

NEW 4 - UNITS APARTMENTS

7851 HOLT DR., HUNTINGTON BEACH, CA 92647

LEGEND / ABBREVIATIONS

LEGEND / ABBREVIATIONS

	COMMON OPEN SPACE
	PRIVATE OPEN SPACE
	DECORATIVE INTERLOCKING PERMEABLE PAVERS "ANGELUS CASTLE COBBLE"
	LANDSCAPE AREA SEE LANDSCAPE PLAN
	FIRE DEPARTMENT VEHICLE ACCESS MIN. UNOBSTRUCTED WIDTH 20'-0", CLEAR TO SKY
	FIRE LINE RED STRIPES WITH POSTING OF AN ENTRANCE SIGN
	1 HOUR FIRE RATED OCCUPANT SEPARATION WALL
	EXIT PATH OF TRAVEL
	ACCESSIBLE ROUTE
(E) OR EX.	EXISTING
(N)	NEW
LS	LANDSCAPE AREA
RW	RETAINING WALL
CF	CHAIN LINK FENCE
	ELEC. METER / ELEC. PANEL 200 AMP. PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250, 120V/240V WITH #20 WIRE IN 2" CONDUIT.
(E)	(E) GAS METER RELOCATED
SMH	SEWER MANHOLE

SHEET INDEX

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- A1.01 SITE PLAN / ROOF PROJECTION / SETBACK PLAN
- A1.02 CITY SPECIFICATION #415
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- A3.05 UNITS #2, 3, 4 BLDG. WEST EXTERIOR ELEVATION

CIVIL (REFERENCE ONLY, SEPARATE SUBMIT)
C-2 GRADING PLAN.

SEPARATE PERMITS

- A. CIVIL / GRADING & DRAINAGE
- B. FIRE SPRINKLERS

FIRE SPRINKLERS

FIRE SPRINKLERS: YES, SEPARATE PLANS AND PERMIT.
THE FIRE SPRINKLER INSTALLATION IS TO BE DONE UNDER SEPARATE PLANS AND PERMIT.

FIRE DEPARTMENT REQUIREMENTS

CITY OF HUNTINGTON BEACH FIRE DEPARTMENT REQUIREMENTS:

20' FIRE LANE INSTEAD 24' FIRE LANE NEED PROVIDE:

- a. 4 - HEAD FIRE SPRINKLER CALCULATION.
- b. ENHANCED FIRE LANE STRIPPING OR SIGNS.
- c. THE FIRE LANE WILL BE MARKED WITH BOTH RED STRIPES AND SIGNAGE AS SPECIFIED IN CITY SPECIFICATION #415.

PERMIT INFORMATION: SEPARATE PERMIT:

- 1. FIRE SPRINKLER THROUGHOUT
- 2. GRADING & DRAINAGE
- 3. DEMOLITION
- 4. 6' H. CONC. BLOCK WALL FENCE

MIN. DISTANCE BET. 2 HABITABLE STRUCTURES	REQUIRED	PROPOSED
	10'-0"	40'-1"

OCCUPANCY GROUP SEPARATION:

BETWEEN U AND R3: ONE HOUR

Separate application(s) and permit(s) are required for:

- a. Electrical work
- b. Mechanical work
- c. Plumbing work

BLDG. CODE ANALYSIS:

GROUND FLOOR AREA: UNIT 1 = 1,416 SF, UNITS 2-4 = 4,095 SF.
UNITS 1-4 TOTAL FLOOR AREA = 5,511 SF.

TOTAL SQUARE FOOTAGE: UNIT 1 = 710 SF, UNITS 2-4 = 2,375 SF.

LOCATION AND CLASSIFICATION OF OCCUPANCY GROUP:

RESIDENTIAL: R3, R2 PER CBC CH. 3 PARKING GARAGE: U

BLDG. #1 (UNIT 1 W / FIRE SPRINKLER)

ALLOWABLE BUILDING HEIGHT (TABLE 504.3, R3, V-B): 60'-0"
PROPOSED BUILDING HEIGHT: 32'-0", OKAY.

ALLOWABLE BUILDING STORY (TABLE 504.4, R3, V-B): 4
PROPOSED BUILDING STORY: 3, OKAY.

ALLOWABLE FLOOR AREA ANALYSIS:

- 1. ALLOWABLE AREA FOR BLDG. PER FLOOR FOR R3 OCCUPANCY FOR R TYPE V-B A= UNLIMITED.
- 2. ALLOWABLE AREA FOR BLDG. PER FLOOR FOR U OCCUPANCY
ALLOWABLE AREA FOR BLDG. FOR 1 STORY, 5,500 X 1 = 5,500 SF
PROPOSED TOTAL GARAGE AREA = 282 SF
282 SF / 5,500 SF = 0.051 < 1, OKAY.

BLDG. #2 (UNITS 2, 3, 4 W / FIRE SPRINKLER)

ALLOWABLE BUILDING HEIGHT (TABLE 504.3, R2, V-B): 60'-0"
PROPOSED BUILDING HEIGHT: 33'-9", OKAY.

ALLOWABLE BUILDING STORY (TABLE 504.4, R2, V-B): 3
PROPOSED BUILDING STORY: 3, OKAY.

LOCATION	ROOM USE	OCCUPANCY GROUP	PROPOSED AREA
BLDG. #2 (UNITS #2, #3, #4):			
1st FLOOR	RESIDENTIAL	GROUP R-2	749 SF
2nd FLOOR	RESIDENTIAL	GROUP R-2	1,094 SF
3rd FLOOR	RESIDENTIAL	GROUP R-2	1,442 SF
TOTAL			4,095 SF
1st FLOOR GARAGE	GARAGE	GROUP U	700 SF

BLDG. #2 (UNITS #2, #3, #4) ALLOWABLE FLOOR AREA ANALYSIS:

- 1. ALLOWABLE AREA FOR BLDG. PER FLOOR FOR R2 OCCUPANCY FOR R2 TYPE V-B A=7,000 SF.
ALLOWABLE AREA FOR BLDG. FOR 3 STORIES
PROPOSED TOTAL RESIDENTIAL AREA = 4,095 SF
4,095 SF / 7,000 SF = 0.59 < 1, OKAY.

2. ALLOWABLE AREA FOR BLDG. PER FLOOR FOR U OCCUPANCY FOR U TYPE V-B A=5,500 SF.

- ALLOWABLE AREA FOR BLDG. FOR 1 STORY
5,500 X 1 = 5,500 SF
TOTAL GARAGE AREA = 209 x 1 + 205 x 2 = 700 SF
700 SF / 5,500 SF = 0.13 < 1, OKAY.

PROJECT SUMMARY

OWNER / APPLICANT: NA REN
7514 SHADY GLEN CIR.,
HUNTINGTON BEACH, CA 92647
CONTACT: NA REN
TEL: 714-330-4821
E-MAIL: renadesigner@yahoo.com

PROJECT ADDRESS: 7851 HOLT DR.,
HUNTINGTON BEACH, CA 92647
LOT AREA: 8,007.96 SF (GROSS)
7,807.96 SF (GROSS, EXCLUDING 6' STREET DEDICATION))
ZONING: RMH
OCCUPANCY GROUP: UNIT #1: R-3 / U, UNIT #2, #3, #4: R-2 / U
TYPE OF CONSTRUCTION: V-B WITH NFPA 13 FIRE SPRINKLERS
APN #: 142-083-13
STORY: 3 - STORIES

SCOPE OF WORK: NEW 4-UNITS APARTMENTS
FIRE SPRINKLERS: YES, SEPARATE SUBMIT
THE FIRE SPRINKLER INSTALLATION IS TO BE DONE UNDER SEPARATE PLANS AND PERMIT.

DENSITY

MAX. ALLOWABLE	1742 SF/8007.96 SF, 4 UNITS
PROPOSED	4 UNITS

LOT AREA (SF) 8007.96 SF

AREA BREAKDOWN

1. LIVING AREA

UNIT #	1ST FLOOR	2ND FLOOR	3RD FLOOR	AREA PER UNIT	UNIT	TOTAL LIVING AREA	
UNIT #1	1BED, 2.5 BATH	317	640	459	1416	1	1416
UNIT #2	1BED, 2.5 BATH	243	698	544	1485	1	1485
UNIT #3	1BED, 2.5 BATH	196	610	440	1246	1	1246
UNIT #4	1BED, 2.5 BATH	310	596	458	1364	1	1364
TOTAL		1066	2544	1901		4	5511

2. OTHER AREA

	UNIT #	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL AREA
1	1-CAR GARAGE	UNIT #1	282		282
2	1-CAR GARAGE	UNIT #2	290		290
3	1-CAR GARAGE	UNIT #3	205		205
4	1-CAR GARAGE	UNIT #4	205		205
5	ENTRY PORCH	UNIT #2	11		11
6	REAR PATIO	UNIT #3	205		205
7	REAR PATIO	UNIT #4	203		203
8	BALCONY (ABOVE FLOOR)	UNIT #1		218	218
9	BALCONY (CANTILEVER)	UNIT #1		50	50
10	BALCONY (CANTILEVER)	UNIT #2		27	27
11	BALCONY (ABOVE FLOOR)	UNIT #2		160	160
12	BALCONY (ABOVE FLOOR)	UNIT #3		163	163

LOT COVERAGE

ALLOWABLE	MAX.	50.00%
PROPOSED	below count lot coverage area / lot area =	35.51% OKAY

COUNT LOT COVERAGE

COUNT LOT COVERAGE	UNIT #	AREA (SF)
1ST FLOOR	UNIT #1, #2, #3, #4	1066
GARAGE	UNIT #1	282
GARAGE	UNIT #2	290
GARAGE	UNIT #3	205
GARAGE	UNIT #4	205
ENTRY	UNIT #2	11
RAER COVERED PATIO	UNIT #3	79
RAER COVERED PATIO	UNIT #4	80
CANTILEVER BALCONY	UNIT #1	50
CANTILEVER BALCONY	UNIT #2	27
CANTILEVER 2ND FLOOR	UNIT #1	60
CANTILEVER 2ND FLOOR	UNIT #4	87
2ND FLOOR	UNIT #2	198
2ND FLOOR	UNIT #3	204
TOTAL		2844

OPEN SPACE (SF)

1. MIN. RQ.	25% X FLOOR AREA	1378
1-1. PRIVATE MIN.	200 SF X 4 =	800

2. PROPOSED

	GROUND	BALCONY	TOTAL	OKAY
2-1. PRIVATE				
UNIT #1	153	268	421	
UNIT #2	123	187	310	
UNIT #3	205	163	368	
UNIT #4	203		203	
2-2. COMMON				
	130	0	130	

PROPOSED TOTAL	814	618	1432	OKAY
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SETBACK:

	MIN. RQ.	PROPOSED
FRONT YARD (SOUTH)	10'-0"	(10'-1") _{1/2}
REAR YARD (NORTH)	10'-0"	10'-1"
SIDE YARD (EAST)	4'-0"	4'-0"
SIDE YARD (WEST)	4'-0"	4'-1"

PARKING SPACE

1. MIN. RQ.	WITHIN GARAGE	4 UNITS X 1 = 4
	GUESTS PARKING	2
2. PROPOSED		
	WITHIN GARAGE	4
	GUESTS PARKING	2

STORAGE (CUBICFEET = CF)			
1	MIN. RQ.	100 CF PER UNIT	100 X 4 = 400 CF
2 PROPOSED			
UNIT #1		108.00 CF >100 CF	OKAY
UNIT #2		108.00 CF >100 CF	OKAY
UNIT #3		113.28 CF >100 CF	OKAY
UNIT #4		119.28 CF >100 CF	OKAY
TOTAL		448.56 CF > 400 CF	OKAY

PROJECT CONSULTANTS

DESIGN / CONSTRUCTION:

C&W CONSTRUCTION ENGINEERS INC.
1221 S. HACIENDA BLVD. HACIENDA HEIGHTS, CA 91745
CONTACT: HENNA LI OR JOHN C. CHEN
TEL: 626 716 4802 OR 626 926 0567
E-MAIL: HYL2102000@GMAIL.COM

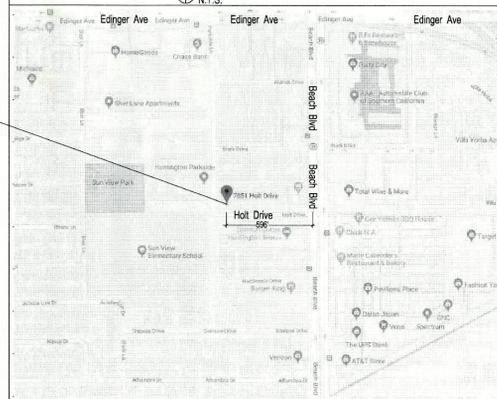
CIVIL ENGINEER:

CAL LAND ENGINEERING, INC.
DBA QUARTECH CONSULTANTS INC.
575 E. LAMBERT ROAD, BREA, CA 92821
TEL: 714-671-1050, E-MAIL: LEE@CALLANDENG.COM
CONTACT: JACK LEE

CODE INFORMATION

CODE OF DESIGN: Current codes:
2016 California Building Code (CBC)
2016 California Residential Code (CRC)
2016 California Mechanical Code (CMC)
2016 California Plumbing Code (CPC)
2016 California Electrical Code (CEC)
2016 California Energy Code
2016 California Green Building Standards Code (CBCS)
(And the Huntington Beach Municipal Code (HBMC))
the all applicable state and local codes.

