

# CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM FORM

**City of Huntington Beach**  
Department of Community Development  
2000 Main Street, Huntington Beach, CA 92648  
Office: (714) 536-3241 Fax: (714) 534-1847

**PROJECT ADDRESS:**  
**PERMIT NUMBER:**  
**DATE:**

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**CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM**

**Construction and Demolition (C & D) Debris Re-use and Recycling Program**

When a project is located in the unincorporated areas of Huntington Beach (B & D Division Section 2.1), it must comply with the City's program. Please refer to the City website for more information.

The Project Waste Diversion Plan (see attached pages) indicates diversion methods such as "X" in appropriate columns along with the name of vendor/facility. Calculate anticipated diversion and landfill percentage of each material type. If you are entering construction debris to a transfer station for sorting, enter the same destination for all materials in the site. List decontaminated items for reuse on-site (landfill / 0%), on the next page, include the appropriate weight in the column for reusable items.

Final Project Waste Diversion Report (attached portion). Enter actual weight in pounds for each category. Calculate weight column total and diversion rate. Keep all receipts for final report.

If applicant is using [www.wasteaudit.com](http://www.wasteaudit.com) or other tracking system, this worksheet (including Waste Diversion Plan & Waste Diversion Report) is NOT REQUIRED. Green Maps offers a free web-based Waste Management Plan tool. Project Tracking System which can be found by visiting [www.wasteaudit.com](http://www.wasteaudit.com)

**WASTE TRACKING TABLE:**

WASTE TRACKING TABLE (SEE ATTACHED REPORT)	WASTE TRACKING TABLE (SEE ATTACHED REPORT)		WASTE TRACKING TABLE (SEE ATTACHED REPORT)		WASTE TRACKING TABLE (SEE ATTACHED REPORT)		WASTE TRACKING TABLE (SEE ATTACHED REPORT)		WASTE TRACKING TABLE (SEE ATTACHED REPORT)	
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**CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM**

**Construction and Demolition (C & D) Debris Re-use and Recycling Program**

This form is to be completed for the following types of projects:

- New construction building and demolition projects that have been built in at least 60% of the construction.
- Renovation, addition and alterations to an existing building or structure that shall divert from landfill at least 60% of the construction and demolition materials.
- Alterations to an existing building or structure that involve the structure's conditioned area, exterior or use and are required to meet the construction and demolition program.

Waste reuse is defined as 40% of the gross volume of building projects, construction debris will be required to be recycled or reused. Reuse of materials is defined as the reuse of materials for the same or similar purpose. Reuse of materials must be available for review at your final building inspection.

**WEIGHT CONVERSION FACTORS**

Use the following conversion factors as well as receipts from previous jobs to help you with your estimated diversion for the Waste Diversion Plan. The Waste Diversion Report is a report of your actual diversion and disposal. The Waste Diversion Report and receipts must be available for review at your final building inspection.

ITEM	USE LOCATION	OFF-SITE BENEFICIARY OR DESTRUCTION COMPANY
Asphalt paving, crushed = 1,380 lbs / cubic yard	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE
Asphalt/ingles comp, loose = 435 lbs / cubic yard	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE
Brick, soft face = 200 lbs / square foot flat	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE
Brick, loose = 120 lbs / cubic foot, 3,200 lbs / cubic yard	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE
Concrete fill, virgin, loose = 1,210 lbs / cubic yard	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE	<input type="checkbox"/> On-SITE <input type="checkbox"/> Off-SITE

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**CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM**

**LOCAL RECYCLING DEALERS / FACILITIES**

The categories of recyclable materials are as follows:

- Construction and Demolition Materials: Brick, concrete, dirt, granite, gravel, pavement/asphalt and sand.
- Green: Reusable, concrete, green, plastics, tires, roofing, and Christmas trees.
- Glass: Beverage containers, crushed glass, and window panes.
- Wood: Sawn, boards, planks, chips, shingles, plywood, cabinet and shavings.

Note: Although a company may designate the acceptance of materials in one or more categories, please call to verify the materials and quantities produced on your project are accepted. You may also visit CalRecycle at <http://www.calrecycle.ca.gov/locations/locator/RecycleSearch> for other local dealers and facilities.

Franchised Waste Hauler	C & D	Metals	Green	Glass	Wood	Recycling Facilities	C & D	Metals	Green	Glass	Wood
Rainbow Disposal 17221 N. Harbor Dr., Huntington Beach, CA 92647 (714) 881-3333	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Huntington Beach Recycling 7622 Starline Ave., Huntington Beach, CA 92647 (714) 841-4885	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Don Corp Recycling Corp. 1328 N. Harbor Dr., Huntington Beach, CA 92647 (714) 772-6600	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Melton Materials 8051 East St., Santa Ana, CA 92703 (714) 664-0333	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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## HUNTINGTON BEACH SECURITY ORDINANCE

- City of Huntington Beach**  
Department of Planning & Building  
HUNTINGTON BEACH SECURITY ORDINANCE  
2000 Main Street, Huntington Beach, CA 92648  
Office: (714) 536-5201 Fax: (714) 534-1647
- Sliding glass doors and windows located less than 16 feet above any surface available for use by the public shall be capable of being locked securely. Movable panels shall not be easily removed from the frame.
  - All main or front entry to dwellings shall be arranged so that the occupant has a view of the area immediately outside without opening door. Such view may be provided by a door view, a view port, window, or other opening.
  - Exterior wooden doors shall be of solid core construction or shall be covered on the inside face with 1/8 gauge sheet metal attached with screws at 6 inch on centers around the perimeter.
  - All swinging doors shall be equipped with a dead bolt with a minimum throw of 1 inch and an embedment of not less than 5/8 inch.
  - The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a dead bolt.
  - Non-removable pins shall be used in pin type hinges which are accessible from the outside when the door is closed.
  - Unframed glass doors shall be fully tempered glass not less than 3/4 inch thick.
  - Narrow-framed glass doors shall be fully tempered glass not less than 3/4 inch thick.
  - Any glass which is located within 40 inches of the locking device on a door shall be fully tempered, or have approved metal bars, screens or grills.
  - Solid wooden battens less than 1/4 inches thick shall be covered on the inside with 1/8 gauge sheet metal attached with screws at 6 inch on centers around the perimeter and shall be secured from the inside with a slide bar, slide bolts, and/or padlock with hardened steel shackle. All other openings larger than 16 square inches with a dimension in excess of 8 inches shall be secured by metal bars, screens, or grills. (Exception: Non-opening skylights).
  - A development which includes 3 or more dwelling units shall be provided with fully-enclosed garages. Garage space for each team shall be separated by partitions of 3/4 inch plywood or equivalent with studs set no more than 24 inches on center.

