
PL	= PLATE HEIGHT

1ST FLOOR

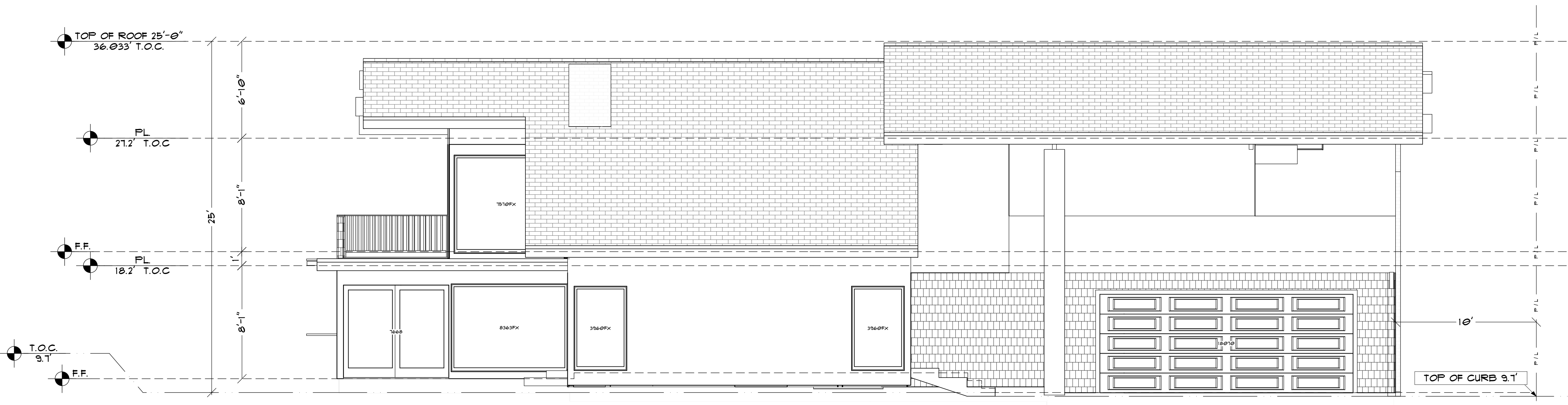
2ND FLOOR

EXISTING FLOOR PLAN

SCALE:
1/4" = 1'-0" 5

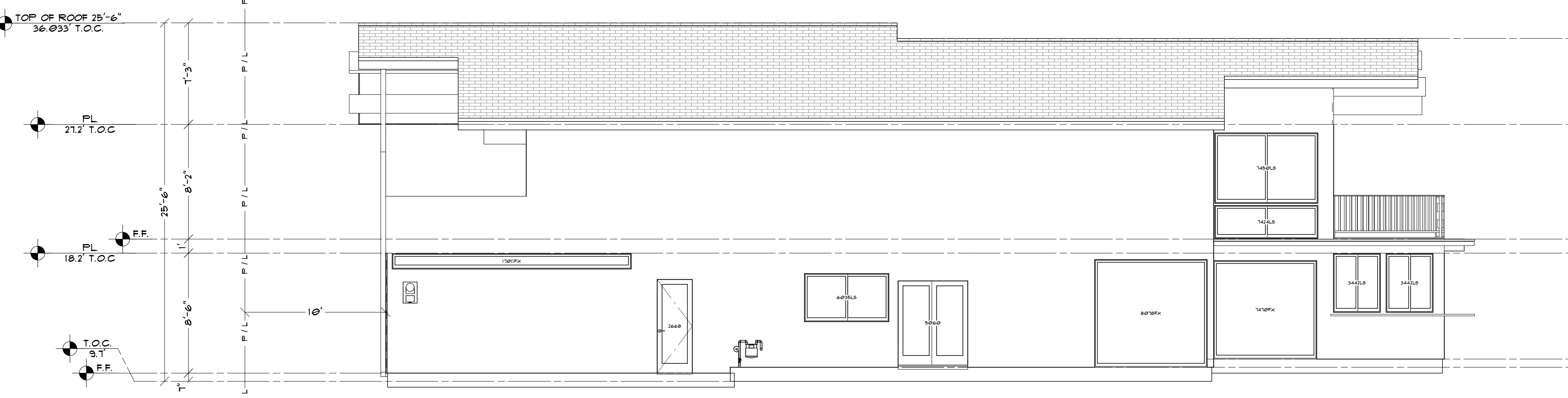
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(E) NORTH ELEVATION

SCALE: 1/4" = 1'-0" N



(E) SOUTH ELEVATION

SCALE: 1/4" = 1'-0" S

(E) ELEVATIONS

SCALE: 1/4" = 1'-0" 6

CLIENT:
16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

TITLE	ELEVATIONS
DATE	1/23/2019
SCALE	1/4" = 1'-0"

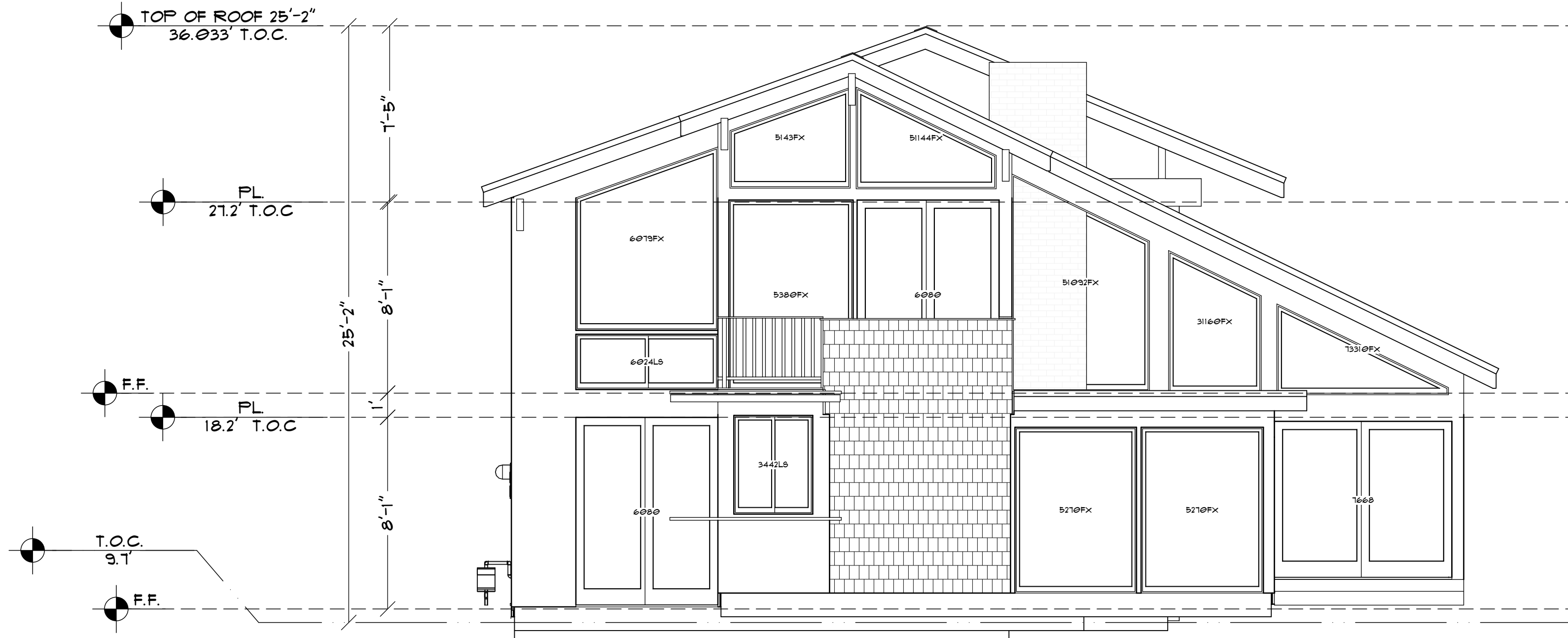
ARTIST
DAVID MICHAEL
DESIGNS

SHEET

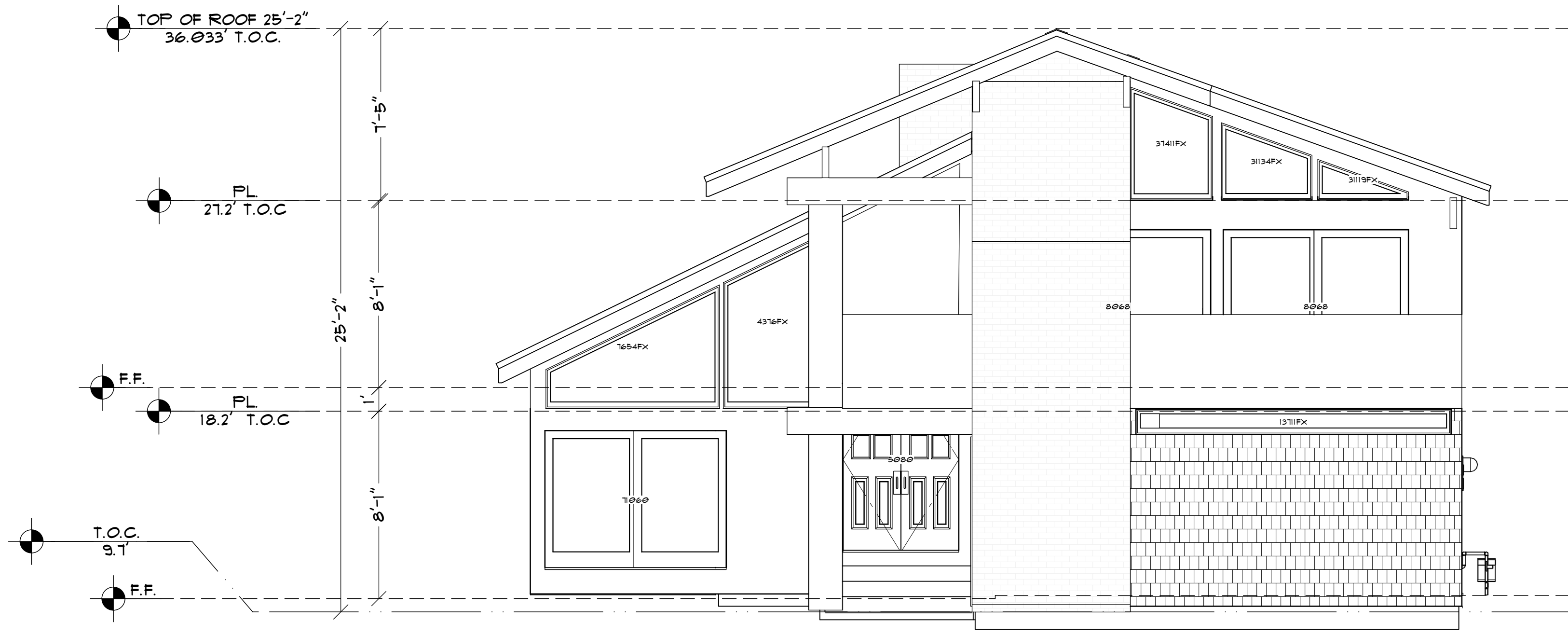
A6

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(E) EAST ELEVATION SCALE: 1/4" = 1'-0" E



(E) WEST ELEVATION SCALE: 1/4" = 1'-0" W

(E) ELEVATIONS SCALE: 1/4" = 1'-0" 7

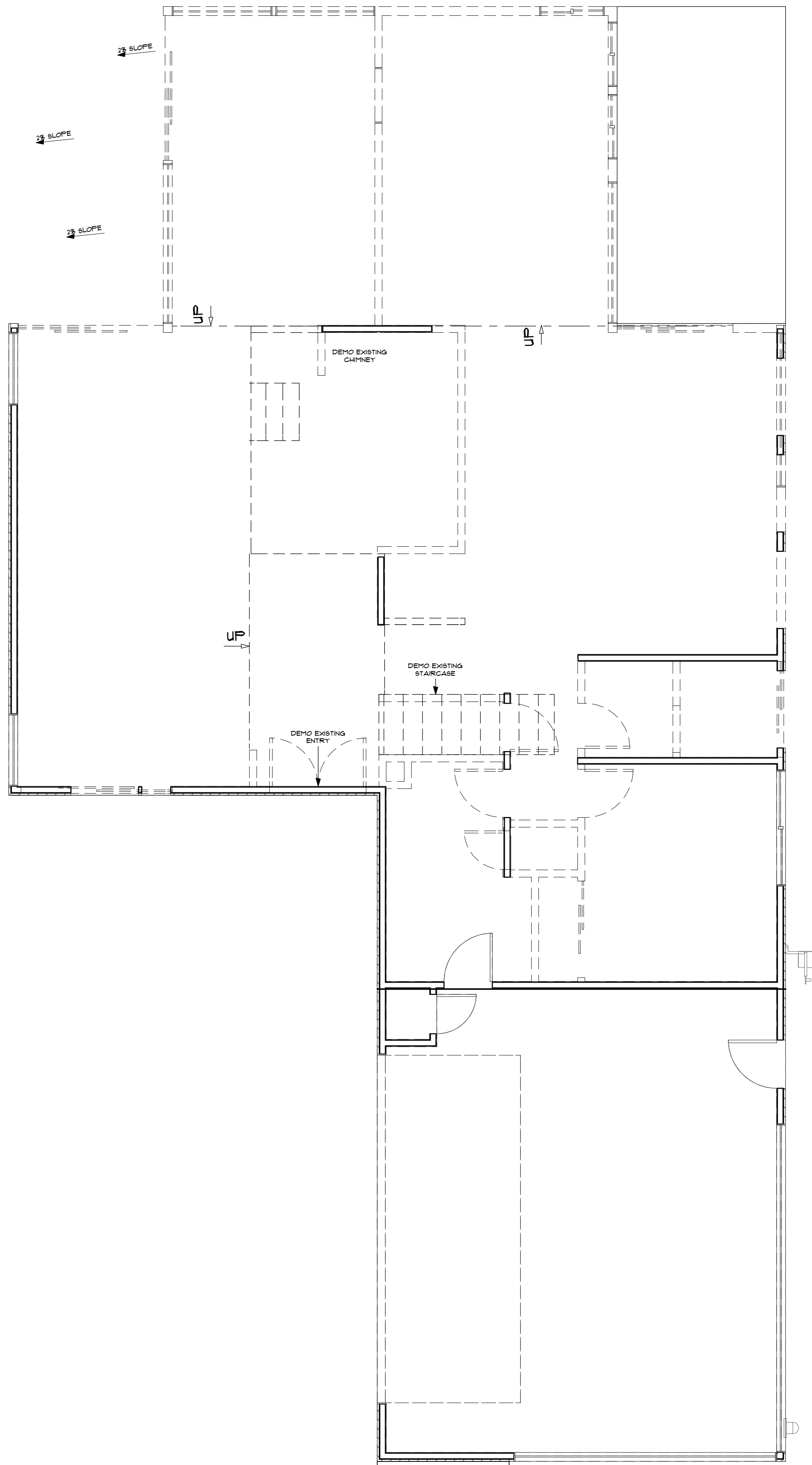
CLIENT:
**16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649**