VICINITY MAP



OWNER / APPLICANT: NA REN
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Revisions

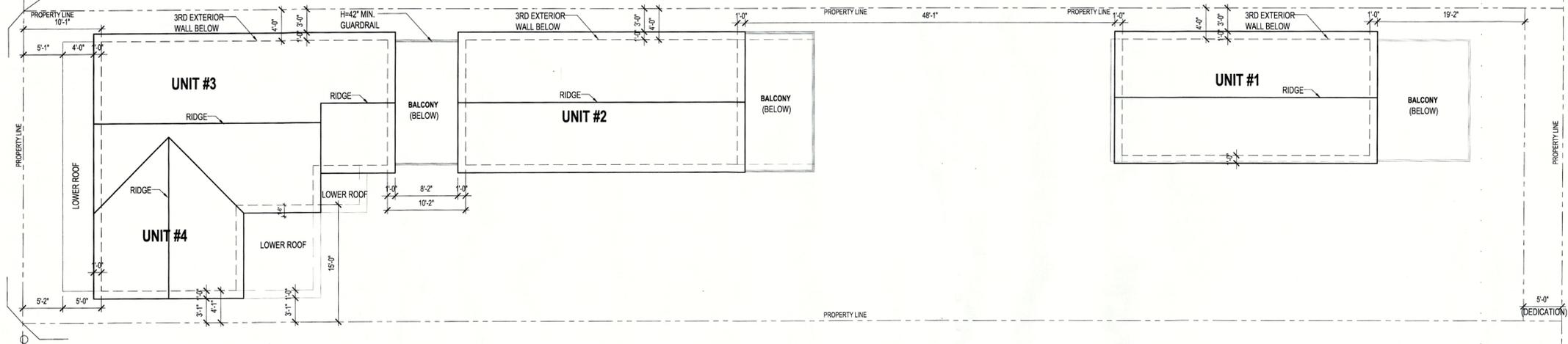
Date	No.	Description
09/26/2018	1	CITY FIRE DEPARTMENT
10/10/2018	2	CITY FIRE DEPARTMENT
LETTER DATED	3	PLANNING PA. NO. 18-0256
10/15/2018	4	CLIP NO. 18-038
LETTER DATED	5	BUILDING PA. NO. 18-0264
10/19/2018	6	CLIP NO. 18-038

Drawing Title
TITLE SHEET

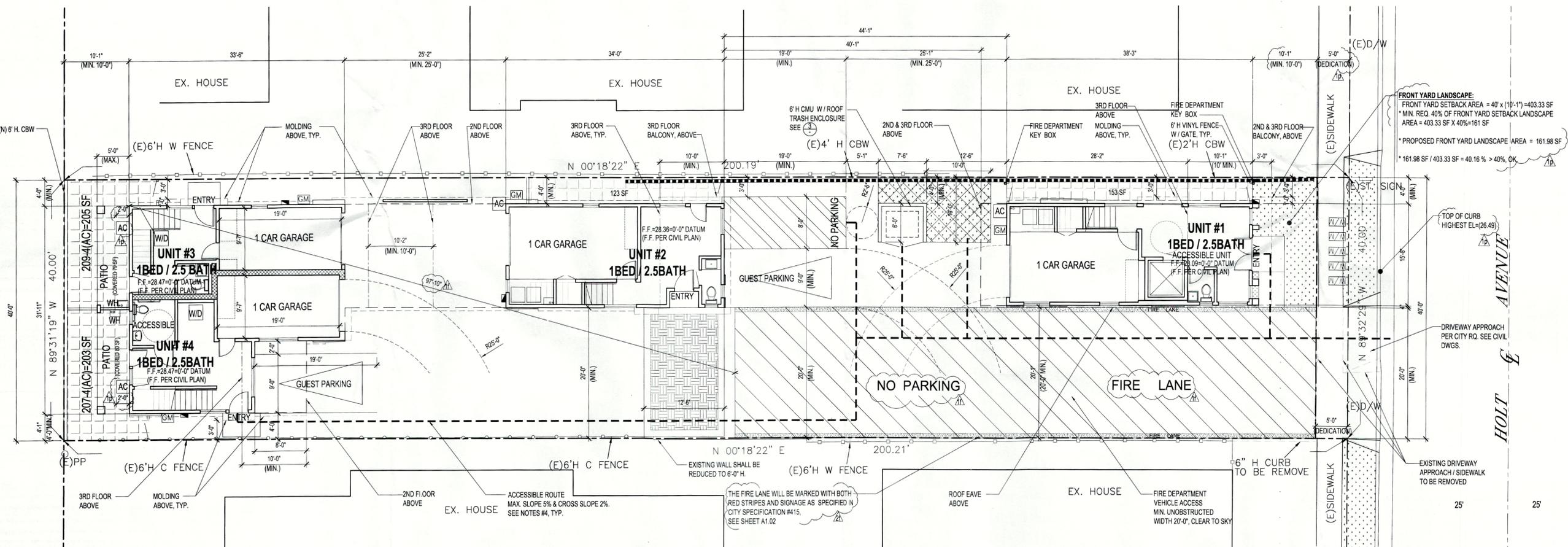
Drawn By: HL
Job No: 1088
Scale: AS SHOWN
Date: 12/10/2018

Drawing No.

A1.00



2 ROOF PROJECTION / SETBACK PLAN
SCALE: 1/8"=1'-0"

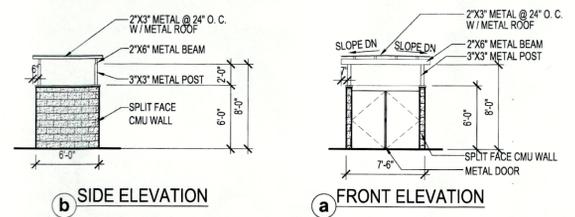


FRONT YARD LANDSCAPE:
FRONT YARD SETBACK AREA = 40' x (10'-1") = 403.33 SF
* MIN. REQ. 40% OF FRONT YARD SETBACK LANDSCAPE AREA = 403.33 SF X 40% = 161 SF
* PROPOSED FRONT YARD LANDSCAPE AREA = 161.98 SF
* 161.98 SF / 403.33 SF = 40.16% > 40% OK

LEGEND / ABBREVIATIONS

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE
- DECORATIVE INTERLOCKING PERMEABLE PAVERS "ANGELLUS CASTLE COBBLE"
- LANDSCAPE AREA SEE LANDSCAPE PLAN
- FIRE DEPARTMENT VEHICLE ACCESS MIN. UNOBSTRUCTED WIDTH 20'-0", CLEAR TO SKY
- FIRE LINE RED STRIPES WITH POSTING OF AN ENTRANCE SIGN
- 1 HOUR FIRE RATED OCCUPANT SEPARATION WALL
- (N) NEW
- LS LANDSCAPE AREA
- RW RETAINING WALL
- CF CHAIN LINK FENCE
- ELEC. METER / ELEC. PANEL: 200 AMP. PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250, 120V/240V WITH #20 WIRE IN 2" CONDUIT.
- (E) GAS METER RELOCATED
- SMH SEWER MANHOLE

NOTES:
1. SEE CIVIL DRAWING FOR RETAINING WALL / GRADING AND DRAINAGE INFORMATION.
2. SEE LANDSCAPING & IRRIGATION DRAWING FOR LANDSCAPING & IRRIGATION INFORMATION.
3. SEE MEP DRAWING FOR MEP INFORMATION.
4. ACCESSIBLE ROUTE: W-4'-0" MIN. NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. ACCESSIBLE ROUTE PER 2016 CBC CHAPTER 11A



3 TRASH ENCLOSURE
SCALE: 1/8"=1'-0"

1 SITE PLAN
SCALE: 1/8"=1'-0"

Project Name:
NEW 4 UNITS APARTMENTS

Owner:
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CA 92647
TEL: 714-330-4821
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Project Address:
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Revisions

Date	No.	Description
09/26/2018	1	CITY FIRE DEPARTMENT
10/10/2018	2	CITY FIRE DEPARTMENT
10/15/2018	3	PLANNING PA NO. 18-0264 CUP NO. 18-038
10/19/2018	4	BUILDING PA NO. 18-0264 CUP NO. 18-038

Drawing Title
SITE PLAN

ROOF PROJECTION / SETBACK PLAN

Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A1.01

City Specification

No. 415

Reference to CFC Section – 503.3

Huntington Beach Fire Department

Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

REQUIREMENTS

Huntington Beach Municipal Code 10.40.115, Fire Lanes, and California Vehicle Code Section 22500.1 prohibit the parking of vehicles in designated fire lanes, access ways and roadways. In an effort to eliminate the possibility of life and property loss through blocked or restricted emergency access routes, Huntington Beach has adopted regulations and developed standards for fire lanes, access ways and roadways.

Attached are three (3) approved marking options to identify fire lane access ways. Markings may utilize one or more of the options, as needed.

NOTE: In this City Specification, all cases where the color "red" is required on either a sign or a curb, the paint color shall be "OSHA Red."

OPTION 1

- Marking fire lanes by utilizing sign posting only

OPTION 2

- Marking fire lanes by painting curbs red and posting of an entrance sign

OPTION 3

- Marking fire lanes by painting rolled curbs red and posting of an entrance sign
- Marking fire lanes that do not have curbs with red stripes and posting of an entrance sign.

Regardless of the fire lane marking option selected, **ALL** property entrances must post fire lane enforcement signs.

After completion of fire lane installation, please contact the Huntington Beach Fire Department at (714) 536-5411 for an inspection. Upon passing inspection, the property will be added to the parking enforcement list for patrol. Violations will then be issued under the above stated code sections.

NOTE: Please see the sign examples (1, 2 and 3) on page 5 of this City Specification and locate a vendor to construct the signs per the criteria listed.

Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

OPTION 3

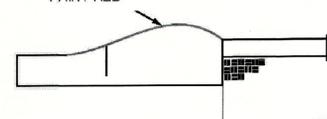
MARKING FIRE LANES BY PAINTING ROLLED CURBS RED AND POSTING OF AN ENTRANCE SIGN

MARKING FIRE LANES THAT DO NOT HAVE CURBS WITH RED STRIPES AND POSTING OF AN ENTRANCE SIGN

- OSHA red paint must be applied on the edge of the roadway or atop the rolled portion of a curb.
- OSHA red paint must be continuous across driveways and in front of garages facing fire lane.
- OSHA red paint shall be 8 inches in width with FIRE LANE stenciled in 6 inch white letters.
- FIRE LANE stencil shall be spaced 50 feet on center.
- If a section of curb is less than 25 feet, only one stenciling of FIRE LANE is necessary on the red paint.
- Appropriate entrance sign shall be required at ALL entrances (refer to fire lane sign examples #2 and #3).

ROLLED CURB

PAINT RED



FIRE LANES WITH NO CURBS

PAINT RED



8" MINIMUM WIDTH

6" MINIMUM LETTERING

Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

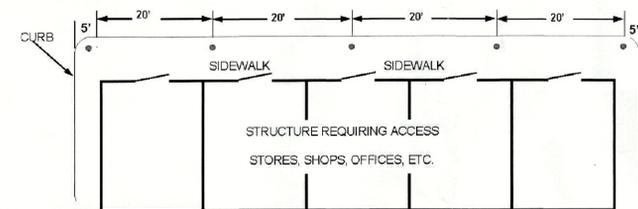
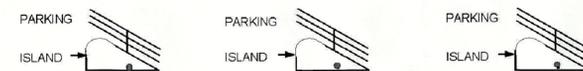
OPTION 1

MARKING FIRE LANES WITH SIGN POSTING ONLY

FIRE LANE SIGN LOCATION

- Interior signs (refer to fire lane sign example #1)
 - Required within 5 feet of each corner
 - Spaced a maximum of 20 feet apart in all areas
 - Where parking is not allowed on either side of the lane or road, the 20 feet spacing of signs shall be on both sides.
 - Where islands are utilized, one (1) sign is required for each island adjacent to a fire lane or access road.
- Appropriate entrance sign shall be required at ALL entrances (refer to fire lane sign examples #2 and #3).
- All signs are to be maintained by the property owner.
- Red curbs are NOT required for Option 1.

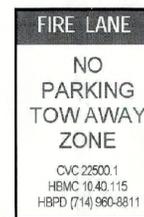
● = Sign Location Examples



Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

EXAMPLES OF FIRE LANE MARKINGS

FIRE LANE SIGN (#1)
Interior Signs
12" x 18"
Red Lettering on White Background
Exception: FIRE LANE
White Lettering on Red Background
Not ReflectORIZED
063 Gauge



ENTRANCE SIGN (#2)
Used When Marked Stalls Are Provided
18" x 24"
Red Lettering on White Background
Exception: PARK IN MARKED STALLS ONLY
White Lettering on Red Background
Not ReflectORIZED
080 Gauge

ENTRANCE SIGN (#3)
Used When No Marked Stalls Are Provided
18" x 24"
Red Lettering on White Background
Exception: FIRE LANE
White Lettering on Red Background
Not ReflectORIZED
080 Gauge



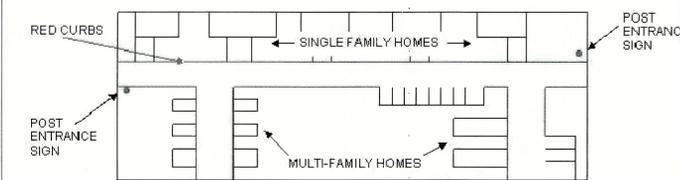
Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

OPTION 2

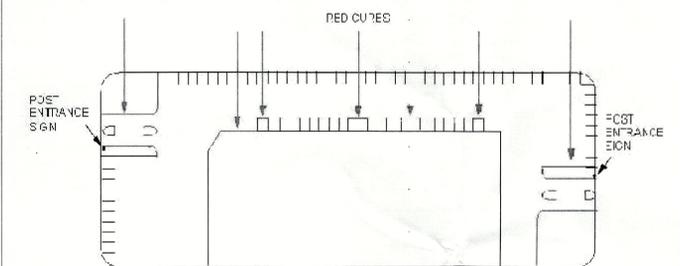
MARKING FIRE LANES WITH RED CURBS AND AN ENTRANCE SIGN

- Curbs marking fire lanes are to be painted OSHA red on TOP and FACE.
- OSHA red paint must be continuous across driveways and in front of garages facing fire lane.
- FIRE LANE shall be stenciled on the TOP and FACE of each curb with 4 inch white letters and spaced 50 feet on center.
- If a section of the curb is less than 25 feet, only one (1) stenciling of FIRE LANE is necessary on the TOP and FACE of the curb.
- Appropriate entrance signs shall be required at ALL Entrances (refer to fire lane sign examples #2 and #3).