# CUSTOM RESIDENCE

109 9TH STREET, HUNTINGTON BEACH, CA 92648

## DIRECTORY

**OWNER:**  
LOAN NGUYEN  
111 9TH HB GROUP LLC  
2901 WEST MACARTHUR BLVD  
MOBILE: 714.791.3772  
EMAIL: LOANN@KEYSTONEDCS.COM

**DEVELOPER:**  
KEYSTONE DCS, INC.  
2901 W. MACARTHUR, SUITE 207  
SANTA ANA, CA 92704

**ARCHITECT / DESIGNER IN CHARGE:**  
TIMOTHY NGUYEN  
2901 W. MACARTHUR, SUITE 207  
SANTA ANA, CA 92704  
MOBILE: 714-901-9535  
EMAIL: TIMOTHY@KEYSTONEDCS.COM

**STRUCTURAL ENGINEER:**  
TUNG VO  
PROFESSIONAL BUILDING DESIGNS, INC.  
11222 BIXLER CIR, GARDEN GROVE, CA 92840  
BUS: 714-928-2006  
FAX: 714-901-9535  
EMAIL: TUNGCIVIL@YAHOO.COM

**GEOTECHNICAL ENGINEER:**  
G3 SOILWORKS  
350 FISCHER AVE - FRONT COSTA MESA, CA 92626  
DANIEL MORIKAWA  
PHONE: 714-668-5600  
EMAIL: DMORIKAWA@G3SOILWORKS.COM

**CIVIL ENGINEER:**  
THANH NGUYEN  
ND ENGINEERING, INC.  
14572 HARPER ST, MIDWAY CITY, CA 92655  
PHONE: 909-534-7760  
EMAIL: TYKE7074@YAHOO.COM

## SCOPE OF WORK

DEMOLISH EXISTING BUILDING.

CONSTRUCT A NEW 3-STORY SINGLE FAMILY RESIDENCE CONSISTING OF 2,570 SF OF LIVING SPACE IN TOTAL, AND AN ATTACHED 2-CAR PARKING GARAGE.

## DEFERRED SUBMITTALS

- SPRINKLERS OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
- SOUND ATTENUATION FOR MECHANICAL EQUIPMENT
- SOLAR PANELS - MINIMUM 2.57 KW SYSTEM
- METHANE BARRIER

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.

**NEW PHOTOVOLTAIC SYSTEM TO BE INSTALLED ON NEW ADU PER REQUIREMENTS OF 2019 CALIFORNIA ENERGY CODE 150.1. SOLAR PERMIT AND SOLAR PLANS MUST BE PRESENTED TO BUILDING INSPECTOR PRIOR TO ROUGH FRAMING INSPECTIONS.**

## CODE COMPLIANCE

- LEGAL JURISDICTION:** CITY OF HUNTINGTON BEACH, CA 92648
- APPLICABLE CODES:**
- 2019 CALIFORNIA RESIDENTIAL CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA ENERGY CODE
  - 2019 CALIFORNIA FIRE CODE
  - 2019 CALIFORNIA GREEN BUILDING STANDARD CODE
- REGULATIONS OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE HUNTINGTON BEACH MUNICIPAL CODE

## SHEET INDEX

TS	TITLE SHEET
A-0	SITE PLAN
A-1.1	1ST & 2ND FLOOR PLAN
A-1.2	3RD FLOOR PLAN - ROOF PLAN
A-2	FRONT & LEFT ELEVATION
A-3	REAR & RIGHT ELEVATION

## PROJECT DATA

APN:	024-122-06
LOT AREA:	2,587 SF
ZONING:	SP5-CZ
LAND USE:	RESIDENTIAL
OCCUPANCY:	R-3, U
TYPE OF CONSTRUCTION	V-B
SPRINKLERED:	YES - PER NFPA 13D
<b>SETBACKS:</b>	
FRONT	15'
SIDE	3'
REAR	7.5'

## AREA SUMMARY

LOT SIZE:	22.5' x 115'
LOT AREA:	2,587 SF
BUILDABLE SIZE:	14.5' x 92.5'
BUILDABLE AREA:	1,341 SF
FLOOR AREA LIMIT:	2,587 x 1.0 = 2,587 SF (FAR = 1.0)

**PROPOSED FLOOR AREA:**

FIRST FLOOR	433 SF
*GARAGE	804 SF
*LIVING AREA	
SECOND FLOOR	983 SF
THIRD FLOOR	783 SF
<b>TOTAL GROSS LIVING AREA</b>	<b>804+983+783 = 2,570 SF &lt;= 2,587 SF - OK</b>