7	ELEVATIONS
DATE	1/23/2019
SCALE	
ARTIST DAVID MICHAEL DESIGNS	

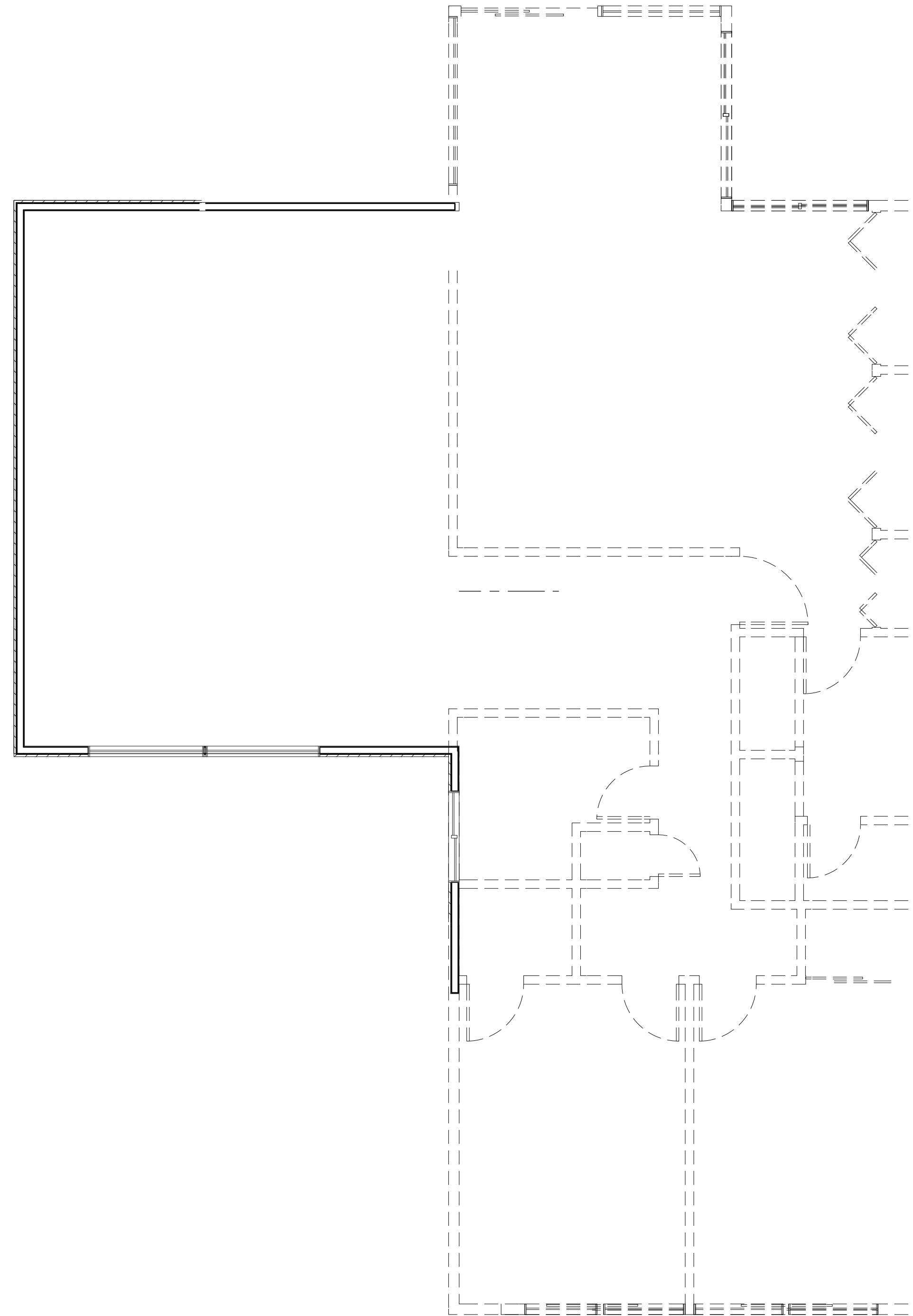
SHEET
A7

REVISIONS	
1	11.30.18
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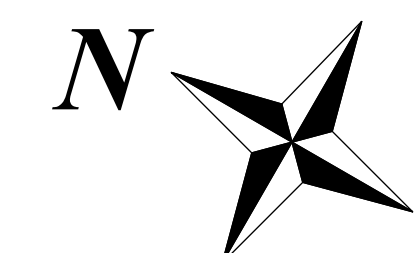
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1ST FLOOR



2ND FLOOR



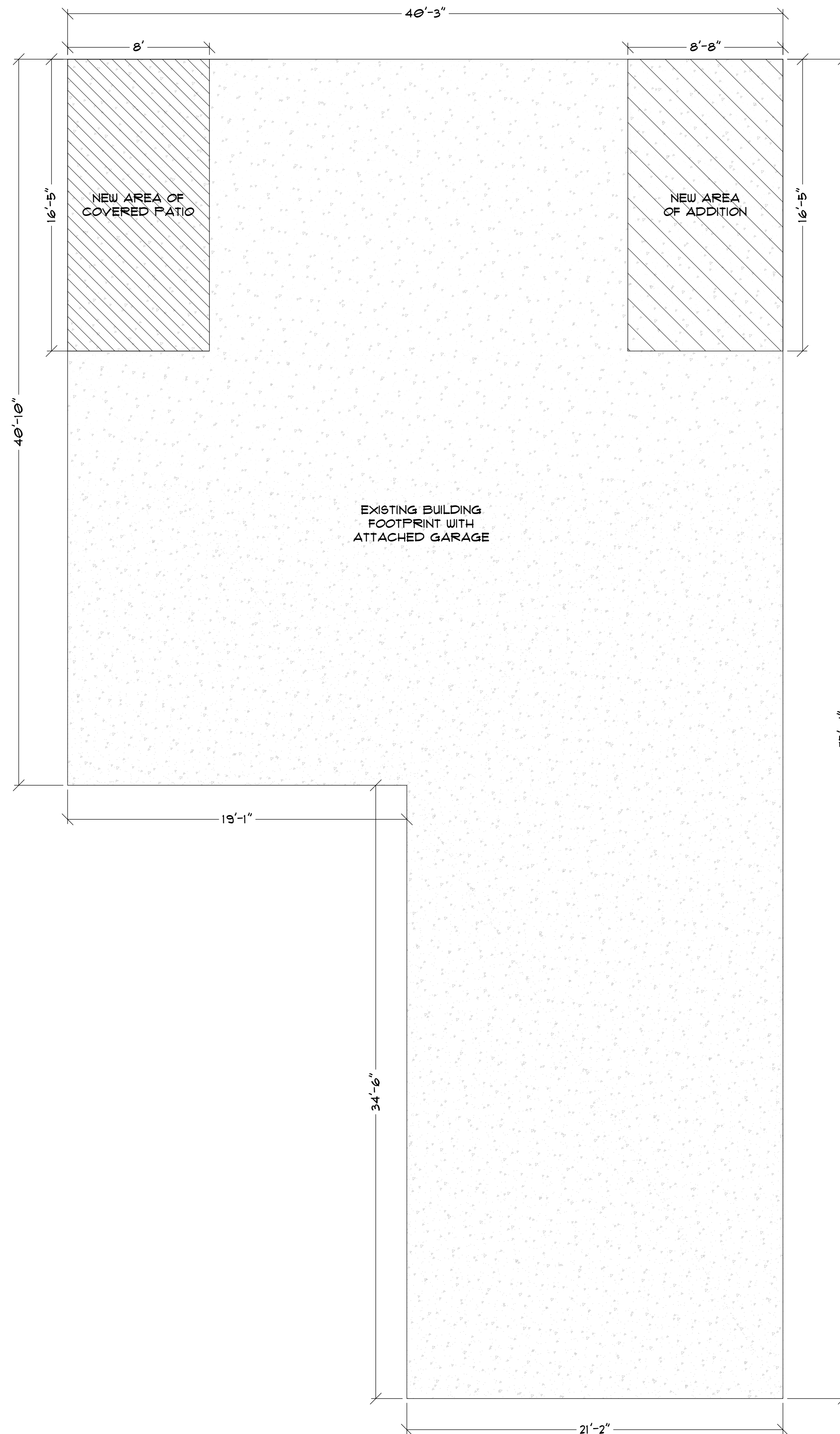
WALL LEGEND & BASIC CALL OUT'S	
	DEMO WALLS
	(N) EXTERIOR WALL
	(E) EXTERIOR WALL
	(N) INTERIOR WALL
	(E) INTERIOR WALL
	(N) SQ. FT. AREA
(N) = NEW (E) = EXISTING F.F. = FINISHED FLOOR N.G. = NATURAL GRADE PL. = PLATE HEIGHT	

CLIENT:
**16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649**

8	TITLE	DEMO PLAN
	DATE	1/23/2019
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET
A8

DEMO PLAN SCALE: 1/4" = 1'-0" 8



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CLIENT:
**16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649**

WALL LEGEND & BASIC CALL OUT'S	
	DEMO WALLS
	(N) EXTERIOR WALL
	(E) EXTERIOR WALL
	(N) INTERIOR WALL
	(E) INTERIOR WALL
	(N) SQ. FT. AREA
(N)	= NEW
(E)	= EXISTING
F.F.	= FINISHED FLOOR
N.G.	= NATURAL GRADE
PL	= PLATE HEIGHT



9	TITLE	FOUND. PLAN
	DATE	1/23/2019
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET
A9

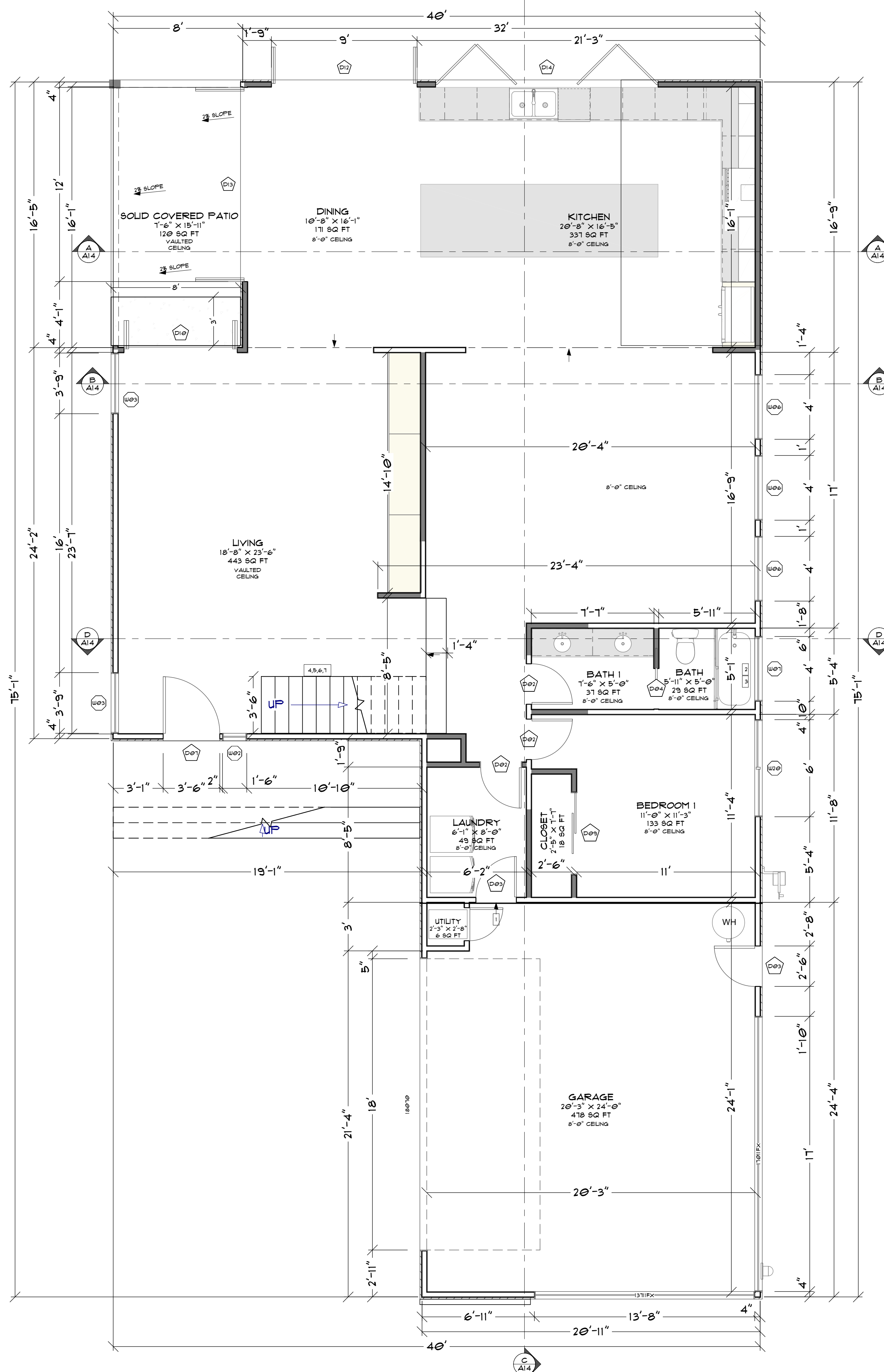
DIMENSIONED FOUNDATION PLAN

SCALE:
1/4" = 1'-0"

