



Edison Community Park Reconfiguration: Conceptual Plan

March 3, 2026

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Project Background

Condensed Timeline

- **May – June 2021**

- Background research and data collection begin. RJM collects from the City previous planning materials, performs a site inventory and analysis studies. A project website was developed to allow feedback and project reporting to the community.

- **July 12-16, 2021**

- Online Survey #1 conducted. (160 participants)

- **August 9-23, 2021**

- Online Survey #2 conducted. (295 participants)

- **August 18, 2021**

- In-person Community Workshop #1 held at Edison Community Center. (10 participants)

- **September 15, 2021**

- Community Design Charette Workshop #2 held at Edison Community Center. (45 participants)

- **September 2 – October 11, 2021**

- Online Feedback Survey conducted. (90 participants)



Condensed Timeline

- **November 16, 2021**
 - City Council Approved Conceptual Plan – Option C and authorized staff to start further design studies.
- **March 1, 2022**
 - City Council withdrew previous approval and directed staff to conduct further community outreach.
- **August 4, 2022**
 - In-person Community Workshop #3 held at Edison Community Center. (145 participants)
- **August 5 – September 29, 2022**
 - Online Survey #3 conducted. (450 participants)
- **August 30, 2022**
 - FAQs from the Community Workshop released online.
- **November 9, 2022**
 - Staff presented a project update to the Community & Library Services Commission, summarizing all outreach efforts.



Condensed Timeline

- **February 2023**
 - City and Design Team work with Edison Park Community Group (EPCG) to review park planning elements.
- **April 2023**
 - Staff directs Design Team to further assess the viability of the proposed recreational amenities in regards to the landfill and the related cost implications. Additional studies include noise impact study and oil well location verification.
- **March 12, 2025**
 - Community & Library Services Commission approves the conceptual design
- **December 2025**
 - EPCG requests consideration of pickleball courts behind the fire station
 - Michael Baker International (MBI) conducts second pickleball noise study
- **February 2026**
 - MBI finalizes the California Environmental Quality Act (CEQA) 15183 Environmental Compliance Checklist





Existing Conditions



Effects of Settlement





Oil Wells – Geophysical Survey





Tree Study

Tree Study

- 2022 Arborist Report Surveyed 234 Existing Trees
 - Report recommends 67 Trees be Removed due to Hazardous Health plus 15 Trees based on declining health
 - Report indicated 152 Healthy Trees