EXAMPLE OF RESIDENTIAL



EXAMPLE OF COMMERCIAL / INDUSTRIAL



Fire Lane Signage and Markings on Private, Residential, Commercial and Industrial Properties

SIGN AND POST INSTALLATION

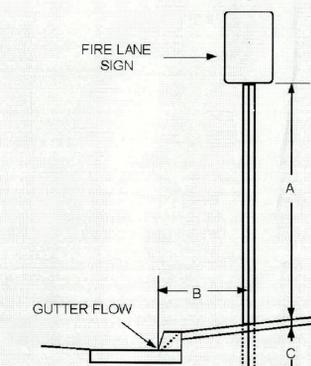
INTERIOR SIGNS: Dimension "A" shall be 7 feet in sidewalk or pedestrian areas, 5 feet in all other areas.

ENTRANCE SIGNS: Dimension "A" shall be 7 feet in sidewalk or pedestrian areas, 3 feet in all other areas.

CURB TO POST: Dimension "B" shall be 18 inches with standard curb, 24 inches with rolled curb to the center of post.

POST EMBEDDED DEPTH: Dimension "C" shall be 24 inches minimum embedment.

NOTE: Signs may be mounted on existing posts or buildings if the post or building is no more than 24 inches from the curb or the edge of road surface.



APPROVED: Patrick McIntosh, Fire Chief

DATE:

Project Name:
NEW 4 UNITS APARTMENTS

Project Address:
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HUNTINGTON BEACH,
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Revisions

Date No. Description

10/10/2018 CITY FIRE DEPARTMENT

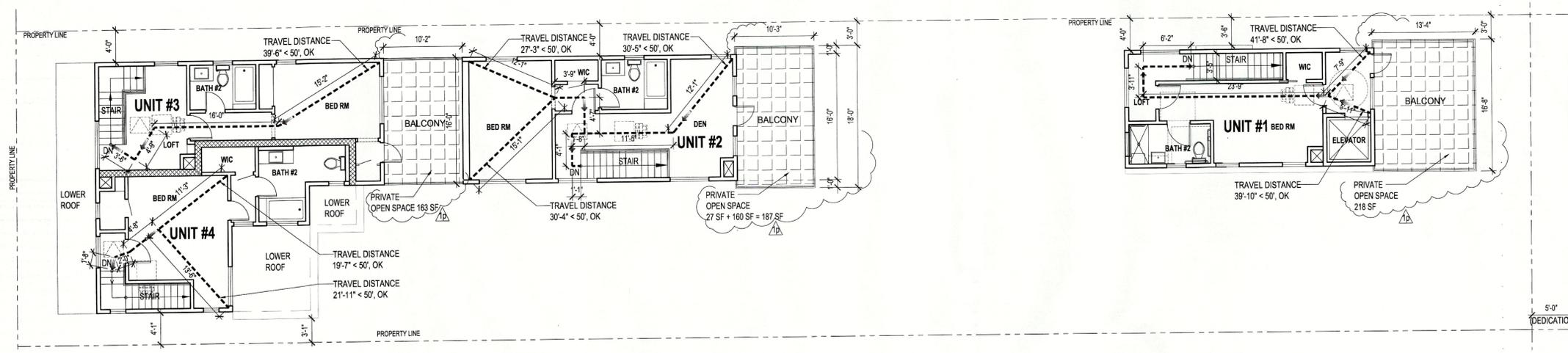
Drawing Title

CITY SPECIFICATION
#415

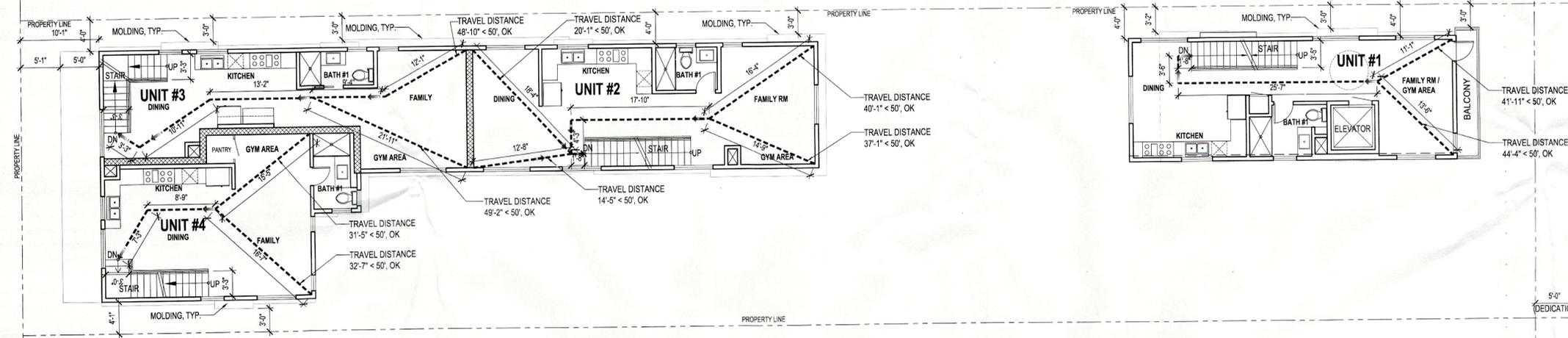
Drawn By: HL
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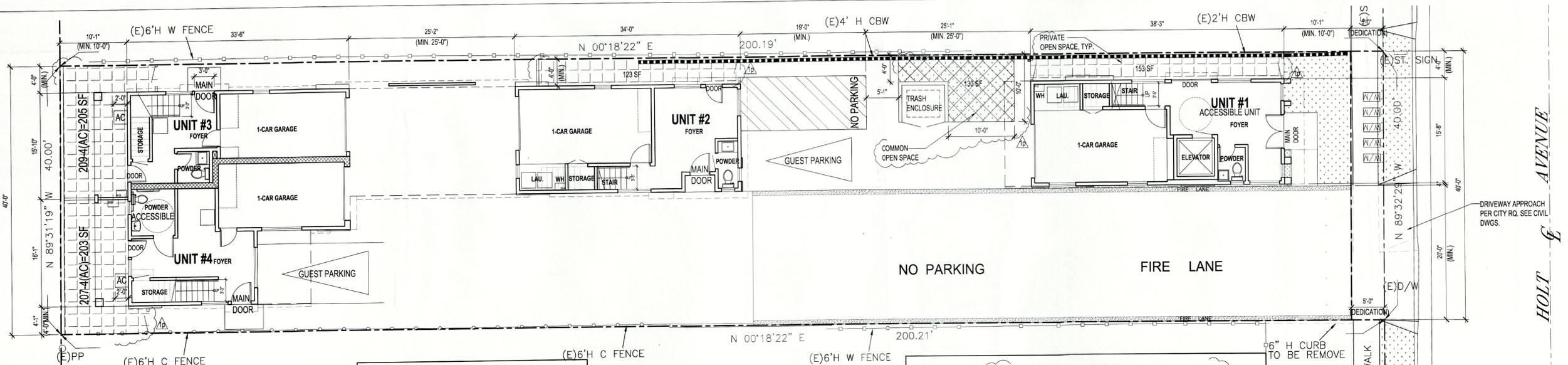
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3 3RD FLOOR OPEN SPACE / EGRESS PLAN z
SCALE: 1/8"=1'-0"



2 2ND FLOOR EGRESS PLAN z
SCALE: 1/8"=1'-0"



1 1ST FLOOR OPEN SPACE PLAN z
SCALE: 1/8"=1'-0"

- LEGEND / ABBREVIATIONS**
- COMMON OPEN SPACE
 - PRIVATE OPEN SPACE
 - OF AN ENTRANCE SIGN
 - 1 HOUR FIRE RATED OCCUPANT SEPARATION WALL
 - EXIT PATH OF TRAVEL
 - ACCESSIBLE ROUTE
 - (E) OR EX. EXISTING
 - (N) NEW
 - (LS) LANDSCAPE AREA

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Owner:
NA REN
7514 SHADY GLEN CIR.,
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CA 92647
TEL: 714-330-4821
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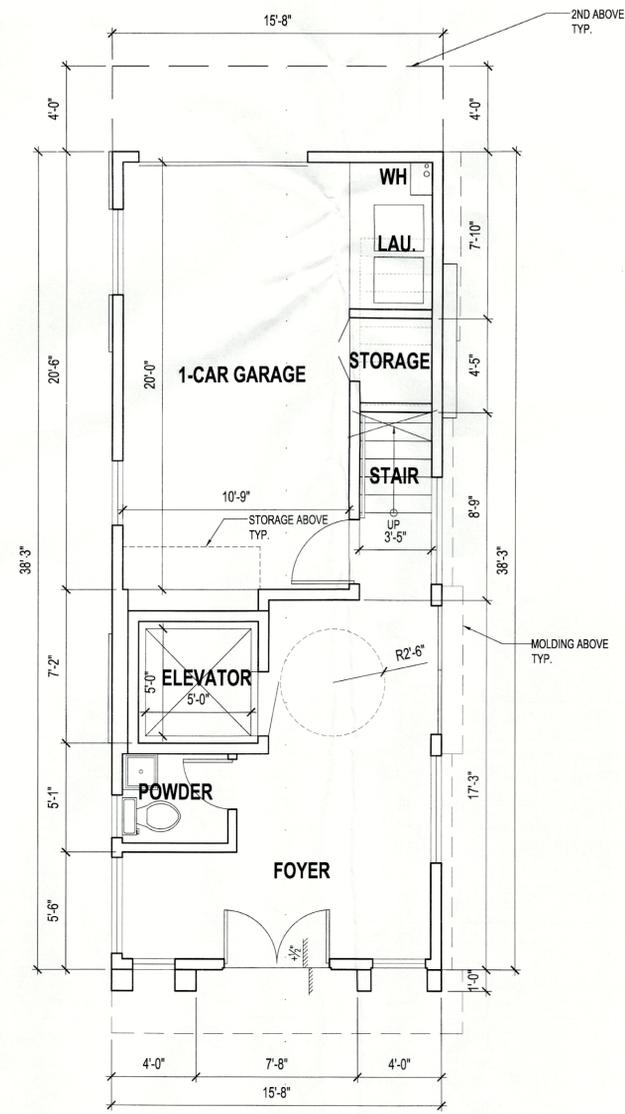
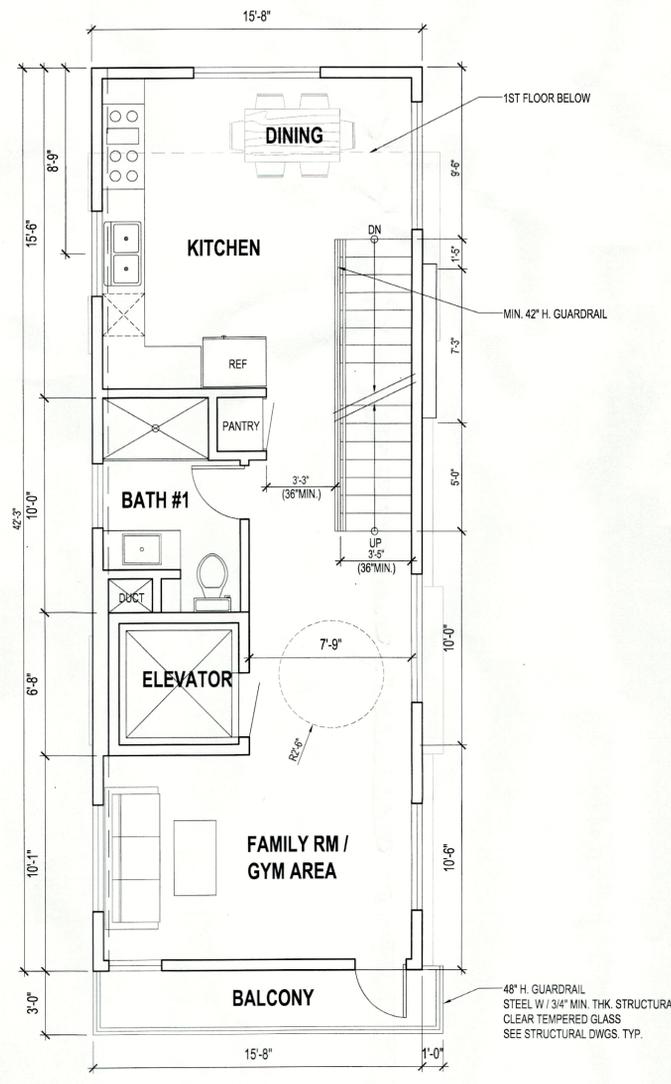
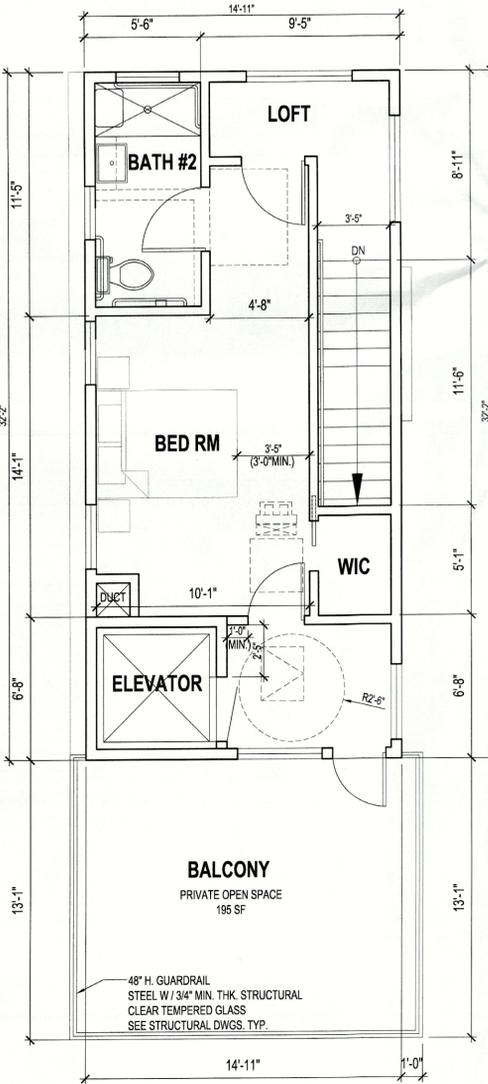
Revisions

