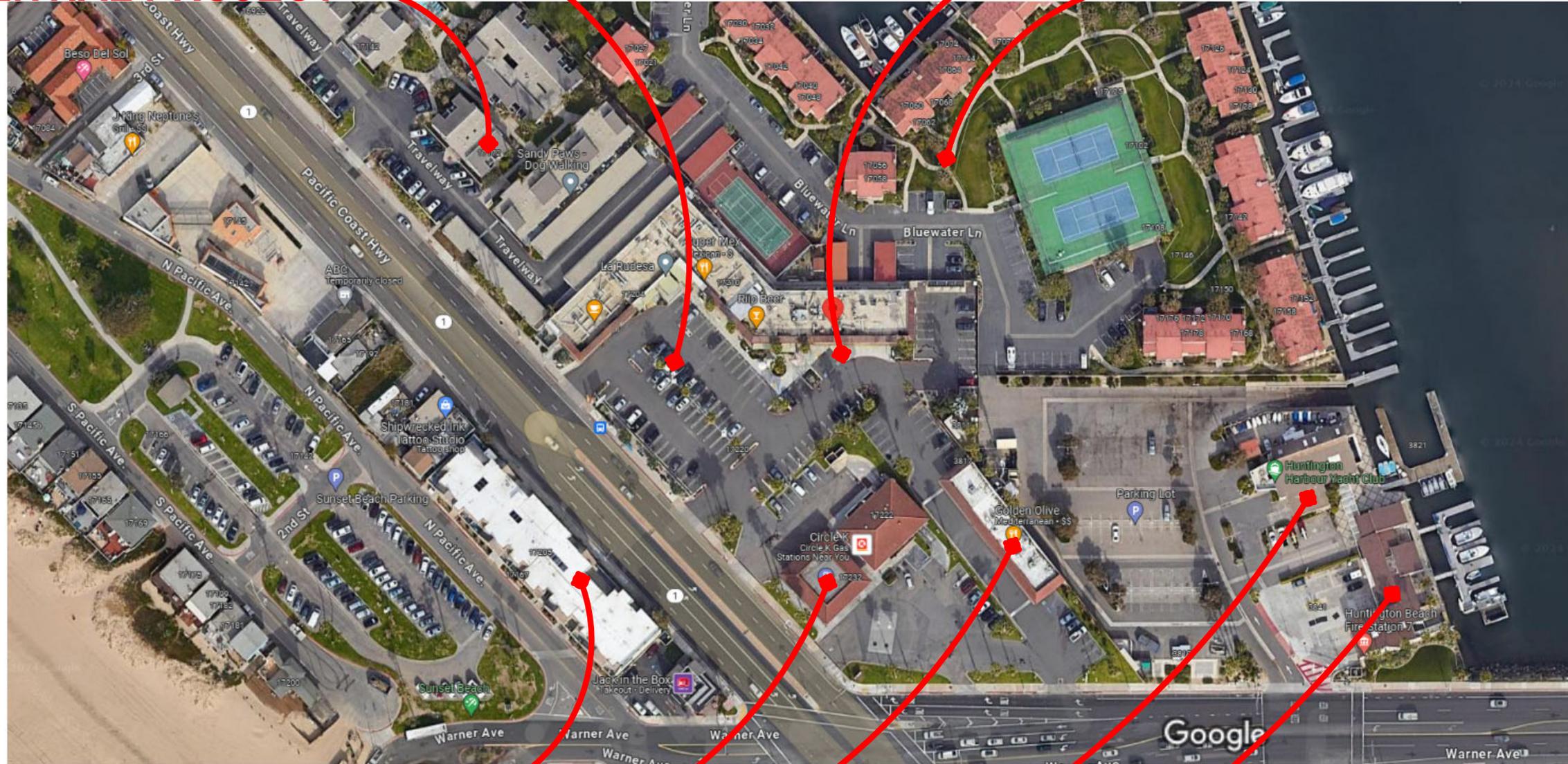


VILLAGE PLAZA RESIDENTIAL PROJECT

PROJECT LOCATION RESIDENTIAL PROJECT



- TRAVELODGE MOTEL
- CIRCLE K GAS STATION
- RETAIL STORES
- HUNTINGTON HARBOR YACHT CLUB
- FIRE STATION

Imagery ©2024 Airbus, CNES / Airbus, Maxar Technologies, U.S. Geological Survey, Map data ©2024 Google 50 ft



RIIP INC. TENANT IMPROVEMENT

RIIP INC.

17236 PACIFIC COAST HWY HUNTINGTON BEACH, CA

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Designer: Designer
Reviewed by: Checker
Design Approval: Approver

JOB NUMBER: 072023

SATELLITE IMAGE SURROUNDING AREA

ISSUE DATE: 1/10/2024
SHEET: A-1.2



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 Reviewed by: Checker
 Design Approval: Approver