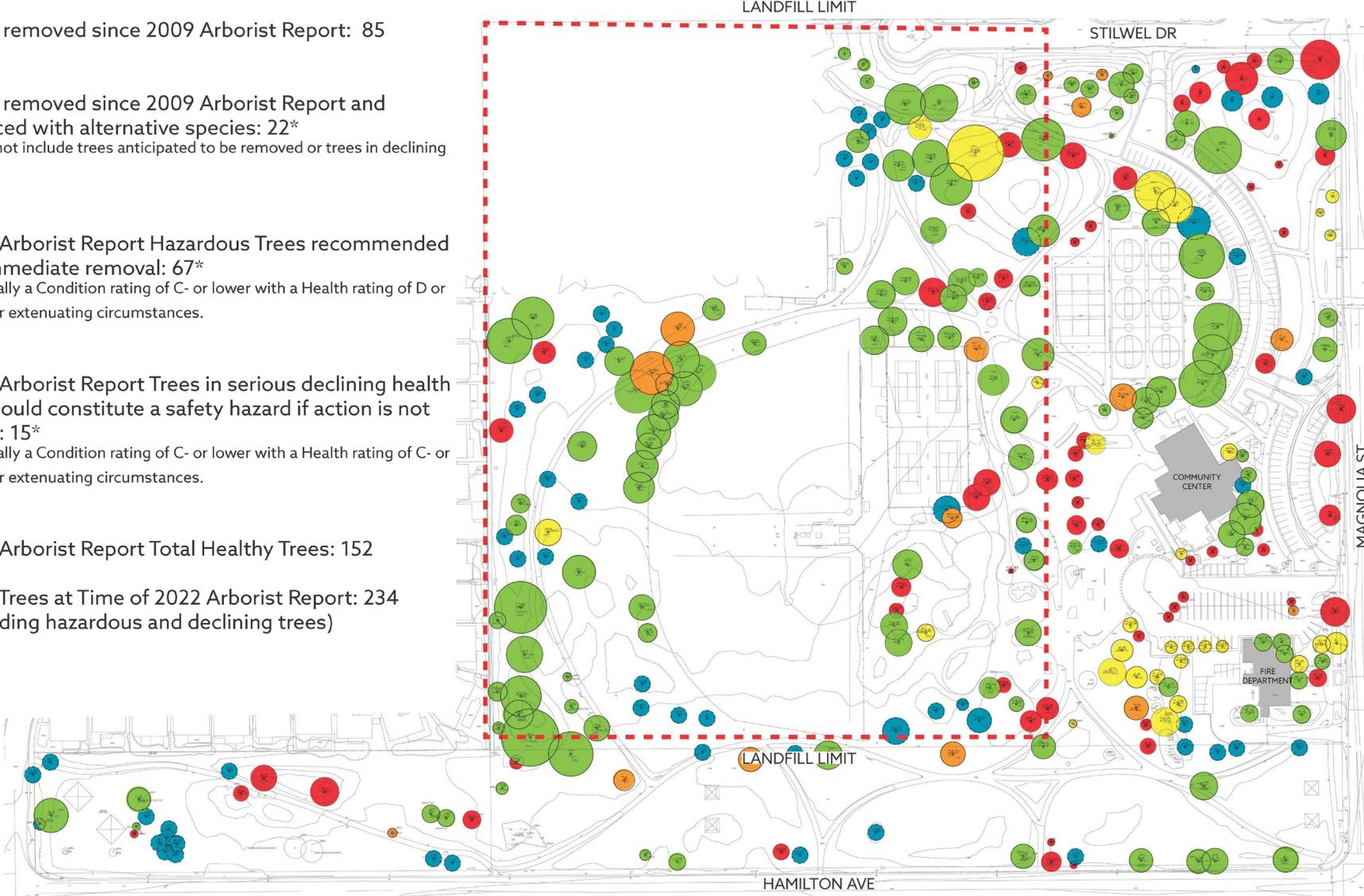


Tree Study

Legend

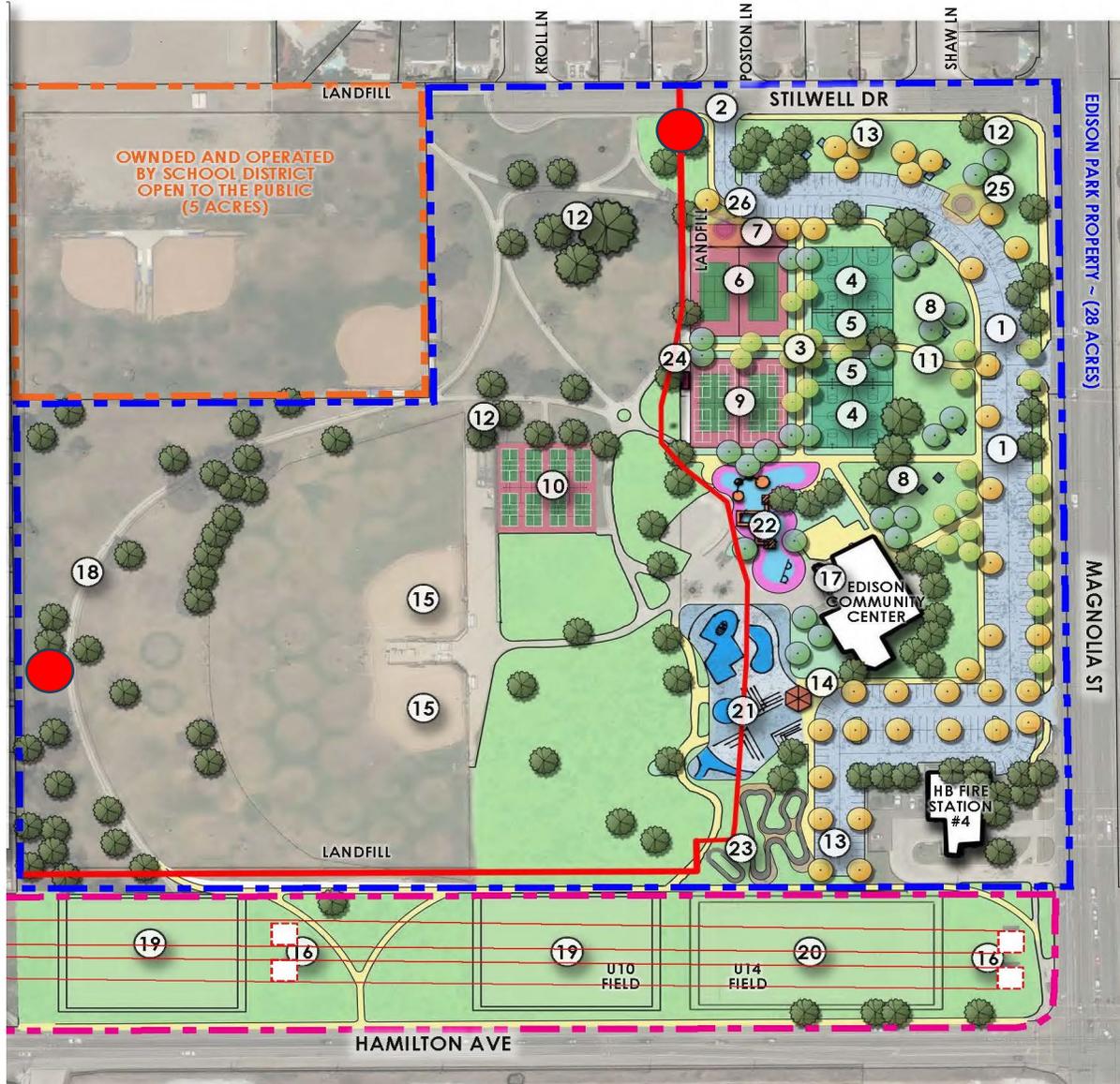
-  Trees removed since 2009 Arborist Report: 85
 -  Trees removed since 2009 Arborist Report and replaced with alternative species: 22*
*Does not include trees anticipated to be removed or trees in declining health.
 -  2022 Arborist Report Hazardous Trees recommended for immediate removal: 67*
*Generally a Condition rating of C- or lower with a Health rating of D or lower or extenuating circumstances.
 -  2022 Arborist Report Trees in serious declining health that could constitute a safety hazard if action is not taken: 15*
*Generally a Condition rating of C- or lower with a Health rating of C- or lower or extenuating circumstances.
 -  2022 Arborist Report Total Healthy Trees: 152
- Total Trees at Time of 2022 Arborist Report: 234
(Including hazardous and declining trees)

Future planning will include consideration of larger more mature trees.





Noise Impact Studies (Pickleball)



Two Noise Studies Conducted

- Evaluated noise levels for sixteen (16) pickleball courts
- Results did NOT exceed the City's Noise Standards
- April 2023: Commission Approved Plan:
 - RK Engineering Group (Certified Acoustical Engineers)
 - Receptors at Breton Lane, Stillwell Dr., Edison High School and Regatta Drive,
- December 2025: Option 2
 - Michael Baker International
 - Receptors at Breton Lane, Stillwell Dr., Edison High School and Magnolia/Hamilton





CEQA 15183 Environmental Compliance Checklist

CEQA 15183 Checklist

- Completed by Michael Baker International
- Review determined the project is statutorily exempt from the provision of the CEQA pursuant to Section 15183 of the CEQA Guidelines and would not result in a peculiar or significant impact not identified as significant under the General Plan Update EIR.
- The project is consistent with the General Plan and Council adopted a Final Program Environmental Impact Report (FEIR) for the General Plan on October 2, 2017.
- All feasible and applicable mitigation measures adopted for the General Plan Update EIR would be implemented.