Date	No.	Description
LETTER DATED 10/15/2018	1A	PLANNING PA NO. 18-0254 CUP NO. 18-038
LETTER DATED 10/19/2018	1B	BUILDING PA NO. 18-0256 CUP NO. 18-038

Drawing Title
OPEN SPACE PLANS
EGRESS PLANS

Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A1.03



UNIT #1 PLUMBING FIXTURES AND FIXTURE FITTINGS SCHEDULE:

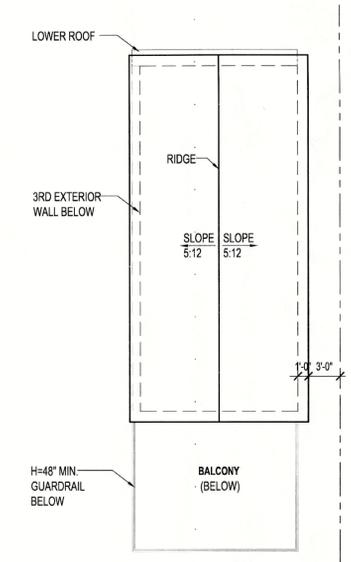
USES	QUANTITY
a. WATER CLOSETS-1.28 GPF	3
b. WALL-MOUNTED URINALS - 0.125 GPF	-
c. SINGLE SHOWERHEAD - 2.0 GPM AT 80PSI	2
d. MULTIPLE SHOWERHEADS - 2.0 GPM AT 80PSI FOR ALL COMBINED SHOWERHEADS	-
e. LAVATORY FAUCETS - 1.2 GPM AT 60 PSI	3
f. LAVATORY FAUCETS IN PUBLIC USE AREA - 0.5 GPM AT 60 PSI	-
g. METERING FAUCETS - 0.25 GALLONS PER CYCLE	-
h. KITCHEN FAUCETS - 1.8 GPM AT 60 PSI	1

LEGEND

ATTIC FURNACE, CONDENSATE DRAIN TO LAVATORY OR OUTSIDE, INSTALLED IN ACCORDANCE THE MANUFACTURER'S INSTRUCTIONS.

MIN. 22" X 30" ATTIC ACCESS PANEL W/ ELECTRIC LIGHT OUTLET ADJACENT TO FURNACE SWITCH BY THE OPENING

MIN. 30" W. X 30" DEEP UNOBSTRUCTED WORKING SPACE



12/10/2018
Rev

Project Name:
NEW 4 UNITS APARTMENTS

Owner:
NA REN
7514 SHADY GLEN CIR.,
HUNTINGTON BEACH,
CA 92647

Project Address:
7851 HOLT DR.,
HUNTINGTON BEACH,
CA 92647

E MAIL: renadesigner@yahoo.com

Revisions

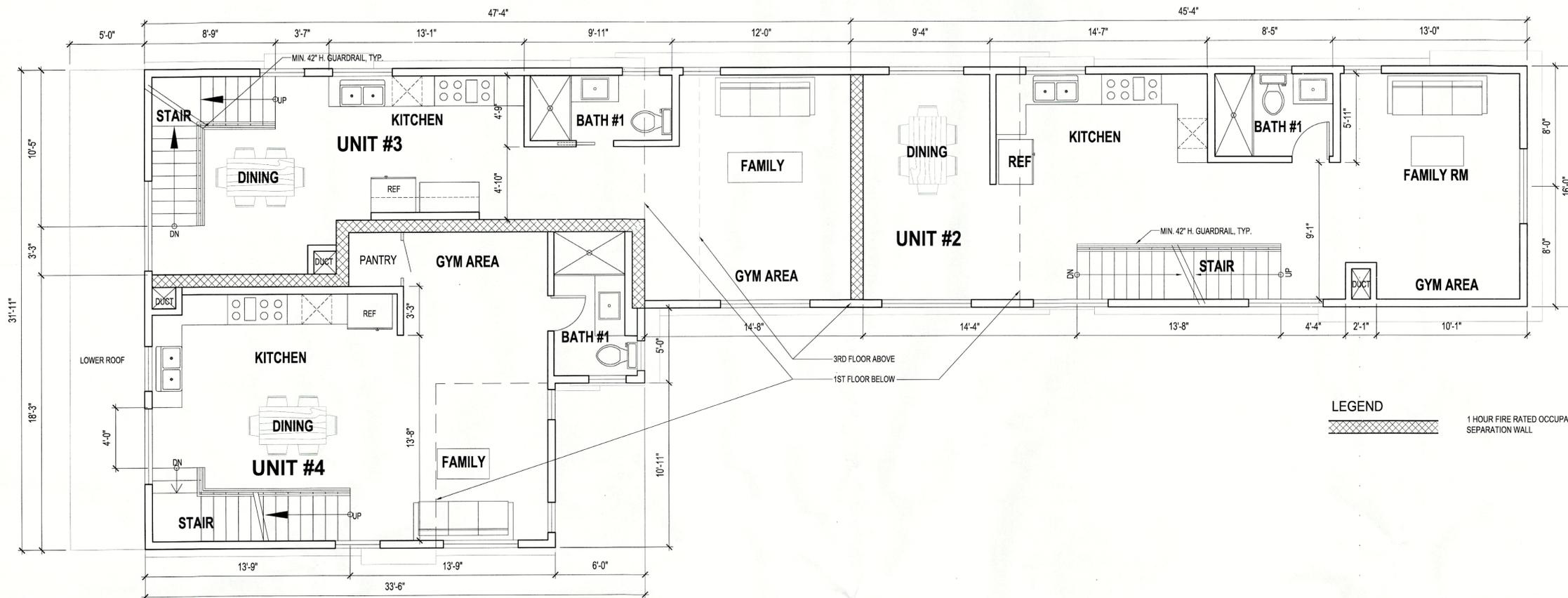
Date	No.	Description
LETTER DATED 10/19/2018	1	BUILDING PA NO. 18-0384 CUP NO. 18-038

Drawing Title
UNIT #1
1ST FLOOR PLAN
2ND FLOOR PLAN
3RD FLOOR PLAN
ROOF PLAN

PLUMBING FIXTURES AND FIXTURE FITTINGS SCHEDULE

Drawn By: HL
Job No.: 1088
Scale: AS SHOW
Date: 12/10/2018

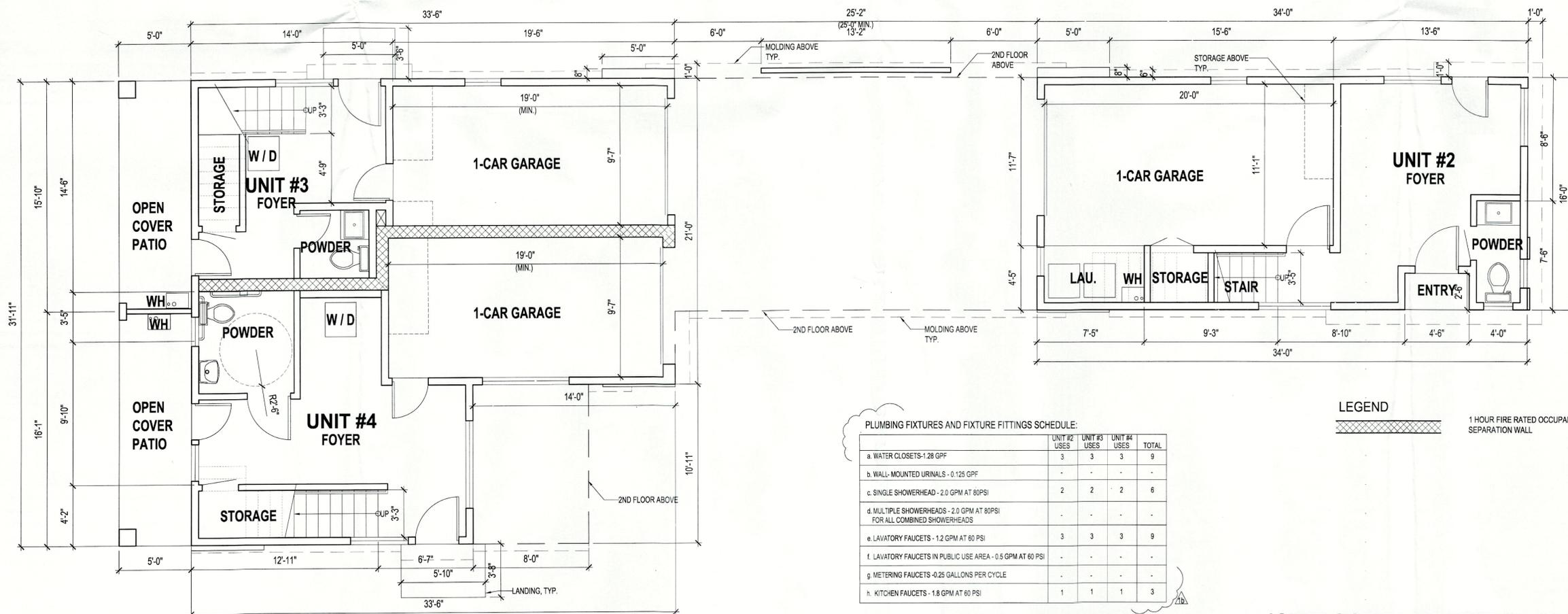
Drawing No.
A2.01



② 2ND FLOOR PLAN (UNIT #2, #3, #4)
SCALE: 1/4"=1'-0"



LEGEND
 1 HOUR FIRE RATED OCCUPANT SEPARATION WALL



① 1ST FLOOR PLAN (UNIT #2, #3, #4)
SCALE: 1/4"=1'-0"



PLUMBING FIXTURES AND FIXTURE FITTINGS SCHEDULE:

	UNIT #2 USES	UNIT #3 USES	UNIT #4 USES	TOTAL
a. WATER CLOSETS-1.28 GPF	3	3	3	9
b. WALL-MOUNTED URINALS - 0.125 GPF	-	-	-	-
c. SINGLE SHOWERHEADS - 2.0 GPM AT 80PSI	2	2	2	6
d. MULTIPLE SHOWERHEADS - 2.0 GPM AT 80PSI FOR ALL COMBINED SHOWERHEADS	-	-	-	-
e. LAVATORY FAUCETS - 1.2 GPM AT 60 PSI	3	3	3	9
f. LAVATORY FAUCETS IN PUBLIC USE AREA - 0.5 GPM AT 60 PSI	-	-	-	-
g. METERING FAUCETS - 0.25 GALLONS PER CYCLE	-	-	-	-
h. KITCHEN FAUCETS - 1.8 GPM AT 60 PSI	1	1	1	3

LEGEND
 1 HOUR FIRE RATED OCCUPANT SEPARATION WALL

Project Name:
NEW 4 UNITS APARTMENTS

Project Address:
7514 SHADY GLEN CIR.,
HUNTINGTON BEACH,
CA 92647

Owner:
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7514 SHADY GLEN CIR.,
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CA 92647

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Revisions

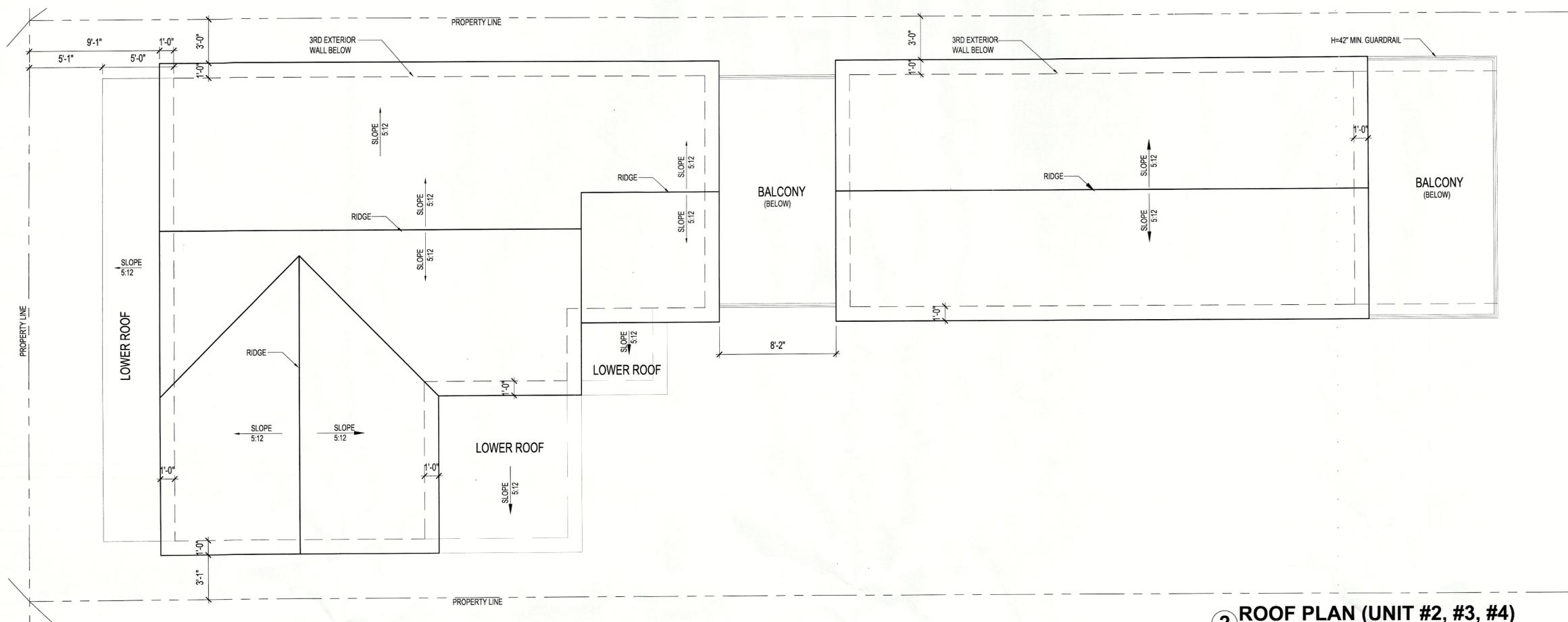
Date	No.	Description
LETTER DATED 10/19/2018	1	BUILDING PA NO. 18-0284 CUP NO. 18-028