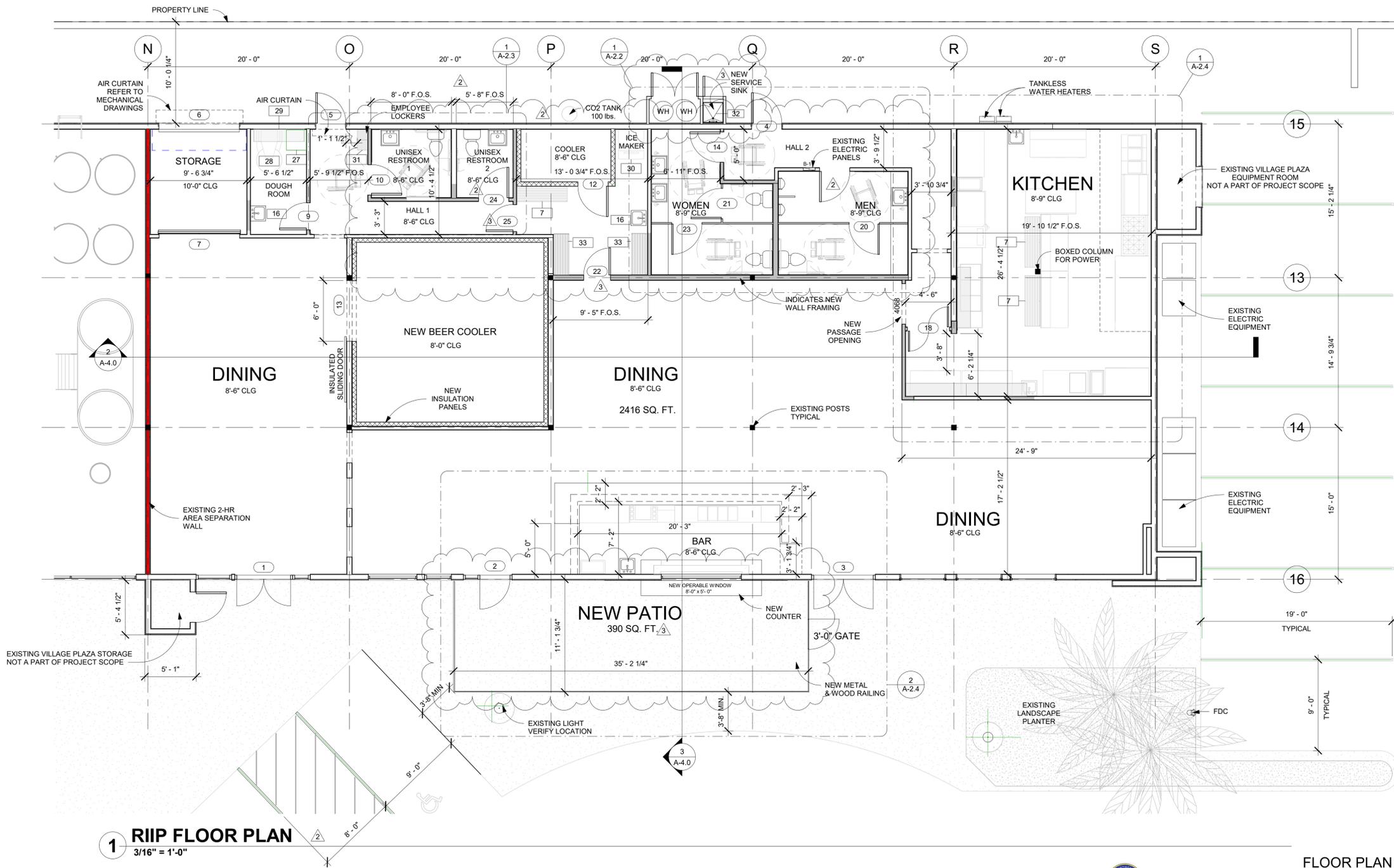
JOB NUMBER: 072023

RIIP FLOOR PLAN

ISSUE DATE: 1/10/2024
 SHEET: A-2.1

CITY THIRD SUBMITTAL SET-FIELD CHANGES

1/16/2024 12:40:34 PM



2000 Main Street 3rd Floor
 Huntington Beach, CA 92648
 714-536-5241

WATER METER UPGRADE CHECK LIST

Owner's / Applicant's Name: Rom Huntington Beach, LLC.
 Job Address: 17236 Pacific Coast Hwy.
 Permit Number (if applicable): 22023-003992
 Contact Number: (714) 697-9513

NOTE: Provide ALL counts of New and Existing Fixtures Below!!!

| | |
|----------------------------------|-------------|
| Water Closet / Toilet | x 2.5 = |
| Bathroom Sink including Bar Sink | x 1.0 = |
| Bath Tub with 1/2" fill valve | x 4.0 = |
| Bath Tub with 3/4" fill valve | x 10.0 = |
| Shower Stall (per head) | x 2.0 = |
| Kitchen Sink | x 1.5 = |
| Dish Washer | x 1.5 = |
| Laundry / Washer | x 4.0 = |
| Laundry Sink | x 1.5 = |
| Hose Bibb | x 2.5 = |
| Hose Bibb (each additional) | x 1.0 = |
| TOTAL FIXTURE COUNT | 60.5 |

(Plumbing Sheet P-000 WSFU Schedule)

TABLE 6.6
 Fixture Unit Table for Determining Water Pipe and Meter Sizes

| Meter | Building | Supply | Maximum Allowable Length in Feet |
|--------------|--------------|--------------|----------------------------------|
| Size, inches | Size, inches | Size, inches | (40) (60) (80) (100) (120) (180) |
| 1/2 | 1/2 | 3/8 | 30 30 30 30 30 |
| 1/2 | 1/2 | 1/2 | 75 75 75 62 44 |
| 1/2 | 1/2 | 3/4 | 75 75 75 75 62 52 |