9

EXISTING RESIDENCE

- 1ST & 2ND FLOOR
4' X 6' FIXED WINDOW
- 1ST & 2ND FLOOR
4' X 6' FIXED WINDOW
- 1ST & 2ND FLOOR
4' X 6' FIXED WINDOW
- 12" X 12" COLUMN
- 12" X 12" COLUMN
- 12" X 12" COLUMN
- 12" X 12" COLUMN



NO EXISTING WINDOWS AT FIRST STORY

EXISTING RESIDENCE

NO EXISTING WINDOWS AT FIRST STORY

JONATHONS
STUDIO



DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
PH: 949.591.5535 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

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FLOOR PLAN NOTES:

1. OPENINGS SHALL BE EQUIPPED WITH SOLID WOOD DOORS OR SOLID OR HONEYCOMBED CORE STEEL DOOR NOT LESS 1-3/8 INCHES THICK DOOR OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. (R302.5.1)
2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE FLOOR. (R307.2)
3. CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2)
4. MINIMUM STAIRWAY WIDTH SHALL BE NOT LESS THAN 36". (R311.7.1)
5. MAXIMUM RISE OF 1.15" AND MINIMUM RUN (TREAD) OF 10" AND SHALL BE PROVIDED WITH 0.75" TO 1.25" NOSING WHEN THE TREAD DEPTH IS LESS THAN 11 INCHES.
6. HANDRAILS:
 - A. STAIRWAYS SHALL HAVE HANDRAILS ON AT LEAST ONE SIDE OF THE STAIRWAY. EXCEPTION: STAIRS WITH FEWER THAN FOUR RISERS DO NOT REQUIRE HANDRAILS. (R311.7.8)
 - B. HANDRAIL(S) SHALL BE CONTINUOUS THE FULL LENGTH OF THE FLIGHT. ENDS SHALL BE RETURNED OR TERMINATE IN POSTS. (R311.7.8.2)
 - C. PROVIDE HANDRAILS NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREAD. (R311.7.8.1)
 - D. GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF 4-3/8" DIAMETER SPHERE.
 - E. AT THE SPACE FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD A 6" SPHERE CANNOT PASS THROUGH.
 - F. DESIGN HANDRAILS TO WITHSTAND A LATERAL FORCE OF 200 LBS. APPLIED AT TOP OF RAIL (CBC 1607.8.1.1)
7. THE GLASS HANDRAILS AND GUARDS SHALL COMPLY WITH CBC 2407.

WALL LEGEND & BASIC CALL OUT'S	
	DEMO WALLS
	(N) EXTERIOR WALL
	(E) EXTERIOR WALL
	(N) INTERIOR WALL
	(E) INTERIOR WALL
	(N) SQ. FT. AREA
(N)	= NEW
(E)	= EXISTING
F.F.	= FINISHED FLOOR
N.G.	= NATURAL GRADE
PL	= PLATE HEIGHT



CLIENT:
16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

10	FLOOR PLAN
TITLE	FLOOR PLAN
DATE	1/23/2019
SCALE	1/4" = 1'-0"
ARTIST DAVID MICHAEL DESIGNS	

SHEET
A10

PROPOSED FIRST STORY FLOOR PLAN

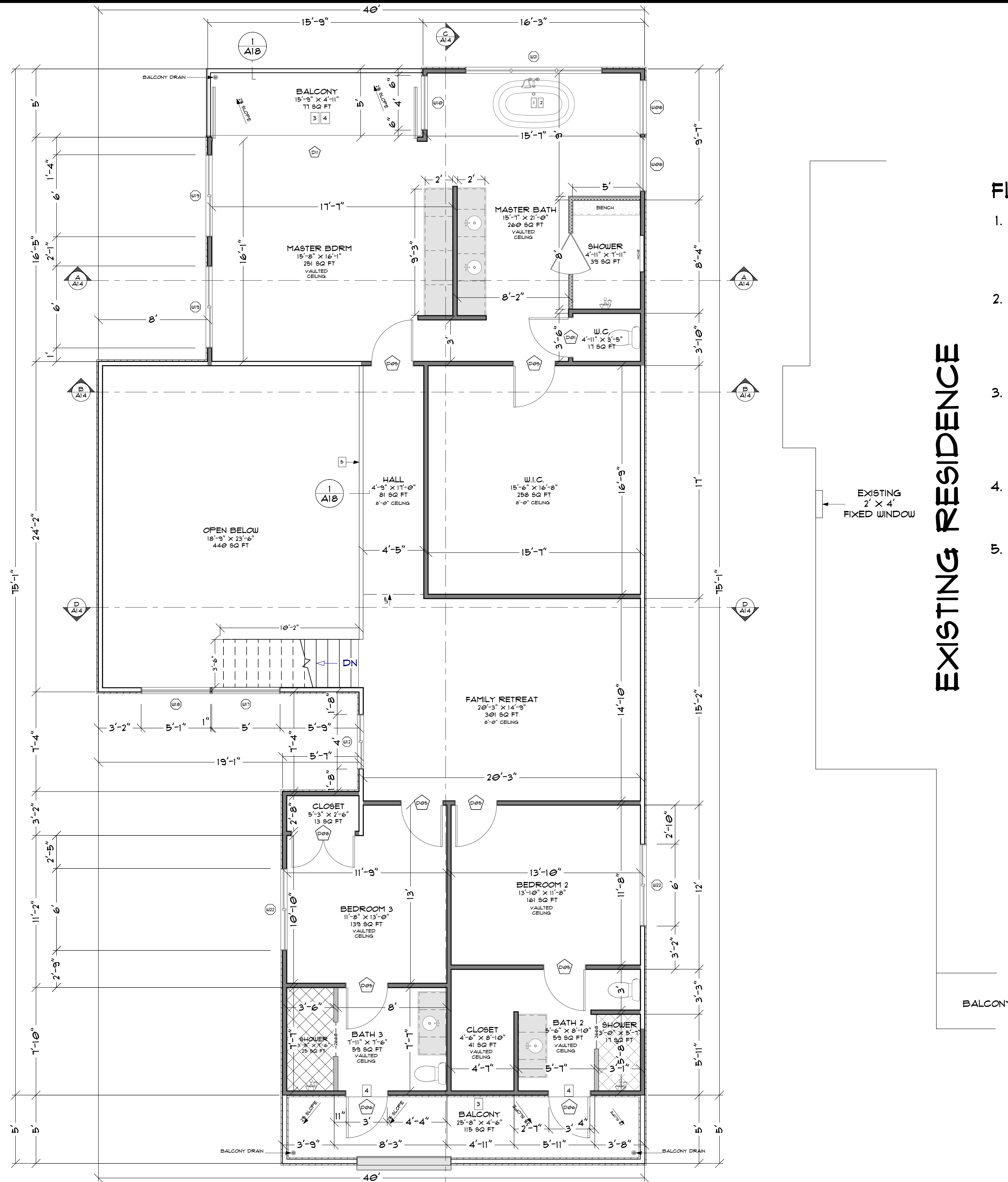
SCALE:
1/4" = 1'-0"

EXISTING RESIDENCE

4' x 6' FIXED WINDOW
4' x 6' FIXED WINDOW
4' x 6' FIXED WINDOW

4' x 4'-6" FIXED WINDOW

BALCONY



EXISTING 2' x 4' FIXED WINDOW

BALCONY

EXISTING RESIDENCE



DAVID MICHAEL DESIGNS

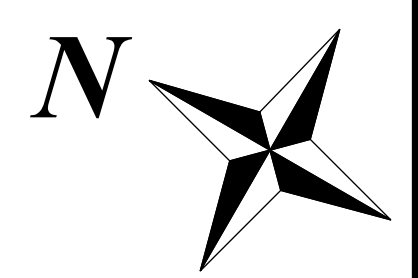
712 CENTER STREET COSTA MESA, CA 92627
PH: 549.101.5535 FAX: 549.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

FLOOR PLAN NOTES:

1. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE FLOOR. (R307.2)
2. CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R102.4.2)
3. BALCONIES EXPOSED TO WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4" UNITS VERTICAL AND 12" UNITS HORIZONTAL (2%) FOR DRAINAGE. MANUFACTURER DECK COATING PRODUCTS, INC. - ESR-3672.
4. FLOOR ELEVATION FOR OTHER THAN EGRESS DOOR SHALL BE PROVIDED WITH LANDING OR FLOORS NOT MORE THAN 1.75 INCHES BELOW TOP OF THRESHOLD.
5. C.R. LAURENCE COMPANY - CRL MONOLITHIC CLEAR TEMPERED GLASS RAILING PANEL SYSTEM - MG12C48.

REVISIONS	
1	11.30.18
2	

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WALL LEGEND & BASIC CALL OUT'S	
	DEMO WALLS
	(N) EXTERIOR WALL
	(E) EXTERIOR WALL
	(N) INTERIOR WALL
	(E) INTERIOR WALL
	(N) SQ. FT. AREA
(N)	= NEW
(E)	= EXISTING
F.F.	= FINISHED FLOOR
N.G.	= NATURAL GRADE
PL	= PLATE HEIGHT

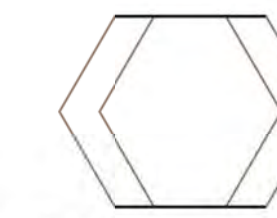
CLIENT: 16662 WANDERER LANE HUNTINGTON BEACH, CA 92649

11	FLOOR PLAN
TITLE	
DATE	1/23/2019
SCALE	1/4" = 1'-0"
ARTIST	
DAVID MICHAEL DESIGNS	

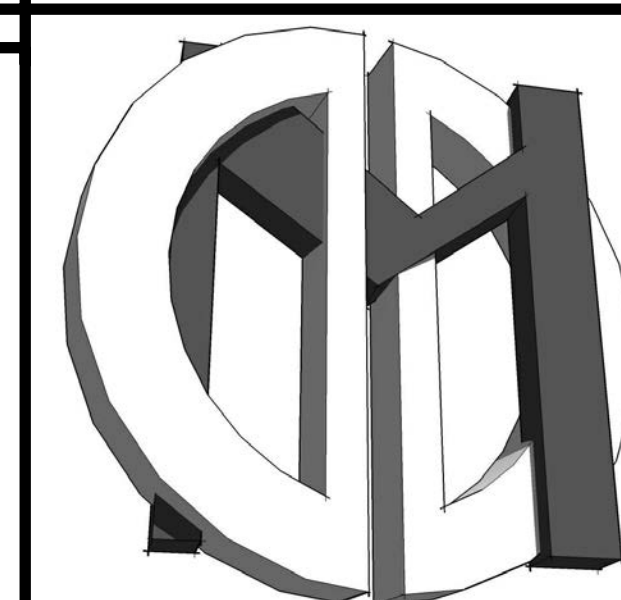
SHEET 11

PROPOSED SECOND STORY FLOOR PLAN

SCALE: 1/4" = 1'-0"



JONATHONS
STUDIO

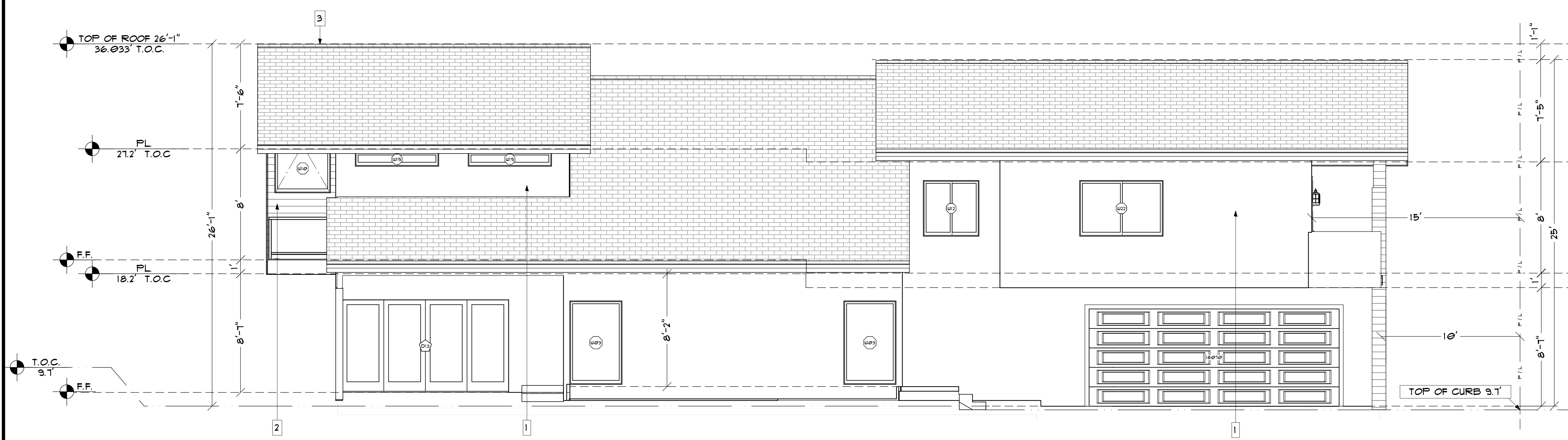


DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
PH: 543.501.5533 FAX: 543.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

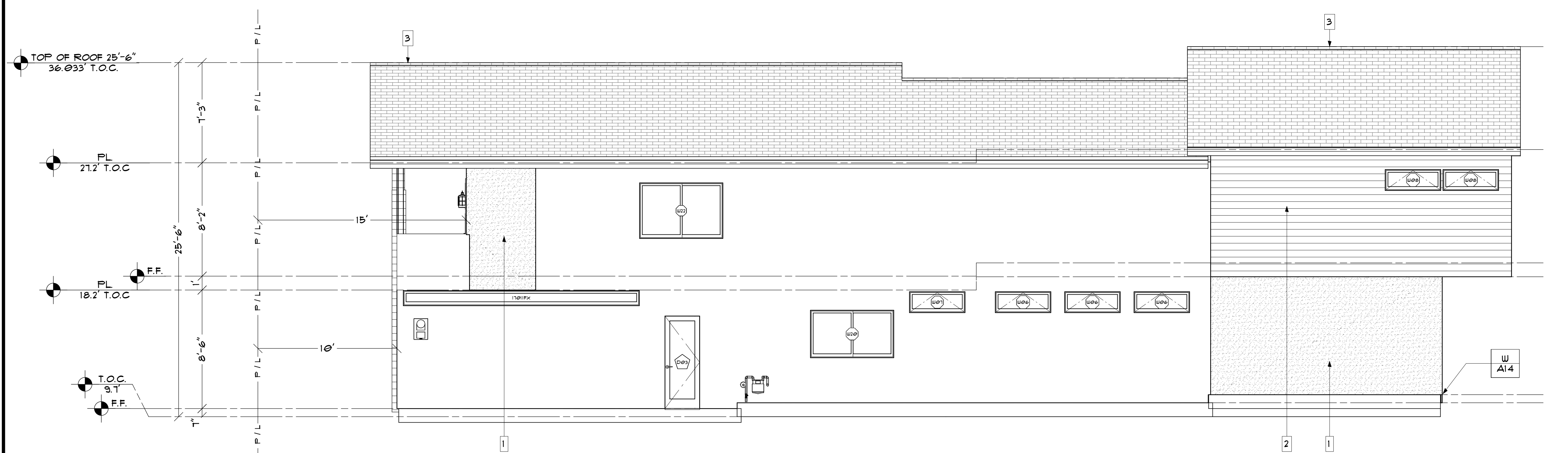
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NORTH ELEVATION

SCALE: 1/4" = 1'-0" N



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" S

ELEVATION NOTES

- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE IN ACCORDANCE WITH R103. PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (R103.1.3). NEW STUCCO TO MATCH EXISTING STUCCO USING AMERICAN EAGLE PRODUCTS, LLC - ESR-2129.
- EXTERIOR COMPOSITE WOOD SIDING.
- ROOF COVERING TO BE CLASS C MINIMUM ROOFING ASSEMBLY FOR THE ENTIRE ROOF COVERING OF EVERY NEW STRUCTURE AND ANY ROOF COVERING APPLIED IN THE ALTERATION, REPAIR OR REPLACEMENT OF THE ROOF OF EVERY EXISTING STRUCTURE. MANUFACTURE - BARTILE ROOFS, INC. - ESR-2218 WITH SDP ADVANCED POLYMER PRODUCTS, INC. UNDERLAYMENT ESR-1841.