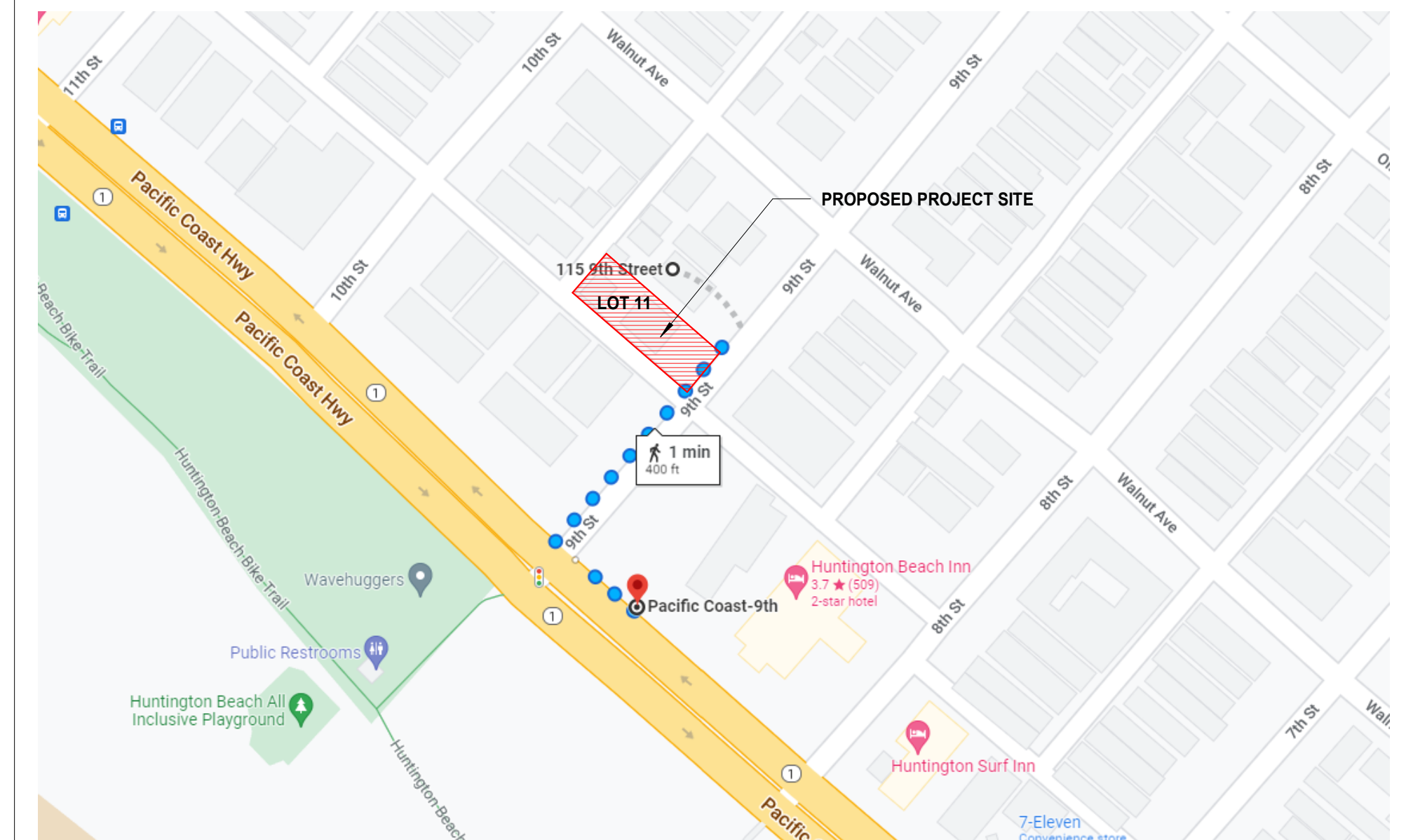
**OPEN VOLUME AREA**

FIRST FLOOR OVA	46 SF
SECOND FLOOR	45 + 72 = 117 SF
THIRD FLOOR	150 SF
ROOF FLOOR	690 SF
<b>TOTAL OPEN VOLUME AREA</b>	<b>1,003 SF</b>

**LOT COVERAGE**

PERMEABLE AREA (LANDSCAPE)	151 SF
IMPERMEABLE	1,199 SF
STRUCTURE	1,237 SF (48%)
<b>TOTAL</b>	<b>2,587 SF</b>

## VICINITY MAP



## NOTES:

- THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER AUGUST 21, 2019 AS REQUIRED BY NBMC SECTION 15.02.095.
- THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA BASED ON THE CURRENT MARCH 21, 2019 FEDERAL INSURANCE RATE MAP.
- POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
- FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).



REV.	DESCRIPTION	DATE



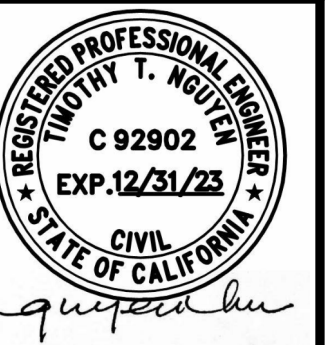
**CUSTOM RESIDENCE - LOT 11**  
 109 9TH STREET, HUNTINGTON BEACH, CA 92648

SHEET TITLE

SCALE	AS NOTED
DRAWN BY	
CHECKED BY	
PLAN DATE	06-27-2023
PRINT DATE	06-27-2023
PROJECT No.	-
SHEET No.	

**TS**

REV.	DESCRIPTION	DATE



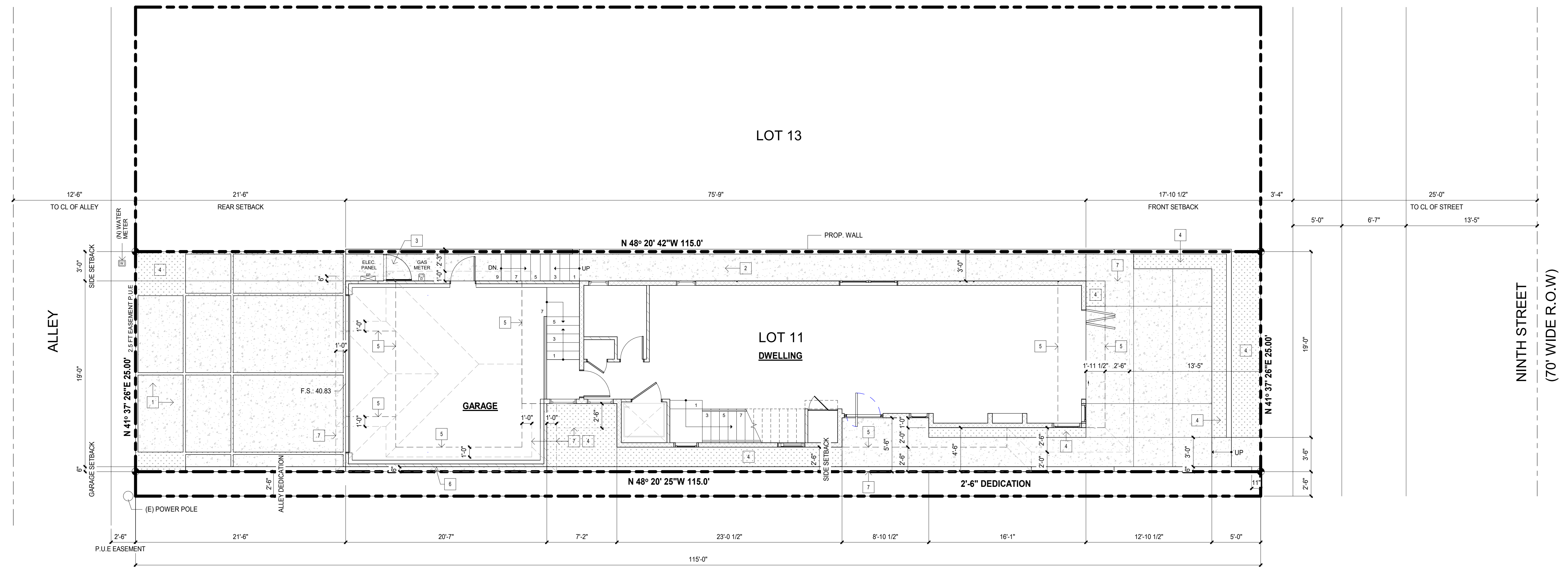
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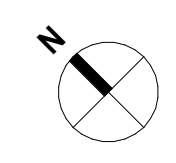
**SITE PLAN**

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PLAN DATE	06-27-2023
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-	-