Proposed Improvement Plan

Commission Approved Plan



PREPARED BY: THE UNIVERSITY OF TEXAS AT AUSTIN ARCHITECTURE, LANDSCAPE ARCHITECTURE, AND PLANNING SERVICES, INC. (UTAS) FOR THE CITY OF HUNTINGTON BEACH, CALIFORNIA. DATE: 03/12/2025.



Option 2 Proposed Plan

EDISON PARK CONCEPTUAL PLAN LEGEND

1. Reconfigured parking lot. (Total parking spaces ± 245)
2. New parking lot entry at Poston Lane.
3. New sport court plaza with seating and shade.
4. New full court basketball court (6).
5. New tennis courts (2).
6. New practice hitting wall at tennis court.
7. New pickleball courts (8).
8. Existing tennis courts (#3 and #4) with 8 pickleball overlays.
9. Existing trees.
10. New trees.
11. New shade shelter.
12. Existing softball fields.
13. New turf community open space.
14. New (50 yds x 70 yds) soccer field overlay in SCE Corridor (pending SCE review and approval).
15. Enlarged all-wheel plaza.
16. New tot lot with rubber surfacing, equipment and shade.
17. Expanded exterior restrooms at Community Center.
18. Existing SCE Towers and overhead utility lines.
19. Existing walkways.
20. Landfill monitoring station.
21. Oil Well #1.
22. Oil Well #2.
23. New mounded lawn for spectator seating.
24. New bocce ball courts (4).

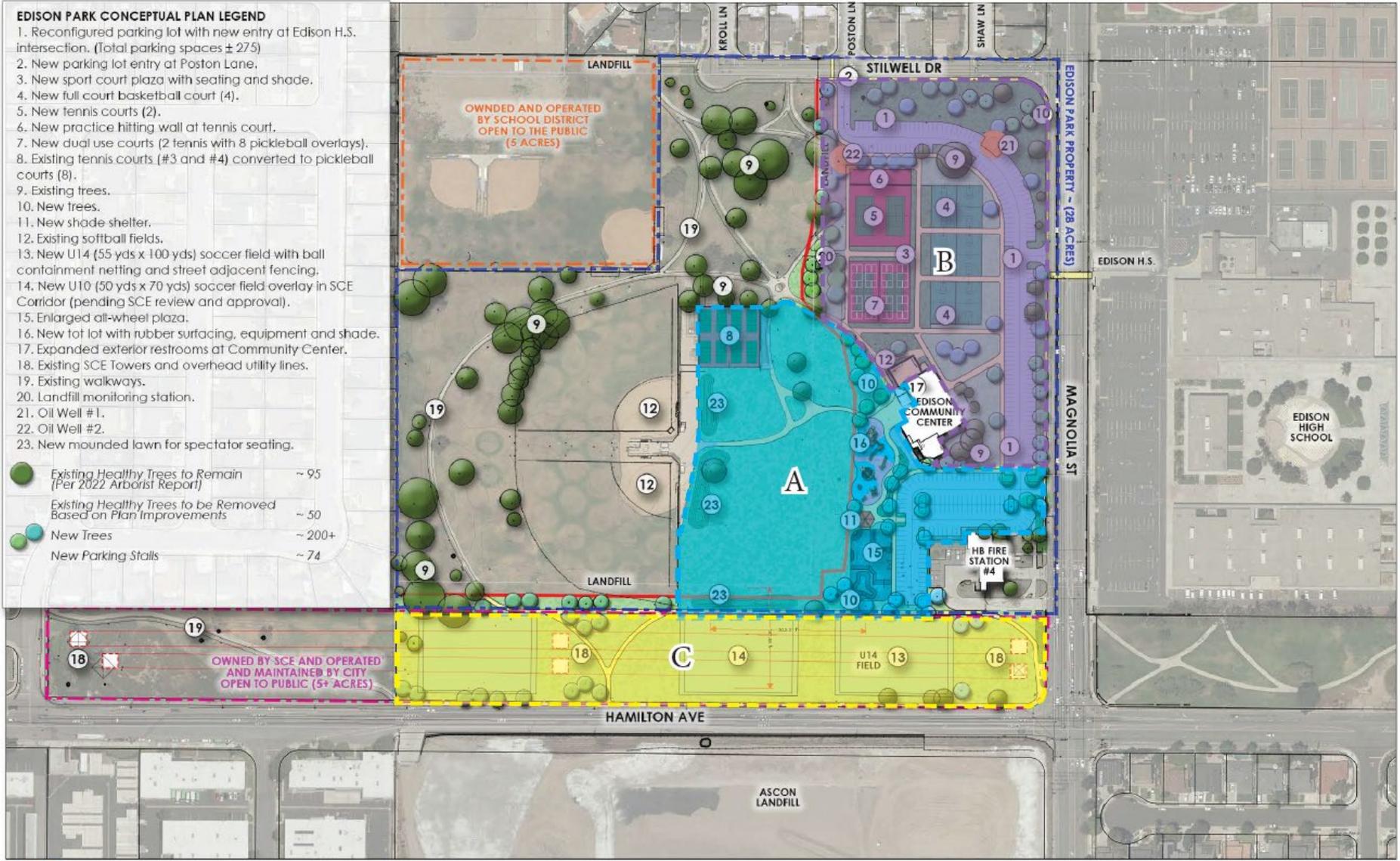
-  Existing Healthy Trees to Remain (Per 2022 Arborist Report) ~ 95
-  Existing Healthy Trees to be Removed Based on Plan Improvements ~ 50
-  New Trees 200+
-  New Parking Stalls ~ 44