CLIENT:

16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

TITLE	ELEVATIONS
DATE	1/23/2019
SCALE	1/4" = 1'-0"

ARTIST
DAVID MICHAEL
DESIGNS

David Michael

SHEET

A12

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0" 12

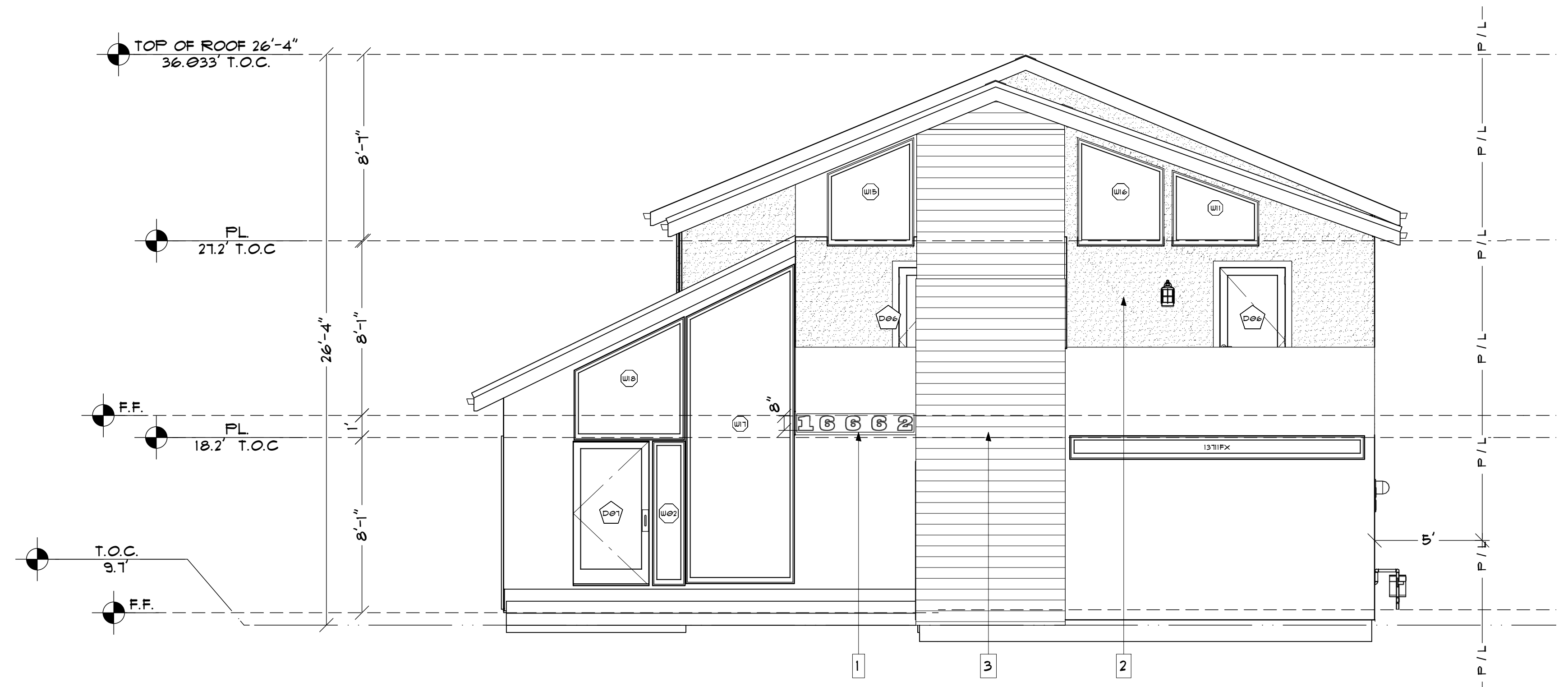
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N.G. = NATURAL GRADE
F.F. = FINISHED FLOOR
PL. = PLATE HEIGHT
T.O.C. = TOP OF CURB

EAST ELEVATION SCALE: 1/4" = 1'-0" E



N.G. = NATURAL GRADE
F.F. = FINISHED FLOOR
PL. = PLATE HEIGHT
T.O.C. = TOP OF CURB

WEST ELEVATION SCALE: 1/4" = 1'-0" W

ELEVATION NOTES:

- BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2" (R319.1)
- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE IN ACCORDANCE WITH R103. PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (R103.1.3) NEW STUCCO TO MATCH EXISTING STUCCO USING AMERICAN EAGLE PRODUCTS, LLC - ESR-2129.

- EXTERIOR COMPOSITE WOOD SIDING.
- C.R. LAURENCE COMPANY - CRL MONOLITHIC CLEAR TEMPERED GLASS RAILING PANEL SYSTEM - MG12C48.

PROPOSED ELEVATIONS SCALE: 1/4" = 1'-0" 13

CLIENT:

16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

TITLE	ELEVATIONS
DATE	1/23/2019
SCALE	1/4" = 1'-0"

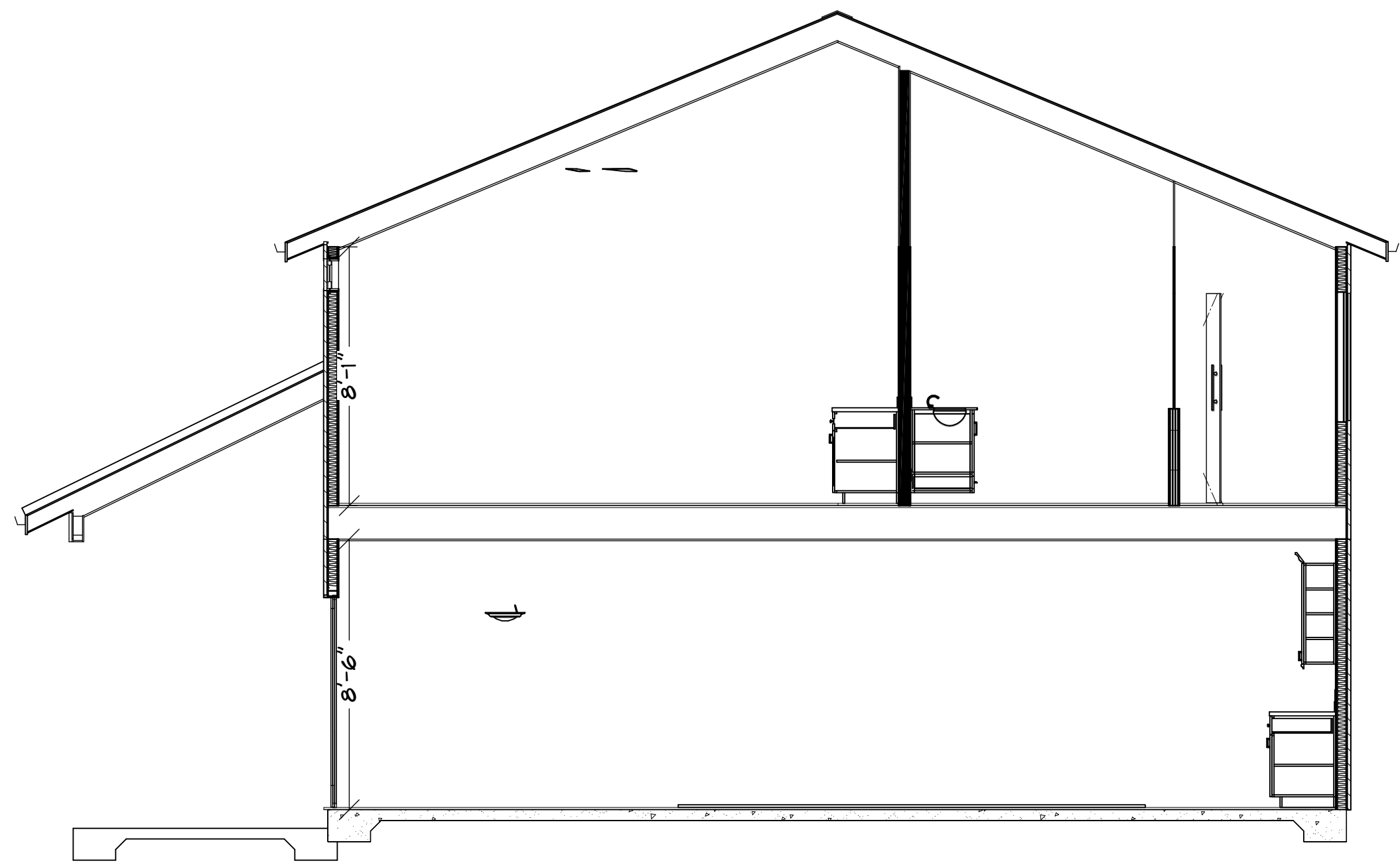
ARTIST
DAVID MICHAEL
DESIGNS

SHEET

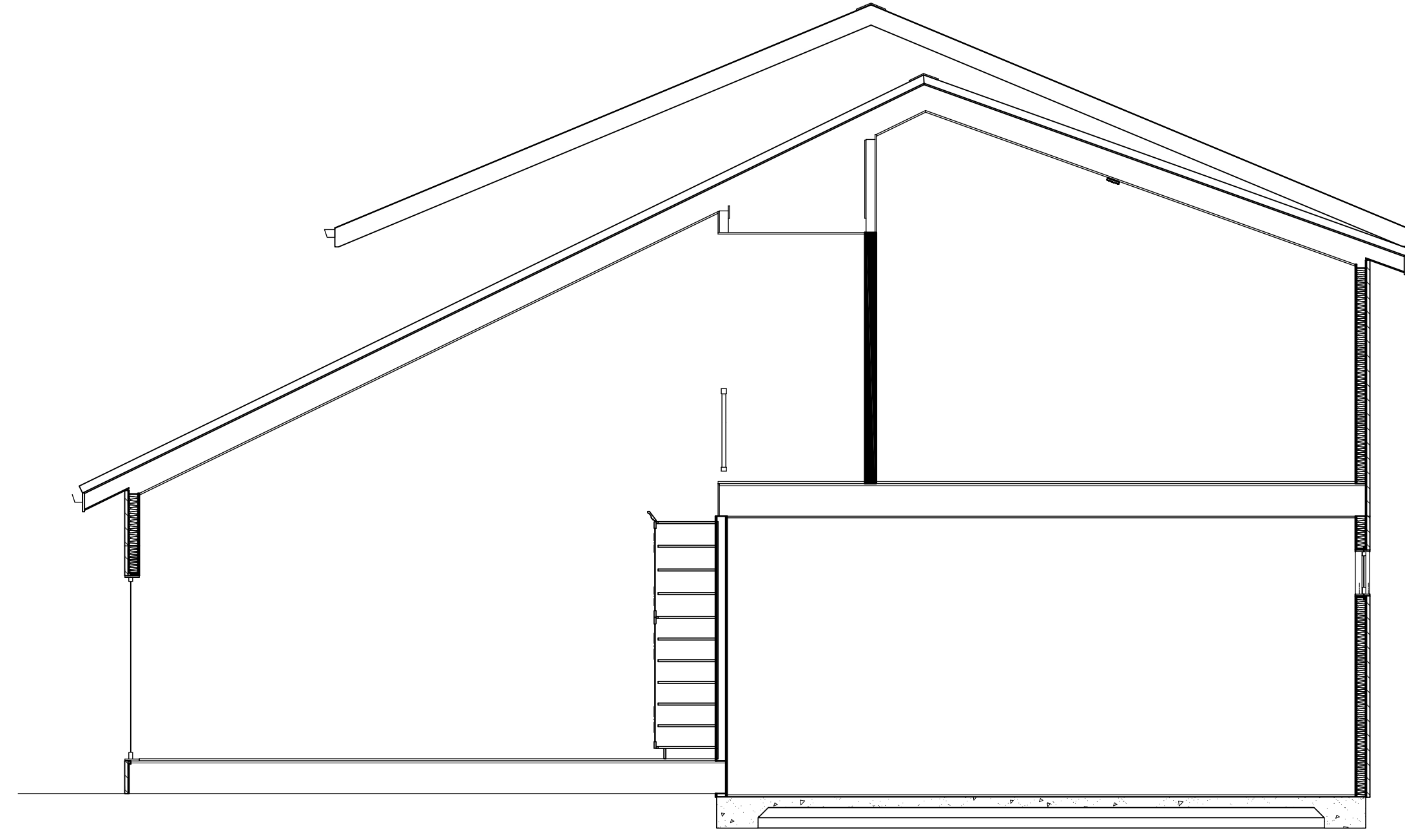
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REVISIONS	DATE
1	11.30.18
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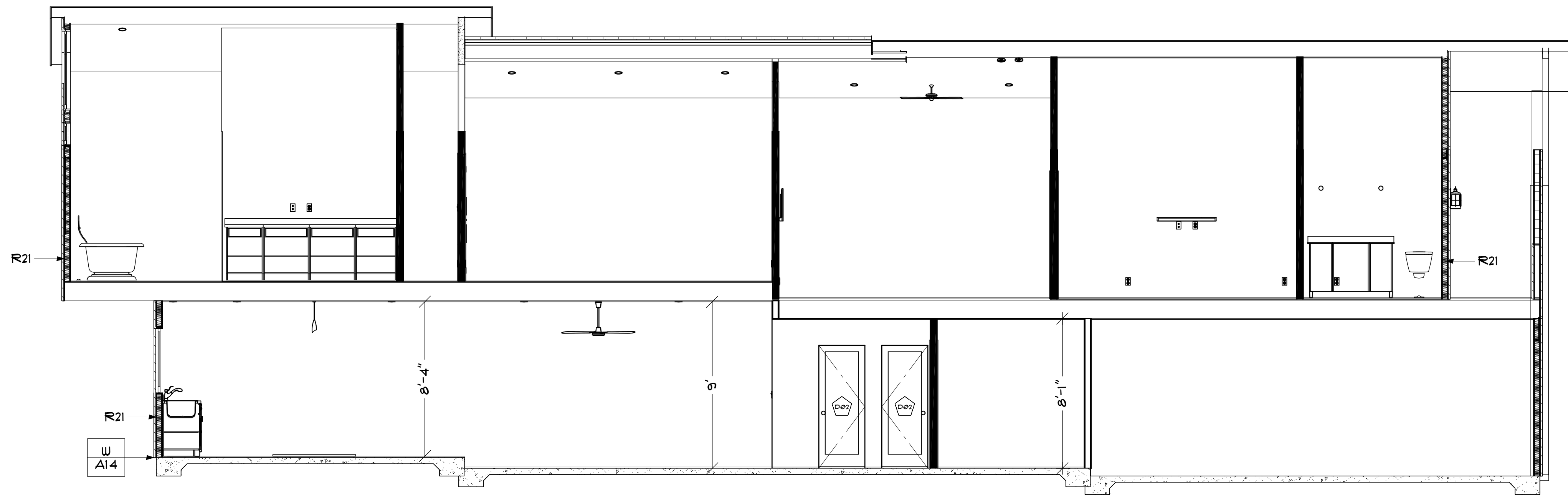
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CROSS SECTION A