Drawing Title
UNIT #2, #3, #4
1ST FLOOR PLAN
2ND FLOOR PLAN

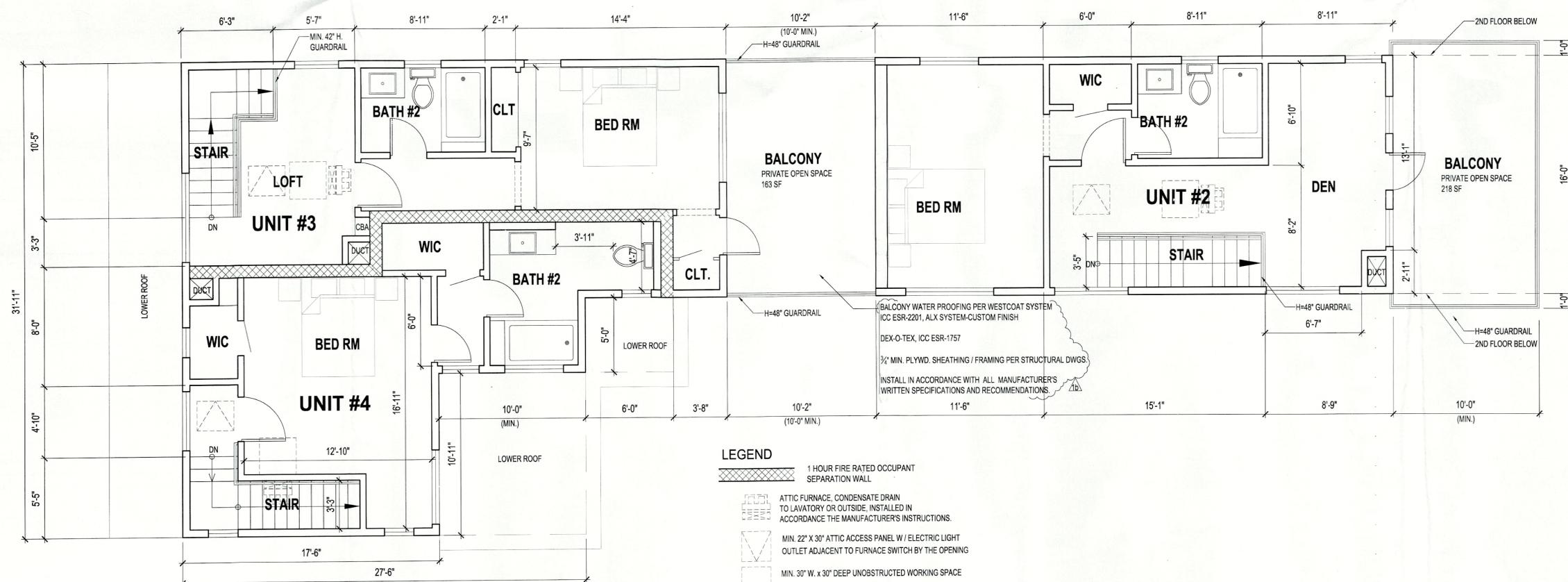
PLUMBING FIXTURES /
FIXTURE FITTINGS
SCHEDULE

Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A2.02



2 ROOF PLAN (UNIT #2, #3, #4)
SCALE: 1/4"=1'-0"



- LEGEND**
- 1 HOUR FIRE RATED OCCUPANT SEPARATION WALL
 - ATTIC FURNACE, CONDENSATE DRAIN TO LAVATORY OR OUTSIDE, INSTALLED IN ACCORDANCE THE MANUFACTURER'S INSTRUCTIONS.
 - MIN. 22" X 30" ATTIC ACCESS PANEL W / ELECTRIC LIGHT OUTLET ADJACENT TO FURNACE SWITCH BY THE OPENING
 - MIN. 30" W. x 30" DEEP UNOBSTRUCTED WORKING SPACE

1 3RD FLOOR PLAN (UNIT #2, #3, #4)
SCALE: 1/4"=1'-0"

Project Name:
NEW 4 UNITS APARTMENTS

Project Address:
7851 HOLT DR.,
HUNTINGTON BEACH,
CA 92647

Owner:
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Revisions

Date	No.	Description
LETTER DATED 10/19/2018	1	BUILDING PA NO. 18-0264 CUP NO. 18-038

Drawing Title

UNIT #2, #3, #4
3RD FLOOR PLAN

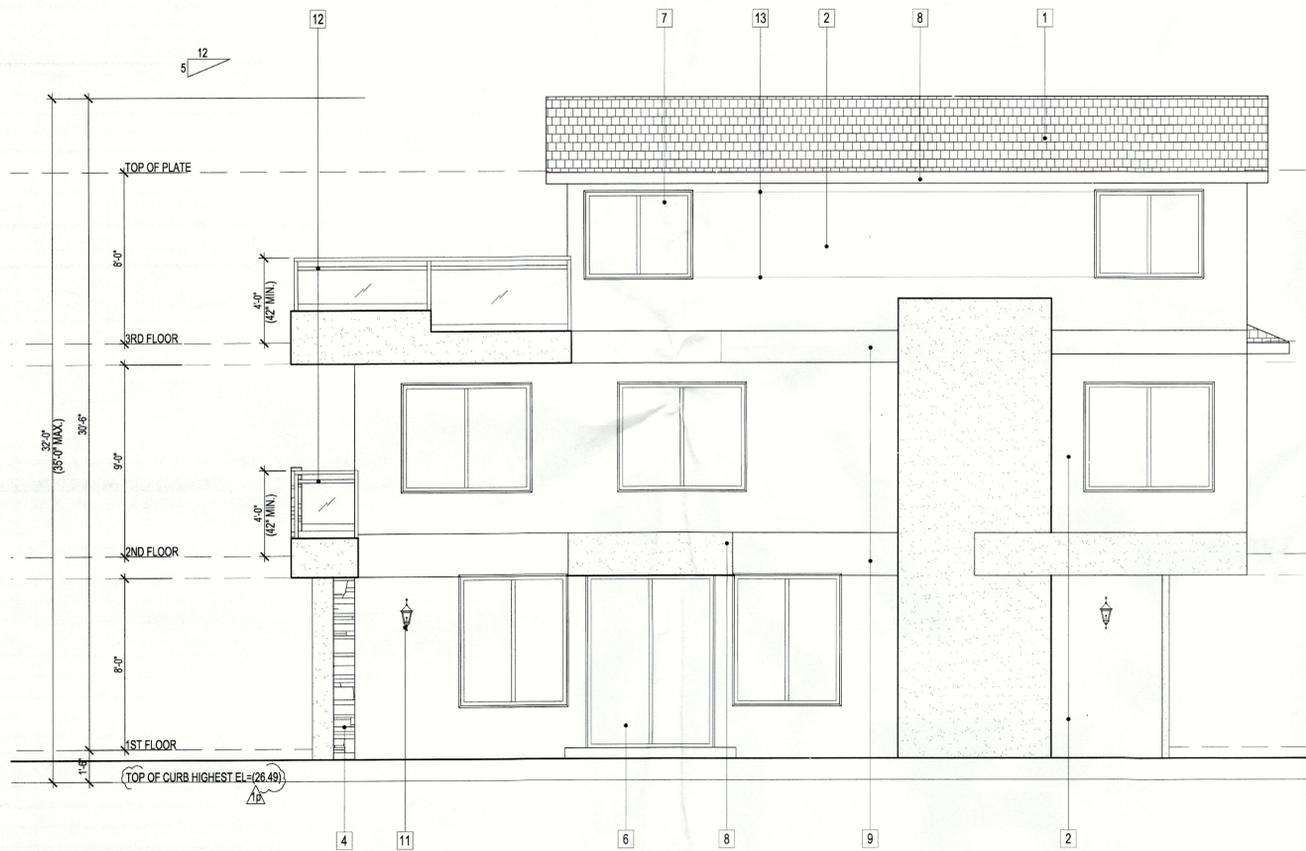
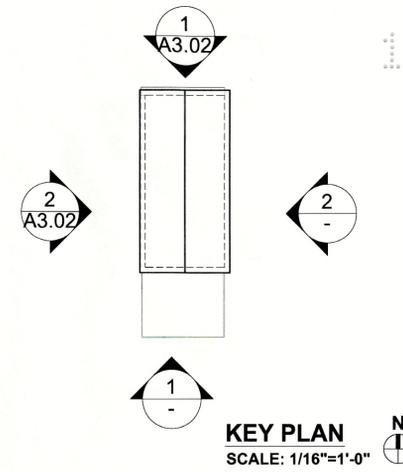
Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No. A2.03

LEGEND

1	EAGLE ROOFING TILE, PRODUCT NO.: BEL AIR, NAME: 4679 LIGHT GRAY RANGE, CLASS A, ICC ESR- 1900. OR EQUAL PER OWNER COMPLY WITH ICC APPROVAL, CLASS A
2	EXTERIOR CEMENT PLASTER SMOOTH STUCCO, COLOR MATCH DUNN EDWARDS DEW 341, NAME: SWISS COFFEE
3	(NOT USED)
4	STONE VENEER, ELDORADO - WHISPER WHITE RIDGETOP 18"
5	FRONT ENTRY DOOR, FINISH COLOR MATCH DUNN EDWARDS DEC702, NAME: ANTIQUE ROSE OR PER OWNER
6	JELD-WEN VINYL PATIO DOOR W / CLEAR TEMPERED DBL. GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
7	JELD-WEN VINYL WINDOW W / DBL. CLEAR GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
8	TRIM / MOLDING, FINISH COLOR MATCH BEHR PPU7-24, NAME: NATIVE SOIL OR PER OWNER
9	TRIM / MOLDING, FINISH COLOR MATCH LEGEND #2
10	GARAGE DOOR, ROLL-UP W / REMOTE CONTROL, COLOR MATCH WINDOW
11	OUTDOOR WALL LIGHTING FIXTURE COLOR HUES: DARK OR PER OWNER
12	GUARDRAIL STEEL W / 3/4" MIN. THK. STRUCTURAL CLEAR TEMPERED GLASS
13	1/4" REVEAL LINE, COLOR MATCH EXTERIOR WALL

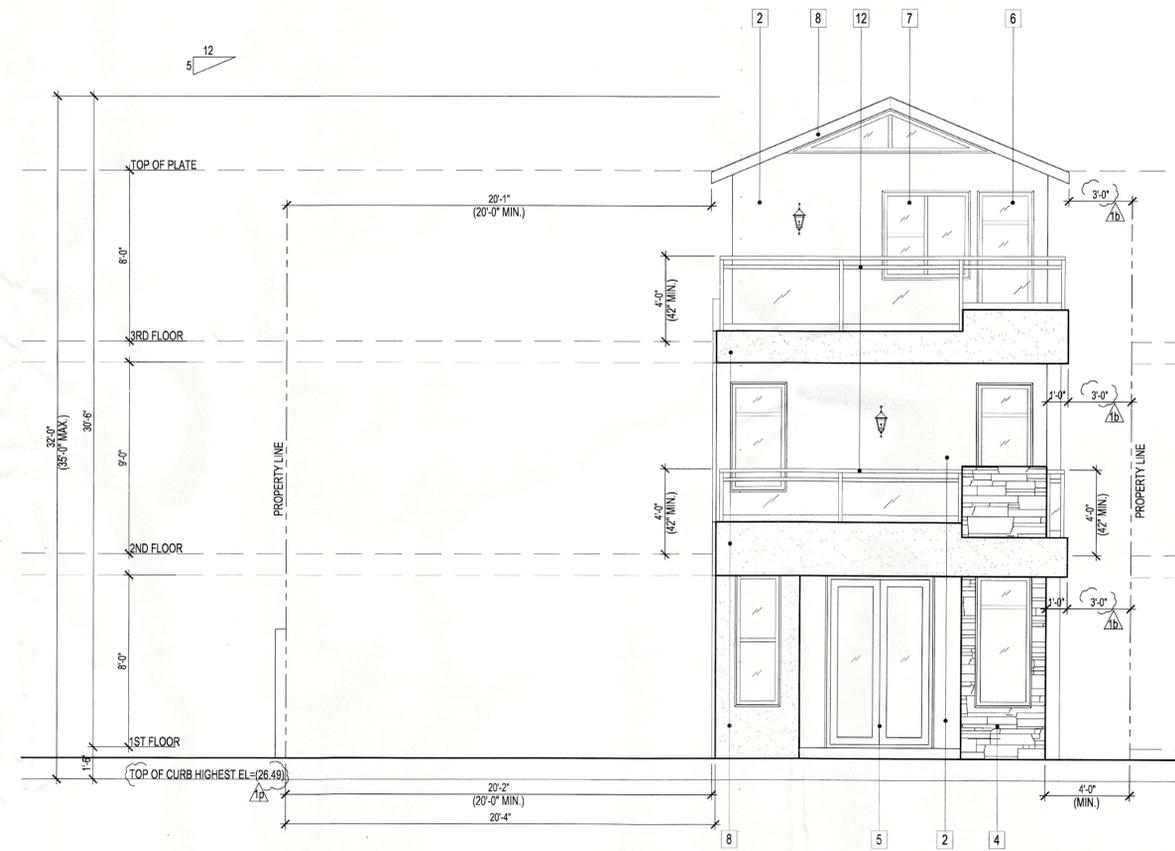
NOTE: ALL EXTERIOR DOORS & WINDOWS SHOULD BE RECESSED MIN. 1".