SHEET No.  
**A-0**



**PROPOSED SITE PLAN** 3/16" = 1'-0" **1**

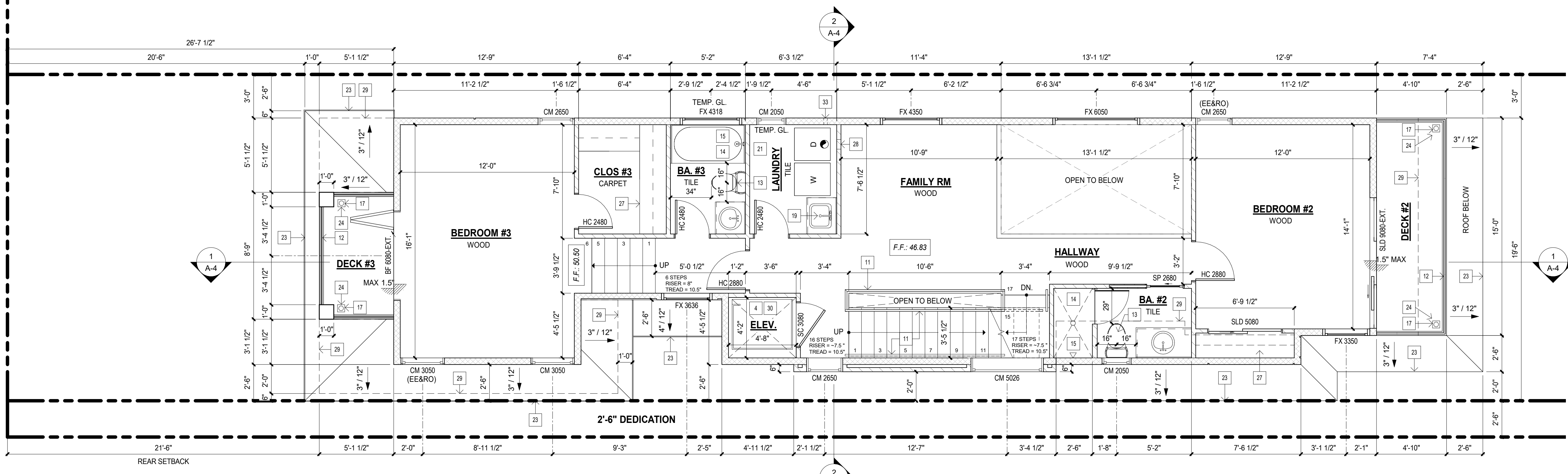


**SETBACK NOTES:**

1. SETBACKS SHALL BE MEASURED TO FACE OF FINISH.
2. IN FRONT YARD SETBACK ALL WALLS ARE MAX 3.5' FROM EXISTING GRADE.

**CONSTRUCTION NOTES**

1. CONSTRUCT 6" MIN. CONCRETE DRIVEWAY PER NBMC STD 164-L NBMC REQUIREMENTS.
2. CONSTRUCT MIN. 4" THICK CONCRETE SWALE, SLOPE PER PLAN, 1% MIN.
3. WOODEN GATE. 6'-0" HIGH MAX.
4. PLANTING AREA.
5. LINE OF 2ND FLOOR ABOVE.
6. SHOWER, COLD WATER ONLY.
7. LINE OF ROOF ABOVE.



**PROPOSED 2ND FLOOR** 1/4" = 1'-0" **2**

**FLOOR LEGEND**

- 2X4 STUD FRAMING
- 2X6 STUD FRAMING
- BUILT-UP WALL
- 1-HR FIRE RATED WALL
- 2X4 EXTERIOR STUD FRAMING
- (EE&RO) : DEDICATED EMERGENCY ESCAPE/RESCUE OPENING

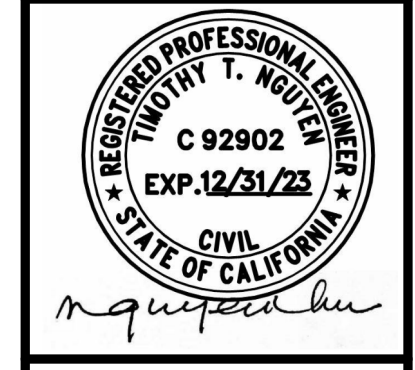
FACTORY - BUILT FIREPLACES, CHIMNEYS AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER INSTRUCTIONS

**FLOOR PLAN NOTES**

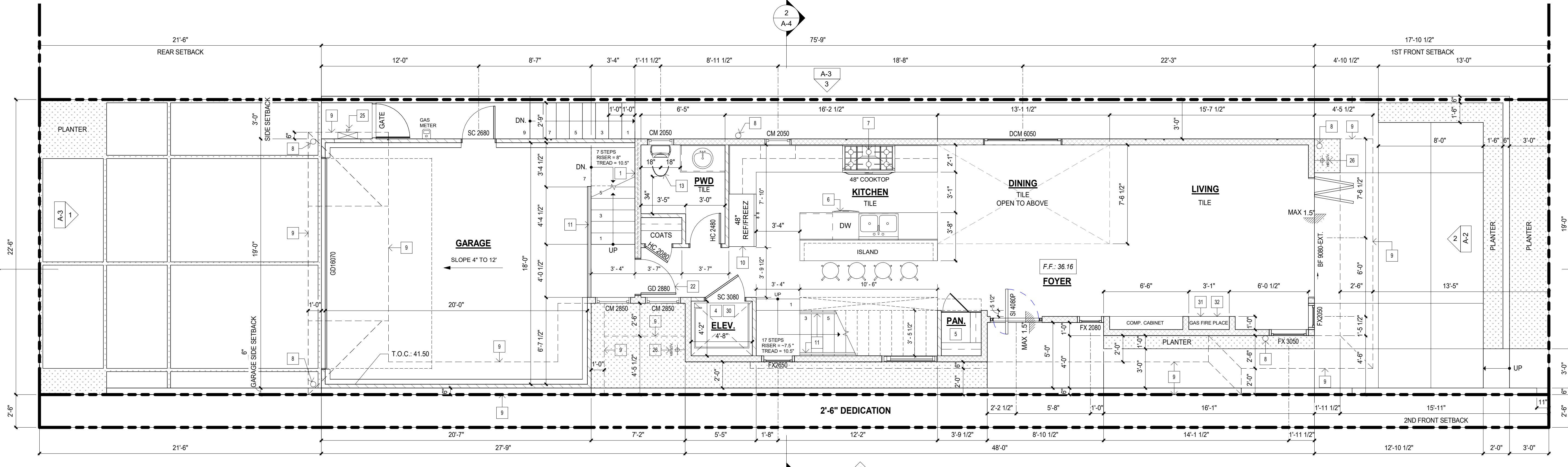
1. 5/8" TYPE "X" GYPSUM BOARD ALL WALLS, CEILINGS, BEAMS, POSTS AND COLUMNS, SMOOTH FINISH TYPICAL AT GARAGE.
2. TANK-LESS WATER HEATER, VENT TO EXTERIOR. PROVIDE DEDICATED GAS LINE PER SPECIFICATIONS OF JUSTIFY GAS LOAD (48" ABOVE SLAB)
3. COMBUSTION AIR VENTS
4. 1-HOUR RATED SHAFT.
5. PROVIDE 5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING OF ENCLOSED USEABLE SPACE UNDER STAIRS
6. BUILT-IN UNDER-COUNTER DISHWASHER. VERIFY DIMENSIONS WITH MANUF AC TURER'S SPECIFICATIONS.
7. 42" COOK-TOP. PROVIDE EXHAUST HOOD WITH LIGHT AND FAN - VENT TO OUTSIDE AIR (100 CFM MIN). VERIFY DIMENSIONS AND POWER REQUIREMENTS WITH MANUFACTURER'S SPECIFICATIONS.
8. DOWNSPOUT, TYP.
9. LINE OF FLOOR/ROOF ABOVE
10. PROVIDE 48" MIN. WIDE SPACE FOR REFRIGERATOR, PROVIDE PLUMBED BOX FOR ICE MAKER W/ SHUT-OFF VALVE. VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATION
11. HANDRAIL HEIGHT SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. R311.7.8.1
12. GUARDS (GUARDRAILS) SHALL MEET THE FOLLOWING:
  - a. WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. R312.1.1
  - b. GUARD HEIGHT SHALL BE A MIN. OF 42". R312.1.2
  - c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE. R312.1.3
  - d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" DIA. SPHERE. R312.1.3, EXC. 1.
  - e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIA SPHERE R312.1.3, EXCEPTION 2.
13. WATER CLOSET TO MIN. 30" WIDE WITH MIN. 24" CLEAR IN FRONT OF TOILET, TYP.
14. SHATTER-PROOF ENCLOSURE
15. CERAMIC TILE WALLS TO 8'-0" OVER PLASTER, TYP.
16. 42" HIGH PARAPET WALL
17. DECK DRAIN W/ OVERFLOW SCUPPER. DET 14/AD-1
18. NEW SEWER CLEANOUT LOCATION.
19. FIBERGLASS LAUNDRY SINK
20. TOWEL BAR
21. WHOLE-HOUSE FAN - GC STL, PRO-5.5X PER ENERGY CALC. PROVIDE OUTLET.
22. DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 3/8" SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE, SMOKE SEAL @ JAMB, HEAD @ METAL THRESHOLD.
23. LINE OF ROOF OVERHANG BELOW
24. SLOPE TO DRAIN, 1/4" 12' MIN.
25. ELECTRICAL 200AMP SERVICE PANEL. VERIFY HEIGHT AND LOCATION.
26. WATER FAUCET ( COLD WATER ONLY) W/ FOOT SHOWER
27. CLOSET SYSTEM
28. LAUNDRY BOX + DRAIN PAN
29. LINE OF FLOOR BELOW
30. ELEVATOR SHALL COMPLY WITH ASME A17.1 AND R321.1 & CCE TITLE 8
31. 45" LINEAR GAS DIRECT-VENT FIREPLACE, SUPERIOR DRI3500 SERIES. LISTED BY PFS TECO TO ANSI Z21.88. DIRECT VENT EXTERIOR COMBUSTION AIR DUCT'S SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS. PROVIDE 2" CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING.
32. TILE HEARTH, MIN. 2" THICK
33. DRYER VENT. LENGTH NOT TO EXCEED 14'-0". TERMINATION MUST BE 3 FT CLEAR FROM OPENINGS INTO BUILDING PER SECTION 904.5 CMC.