CROSS SECTION B

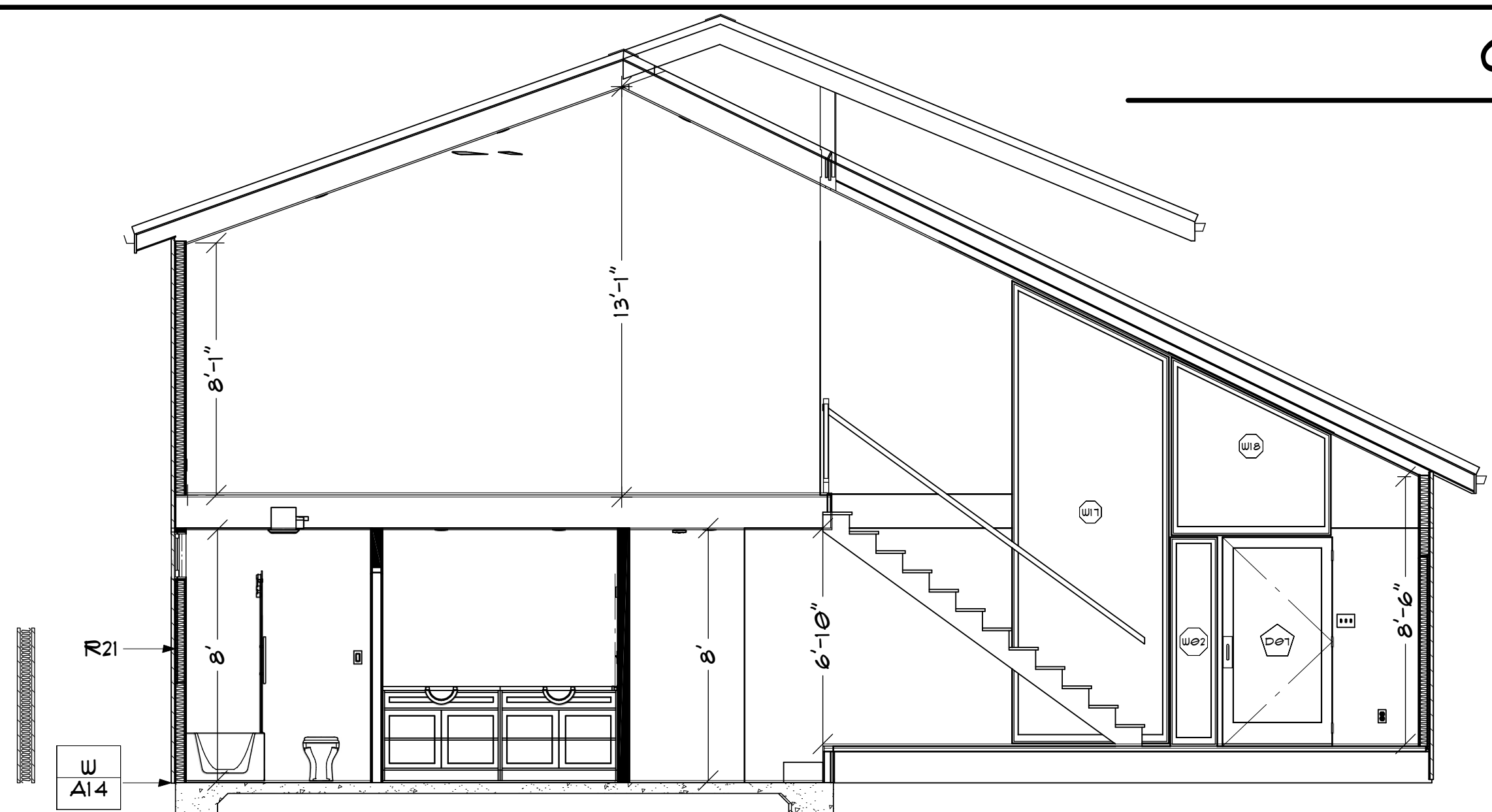
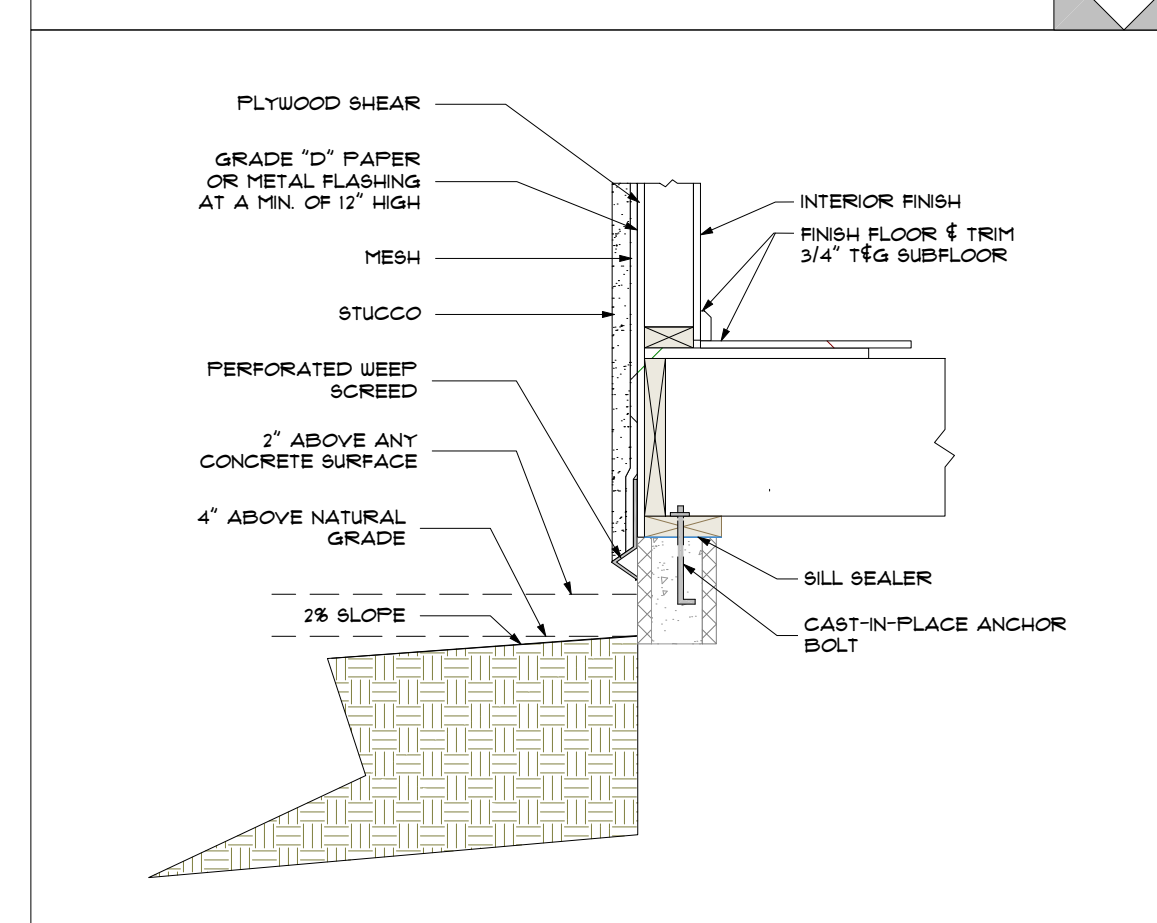


CROSS SECTION C

SECTION NOTES

1.

WEEP SCREED DETAIL



CROSS SECTION D

CROSS SECTIONS

SCALE: 1/4" = 1'-0"

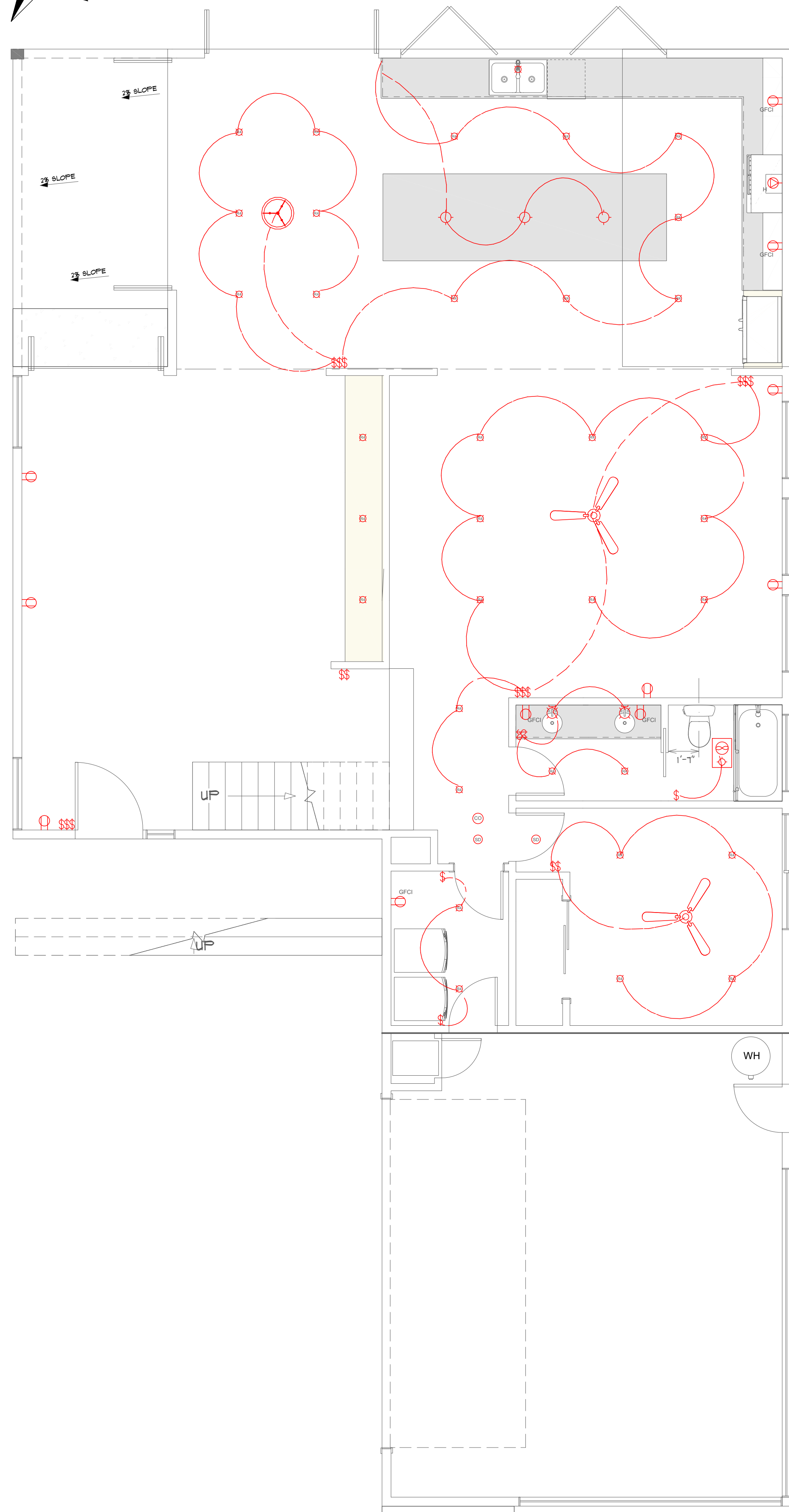
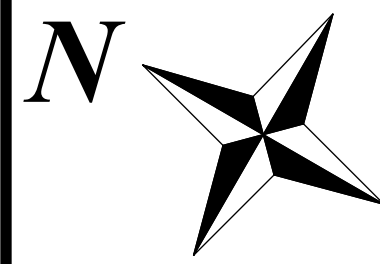
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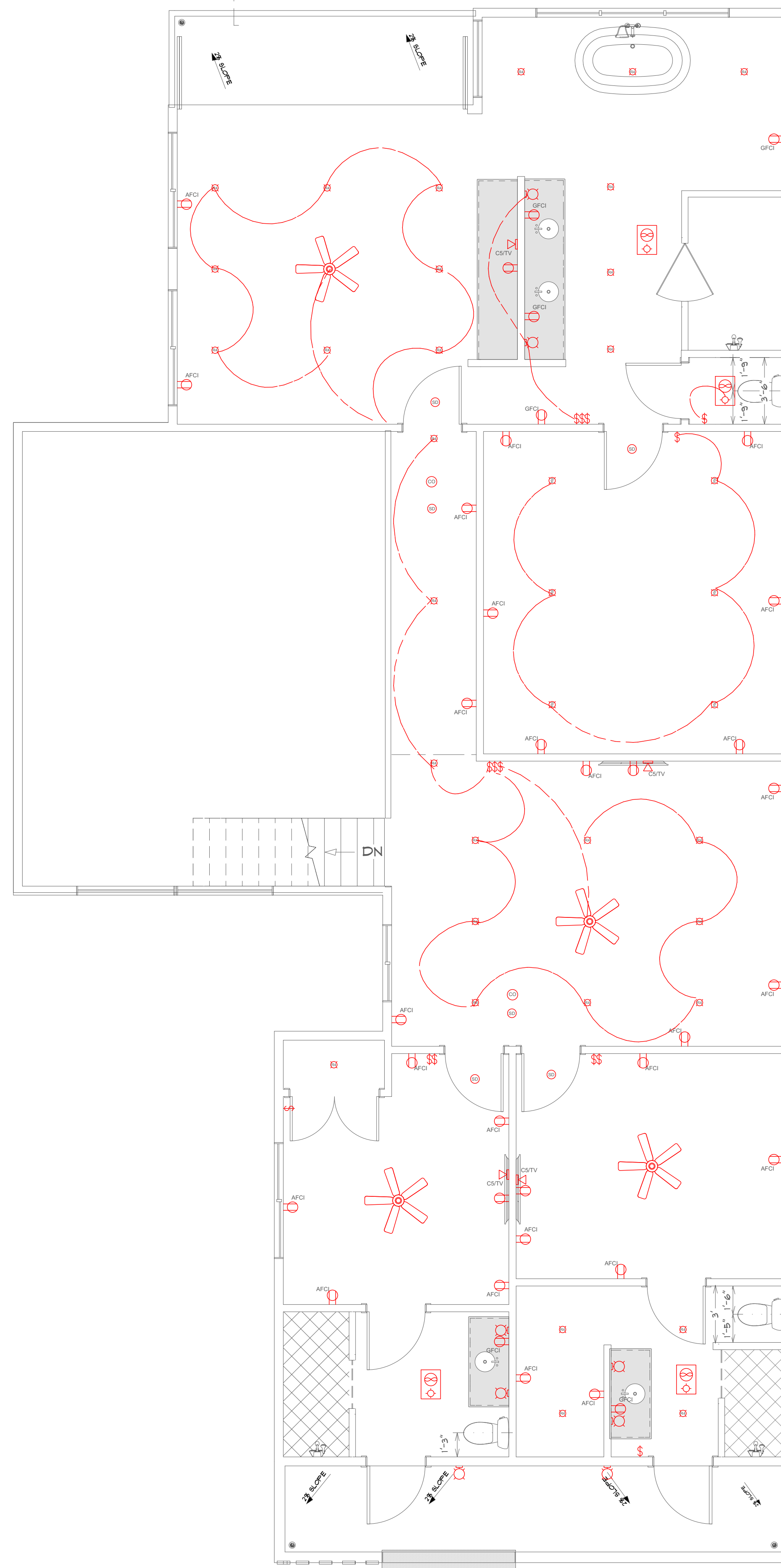
16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