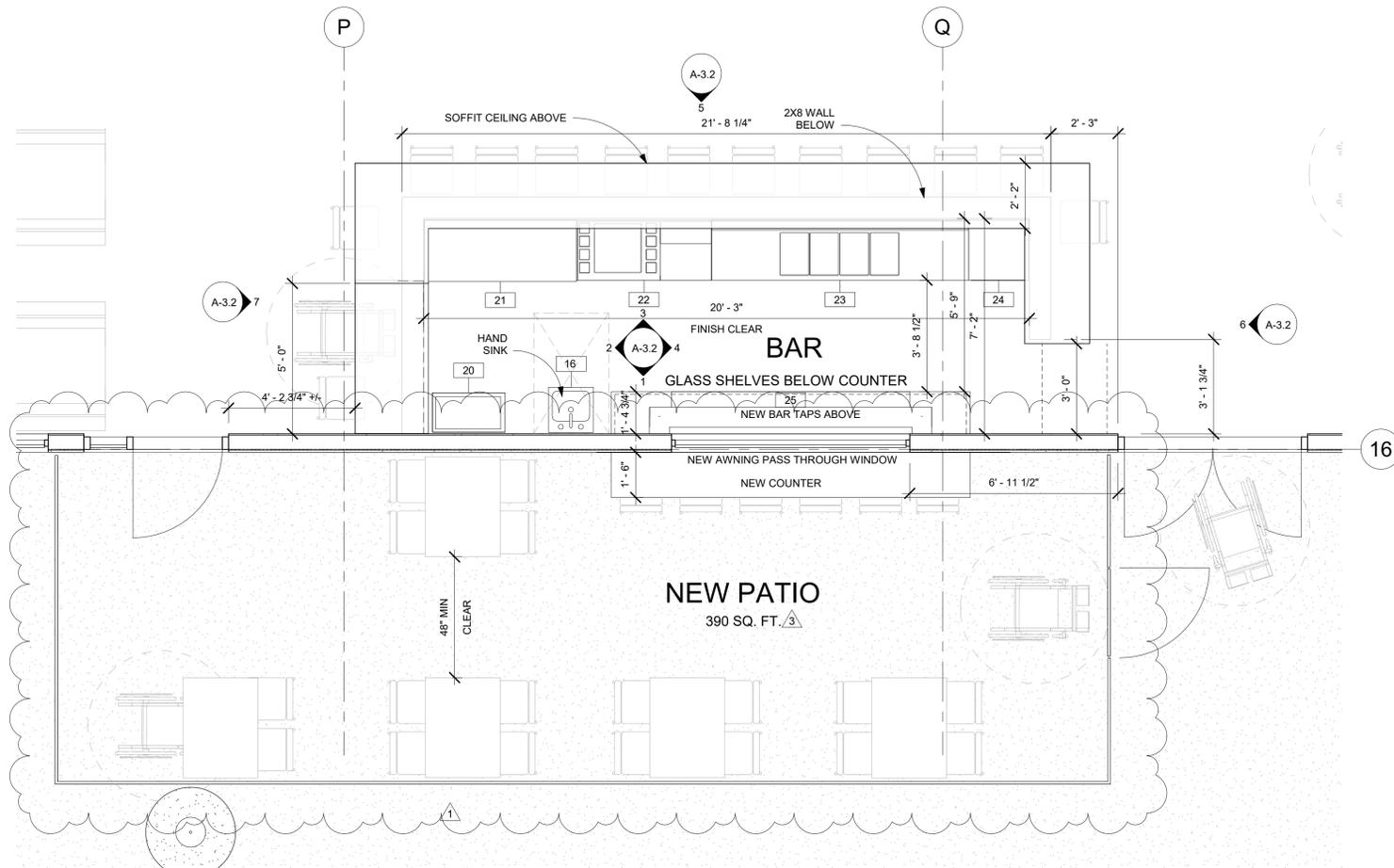
EXAMPLE

| | | |
|---------------|-------------|-------|
| Water Closets | 4 | = 10 |
| Lava | 6 | = 6 |
| Bathtubs | 2 | = 8 |
| Jac Tub | 1 | = 10 |
| Shower Stalls | 2 | = 4 |
| Kitchen Sink | 1 | = 1.5 |
| Dish Washer | 1 | = 1.5 |
| Laundry | 1 | = 4 |
| Hose Bibb | 1 | = 2.5 |
| Hose Bibb | 1 | = 1.0 |
| TOTAL | 36.5 | |

Note: Most SF's have about 80 to 1000 in total plumbing length. Verify your total fixture count on the table below. See that 50.5 exceeds 36.5 so you would have to upgrade your water meter to a 1/2 inch meter with a 1 1/2 inch supply.

FLOOR PLAN GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DIFFERENCES OR CONFLICTS WITH THE ARCHITECTURAL DRAWINGS.
- NOTIFY THE ARCHITECT AND/OR ENGINEERS WITH ANY FIELD CHANGES PRIOR TO MAKING THE CHANGES.
- BUILDING ADDRESS NUMBERS NEED TO BE ABOVE ENTRY DOORS AND ON THE REAR DOOR LOCATIONS.
- THE NUMBERS SHALL BE A MINIMUM OF 4" IN HEIGHT AND CONTRAST WITH THE ADJOINING SURFACE.
- EXIT SIGNS SHALL BE LIGHTED AND ABOVE DOORS OR PASSAGEWAYS LEADING TO AN EXIT.
- EMERGENCY LIGHTING LOCATIONS SHALL HAVE A BATTERY BACK-UP FOR 90 MIN. LOCATIONS SHALL CORRESPOND TO EXIT EGRESS LOCATIONS.
- FIRE EXTINGUISHER LOCATIONS, SIZE AND SPACING SHALL BE PER CITY SPECIFICATION #424.
- MINIMUM EXTINGUISHER TYPE IS 2A:10-B:C AND SPACED AT A MAXIMUM TRAVEL DISTANCE OF 75 FEET.
- ENTRY AND EGRESS DOORS SHALL COMPLY WITH CBC SECTION 1010.1.10. DOOR LOCKING MECHANISM SHALL NOT REQUIRE ANY SPECIAL KNOWLEDGE TO OPERATE AND NOT REQUIRE MORE THAN 5 LBS PRESSURE TO OPEN THE DOOR.
- A SIGN ABOVE THE DOOR SHALL READ "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" LOCKS SHALL BE KEY OPERATED AND NOT THUMB-LATCH.
- A SIGN INDICATING THE MAXIMUM OCCUPANCY SHALL BE POSTED INSIDE ABOVE EACH ENTRY DOOR.
- REFER TO SHEET [Community Development Plans Dated: 01/26/2024] FOR DOOR EQUIPMENT AND FINISH SCHEDULES.