EXTERIOR WALL AREA OPENING CALCULATION:
REQ. (CBC TABLE 705.8):
R-3, FIRE SEPARATION DISTANCE 3' TO LESS THAN 5', WITH SPRINKLERED, ALLOWABLE OPENING AREA=25%.

PROVIDED:
EXTERIOR WALL FIRE SEPARATION DISTANCE=4'-0" FROM EAST PROPERTY LINE, EXTERIOR WALL AREA: 1036.6 SF
OPENING AREA:
1ST FLOOR WINDOW: 5' X 8' X 2 = 60 SF
DOOR: 6' X 8' X 1 = 48 SF
2ND FLOOR WINDOW: 6' X 5' X 3 = 90 SF
3RD FLOOR WINDOW: 5' X 4' X 2 = 40 SF
TOTAL 238 SF
238 SF / 1036.6 SF = 22.96% < 25%, THEREFORE, OKAY

2 UNIT #1 EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



EXTERIOR WALL AREA OPENING CALCULATION:
REQ. (CBC TABLE 705.8):
R-3, FIRE SEPARATION DISTANCE 10' TO LESS THAN 15', WITH SPRINKLERED, ALLOWABLE OPENING AREA=45%.

PROVIDED:
EXTERIOR WALL FIRE SEPARATION DISTANCE=4'-0" FROM SOUTH PROPERTY LINE, EXTERIOR WALL AREA: 446 SF
OPENING AREA:
1ST FLOOR WINDOW: 2.5' X 6' X 1 = 15 SF
WINDOW: 2' X 6' X 1 = 12 SF
DOOR: 5' X 8' X 1 = 40 SF
2ND FLOOR WINDOW: 2.5' X 5' X 1 = 12.5 SF
DOOR: 2.5' X 8' X 1 = 12.5 SF
3RD FLOOR WINDOW: 4' X 4' X 1 = 16 SF
DOOR: 2.5' X 7' X 1 = 17.5 SF
TOTAL 133 SF
133 SF / 446 SF = 29.82% < 45%, THEREFORE, OKAY

1 UNIT #1 SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

Project Name:
NEW 4 UNITS APARTMENTS

Project Address:
7851 HOLT DR.,
HUNTINGTON BEACH,
CA 92647

Owner:
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7514 SHADY GLEN CIR.,
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Revisions

Date	No.	Description
LETTER DATED 10/15/2018	A	PLANNING PA. NO. 18-0264 CUP NO. 18-038
LETTER DATED 10/19/2018	B	BUILDING PA. NO. 18-0264 CUP NO. 18-038

Drawing Title

UNIT #1
BLDG. SOUTH & EAST
EXTERIOR ELEVATIONS

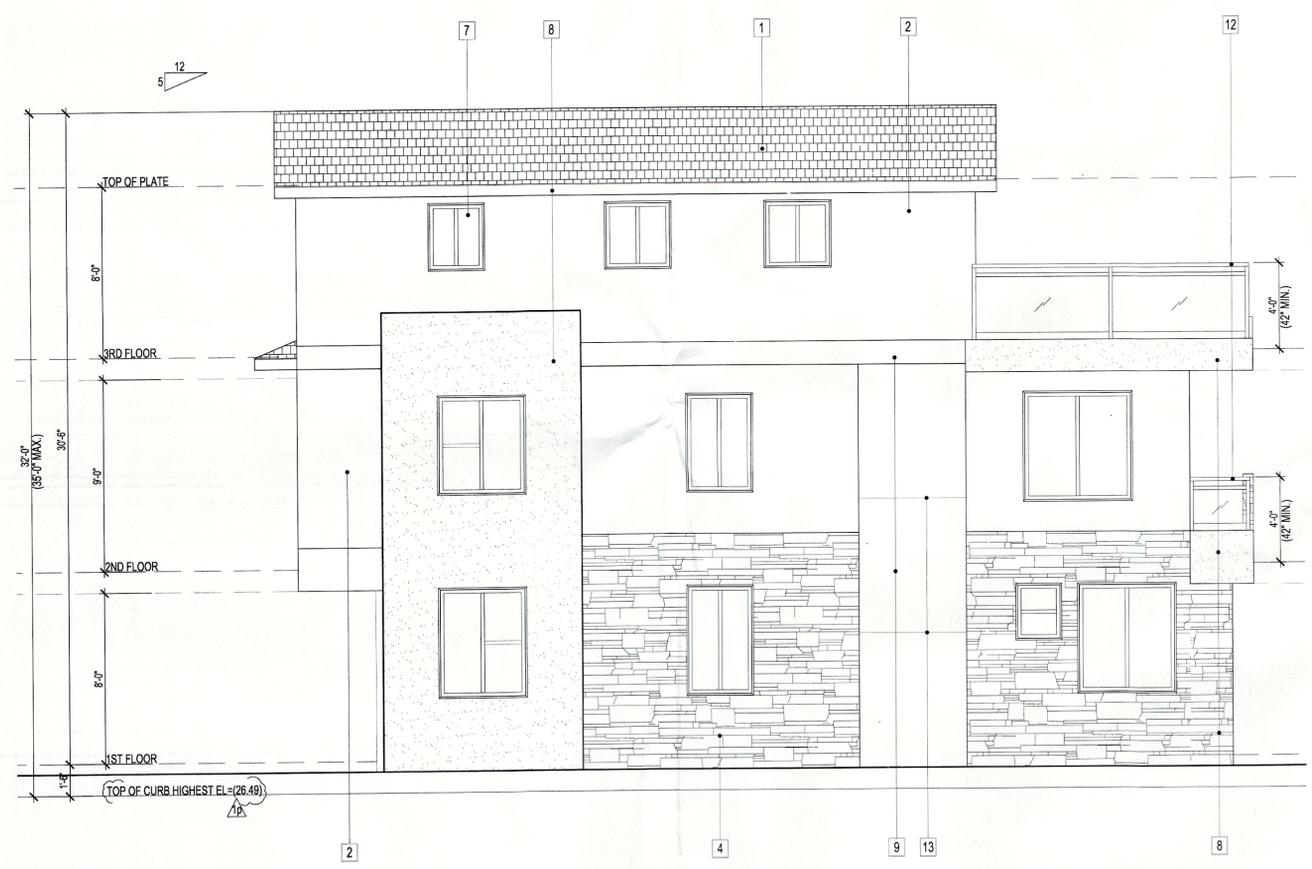
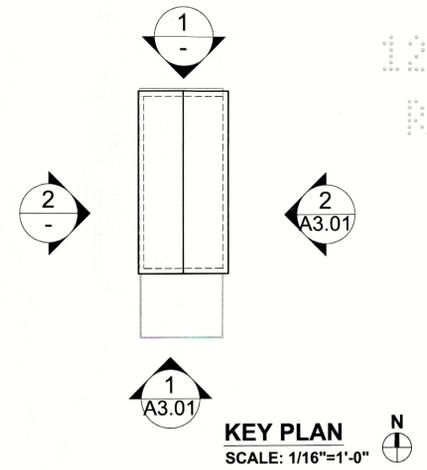
Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A3.01

LEGEND

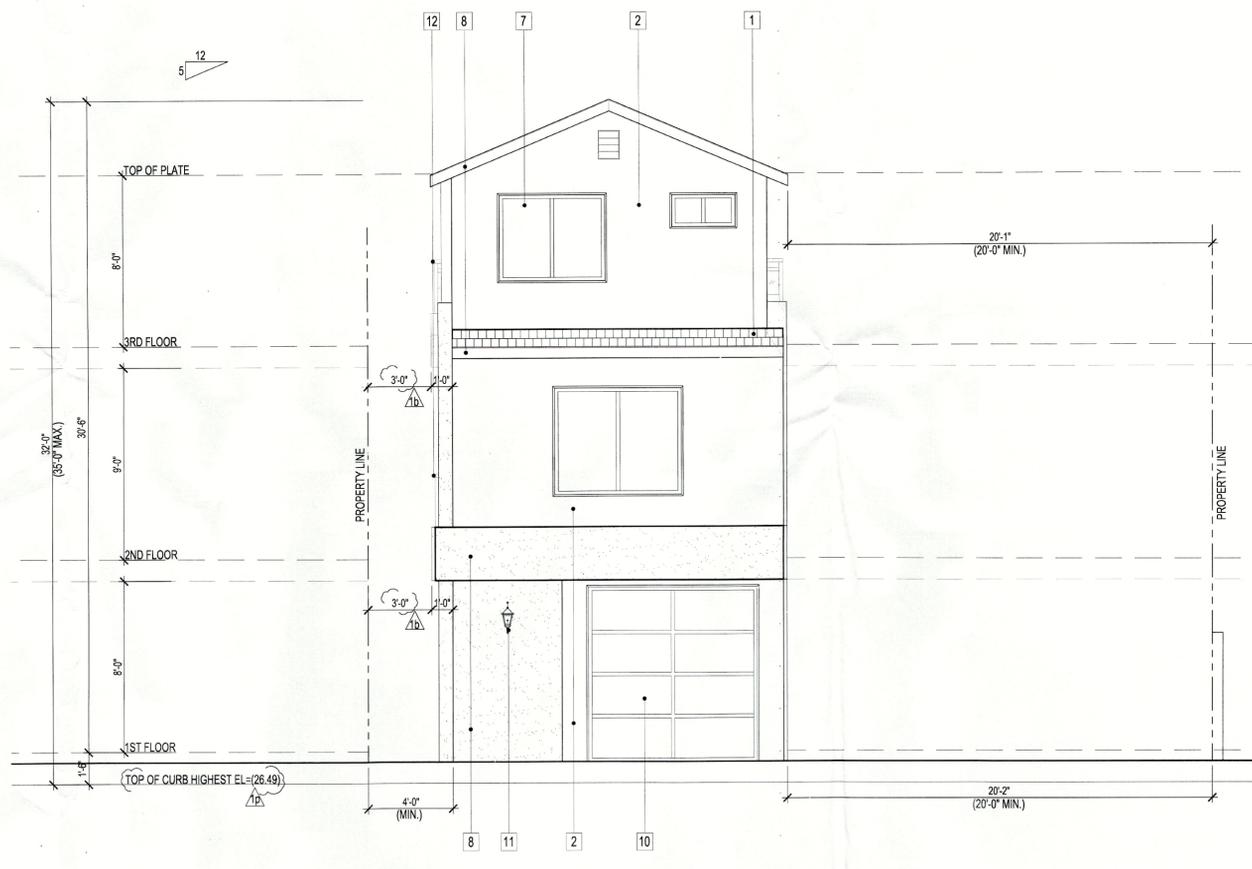
1	EAGLE ROOFING TILE, PRODUCT NO.: BEL AIR, NAME: 4679 LIGHT GRAY RANGE, CLASS A, ICC ESR- 1900. OR EQUAL PER OWNER COMPLY WITH ICC APPROVAL, CLASS A
2	EXTERIOR CEMENT PLASTER SMOOTH STUCCO, COLOR MATCH DUNN EDWARDS DEW 341, NAME: SWISS COFFEE
3	(NOT USED)
4	STONE VENEER, EL Dorado - WHISPER WHITE RIDGETOP 18"
5	FRONT ENTRY DOOR, FINISH COLOR MATCH DUNN EDWARDS DECT02, NAME: ANTIQUE ROSE OR PER OWNER.
6	JELD-WEN VINYL PATIO DOOR W / CLEAR TEMPERED DBL. GLASS. EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
7	JELD-WEN VINYL WINDOW W / DBL. CLEAR GLASS. EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
8	TRIM / MOLDING, FINISH COLOR MATCH BEHR PPU7-24, NAME: NATIVE SOIL OR PER OWNER.
9	TRIM / MOLDING, FINISH COLOR MATCH LEGEND #2
10	GARAGE DOOR, ROLL-UP W / REMOTE CONTROL, COLOR MATCH WINDOW
11	OUTDOOR WALL LIGHTING FIXTURE COLOR HUES: DARK OR PER OWNER.
12	GUARDRAIL STEEL W / 3/4" MIN. THK. STRUCTURAL CLEAR TEMPERED GLASS.
13	1/4" REVEAL LINE, COLOR MATCH EXTERIOR WALL

NOTE: ALL EXTERIOR DOORS & WINDOWS SHOULD BE RECESSED MIN. 1".



EXTERIOR WALL AREA OPENING CALCULATION:
 REQ. (CBC TABLE 705.8):
 R-3, FIRE SEPARATION DISTANCE 20' TO LESS THAN 25', WITH SPRINKLERED, ALLOWABLE OPENING AREA= NO LIMIT.
 PROVIDED:
 EXTERIOR WALL FIRE SEPARATION DISTANCE= 20'-4" FROM WEST PROPERTY LINE, OKAY.

2 UNIT #1 WEST EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



EXTERIOR WALL AREA OPENING CALCULATION:
 REQ. (CBC TABLE 705.8):
 R-2, FIRE SEPARATION DISTANCE 30' OR GREATER, ALLOWABLE OPENING AREA= NO LIMIT.
 PROVIDED:
 EXTERIOR WALL FIRE SEPARATION DISTANCE > 30'-0", OKAY.