Potential Phasing of Proposed Plan

Commission Approved Phased Plan



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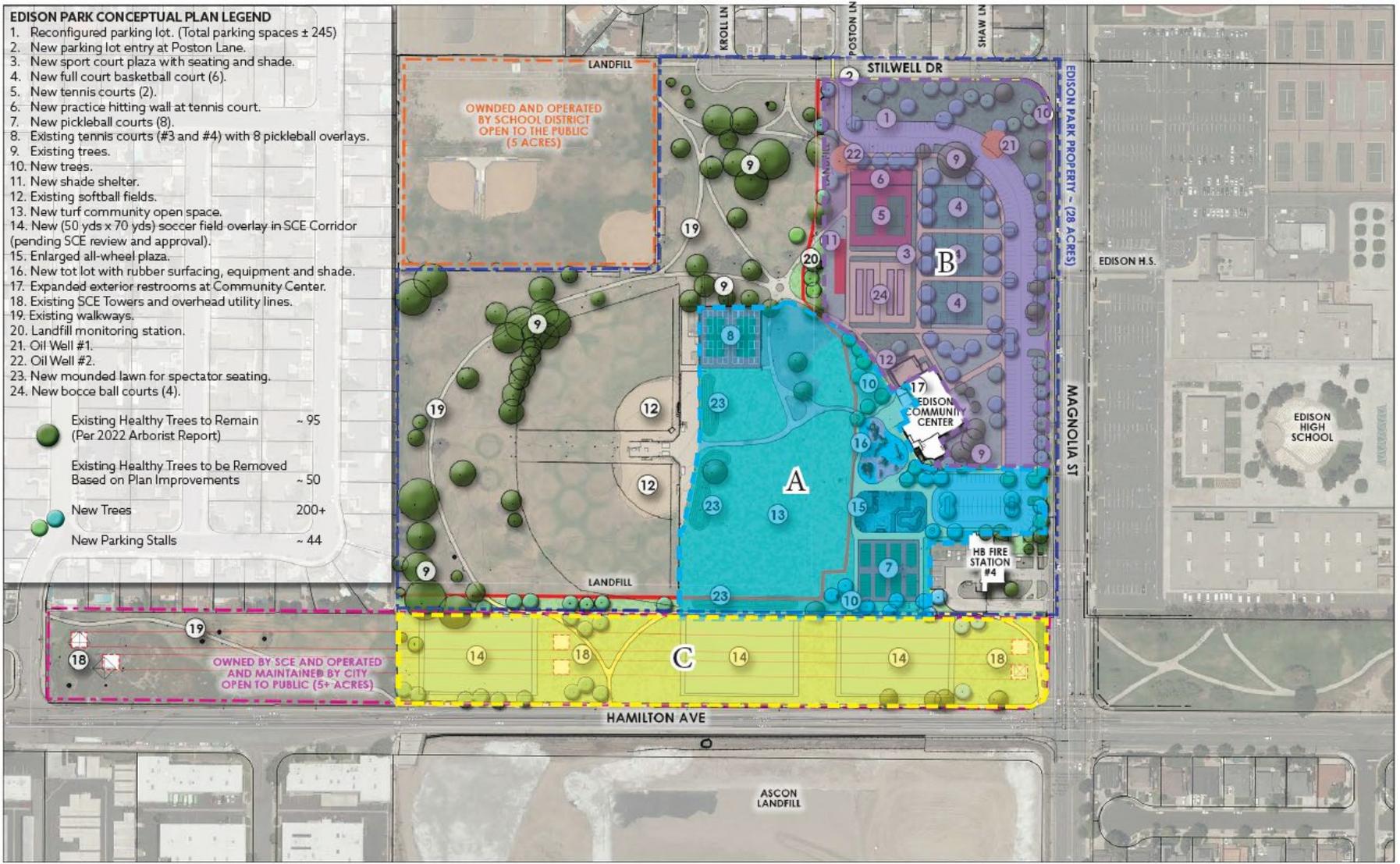