2 BAR DETAIL FLOOR PLAN
3/8" = 1'-0"

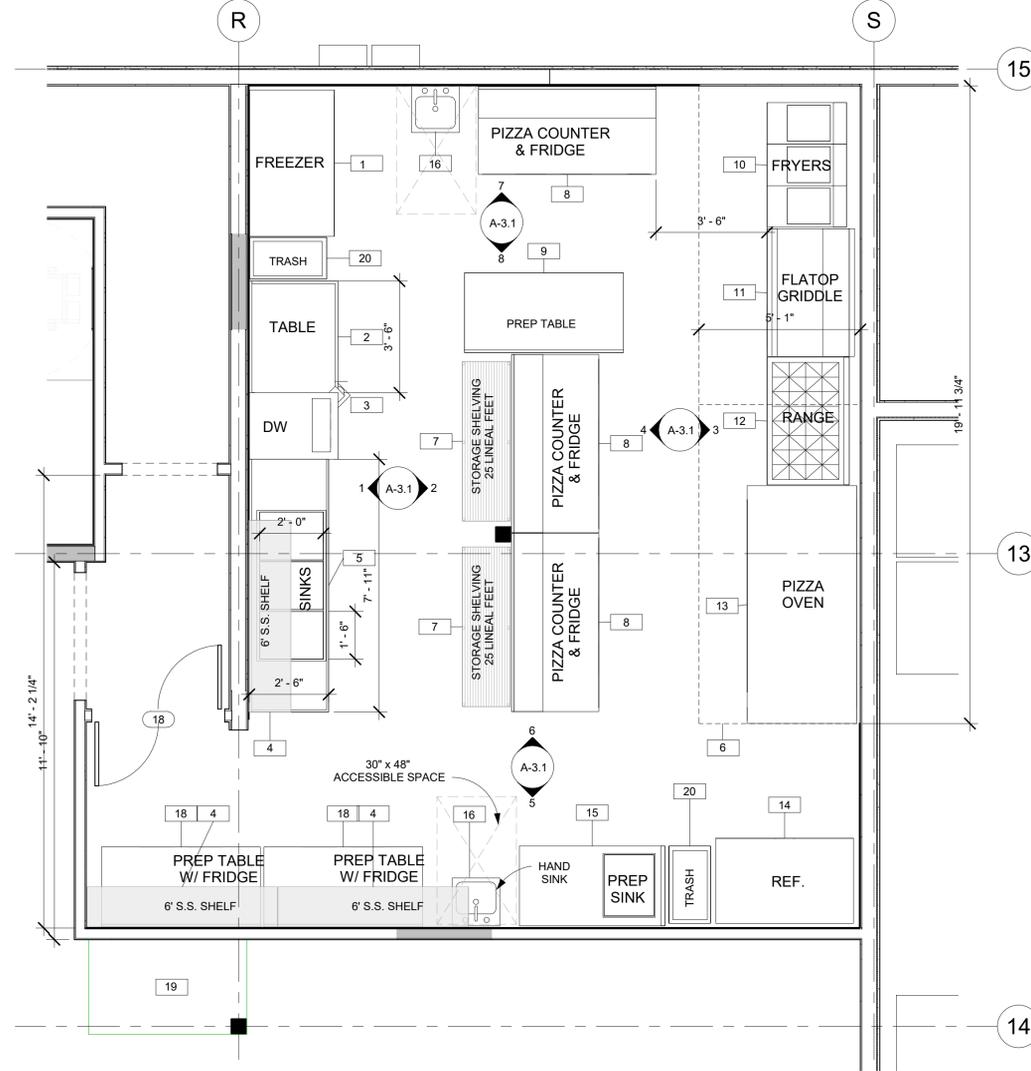
| KITCHEN FINISH SCHEDULE | | | |
|-------------------------|--------------------------------------------------|------------|----------------------------|
| LOCATION | MATERIAL | COLOR | NOTES |
| FLOOR FINISH | URETHANE CONCRETE SMOOTH ON BASE/UNDER EQUIPMENT | GRAPHITE | DEX-O-TEX / TEK-CRETE SL-B |
| WALL BASE | 6" URETHANE CONCRETE SMOOTH ON BASE | GRAPHITE | DEX-O-TEX / TEK-CRETE SL-B |
| WALL FINISH | STAINLESS STEEL(E) / SUBWAY TILE | SS / WHITE | - |
| CEILING FINISH | ACOUSTIC CEILING TILES | WHITE | REFER TO SPEC SHEET |

| BAR FINISH SCHEDULE | | | |
|---------------------|--------------------------------------------------|----------|----------------------------|
| LOCATION | MATERIAL | COLOR | NOTES |
| FLOOR FINISH | URETHANE CONCRETE SMOOTH ON BASE/UNDER EQUIPMENT | GRAPHITE | DEX-O-TEX / TEK-CRETE SL-B |
| WALL BASE | 6" URETHANE CONCRETE SMOOTH ON BASE | GRAPHITE | DEX-O-TEX / TEK-CRETE SL-B |
| WALL FINISH | SUBWAY TILE | WHITE | - |
| CEILING FINISH | SEMI-GLOSS LATEX PAINT | WHITE | - |

DRY STORAGE TOTALS:

ITEM #7: (3) 60" LENGTH 5 WIRE SHELVING = 75 LINEAL FEET
 ITEM # 26 (1) 24" LENGTH 5 WIRE SHELVING = 10 LINEAL FEET
 ITEM # 33 (2) 48" LENGTH 5 WIRE SHELVING = 40 LINEAL FEET
TOTAL PROVIDED 125 LINEAL FEET
REQUIRED 96 LINEAL FEET