1 UNIT #1 NORTH EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

Project Name:
 NEW 4 UNITS APARTMENTS

Project Address:
 7514 SHADY GLEN CIR.,
 HUNTINGTON BEACH,
 CA 92647

Owner:
 NA REN
 7514 SHADY GLEN CIR.,
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Revisions

Date	No.	Description
LETTER DATED 10-15-2018	1	PLANNING PA NO. 18-0294 CUP NO. 18-038
LETTER DATED 10-19-2018	2	BUILDING PA NO. 18-0294 CUP NO. 18-038

Drawing Title
 UNIT #1
 BLDG. NORTH & WEST
 EXTERIOR ELEVATIONS

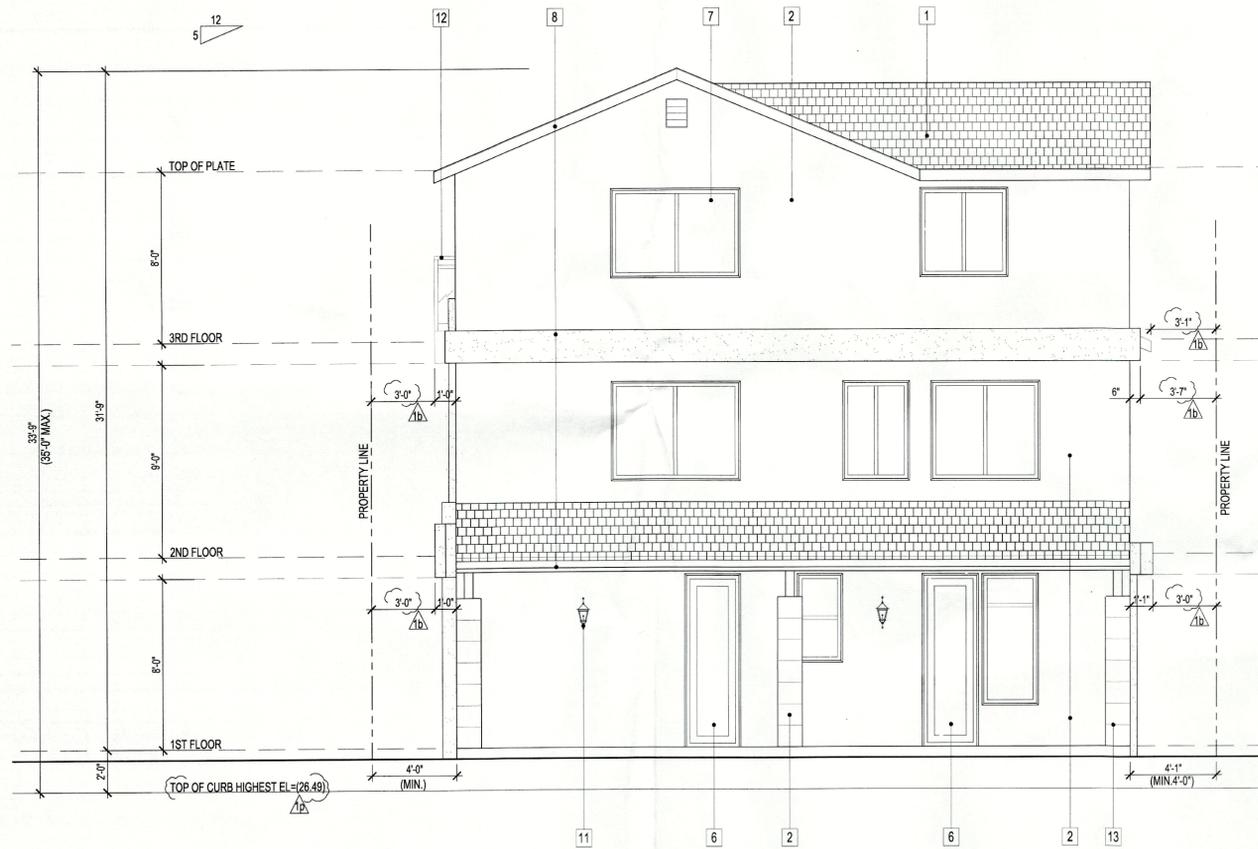
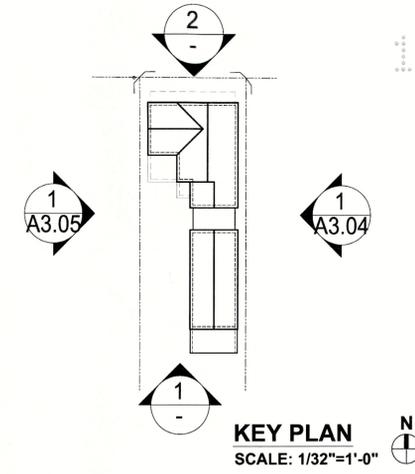
Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A3.02

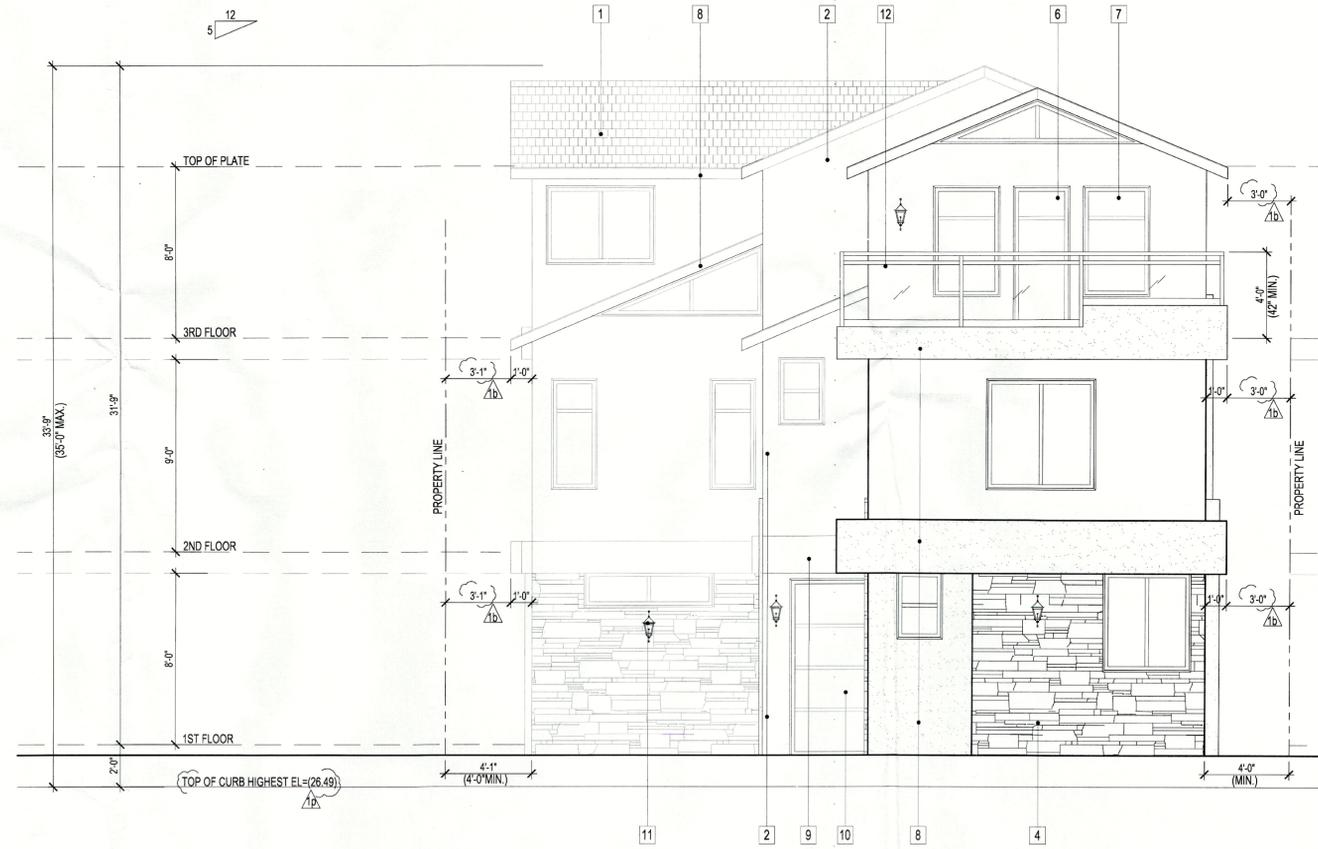
LEGEND

1	EAGLE ROOFING TILE, PRODUCT NO.: BEL AIR, NAME: 4679 LIGHT GRAY RANGE, CLASS A, ICC ESR- 1900. OR EQUAL PER OWNER COMPLY WITH ICC APPROVAL, CLASS A
2	EXTERIOR CEMENT PLASTER SMOOTH STUCCO, COLOR MATCH DUNN EDWARDS DEW 341, NAME: SWISS COFFEE
3	(NOT USED)
4	STONE VENEER, ELDORADO - WHISPER WHITE RIDGETOP 18"
5	FRONT ENTRY DOOR, FINISH COLOR MATCH DUNN EDWARDS DEC702, NAME: ANTIQUE ROSE OR PER OWNER.
6	JELD-WEN VINYL PATIO DOOR W / CLEAR TEMPERED DBL. GLASS. EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
7	JELD-WEN VINYL WINDOW W / DBL. CLEAR GLASS. EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
8	TRIM / MOLDING, FINISH COLOR MATCH BEHR PP7-24, NAME: NATIVE SOIL OR PER OWNER.
9	TRIM / MOLDING, FINISH COLOR MATCH LEGEND #2
10	GARAGE DOOR, ROLL-UP W / REMOTE CONTROL, COLOR MATCH WINDOW
11	OUTDOOR WALL LIGHTING FIXTURE COLOR HUES: DARK OR PER OWNER.
12	GUARDRAIL STEEL W / 3/4" MIN. THK. STRUCTURAL CLEAR TEMPERED GLASS.
13	1/4" REVEAL LINE, COLOR MATCH EXTERIOR WALL

NOTE: ALL EXTERIOR DOORS & WINDOWS SHOULD BE RECESSED MIN. 1".



EXTERIOR WALL AREA OPENING CALCULATION:
 REQ. (CBC TABLE 705.8):
 R-2, FIRE SEPARATION DISTANCE 10' TO LESS THAN 15', WITH SPRINKLERED, ALLOWABLE OPENING AREA=45%.
 PROVIDED:
 EXTERIOR WALL FIRE SEPARATION DISTANCE= 10'-1" FROM NORTH PROPERTY LINE, EXTERIOR WALL AREA: 930.25 SF
 OPENING AREA:
 1ST FLOOR WINDOW: 2.5' X 6' X 1 = 15 SF
 WINDOW: 2' X 4' X 1 = 8 SF
 DOOR: 2.5' X 8' X 2 = 40 SF
 2ND FLOOR WINDOW: 6' X 4.5' X 1 = 27 SF
 WINDOW: 3' X 4.5' X 1 = 11.25 SF
 WINDOW: 5' X 4.5' X 1 = 22.5 SF
 3RD FLOOR WINDOW: 6' X 4' X 1 = 24 SF
 WINDOW: 4' X 4' X 1 = 16 SF
 TOTAL 166 SF.
 166 SF / 930.25 SF = 17.84% < 45%, THEREFORE, OKAY



EXTERIOR WALL AREA OPENING CALCULATION:
 REQ. (CBC TABLE 705.8):
 R-2, FIRE SEPARATION DISTANCE 30' OR GREATER, ALLOWABLE OPENING AREA= NO LIMIT.
 PROVIDED:
 EXTERIOR WALL FIRE SEPARATION DISTANCE > 30'-0", OKAY.

2 UNITS #2, 3, 4 NORTH EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

1 UNITS #2, 3, 4 SOUTH EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

Project Name:
 NEW 4 UNITS APARTMENTS

Project Address:
 7851 HOLT DR.,
 HUNTINGTON BEACH,
 CA 92647

Owner:
 NA REN
 7514 SHADY GLEN CIR.,
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 TEL: 714-330-4821
 E MAIL: renadesigner@yahoo.com

Revisions

Date	No.	Description
10/15/2018	1	PLANNING PA NO. 18-0264 CUP NO. 18-038
10/19/2018	2	BUILDING PA NO. 18-0264 CUP NO. 18-038