14	CROSS SEC.
DATE	1/23/2019
SCALE	1/4" = 1'-0"
ARTIST	DAVID MICHAEL DESIGNS

SHEET
A14



1ST FLOOR



2ND FLOOR

JONATHONS
STUDIO



DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
PH: 949.501.5535 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

ELECTRICAL NOTES:

- INSTALL ALL (N) ELECTRICAL PER TITLE 24 AND CALIFORNIA ELECT. CODES
- RELOCATE ANY DEDICATED CIRCUITS FOR (N) LOCATIONS OF APPLIANCES AS NECESSARY PER PLANS AND SPECS.
- IF (E) OUTLETS ARE NOT ALREADY GFCI PROTECTED, REPLACE (E) OUTLETS WITH (N) GFCI OUTLETS.
- PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSORS, ALSO KNOWN AS VACANCY SENSORS, AUTOMATICALLY TURN LIGHTS OFF IF AN OCCUPANT FORGETS TO TURN THEM OFF WHEN A ROOM IS UNOCCUPIED. ADDITIONALLY, THESE SENSORS ARE REQUIRED TO PROVIDE THE OCCUPANT WITH THE ABILITY TO MANUALLY TURN THE LIGHTS.
- ALL LUMINAIRES INSTALLED IN RESIDENTIAL CONSTRUCTION MUST QUALIFY AS "HIGH EFFICACY LUMINAIRES." THIS ELIMINATES VARYING REQUIREMENTS BY ROOM AND TYPE OF CONTROLS. THIS ALSO ELIMINATES THE NEED TO CALCULATE THE WATTAGE OF LOW VERSUS HIGH EFFICACY LUMINAIRES IN THE KITCHEN.
- LIGHTING FOR OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 10 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
- LUMINAIRES PROVIDING OUTDOOR LIGHTING, INCLUDING LIGHTING FOR PATIOS, ENTRANCE, AND PORCHES, WHICH ARE PERMANENTLY MOUNTED, SHALL BE HIGH EFFICACY. THE LIGHTING SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH, A MOTION DETECTOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTO CONTROL OR ASTRONOMICAL TIME CLOCK, NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE TIME CLOCK, OR AN ENCS NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRES TO BE ALWAYS ON.
- HIGH EFFICACY LUMENS MUST BE PINNED BASED.
- PROVIDE ONE SMOKE & CARBON DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- BATHROOM BRANCH CIRCUITS: IN ADDITION TO OTHER BRANCH CIRCUIT REQUIREMENTS, AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. (2010 CEC 210.11(C)(3)). OTHER EQUIPMENT (EX. LIGHTING, EXHAUST FANS) WITHIN THE SAME BATHROOM MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
- BATHROOM ELECTRICAL OUTLETS: AT LEAST ONE RECEPTACLE SHALL BE INSTALLED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP. EXCEPTION: RECEPTACLE SHALL NOT BE REQUIRED TO BE MOUNTED IN THE WALL OR PARTITION WHERE IT IS INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP.
- LUMENS (FIXTURES) SHALL NOT BE LOCATED WITHIN 3 FEET HORIZONTALLY AND 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD INCLUDING THE ZONE DIRECTLY OVER THE TUB OR SHOWER STALL UNLESS LUMENS (FIXTURES) LOCATED WITHIN THESE ZONES ARE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. 2010 CEC 410.10(D).
- ALL LUMENS INSTALLED IN WET LOCATIONS SHALL BE MARKED, 'SUITABLE FOR WET LOCATIONS'. ALL LUMENS INSTALLED IN DAMP LOCATIONS SHALL BE MARKED, 'SUITABLE FOR WET LOCATIONS' OR 'SUITABLE FOR DAMP LOCATIONS'.
- EXHAUST FAN WITH A CAPACITY OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS IS REQUIRED AT PRIVATE BATHROOMS. 2010 CMC T4-4.
- NEW EXHAUST HOOD VENT TO TIE INTO EXISTING DUCTWORK. DUCT TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. THE RANGE HOOD OVER THE STOVE MAY BE USED TO MEET THIS REQUIREMENT, BUT THE RANGE HOOD MUST VENT TO THE OUTSIDE. RE-CIRCULATING RANGE HOODS CANNOT BE USED. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 11. THIS LOCAL EXHAUST FAN MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY. INSTALLING THIS LOCAL EXHAUST FAN IN THE KITCHEN WILL ALLOW THE HOME OCCUPANT TO REGULATE THE INDOOR AIR QUALITY WHEN NEEDED.
- PROVIDE CLOTHES DUCT DRYER MOISTURE EXHAUST DUCT (MIN. 4 INCH DIAMETER) TO THE OUTSIDE AND EQUIP WITH A BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. (CMC 504.3)
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPRE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S). CEC 210.12. NOTE THAT REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST THE OUTLET(S).
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED.
- SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2015.
- WATER CLOSET SHALL HAVE 15" TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE.
- ALL LUMINAIRES THAT ARE INSTALLED WITH JAS-CERTIFIED LIGHT SOURCES ARE REQUIRED TO BE CONTROLLED BY EITHER A DIMMER OR VACANCY SENSOR. IN ADDITION, ALL BLANK ELECTRICAL BOXES MORE THAN FIVE FEET ABOVE THE FLOOR MUST BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL.

PLUMBING NOTES:

- ALL NON-COMPLIANT PLUMBING FIXTURES WILL BE REQUIRED TO BE UPGRADED WITH WATER-CONSERVING PLUMBING FIXTURES THROUGHOUT THE SINGLE-FAMILY RESIDENTIAL BUILDING. (CIVIL CODE SECTION 1101.4(A))
- ALL PLUMBING FIXTURES SHALL BE COMPLYING WITH THE MAX. FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MIN. REQUIREMENTS.
- MECHANICAL, ELECTRICAL AND PLUMBING PLANS ARE NOT REVIEWED AND ARE SUBJECT TO FIELD INSPECTION.

REVISIONS	
1	11.30.18
2	

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CLIENT:
**16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649**

15	TITLE	MEP PLAN
	DATE	1/23/2019
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET	A15
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MEP PLAN

SCALE:
1/4" = 1'-0"

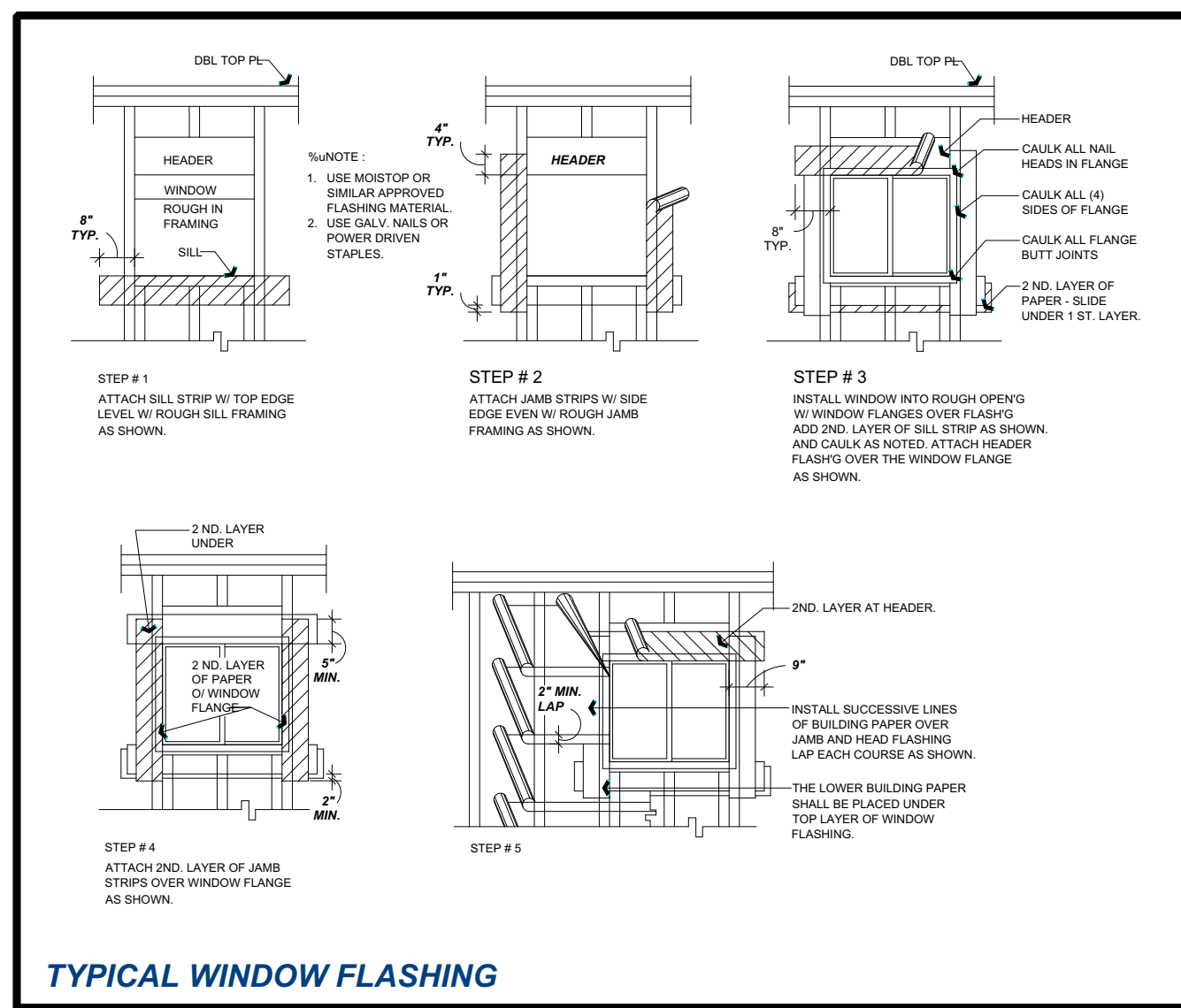
15

ALL DOORS AND WINDOWS SHALL MEET HUNTINGTON BEACH SECURITY ORDINANCE.