| KITCHEN AND BAR EQUIPMENT SCHEDULE | | | |
|------------------------------------|----------|----------------------------|--------------------------------------------------|
| ITEM | QUANTITY | DESCRIPTION | MAKE AND MODEL # |
| 1 | 1 | 2 DOOR FREEZER | SS DUKERS D55AF #2022 |
| 2 | 2 | SIDEBOARD AT DISHWASHER-SS | AMERICAN DISH SERVICE |
| 3 | 1 | KITCHEN DISHWASHER | AMERICAN DISH SERVICE - AF/AF-ES SERIES |
| 4 | 6 | 18" X 36" SS SOLID SHELF | REGENCY SS/NSF #600WS1836HD(18L) |
| 5 | 1 | 3 COMPARTMENT SINK | 95" (3) SINKS "SS "TO BE FIELD VERIFIED" |
| 6 | 2 | KITCHEN HOOD | REFER TO MECHANICAL ENGINEERS PLANS |
| 7 | 3 | 60" LENGTH WIRE SHELVING | REGENCY #460EC1860K75 (5 SHELVES) "SS/NSF(75L) |
| 8 | 3 | REF. PIZZA PREP TABLE | ATOSA MPF8202GR #2229 - SS/NSF |
| 9 | 1 | 30" X 60" WORK TABLE | THUNDER GROUP "SS FOOD PREP #5036 |
| 10 | 3 | FRYER | COOK RITE BY ATOSA - ATFS-50 #2553 |
| 11 | 1 | 48" FLAT TOP / OVEN | CONNERTON #CN48-48G-20V #7536 |
| 12 | 1 | 48" RANGE / OVEN | ATOSA USA #AGR-8B-NG #5004 |
| 13 | 1 | PIZZA OVEN | PIZZAMASTER #PM944 |
| 14 | 1 | 2 DOOR REFRIGERATOR | ATOSA SS MBF8005GR #2212 |
| 15 | 1 | PREP SINK | SS 55" LENGTH - 24"X19.75"X13.75" SINK |
| 16 | 1 | HAND SINK | REGENCY 17"X15" #600HS17SP |
| 17 | 1 | KITCHEN DOOR | CURTRON SERVICE PRO 30 #SPD30AL-D484CLARK |
| 18 | 2 | 60" REF. WORKTOP | ATOSA MGF8410GR #4667 |
| 19 | 1 | SODA MACHINE | FOUNTAIN ICEBEV COMBO 8V - COKE |
| 20 | 3 | TRASH RECEPTACLE | LAVEX JANITORIAL 23 GALLON |
| 21 | 1 | 61" GLASS DOOR COOLER | DUKERS BEER COOLER DBB60-H2 #2206 NSF |
| 22 | 1 | 54" COCKTAIL SINK / SHELF | COCKTAIL BIN WITH BLENDER MODULE |
| 23 | 1 | 4 COMPARTMENT SINK | 103" (4) 18"X18"X14" SINKS W/24" L/R DRAINBOARDS |
| 24 | 1 | UNDERCOUNTER GLASS WASHER | CMA MODEL #L-1X |
| 25 | 1 | BAR TAP TOWER | BREWSKIES - NSF/ANSI 18 "SS |
| 26 | 1 | 24" LENGTH WIRE SHELVING | REGENCY #460EC2424K75 (5 SHELVES) NSF(10L) |
| 27 | - | 24" X 24" SS TABLE | REGENCY 24"X24" 16-GAUGE "SS WORK TABLE |
| 28 | 1 | DOUGH MIXER | AMERICAN BAKING SYSTEM #ABSFMB-120T |
| 29 | 1 | 18" X 60" SS SOLID SHELF | REGENCY SS/NSF #600WS1860HD (5L) |
| 30 | 1 | ICE MACHINE | HOSHIZAKI #F-801MAJ-C |
| 31 | 2 | EMPLOYEES LOCKERS | REGENCY 12"X12"X78" 6 TIER #600LC16122AK |
| 32 | 1 | MOP SINK | REGENCY 20"X16"X12" #600SM162012N |
| 33 | 2 | 48" LENGTH WIRE SHELVING | REGENCY #460EC1848K75 (5 SHELVES) SS/NSF (40L) |
| * | | | "SS - STAINLESS STEEL" |



1 KITCHEN DETAIL PLAN
3/8" = 1'-0"

HEALTH DEPARTMENT NOTES

I. FLOORING

- Floors in restrooms, bar and kitchen are required to be smooth on the base cove and under equipment. Refer to product specifications.
- The troweled-on epoxy in the restroom will meet the following requirement:
 - Minimum thickness is 3/16 inch.
 - The flooring must be sealed so as to be impervious, grease, and acid resistant.
 - The flooring material must be installed beneath all equipment and equipment legs.
 - The flooring must be self-coved up the walls at least six inches with a minimum 3/8 inch smooth radius cove.
 - Nonskid agents may be added only to the flooring in traffic areas. The flooring below equipment and on coved bases must be smooth at the juncture of the floor and walls.
 - Nonskid tiles may be used if floor drains are provided. Dependent on the amount of nonskid agent used, a high-pressure cleaning system may also be required.
 - A metal cap must be installed at the top of the coved base
- The flooring for the storage/walk in beer cooler will be provided a new concrete sealer finish. Refer to Product Specifications for additional information.

II. CEILING

- Ceiling finish is acoustic tiles. Type and size may vary. refer to the product specification sheets.

III. WALLS

- Kitchen walls are painted drywall (semi-gloss) with wainscotes of tile or stainless steel panels.
Restroom walls are painted drywall (semi-gloss) with tile wainscote.
Bar walls are painted drywall with tile wainscote behind all equipment and fixtures. Refer to Interior Elevations and product specification sheets for additional information.
- Wall Base Covings in Kitchens, Restrooms and Bar shall be smooth finish with 3/8" radius and extend minimum of 4" above the floor.
- Floor areas under equipment shall be smooth finish.



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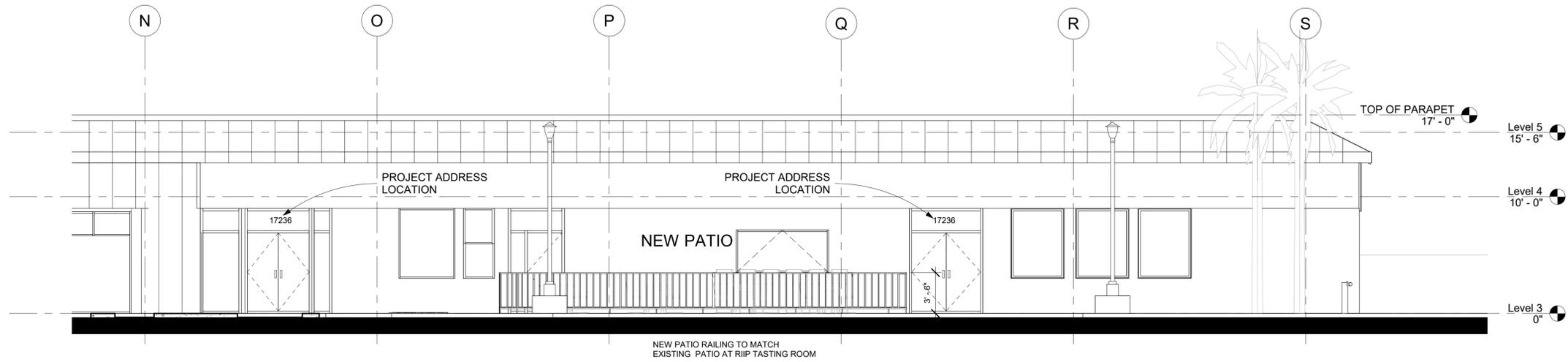
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 Reviewed by: _____ Checker
 Design Approval: _____ Approver