Drawing Title

UNITS #2,3,4
 BLDG. SOUTH & NORTH
 EXTERIOR ELEVATIONS

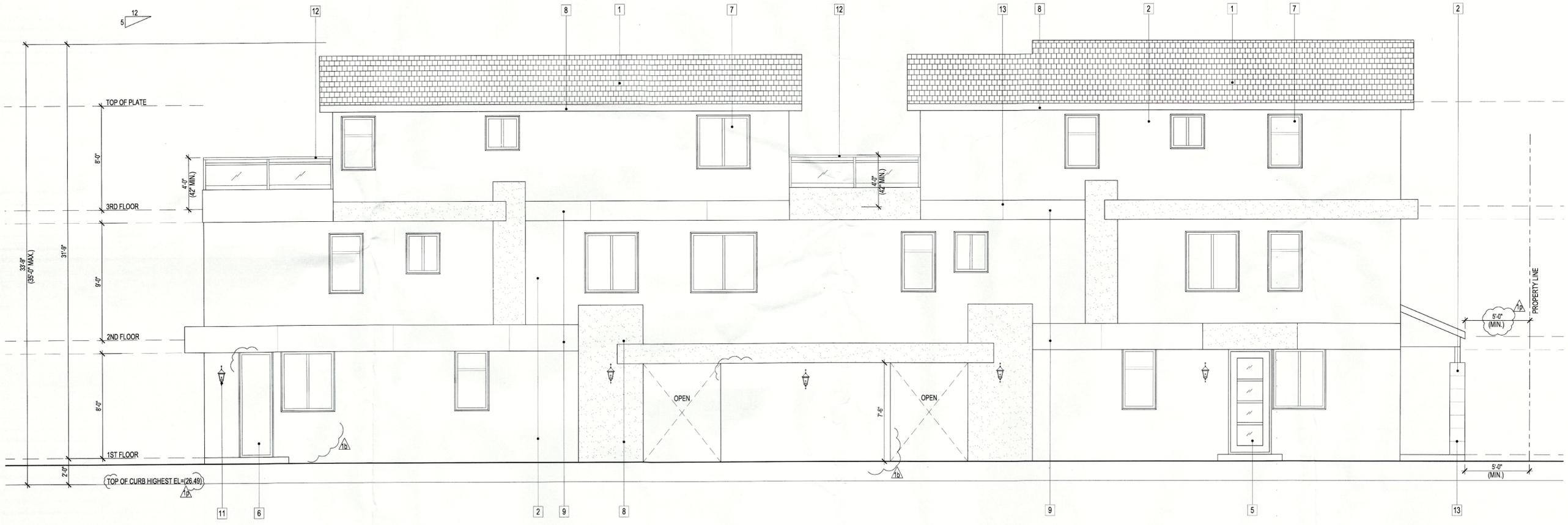
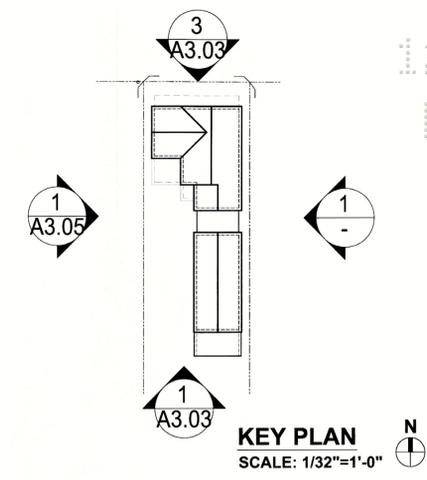
Drawn By: HL
 Job No: 1088
 Scale: AS SHOW
 Date: 12/10/2018

Drawing No.
A3.03

LEGEND

1	EAGLE ROOFING TILE, PRODUCT NO.: BEL AIR, NAME: 4679 LIGHT GRAY RANGE, CLASS A, ICC ESR- 1900. OR EQUAL PER OWNER COMPLY WITH ICC APPROVAL, CLASS A
2	EXTERIOR CEMENT PLASTER SMOOTH STUCCO, COLOR MATCH DUNN EDWARDS DEW 341, NAME: SWISS COFFEE
3	(NOT USED)
4	STONE VENEER, ELDORADO - WHISPER WHITE RIDGETOP 18"
5	FRONT ENTRY DOOR, FINISH COLOR MATCH DUNN EDWARDS DEC702, NAME: ANTIQUE ROSE OR PER OWNER
6	JELD-WEN VINYL PATIO DOOR W / CLEAR TEMPERED DBL. GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
7	JELD-WEN VINYL WINDOW W / DBL. CLEAR GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
8	TRIM / MOLDING, FINISH COLOR MATCH BEHR PPU7-24, NAME: NATIVE SOIL OR PER OWNER
9	TRIM / MOLDING, FINISH COLOR MATCH LEGEND #2
10	GARAGE DOOR, ROLL-UP W / REMOTE CONTROL, COLOR MATCH WINDOW
11	OUTDOOR WALL LIGHTING FIXTURE COLOR HUES: DARK OR PER OWNER
12	GUARDRAIL STEEL W / 3/4" MIN. THK STRUCTURAL CLEAR TEMPERED GLASS.
13	1/4" REVEAL LINE, COLOR MATCH EXTERIOR WALL

NOTE: ALL EXTERIOR DOORS & WINDOWS SHOULD BE RECESSED MIN. 1".



EXTERIOR WALL AREA OPENING CALCULATION:
 REQ. (CBC TABLE 705.3):
 R-2, FIRE SEPARATION DISTANCE 3' TO LESS THAN 5', WITH SPRINKLERED, ALLOWABLE OPENING AREA=15%.
 PROVIDED:
 EXTERIOR WALL FIRE SEPARATION DISTANCE= 4'-0" FROM EAST PROPERTY LINE, EXTERIOR WALL AREA: 2382.1 SF
 OPENING AREA:
 1ST FLOOR OPENING: 6' X 7.5' X 2 = 90 SF
 WINDOW: 4' X 4.5' X 2 = 36 SF
 WINDOW: 2.5' X 4' X 2 = 20 SF
 DOOR: 2.5' X 8' X 1 = 20 SF
 DOOR: 3' X 8' X 1 = 24 SF
 2ND FLOOR WINDOW: 2.5' X 4.5' X 3 = 33.75 SF
 WINDOW: 2.5' X 3' X 2 = 15 SF
 WINDOW: 4' X 4.5' X 2 = 36 SF
 WINDOW: 5' X 4.5' X 1 = 22.5 SF
 3RD FLOOR WINDOW: 2.5' X 4' X 3 = 30 SF
 WINDOW: 2.5' X 2.5' X 2 = 12.5 SF
 WINDOW: 4' X 4' X 1 = 16 SF
 TOTAL: 355.75 SF
 355.75 SF / 2382.1 SF = 14.93% < 15%, THEREFORE, OKAY

Project Name:
NEW 4 UNITS APARTMENTS

Project Address:
7514 SHADY GLEN CIR.,
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Owner:
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7514 SHADY GLEN CIR.,
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Revisions

Date	No.	Description
LETTER DATED 10/15/2018	1	PLANNING PA NO. 18-0264
LETTER DATED 10/19/2018	2	BUILDING PA NO. 18-0264
LETTER DATED 10/19/2018	3	CUP NO. 18-0264

Drawing Title
UNITS #2,3,4
BLDG. EAST
EXTERIOR ELEVATIONS

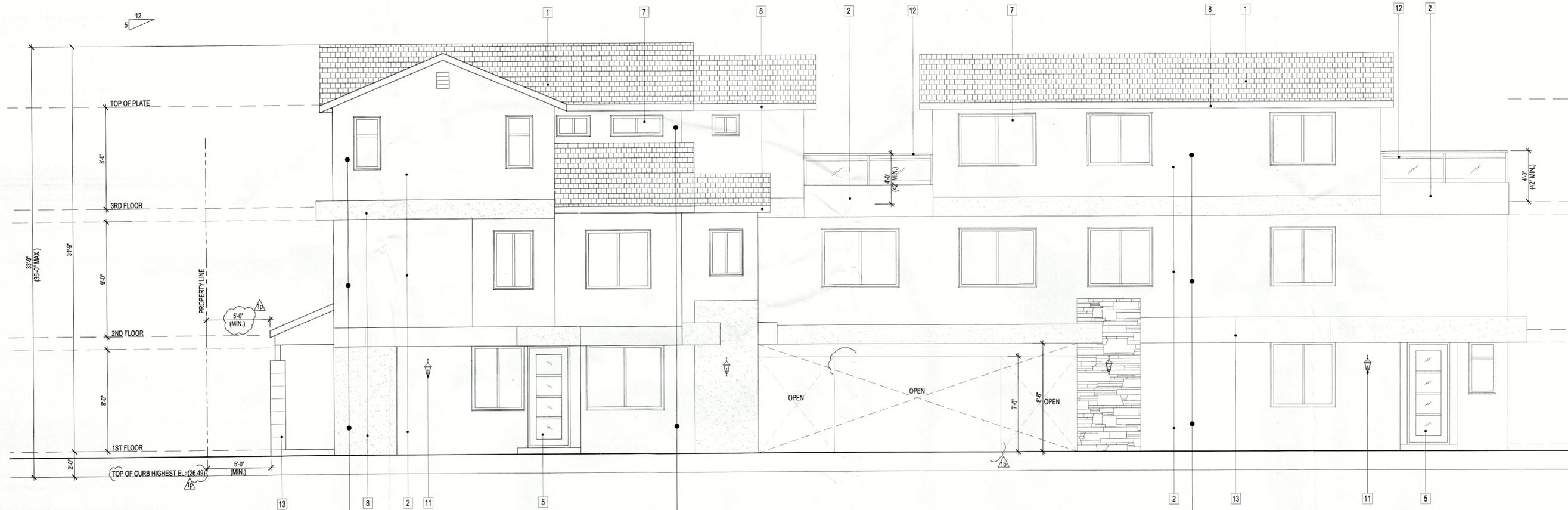
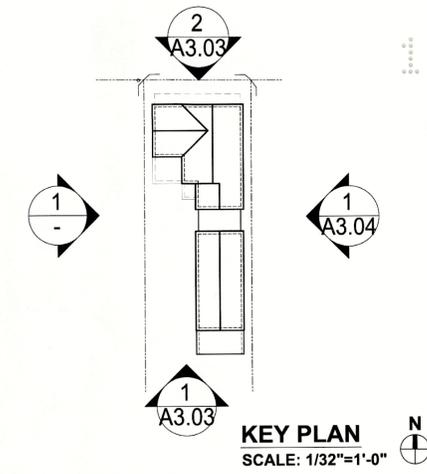
Drawn By: HL
Job No.: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A3.04

LEGEND

1	EAGLE ROOFING TILE, PRODUCT NO.: BEL AIR, NAME: 4679 LIGHT GRAY RANGE, CLASS A, ICC ESR-1900. OR EQUAL PER OWNER COMPLY WITH ICC APPROVAL, CLASS A
2	EXTERIOR CEMENT PLASTER SMOOTH STUCCO, COLOR MATCH DUNN EDWARDS DEW 341, NAME: SWISS COFFEE
3	(NOT USED)
4	STONE VENEER, ELDORADO - WHISPER WHITE RIDGETOP 18"
5	FRONT ENTRY DOOR, FINISH COLOR MATCH DUNN EDWARDS DEC702, NAME: ANTIQUE ROSE OR PER OWNER
6	JELD-WEN VINYL PATIO DOOR W / CLEAR TEMPERED DBL. GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
7	JELD-WEN VINYL WINDOW W / DBL. CLEAR GLASS, EXTERIOR COLOR: CHESTNUT BRONZE OR PER OWNER
8	TRIM / MOLDING, FINISH COLOR MATCH BEHR PPU7-24, NAME: NATIVE SOIL OR PER OWNER
9	TRIM / MOLDING, FINISH COLOR MATCH LEGEND #2
10	GARAGE DOOR, ROLL-UP W / REMOTE CONTROL, COLOR MATCH WINDOW
11	OUTDOOR WALL LIGHTING FIXTURE COLOR HUES: DARK OR PER OWNER
12	GUARDRAIL STEEL W / 3/4" MIN. THK. STRUCTURAL CLEAR TEMPERED GLASS
13	1/4" REVEAL LINE, COLOR MATCH EXTERIOR WALL

NOTE: ALL EXTERIOR DOORS & WINDOWS SHOULD BE RECESSED MIN. 1".



EXTERIOR WALL AREA OPENING CALCULATION:
REQ. (CBC TABLE 705.8):
R-2, FIRE SEPARATION DISTANCE 3' TO LESS THAN 5', WITH SPRINKLERED, ALLOWABLE OPENING AREA=15%.
PROVIDED:
EXTERIOR WALL FIRE SEPARATION DISTANCE= 4'-1" FROM WEST PROPERTY LINE, EXTERIOR WALL AREA: 648.18 SF
OPENING AREA:
1ST FLOOR WINDOW: 4' X 5' X 1 = 20 SF
DOOR: 3' X 8' X 1 = 24 SF
2ND FLOOR WINDOW: 3' X 4.5' X 1 = 13.5 SF
WINDOW: 5' X 4.5' X 1 = 22.5 SF
3RD FLOOR WINDOW: 2' X 4' X 2 = 16 SF
TOTAL: 96 SF
96 SF / 648.18 SF = 14.81% < 15%, THEREFORE, OKAY

EXTERIOR WALL AREA OPENING CALCULATION:
REQ. (CBC TABLE 705.8):
R-2, FIRE SEPARATION DISTANCE 15' TO LESS THAN 20', WITH SPRINKLERED, ALLOWABLE OPENING AREA=75%.
PROVIDED:
EXTERIOR WALL FIRE SEPARATION DISTANCE= 15'-0" FROM WEST PROPERTY LINE, EXTERIOR WALL AREA: 164.5 SF
OPENING AREA:
1ST FLOOR WINDOW: 6' X 5' X 1 = 30 SF
3RD FLOOR WINDOW: 4' X 1.5' X 1 = 6 SF
WINDOW: 2.5' X 1.5' X 1 = 3.75 SF
TOTAL: 39.75 SF
39.75 SF / 164.5 SF = 24.16% < 75%, THEREFORE, OKAY

EXTERIOR WALL AREA OPENING CALCULATION:
REQ. (CBC TABLE 705.8):
R-2, FIRE SEPARATION DISTANCE 20' TO LESS THAN 25', WITH SPRINKLERED, ALLOWABLE OPENING AREA= NO LIMIT.
PROVIDED:
EXTERIOR WALL FIRE SEPARATION DISTANCE= 20'-0" FROM WEST PROPERTY LINE, OKAY.

Project Name:
NEW 4 UNITS APARTMENTS

Owner:
NA REN
7514 SHADY GLEN CIR.,
HUNTINGTON BEACH,
CA 92647

Project Address:
7851 HOLT DR.,
HUNTINGTON BEACH,
CA 92647

E MAIL: renadesigner@yahoo.com

Revisions

Date	No.	Description
LETTER DATED 10/15/2018	1A	PLANNING PA NO. 18-0264
LETTER DATED 10/15/2018	1B	BUILDING PA NO. 18-0264
LETTER DATED 10/15/2018	1C	CP# NO. 18-038

Drawing Title
UNITS #2,3,4
BLDG. WEST
EXTERIOR ELEVATIONS

Drawn By: HL
Job No: 1088
Scale: AS SHOW
Date: 12/10/2018

Drawing No.
A3.05

1 UNITS #2, 3, 4 WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"