REV.	DESCRIPTION	DATE



**CUSTOM RESIDENCE - LOT 11**  
 109 9TH STREET, HUNTINGTON BEACH, CA 92648



**PROPOSED 1ST FLOOR** 1/4" = 1'-0" **1**

SHEET TITLE

**1ST & 2ND FLOOR PLAN**

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**A-1.1**

**ROOF PLAN NOTES:**

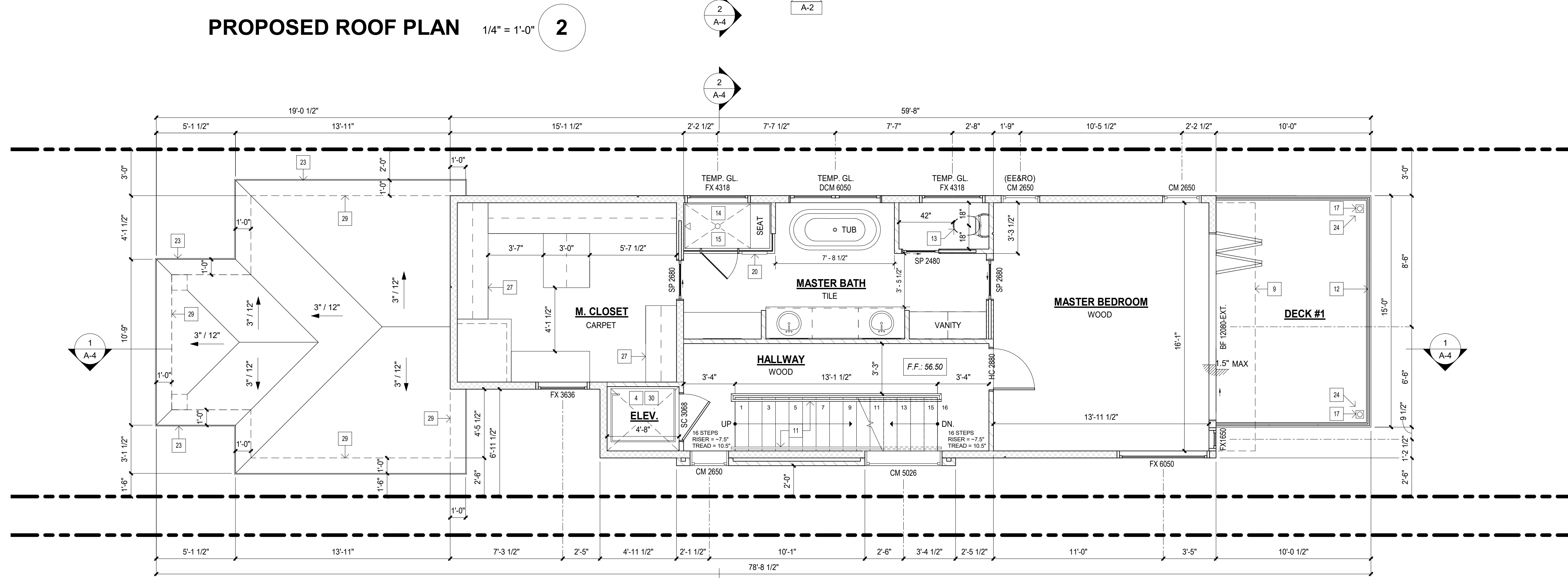
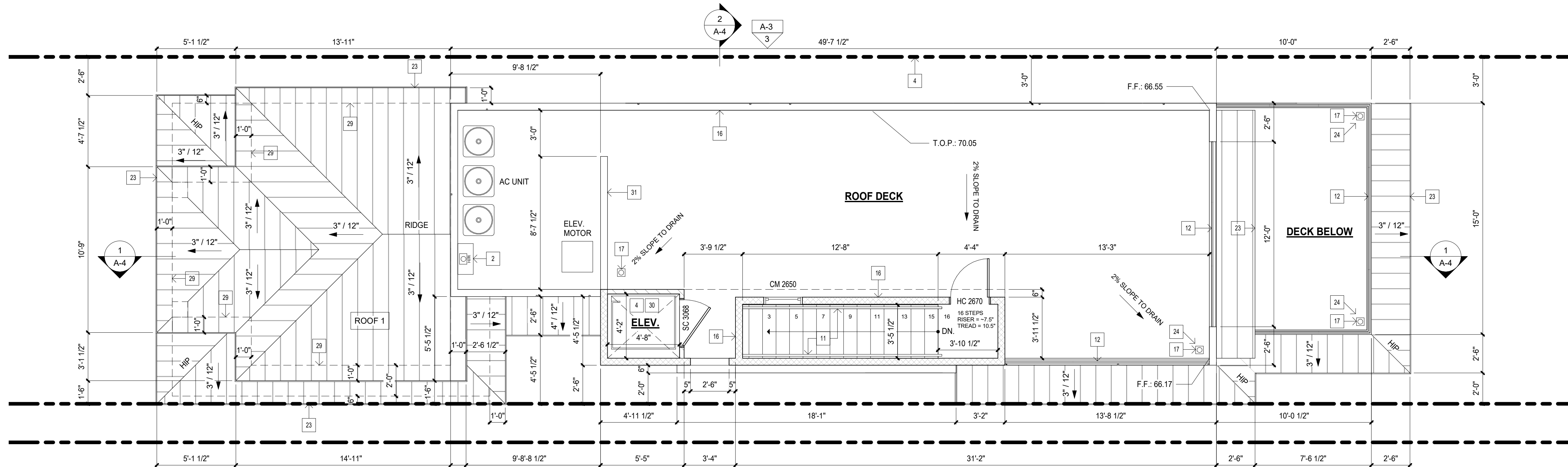
- CLASS 'B' ROOF: '5V CE1MP' STANDING SEAM METAL ROOF BY ABC ROOFING CO. OR EQUAL. 0.30# FELT O/ 5/8" PLYWOOD. UL 580 RATING. UL 263 FOR INTERNAL FIRE. UL 2218 CLASS 4 IMPACT RATING. AND UL 790 - CLASS A FIRE RATING.
- CHIMNEY TO BE 2'-0" ABOVE ROOF WITHIN 10'-0" WITH SPARK ARRESTOR AND SHROUD 12" MAX. HEIGHT. TYPICAL.
- PROJECTIONS LESS THAN 3'-0" TO PROPERTY LINE TO BE 1-HOUR CONSTRUCTION, TYPICAL.
- PROPERTY LINE
- ROOF VENT 144 SQ.IN. OPENING WITH CORROSION RESISTANT WIRE MESH
- GUARDRAIL 42" MAX.
- EAVE PROJECTIONS DIRECTLY OVER REQUIRED WINDOWS TO BE 30" AWAY FROM PROPERTY LINE