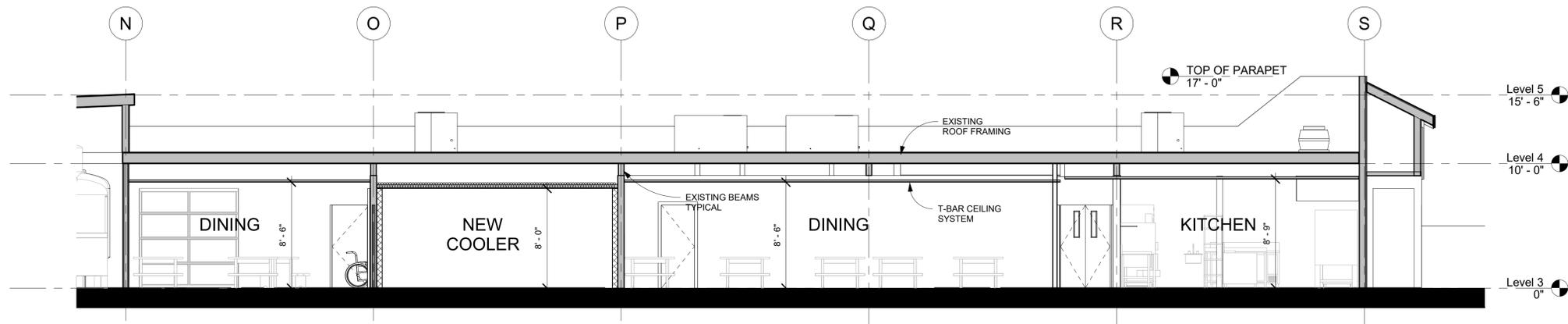
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KITCHEN & BAR DETAIL
FLOOR PLAN

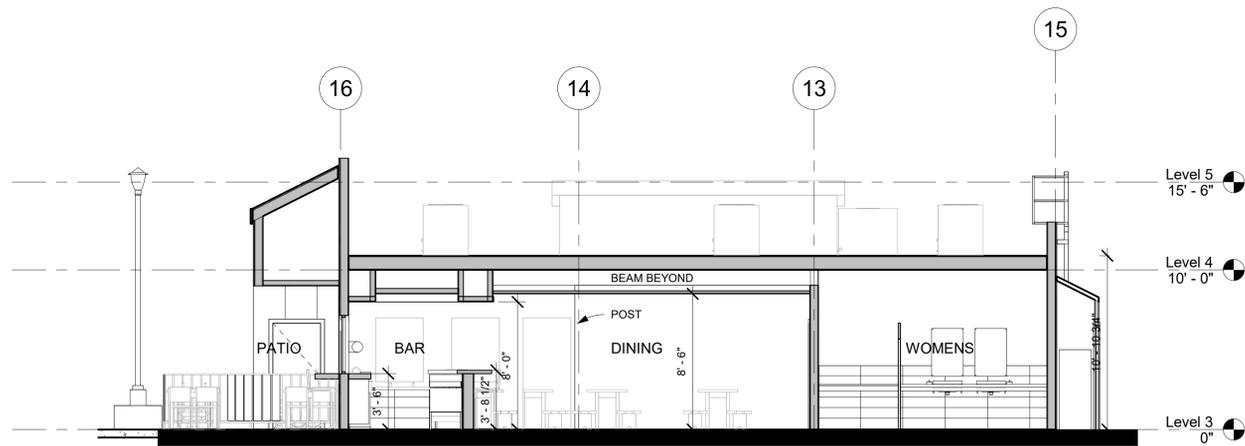
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1 RIIP RESTAURANT
3/16" = 1'-0"



2 LONGITUDINAL SECTION
3/16" = 1'-0"



3 TRANSVERSE SECTION
3/16" = 1'-0"



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VILLAGE PLAZA
ELEVATIONS & SECTIONS

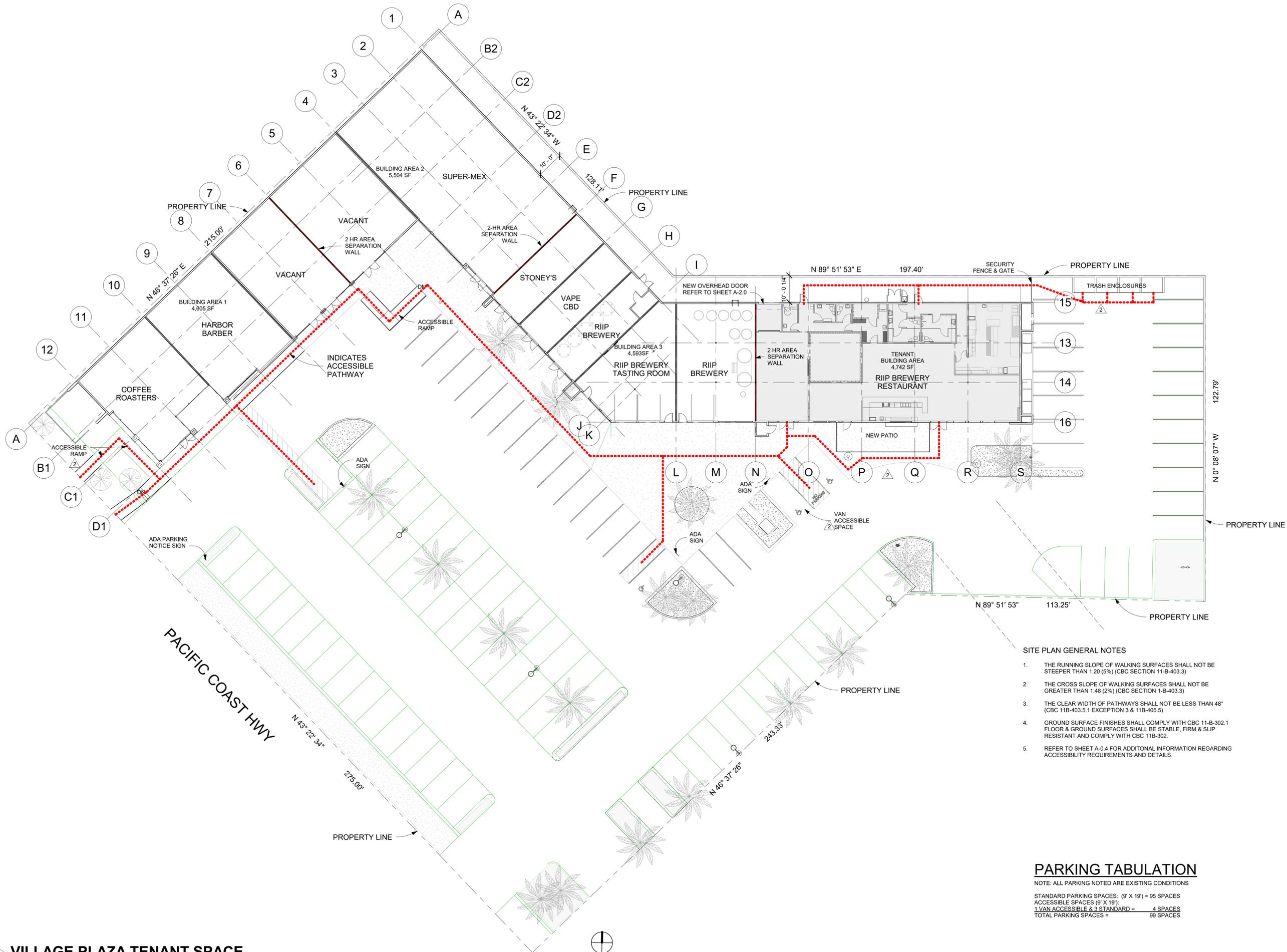
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RIIP INC. TENANT IMPROVEMENT