ELECTRICAL SCHEDULE			
2D SYMBOL	NUMBER	QTY	DESCRIPTION
	E01	8	SMOKE DETECTOR
	E02	3	BLOWN GLASS PENDANT
	E03	1	BOUL PENDANT CHANDELIER
	E04	3	CO DETECTOR
	E05	1	HOOD W/ VENT
	E11	2	3 BLADE CEILING FAN
	E15	5	EXHAUST LIGHT
	E16	8	SCOPE SCONCE
	E17	1	SWITCH (DECORATOR)
	E18	4	CAT5 W/ TV
	E19	26	AFCI
	E20	10	DUPLEX
	E21	11	GFCI
	E22	4	CLASSIC CEILING FAN
	E23	11	RECESSED DOWN LIGHT 4
	E24	5	2 GANG SWITCH
	E25	6	3 GANG SWITCH
	E26	2	MINER'S SCONCE

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	TEMPERED	U-FACTOR	SHGC
D01	21068	1	2	34 3/8"	80"		36 3/8" X 82 1/2"		0.32	0.25
D02	2668	3	1	30"	80"		32" X 82 1/2"		0.32	0.25
D03	2668	2	1	30"	80"		32" X 83"		0.32	0.25
D04	2668	1	1	30"	80"		62" X 82 1/2"		0.32	0.25
D05	3068	6	2	36"	80"		38" X 82 1/2"		0.32	0.25
D06	3068	2	2	36"	80"		38" X 83"	YES	0.32	0.25
D07	3668	1	1	42"	80"		44" X 83"		0.32	0.25
D08	4168	1	2	55"	80"		51" X 82 1/2"		0.32	0.25
D09	5068	1	1	60"	80"		62" X 82 1/2"		0.32	0.25
D10	7068	1	1	84"	80"		86" X 82 1/2"		0.32	0.25
D11	15068	1	2	180"	80"		182" X 82 1/2"	YES	0.32	0.25
D12	9069	1	1	108"	81"		110" X 83 1/2"		0.32	0.25
D13	12068	1	1	144"	80"		146" X 82 1/2"		0.32	0.25
D14	13936	1	1	165"	42"		167" X 44 1/2"		0.32	0.25

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	DESCRIPTION	TEMPERED	SHGC	U-FACTOR	AREA, ACTUAL (SQ FT)
W01	4013AW	4	3	48"	15"		SINGLE AWNING		0.25	0.32	5.0
W02	1668FX	1	1	18"	80"		FIXED GLASS	YES	0.25	0.32	10.0
W03	3968FX	2	1	45"	12"		FIXED GLASS	YES	0.25	0.32	22.5
W06	4016AW	3	1	48"	18"		SINGLE AWNING		0.25	0.32	6.0
W07	4016AW	1	1	48"	18"		SINGLE AWNING	YES	0.25	0.32	6.0
W08	4016AW	2	2	48"	18"		SINGLE AWNING		0.25	0.32	6.0
W09	4030FX	2	3	48"	36"		FIXED GLASS		0.25	0.32	8.61
W10	4036AW	1	2	48"	42"		SINGLE AWNING		0.25	0.32	14.0
W11	4036FX	1	3	48"	42"		FIXED GLASS		0.25	0.32	11.13
W12	4040LS	1	2	48"	48"		LEFT SLIDING		0.25	0.32	16.0
W13	40410FX	2	3	48"	58"		FIXED GLASS		0.25	0.32	16.0
W14	40410FX	1	3	48"	58"		FIXED GLASS		0.25	0.32	19.33
W15	4050FX	1	3	48"	60"		FIXED GLASS		0.25	0.32	16.61
W16	4050FX	1	3	48"	60"		FIXED GLASS		0.25	0.32	17.13
W17	50149FX	1	2	60"	111"		FIXED GLASS	YES	0.25	0.32	67.66
W18	5158FX	1	2	61"	68 1/4"		FIXED GLASS	YES	0.25	0.32	22.61
W19	6010LS	2	2	12"	12"		LEFT SLIDING		0.25	0.32	6.0
W20	6035LS	1	1	12"	41"	YES	LEFT SLIDING	YES	0.25	0.32	20.5
W21	10040TC	1	2	120"	48"		TRIPLE CASEMENT-LHL/RHR	YES	0.25	0.32	40.0
W22	6040LS	2	2	12"	48"	YES	LEFT SLIDING	YES	0.25	0.32	24.0
W23	4013FX	2	3	48"	15"		FIXED GLASS		0.25	0.32	5.0
TOTALS:											
										475.37	



JONATHONS STUDIO

DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
 PH: 949.401.5535 FAX: 949.650.2192
 EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS	
1	11.30.18
2	

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CLIENT:

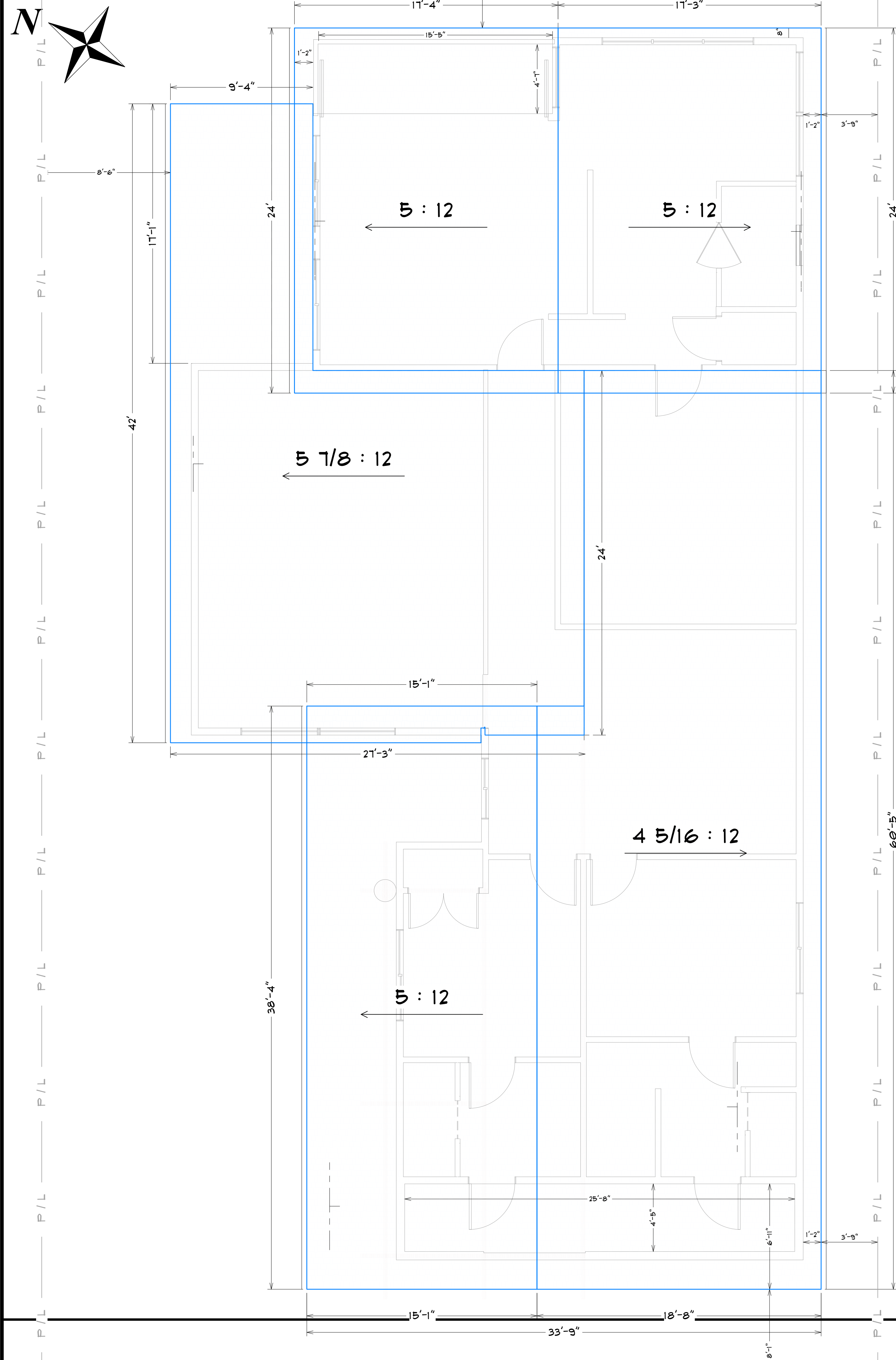
**16662 WANDERER LANE
 HUNTINGTON BEACH, CA 92649**

16	SCHEDULES
DATE	1/23/2019
SCALE	1/4" = 1'-0"
ARTIST DAVID MICHAEL DESIGNS	

SHEET

A16

SCHEDULES SCALE: 1/4" = 1'-0" **16**



ROOF PLAN NOTES:

1. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. PROJECTIONS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 2 FEET TO 5 FEET SHALL BE PROTECTED ONE HOUR ON THE UNDERSIDE.
3. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE ATTIC SPACE. A NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. (R806.1)
4. ROOF COVERING TO BE CLASS C MINIMUM ROOFING ASSEMBLY FOR THE ENTIRE ROOF COVERING OF EVERY NEW STRUCTURE AND ANY ROOF COVERING APPLIED IN THE ALTERATION, REPAIR OR REPLACEMENT OF THE ROOF OF EVERY EXISTING STRUCTURE. MANUFACTURE - BARTILE ROOFS, INC. - ESR-2278 WITH SDP ADVANCED POLYMER PRODUCTS, INC. UNDERLAYMENT ESR-1847.

JONATHONS STUDIO
DAVID MICHAEL DESIGNS

712 CENTER STREET COSTA MESA, CA 92627
 PH: 949.501.5535 FAX: 949.650.2192
 EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS	
1	11.30.18
2	

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ICC-ES Report
ESR-1847
 Issued 07/2017
 This report is subject to renewal 01/2018

Most Widely Accepted and Trusted
 A Subsidiary of the International Code Council®

REPORT HOLDER:
 SDP ADVANCED POLYMER PRODUCTS, INC.
 410-130 BRIDGELAND AVENUE
 TORONTO, ONTARIO M6A 1Z4
 CANADA

EVALUATION SUBJECT:
 PALISADE™ SYNTHETIC UNDERLAYMENT

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 30 05—ROOFING FELT AND UNDERLAYMENT

PROTECTION:
 Section 07 30 18—Concrete Roof Tiles

REPORT HOLDER:
 BARTILE ROOFS, INC.
 23 BENTLEY STREET
 CENTREVILLE, OH 44814
 (937) 295-5443
 bartile@bartile.com

EVALUATION SUBJECT:
 BARTILE EXTRUDED CONCRETE ROOF TILES

1.0 EVALUATION SCOPE
 Compliance with the following codes:
 • 2009 and 2006 International Building Code® (IBC)
 • 2009 and 2006 International Residential Code® (IRC)

Properties evaluated:
 • Fire classification
 • Wind resistance
 • 24 USES

1.0 DESCRIPTION
 Bartile extruded concrete roof tiles are available in European Mission™, Flat and Legacy™ styles. Flat tiles are available in white and slate colors. The European Mission™ and Flat tiles are 15 1/2 inches long by 10 1/2 inches wide (393 mm by 267 mm) and have a 3/8 inch (9.5 mm) thick, 1/2 inch (12.7 mm) deep, double-dimpled, interlocking side lips. The tiles also have a double lip at the front, intended for installation over roof sheathing. The tiles are typically 1/2 inch (12.7 mm) deep, 1 1/2 inches (38 mm) wide and 1 1/2 inch (38 mm) thick. The tile increases area from 1/2 inch (12.7 mm) to 1 inch (25.4 mm) at the lip.

The Legacy™ tiles are 18 inches long by 18 inches wide (457 mm by 457 mm) and have a 1 inch (25.4 mm) thick, 1/2 inch (12.7 mm) deep, double-dimpled, interlocking side lip. The tiles have a 1/2 inch (12.7 mm) thick, 1 1/2 inch (38 mm) wide and 1 1/2 inch (38 mm) thick. The tile increases area from 1/2 inch (12.7 mm) to 1 inch (25.4 mm) at the lip.

The Legacy™ tiles are installed in the same manner as extruded concrete roof tiles, except each tile is attached with one No. 11 gage, corrosion-resistant roofing nail.

1.0 LEGENDARY PROFILE

ICC-ES Evaluation Report
ESR-2278
 Issued June 1, 2012
 This report is subject to renewal July 1, 2014

Most Widely Accepted and Trusted
 A Subsidiary of the International Code Council®

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 30 18—Concrete Roof Tiles

REPORT HOLDER:
 BARTILE ROOFS, INC.
 23 BENTLEY STREET
 CENTREVILLE, OH 44814
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1.0 LEGENDARY PROFILE

ESR-2278 | Most Widely Accepted and Trusted Page 2 of 4

4.3 Wind Resistance:
 For loads with speeds (downwind gust of 130 mph (103 mph) or less and mean roof height of 10 feet (3.05 m) or less for the IBC, this tile must be installed in accordance with the appropriate requirements of Table 6-2 of the IBC or Table 6-2 of the IRC, as applicable. For buildings beyond these prescriptive parameters, the tile and the fastening system must be designed to withstand the aerodynamic wind uplift moment in accordance with the section on Design Considerations for High Wind Applications in Appendix B of the TRW/IRCA installation manual. The design required aerodynamic uplift moment shall be determined in accordance with Table 6-2 of the TRW/IRCA installation manual, and shall be multiplied by the factor listed in Table 2-1 to obtain the required aerodynamic uplift moment for the specific Bartile roof tile being installed. The allowable aerodynamic uplift moment for the roof tile fastening system selected from Table 7 of the TRW/IRCA installation manual, must be equal to or greater than the required aerodynamic uplift moment for the specific Bartile roof tile being installed.

4.4 Fire Classification:
 4.4.1 New Construction: When installed in accordance with this report, this tile can be a roof covering in accordance with the exception to Section 1505.2 of the IBC and with Section 905.2 of the IRC.

4.4.2 Reroofing Application: The existing roof covering must be removed and the new roof installed in accordance with the requirements of Section 1505.2 of the IBC or Section 905.2 of the IRC, as applicable. The roof classification is as noted in Section 4.4.1.