**ATTIC AREA VENTILATION REQUIREMENT:**

ROOF AREA (11) : 271 SF  
 ROOF AREA REQUIRED VENTILATION: 271 SF  
 NET FREE VENTILATION AREA REQUIRED  
 = 271 SF / 150 = 1.8 x 144 = 259 SQ.IN.  
 HIGH VENTING REQUIRED: 0.5 x 259 = 129.5 SQ.IN.  
 RIDGE VENTS:  
 129.5 SF / 17 SF PER LN FT = 7.6 FT  
 USE 8 LINEAR FEET OF RIDGE VENTING.  
 LOW VENTING REQUIRED:  
 0.5 x 1.8 = 0.9 SF  
 FULL BAY EAVE VENTS:  
 0.9 SF / 1 SF = 0.9  
 USE 1 FULL BAY EAVE VENTS

**FLOOR PLAN NOTES:**

- 5/8" TYPE 'X' GYPSUM BOARD ALL WALLS, CEILINGS, BEAMS, POSTS AND COLUMNS. SMOOTH FINISH TYPICAL AT GARAGE.
- TANK-LESS WATER HEATER. VENT TO EXTERIOR. PROVIDE DEDICATED GAS LINE PER SPECIFICATIONS OF JUSTIFY GAS LOAD (48" ABOVE SLAB)
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- BUILT-IN UNDER-COUNTER DISHWASHER. VERIFY DIMENSIONS WITH MANUF AC TURER'S SPECIFICATIONS.
- 42" COOK-TOP. PROVIDE EXHAUST HOOD WITH LIGHT AND FAN - VENT TO OUTSIDE AIR (100 CFM MIN). VERIFY DIMENSIONS AND POWER REQUIREMENTS WITH MANUFACTURER'S SPECIFICATIONS.
- DOWNSPOUT. TYP.
- LINE OF FLOOR/ROOF ABOVE
- PROVIDE 48" MIN. WIDE SPACE FOR REFRIGERATOR. PROVIDE PLUMBED BOX FOR ICE MAKER W/ SHUT-OFF VALVE. VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATION
- HANDRAIL HEIGHT SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. R311.7.8.1
- GUARDS (GUARDRAILS) SHALL MEET THE FOLLOWING:  
 a. WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. R312.1.1  
 b. GUARD HEIGHT SHALL BE A MIN. OF 42". R312.1.2  
 c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE. R312.1.3  
 d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" DIA. SPHERE. R312.1.3, EXC. 1.  
 e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIA SPHERE. R312.1.3, EXCEPTION 2.
- WATER CLOSET TO MIN. 30" WIDE WITH MIN. 24" CLEAR IN FRONT OF TOILET. TYP.
- SHATTER-PROOF ENCLOSURE
- CERAMIC TILE WALLS TO 8'-0" OVER PLASTER. TYP.
- 42" HIGH PARAPET WALL
- DECK DRAIN W/ OVERFLOW SCUPPER. DET 14/AD-1
- NEW SEWER CLEANOUT LOCATION.
- FIBERGLASS LAUNDRY SINK
- TOWEL BAR
- WHOLE-HOUSE FAN - QC STL PRO-5.5X PER ENERGY CALC. PROVIDE OUTLET.
- DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 3/8" SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE. SMOKE SEAL @ JAMB, HEAD @ METAL THRESHOLD.
- LINE OF ROOF OVERHANG BELOW
- SLOPE TO DRAIN, 1/4" 12 MIN.
- ELECTRICAL 200AMP SERVICE PANEL. VERIFY HEIGHT AND LOCATION.
- WATER FAUCET ( COLD WATER ONLY) W/ FOOT SHOWER
- CLOSET SYSTEM
- LAUNDRY BOX + DRAIN PAN
- LINE OF FLOOR BELOW
- ELEVATOR SHALL COMPLY WITH ASME A17.1 AND R321.1 & CCE TITLE 8
- 45" LINEAR GAS DIRECT-VENT FIREPLACE, SUPERIOR DRL3500 SERIES. LISTED BY PFS TECO TO ANSI Z21.88. DIRECT VENT EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS. PROVIDE 2" CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING.
- TILE HEARTH. MIN. 2" THICK
- DRYER VENT. LENGTH NOT TO EXCEED 14'-0". TERMINATION MUST BE 3 FT CLEAR FROM OPENINGS INTO BUILDING PER SECTION 504.5 CMC.