RIIP INC.

17236 PACIFIC COAST HWY HUNTINGTON BEACH, CA



- SITE PLAN GENERAL NOTES**
1. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%) (CBC SECTION 11-B-403.3)
 2. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:48 (2%) (CBC SECTION 11-B-403.3)
 3. THE CLEAR WIDTH OF PATHWAYS SHALL NOT BE LESS THAN 48" (CBC 11B-403.5.1 EXCEPTION 3 & 11B-405.5)
 4. GROUND SURFACE FINISHES SHALL COMPLY WITH CBC 11-B-302.1 FLOOR & GROUND SURFACES SHALL BE STABLE, FIRM & SLIP RESISTANT AND COMPLY WITH CBC 11B-302.
 5. REFER TO SHEET A-0.4 FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS AND DETAILS.

PARKING TABULATION

NOTE: ALL PARKING NOTED ARE EXISTING CONDITIONS
 STANDARD PARKING SPACES: (9' X 19') = 95 SPACES
 ACCESSIBLE SPACES (9' X 19'):
 1 VAN ACCESSIBLE & 3 STANDARD = 4 SPACES
 TOTAL PARKING SPACES = 99 SPACES

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VILLAGE PLAZA TENANT SPACES

ISSUE DATE: 1/10/2024 SHEET: A-1.1



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EGRESS FLOOR PLAN

ISSUE DATE: 1/10/2024 SHEET: A-2.6

EGRESS GENERAL NOTES

- EXIT WIDTH SHALL BE NOT LESS THAN PERMITTED BY CBC 1005.1. THE TOTAL WIDTH OF MEANS OF EGRESS IN INCHES SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY 0.3 INCHES PER OCCUPANT FOR STAIRWAYS AND BY 0.2 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS.

FOR PROPOSED PROJECT OCCUPANT LOAD IS 174 X 0.2 INCHES = 34.8 INCHES MIN. EGRESS WIDTH REQUIRED. EGRESS WIDTH PROVIDED IS 213 INCHES TOTAL FOR EXITING FROM INTERIOR SPACE TO EXTERIOR SPACE.
- EXTERIOR PATIO DINING OCCUPANTS 18 X 0.2 INCHES = 3.6 INCHES REQ'D; A TOTAL OF 36" EGRESS WIDTH PROVIDED.