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Potential Phasing Costs of Proposed Plan

Commission Approved Plan Potential Phasing Costs

- **Phase A** **Cost: ~\$ 5,820,170**
 - Demo of Condemned Tennis Court, Play Area, Skate Spot, Pickleball Courts
 - Conversion of 2 Existing Tennis Court to 8 Pickleball Courts
 - New All-Inclusive Playground, Enlarged All-Wheel Plaza, Shade Shelter, Refurbished Exterior Park Restrooms, & Additional Parking
- **Phase B** **Cost: ~\$ 7,003,131**
 - Demo of Handball Courts/Walls, Basketball Courts, & Existing Parking
 - Installation of 2 New Tennis Courts, Overlaid Courts (8 Pickleball Courts/2 Tennis Courts), 6 Full Basketball Courts, & Additional Parking
- **Phase C** **Cost: ~\$ 917,860**
 - Demo of Existing Walkways
 - Installation of 3 New Soccer Fields & Park Walkways
- **Proposed Park with No Phasing** **Cost: ~\$13,741,161**

* Preliminary Cost Estimate based on Preliminary Plans



Option 2 Plan

Potential Phasing Costs

- **Phase A** **Cost: ~\$ 6,019,341**
 - Demo of Condemned Tennis Court, Play Area, Skate Spot, and Pickleball Courts
 - Conversion of 2 Existing Tennis Courts into Overlaid Courts (8 Pickleball Courts/2 Tennis Courts)
 - New All-Inclusive Playground, Enlarged All-Wheel Plaza, Refurbished Exterior Park Restrooms, 8 Pickleball Courts
- **Phase B** **Cost: ~\$ 7,113,548**
 - Demo of Handball Courts/Walls, Basketball Courts, & Existing Parking
 - Installation of 2 New Tennis Courts, 4 Bocce Courts, Hitting Wall, 6 Full Basketball Courts, Shade Structure (Bocce Courts) & Additional Parking
- **Phase C** **Cost: ~\$ 917,860**
 - Demo of Existing Walkways
 - Installation of 3 New Soccer Fields & Park Walkways
- **Proposed Park with No Phasing** **Cost: ~\$14,050,569**

* Preliminary Cost Estimate based on Preliminary Plans





Project Development Timeline

Project Development/Timeline

- \$4,352,000 currently available in FY 2024/25 Capital Improvement Budget through combination of Park Development, Quimby and AES sources
- Phasing the project will allow rotating portions of the park to remain open during construction.
 - Ensures “like-for-like” amenities are reintroduced to the community upon phase completion.
 - Proposed phasing does increase the project cost and extends the timeline



Recommended Action

Approve on of the two conceptual design option for the Edison Park reconfiguration plan and authorize staff to move forward with initiating either a phased or complete development of the design and bid package for construction of the updated facility.



Questions?