**FLOOR LEGEND**

[Pattern]	2X4 STUD FRAMING	[Pattern]	1-HR FIRE RATED WALL
[Pattern]	2X6 STUD FRAMING	[Pattern]	2X4 EXTERIOR STUD FRAMING
[Pattern]	BUILT-UP WALL	(EE&RO)	DEDICATED EMERGENCY ESCAPE/RESCUE OPENING



REV.	DESCRIPTION	DATE



**CUSTOM RESIDENCE - LOT 11**  
 109 9TH STREET, HUNTINGTON BEACH, CA 92648

SHEET TITLE

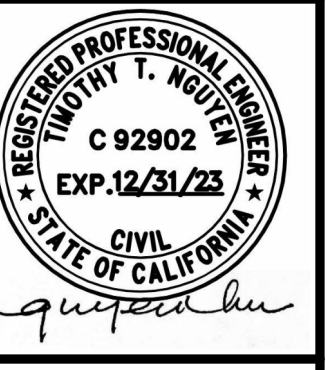
**3RD FLOOR PLAN - ROOF PLAN**

SCALE	AS NOTED
DRAWN BY	
CHECKED BY	
PLAN DATE	06-27-2023
PRINT DATE	06-27-2023
PROJECT No.	

SHEET No.

**A-1.2**

REV.	DESCRIPTION	DATE



**CUSTOM RESIDENCE - LOT 11**  
 109 9TH STREET, HUNTINGTON BEACH, CA 92648

SHEET TITLE

**FRONT & LEFT ELEVATION**

SCALE AS NOTED

DRAWN BY

CHECKED BY

PLAN DATE 06-27-2023

PRINT DATE 06-27-2023

PROJECT No

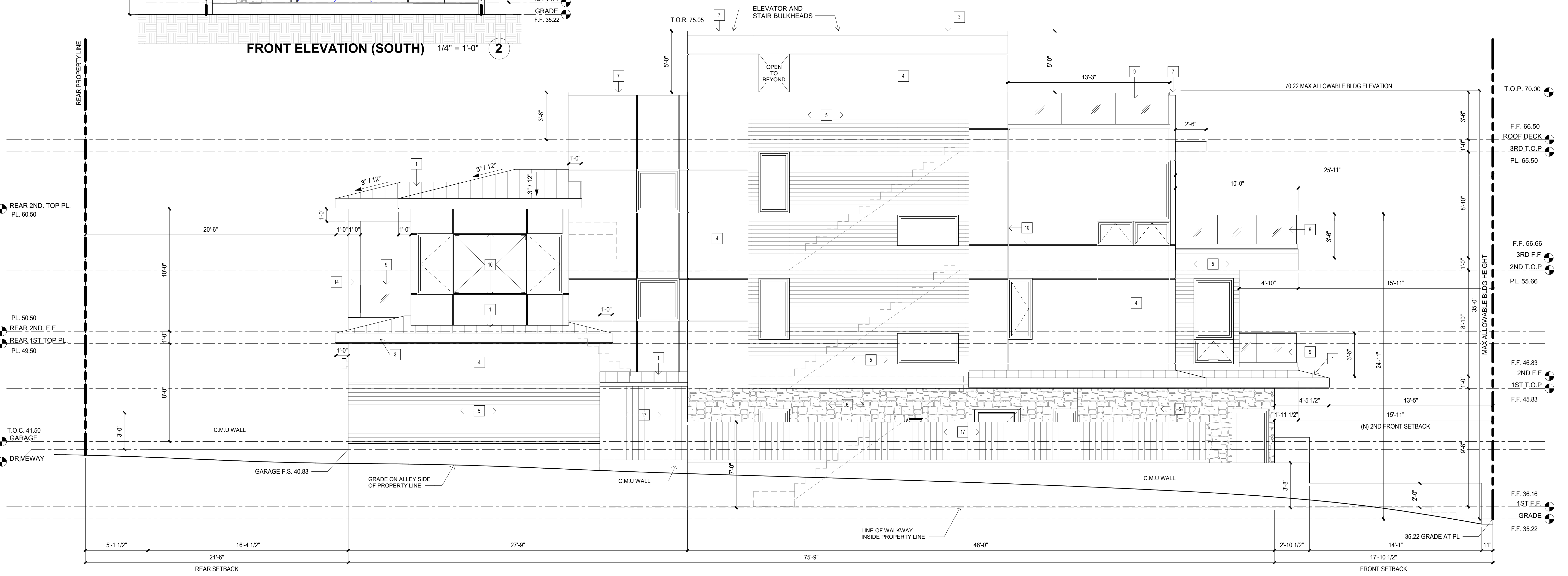
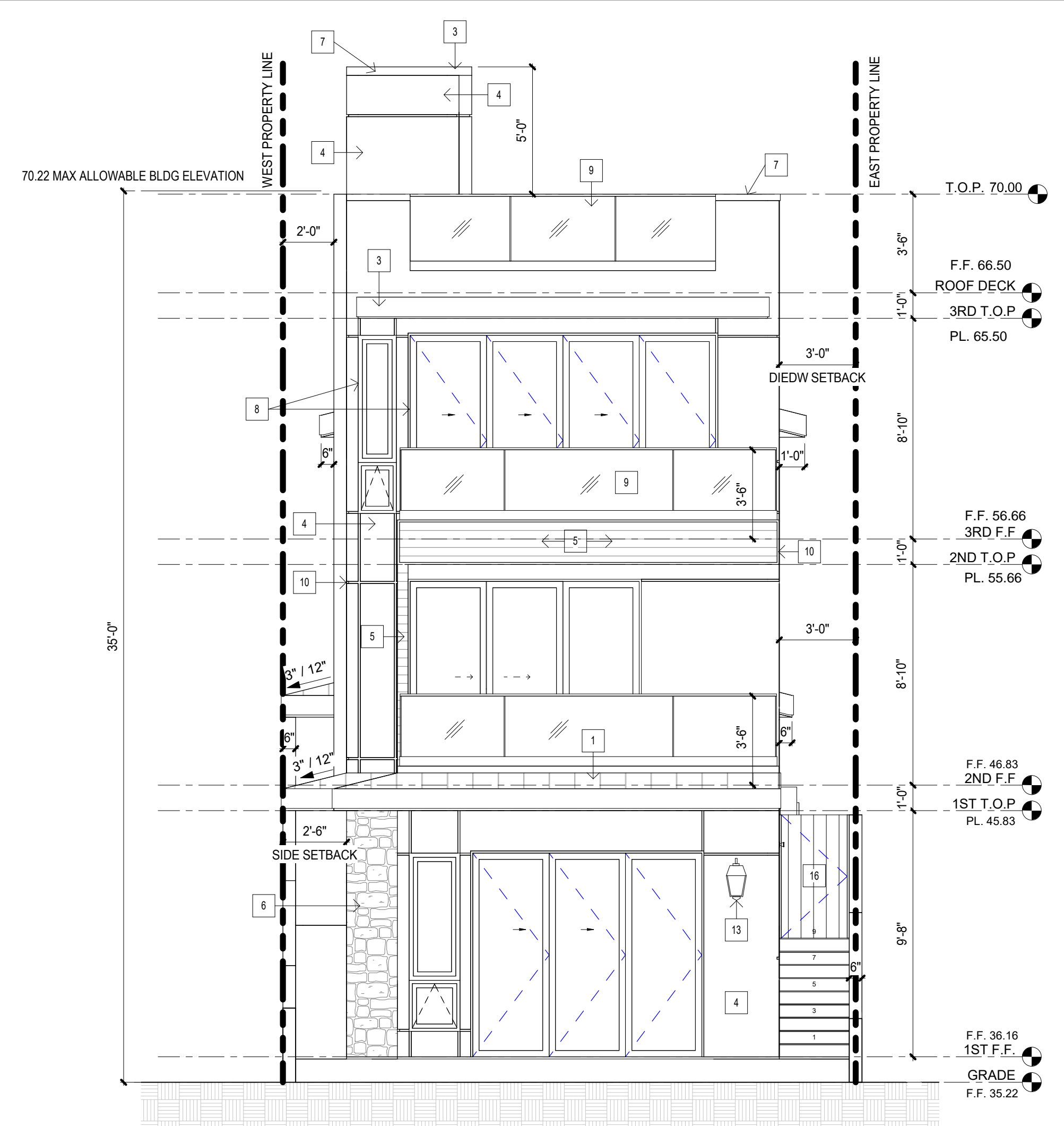