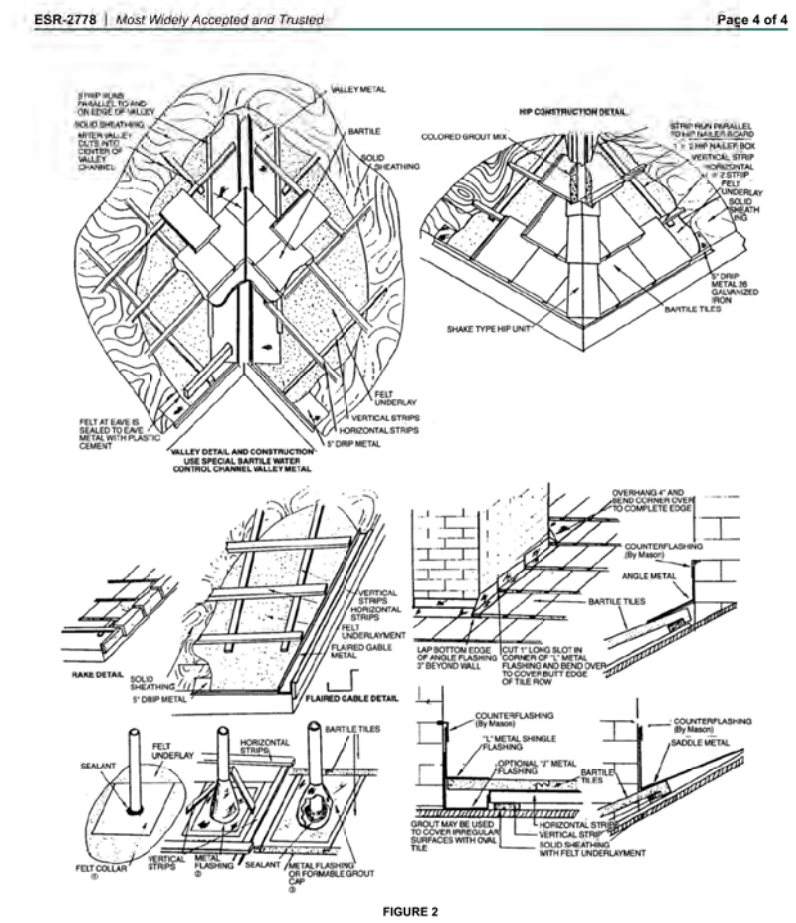
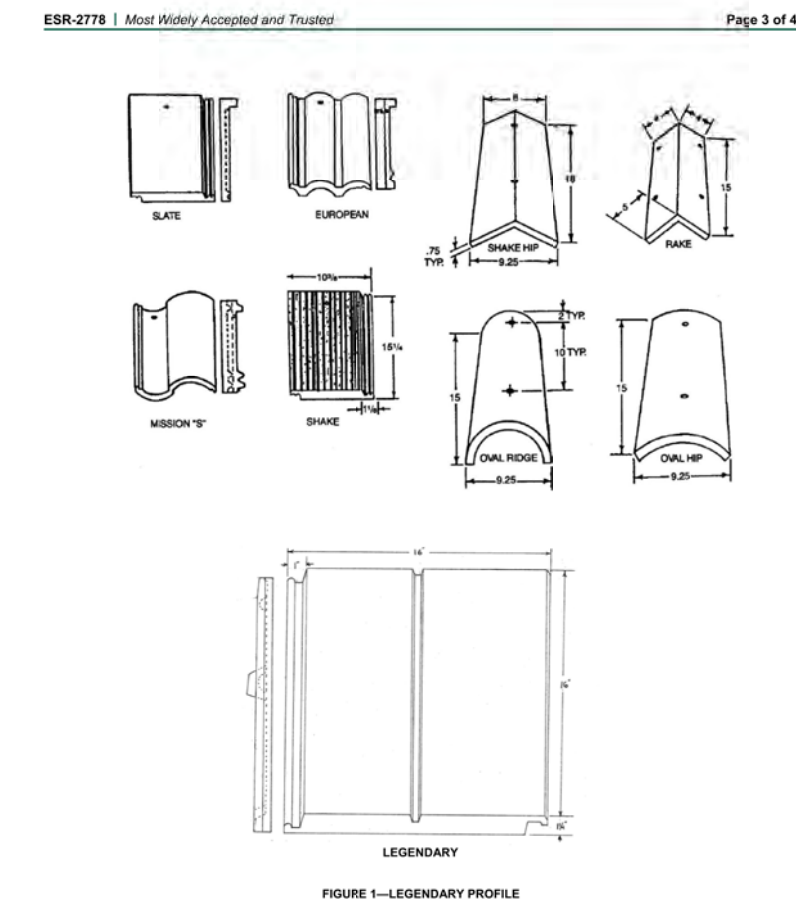
4.5 Roof Slope Limitation:
 This tile must be installed on roof slopes of between 2:12 (27% slope) and 12:12 (100% slope). This tile may be installed on a roof slope greater than 2:12 when the bottom edge of each tile is supported by a solid, vertical support in accordance with the TRW/IRCA installation manual. On roof slopes of less than 2:12 (27% slope), the tile may only be installed on a roof slope that is supported over a roof covering approved by the building official.

4.6 The Replacement:
 Damaged tiles must be completely removed. Existing fasteners must be removed and the resulting hole must be filled with a material specified by the manufacturer. The replacement tile must be set in place with the same fasteners as the original tile and must be installed in a manner that complies with the TRW/IRCA installation manual. The replacement tile must be installed in the same location as the original tile.

4.7 Conditions of Use:
 The tiles are manufactured, identified and installed in accordance with this report. The manufacturer's instructions and the manufacturer's code of ethics are the basis of the contract between the manufacturer's instructions and this report. The manufacturer's code of ethics is the basis of the contract between the manufacturer's instructions and this report. The manufacturer's code of ethics is the basis of the contract between the manufacturer's instructions and this report.

4.8 Evidence Submitted:
 Data in accordance with the ICC-ES Acceptance Criteria for Clay and Concrete Roof Tiles (ICC-ES) dated February 2012.

1.0 IDENTIFICATION
 The shipping pallets have labels, bearing the name "Bartile", the style and color of the tile, the production date, the installed weight, the name of the inspection agency (R. Jones & Associates, Inc.) and the evaluation report number (ESR-2278). The shipping labels also bear the words "1" and "Bartile".



CLIENT:
16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

17	TITLE	ROOF PLAN
	DATE	1/23/2019
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS
	SHEET	A17

ROOF PLAN SCALE: 1/4" = 1'-0" 17

REVISIONS
11.30.18

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16662 WANDERER LANE
HUNTINGTON BEACH, CA 92649

CLIENT:

18	TITLE	DETAILS
DATE	1/23/2019	
SCALE		
ARTIST	DAVID MICHAEL DESIGNS	

SHEET
A18

INSTALLATION INSTRUCTIONS
Aluminum Railing System

Vertical Post Kits: C.E. Laurence Co. Inc. offers various types of mounting for securing Posts. Surface mount (Standard Base) This is the most popular type of mounting. The Post is connected to a 5" (127 mm) square base, which is mounted to the Deck. Surface mount (Offset Base) The Post is offset on the base to allow the post to be flush against a wall or aligned with a vertical face. Core Mount The Post is mounted to the vertical face of a wall or slab. Core Mount This method of mounting requires coring a hole in the floor, installing the Post and filling the hole with "Kwikset" Cat. No. KW520 Cement.

Vertical Post Kits: When installing Posts, start with the outside or corner Post first. Make sure they are plumb and level then install the Intermediate Posts. *Height Hints:* Make sure you get the correct cup washer under the Bolt before driving it in. Use washer if needed to secure the Bolt over flange.

Core Mounted Posts: Core hole a minimum of 4" (102 mm) Diameter X 4" (132 mm) deep. Install the Post. Secure Post flush and level, then fill cavity with "Kwikset" Cat. No. KW520 Cement. Start with the outside or corner Post. Then install the intermediate Posts.

Top Caps: C.E. Laurence has a number of Top Caps available offering a selection of appearances and applications. 100 Series offers a rectangular section rail with a crowned top, which runs between posts. This Top Cap is the only one used for stairways and conforms to IBC requirements. 200 Series is a round section Rail that runs continuously across the top of the Posts. 300 Series is a round section Rail that runs continuously across the top of the Posts. 400 Series is a rectangular section Rail with a crowned top, which runs continuously across the top of the Posts.

100 Series Top Cap Installation: Attach the 100 Series Top Cap to the Posts. Typically the distance from the top of the Post to the top of the Cap is 2 1/4" (61 mm) and 1 1/4" (38 mm) to the lower hole. *Height Hints:* Use the die line on the Post extrusion as a guide for the hole. This will ensure the Connector Block is centered on the Post. Cut the Top Cap to length. Slide the Top Cap over the Connector Blocks and secure with self-drilling Tek Screws Cat. No. TEK. *Height Hints:* Use the die line on the bottom leg of the Top Cap extrusion as a guide for the screws. Screws should be approx. 1/12" (2 mm) from the edge of the Post. Secure the post caps to the top of the posts using silicone adhesive Cat. No. 90C.

100 Series Glass Installation: Install one Spigot Bracket into Bottom Rail. One at each end, 1" (25 mm) from edge of Post. Cut vinyl the same length as the Rails. Push fit into the Rails.

100 Series Glass Installation: Insert Picket Vinyl into the Top and Bottom Rails. Snap Picket Vinyl over Top and Bottom Rails adjacent to the Post. Cut Picket to length using *Height Hints* (Page 1-2) (18 mm). Install picket, then snap top of opening, and continue on. *Height Hints:* Insert the Picket together before snapping the Spigots. Then fit the Spigots evenly between the Pickets. Trim the last end of Spigots to fit the remaining gap.

200, 300, 400 Series Top Cap Installation: Dimensions are of the 200 Series, 300 & 400 Series. Follow the same procedures. Cut Top Cap to length. Locate Top Cap onto Posts and secure with self-drilling Tek Screws Cat. No. TEK. Install End Cap with End Cap Screws Cat. No. ECS. *Height Hints:* Use the die line on the bottom leg of the Top Cap extrusion as a guide for the screws. Screws should be centered over the Post.

200, 300, 400 Series Rail Connector Block Installation: Install the Rail Connector Blocks over the Posts using self-drilling screws provided. The Rail Connector Blocks (Cat. No. RC30) are used to support the Bottom Rail. Typically the distance from the base to the bottom of the rail is 7" (178 mm). This will require the holes for the Rail Connector Blocks to be 4 3/8" (111 mm) from the base. *Height Hints:* Use the Die Lines in the Post extrusion as a guide for the holes. This will ensure the Rail Connector Block is centered on the post. Height of the holes is dependent on the length of the Bottom Rail from the base.

200, 300, 400 Series Top Infill and Bottom Rail Installation: Top glass infill use 1/2" (12 mm) Top and Bottom Rails. Cut Top and Bottom Vinyl the same length as the Rails. Press fit the Vinyl into the Rails.

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200, 300, 400 Series Picket Assembly: Cut Top and Bottom Rail to correct length. Drill 1/8" (3 mm) diameter holes at 1 1/2" (38 mm) centers in both Top and Bottom Rails. Cut Picket to desired length and secure to Top and Bottom Rails with screws provided. *Height Hints:* C.E. Laurence offers several standard pre-assembled Picket Panels, and make custom sizes as required. This will save considerable time on the job site.

200, 300, 400 Series Picket Installation: Raise Picket assembly up into the Top Rail. Slide panel so that the Bottom Rail fits over Rail Connector Blocks. Press assembly down and secure to vertical. Push up and clip the Top Infill into Top Rail. Secure Bottom Rail to Rail Connector Blocks with self-drilling Screws Cat. No. TEK provided.

Top and Bottom Rail Installation for Glass: Cut rail to length between Posts. Snap fit Top Infill into Top Rail. Press Bottom Rail over Rail Connector Blocks and secure with self-drilling Screws provided. *Height Hints:* Use the die line on the bottom leg of the Bottom Rail extrusion as a guide for the Screws. Screws should be approx. 1/12" (2 mm) from the edge of the Post.

200, 300, 400 Series Picket Installation: Raise Picket assembly up into the Top Rail. Slide panel so that the Bottom Rail fits over Rail Connector Blocks. Press assembly down and secure to vertical. Push up and clip the Top Infill into Top Rail. Secure Bottom Rail to Rail Connector Blocks with self-drilling Screws Cat. No. TEK provided.

Optional: Add a small bead of CRL 90CRL Black Structural Silicone between the glass corner edges within the bottom vinyl area.

CRL GRS Monolithic Tempered Rail Glass **NEW!**

• In Use With CRL's GRS Glass Railing Systems
• All Glass Panels Ship Cut and Tempered, Ready to Install
• Clear Tempered and Low Iron (Shapline) Glass Types Available
• Custom Glass Fabrication, Drilling, and Edge Work Available

Designed for interior and exterior glass railing applications, CRL's rail glass is manufactured and tempered in accordance with International Standards ANSI Z97.1, CPSC 16, and CEI 1291 standards. It meets or exceeds the minimum 100 mph (160 km/h) wind loads. Contact CRL's Public Technical Sales for more information at 855-421-4241. Email: info@crl.com or visit our website at www.crl.com. *Height Hints:* Use the die line on the bottom leg of the Bottom Rail extrusion as a guide for the screws. Screws should be approx. 1/12" (2 mm) from the edge of the Post.

NOTE: Check our website for more information on our products.

1/2" (12 mm) THICK CLEAR AND LOW IRON EMPOWERED™ TEMPERED GLASS	3/4" (19 mm) THICK CLEAR AND LOW IRON EMPOWERED™ TEMPERED GLASS																		
<table border="1"> <tr> <th>Color</th> <th>Finish</th> <th>Orientation</th> </tr> <tr> <td>MG100C</td> <td>Custom Size (Optional)</td> <td>Clear Tempered</td> </tr> <tr> <td>MG100E</td> <td>Custom Size (Optional)</td> <td>Low Iron (Shapline) Tempered</td> </tr> </table>	Color	Finish	Orientation	MG100C	Custom Size (Optional)	Clear Tempered	MG100E	Custom Size (Optional)	Low Iron (Shapline) Tempered	<table border="1"> <tr> <th>Color</th> <th>Finish</th> <th>Orientation</th> </tr> <tr> <td>MG150C</td> <td>Custom Size (Optional)</td> <td>Clear Tempered</td> </tr> <tr> <td>MG150E</td> <td>Custom Size (Optional)</td> <td>Low Iron (Shapline) Tempered</td> </tr> </table>	Color	Finish	Orientation	MG150C	Custom Size (Optional)	Clear Tempered	MG150E	Custom Size (Optional)	Low Iron (Shapline) Tempered
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• Proudly Manufactured in the U.S.A.

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