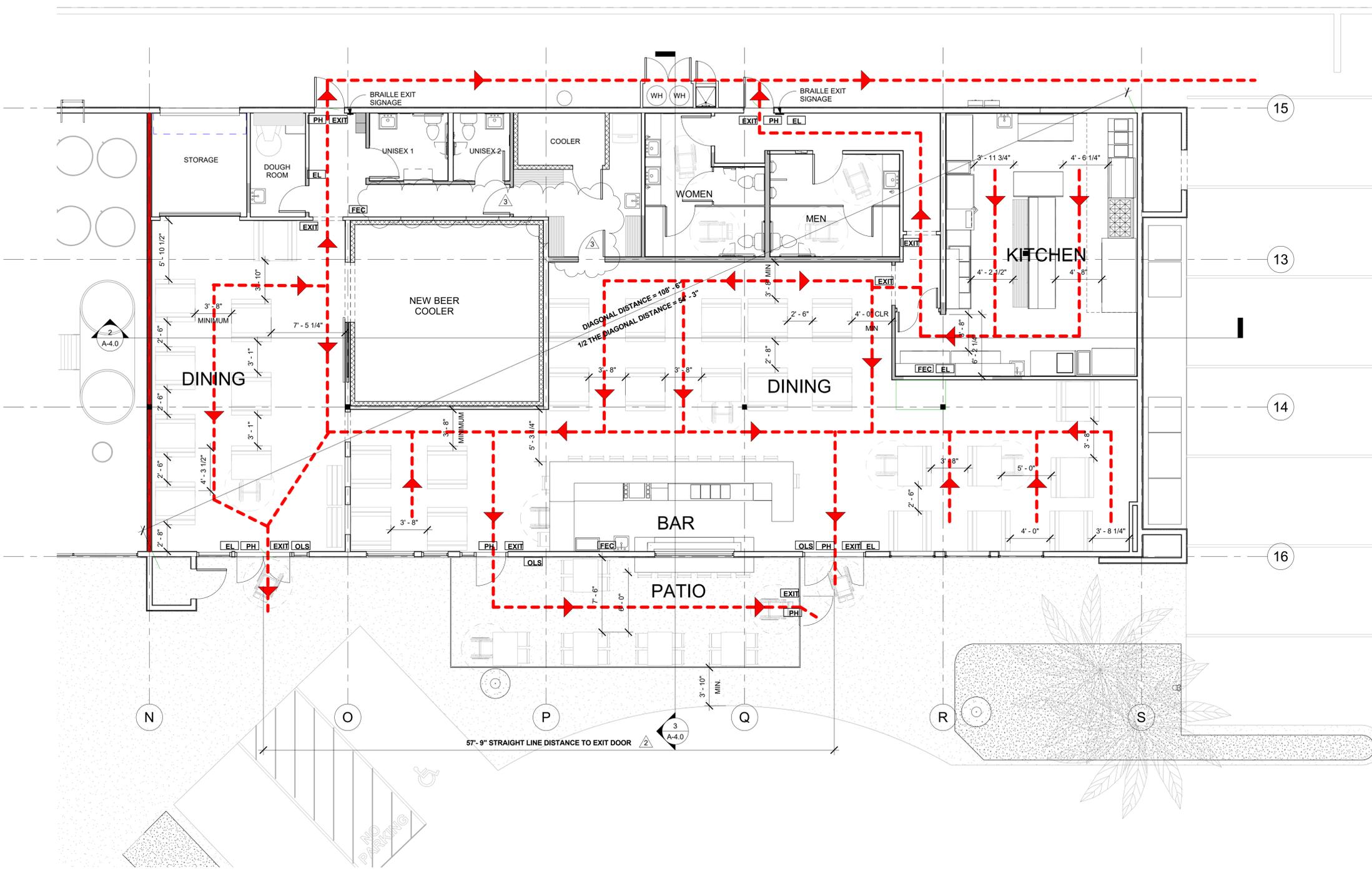
EGRESS PATH OF TRAVELS SHALL NOT BE LESS THAN 44" WIDE.
- DOOR SERVING AN OCCUPANT LOAD OF 50 OR MORE OR HAZARDOUS ROOMS OR AREAS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL CBC 1010.1.2.1.
- ALL EXIT DOORS SHALL BE PROVIDED WITH PANIC HARDWARE PER CBC 1010.1.10
- GC TO PROVIDE OCCUPANT LOAD SIGN AT EVERY ASSEMBLY AREA IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OF THE ROOM. CBC. 1004.9
- PROVIDE TACTILE EXIT SIGNAGE PER CBC 1013.4.
- IN A SINGLE-STORY BUILDING TWO EXITS OR MORE ARE REQUIRED WHEN OCCUPANT LOAD EXCEEDS 49 OR, A COMMON PATH OF EGRESS TRAVEL EXCEEDS 75 FEET. CBC TABLE 1006.2.1.
- ALL ROOM AND SPACES WITH OCCUPANT LOAD OF 50 OR MORE SHALL HAVE ACCESS TO TWO EXITS.
- THE NUMBER OF EXITS SHALL COMPLY WITH CBC TABLE 1006.3.2
- WHEN TWO EXITS ARE REQUIRED FROM A BUILDING OR AREA, THEY SHALL BE SEPERATED BY ONE-HALF (ONE-THIRD IF SPRINKLERED THROUGH OUT) THE DIAGONAL DIMENSION OF THE BUILDING OR AREA SERVED. CBC105.2.1.
- EACH LEAF OF DOOR IN THE MEANS OF EGRESS SHALL PROVIDE 32 INCHES CLEAR OPENING AND A MINIMUM HEIGHT OF 6'-6", BUT IN NO CASE, SHALL ANY SINGLE DOOR LEAF EXCEED 48 INCHES. CBC 1010.1.1.
- EXIT WAYS SHALL BE ILLUMINATED WITH AT LEAST ONE FOOT CANDLE AT THE FLOOR LEVEL. CBC SECTION 1008
- PROVIDE A SEPARATE SOURCE OF POWER FOR EXIT ILLUMINATION. CBC 1008.3.1.
- EXIT SIGNS ARE REQUIRED WHEN 2 OR MORE EXITS ARE REQUIRED. REFER TO PLAN FOR SIGN LOCATIONS.
- PROVIDE TWO SOURCES OF POWER FOR EXIT SIGNS. CBC 1008.3.
- PROVIDE EMERGENCY LIGHTING AND NIGHT LIGHTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.

ACCESSIBLE DOOR AND GATE GENERAL NOTES

- ENTRANCES SHALL BE PROVIDED IN ACCORDANCE WITH CBC 11B-206.4. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH CBC 11B-404 AND BE ON AN ACCESSIBLE ROUTE COMPLYING WITH 11B-402 & 11B-206.4.
- DOOR LANDING MANEUVERING CLEARANCES SHALL COMPLY WITH CBC 11B-404.
- DOOR THRESHOLDS HEIGHT SHALL NOT BE GREATER THAN 1/2" AT ENTRANCE. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2 (CBC 11B-303.3)
- GATE SURFACES SHALL BE SMOOTH ON THE PUSH SIDE AND SHALL COMPLY WITH CBC 11B-404.2.10.
- DOORS WHEN FULLY OPENED SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7 INCHES. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED PATHWAY WIDTH BY MORE THAN ONE-HALF (CBC 1005.7.1).
- DOOR OPERATING HARDWARE AND LATCHES FOR GATES SHALL BE MOUNTED WITHIN 34 INCHES AND 44 INCHES OF FLOOR SURFACE. (CBC 11B-404.2.7)
- HANDLES, PULLS, LATCHES, LOCKS AND OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH CBC 11B-309.4.
- DOOR AND GATE CLOSING SPEED COMPLY WITH CBC 11B-404.2.8
- DOOR AND GATE OPERATING HARDWARE SHALL NOT REQUIRE ANY SPECIAL KNOWLEDGE TO OPERATE. DOOR AND GATE OPERATION SHALL NOT REQUIRE A FORCE MORE THAN 5 POUNDS TO OPEN.

EGRESS PLAN LEGEND

- INDICATES ACCESSIBLE EGRESS PATH OF TRAVEL & DIRECTION
- FEC** INDICATES FIRE EXTINGUISHER LOCATION
- EXIT** INDICATES LIGHTED EXIT SIGN LOCATION
- EL** INDICATES EMERGENCY LIGHTING LOCATION
- OLS** INDICATES OCCUPANT LOAD SIGN LOCATION
- PH** INDICATES DOOR WITH PANIC HARDWARE



1 RIIP EGRESS FLOOR PLAN
 3/16" = 1'-0"

CITY THIRD SUBMITTAL SET-FIELD CHANGES



