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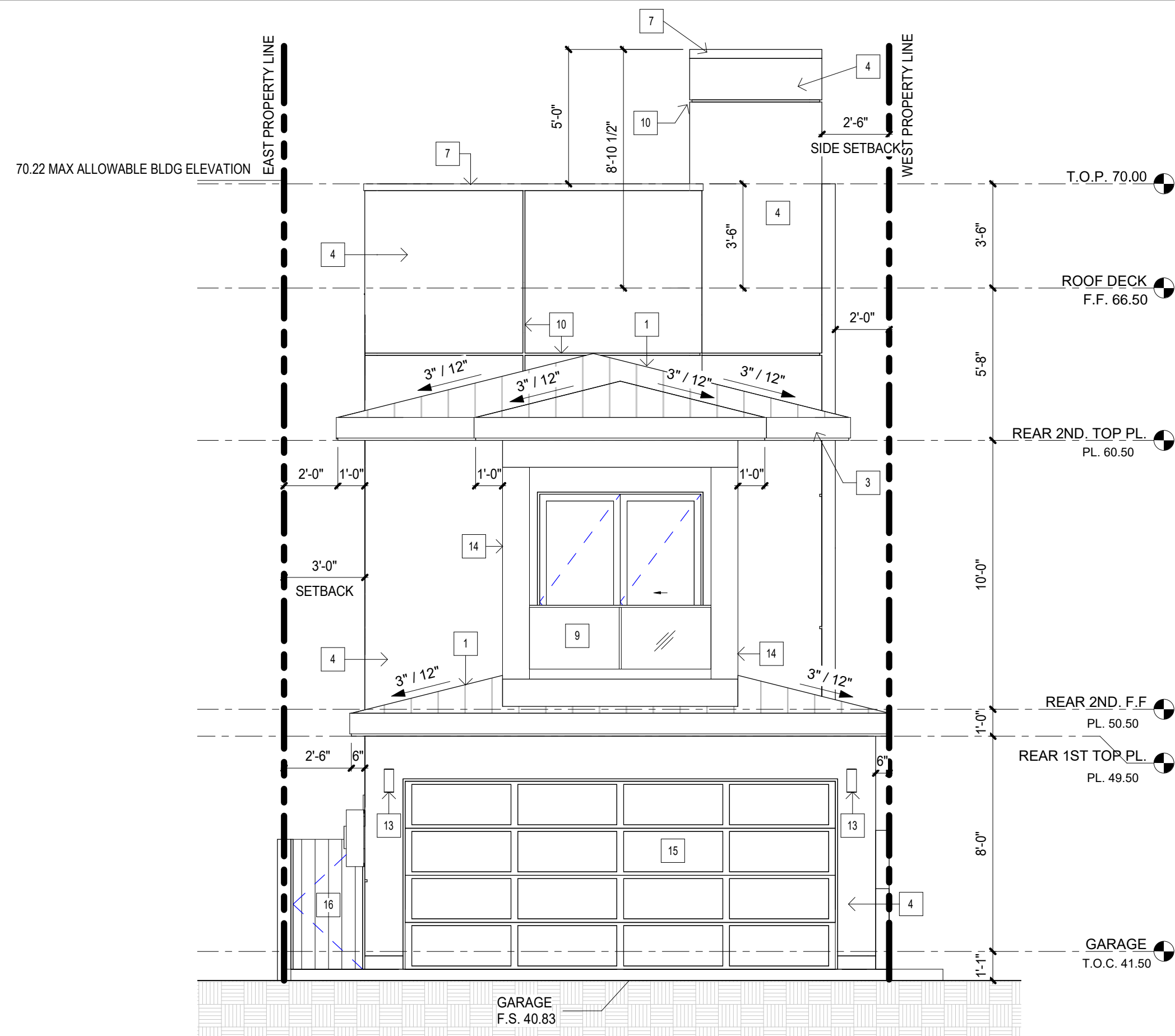
**A-2**

**ELEVATION NOTES:**

1. ALUM. STANDING SEAM ROOFING AS SELECTED BY OWNER
2. CLEAR ANODIZED ALUM. GUTTER AND DOWNSPOUTS AS SELECTED BY OWNER
3. TYP. STUCCO AT FASCIA AND SOFFIT
4. TYP 7/8" SMOOTH TROWELED STUCCO COLOR PER OWNER
5. SIMULATED WOOD PORCELAIN TILE AS SLECTED BY OWNER THIN SET OVER 1/2" SCRATCH COAT
6. THIN STONE TILE VENEER AS SELECTED BY OWNER OVER TYP. STUCCO SCRATCH AND BROWN COAT
7. CLEAR ANODIZED ALUM. COPING CAP
8. EXTERIOR DOORS AND WINDOWS AS SELECTED BY OWNER
9. GLASS RAILING AS SUPPLIED BY C.R. LAURENCE CONSISTING OF CRL-BSL LOW PROFILE BASE SHOE
10. ALUM. PLASTER MOLDING REVEAL CHANNEL WITH 3/4" REVEAL PER DETAIL
11. G.I. STUCCO EXPANSION JOINT
12. DOWNSPOUT, CONNCT DIRECTLY TO SUB-SURFACE DRAINAGE SYSTEM TYPICAL ALL DOWNSPOUT AND DECK DRAINS.
13. DECORATIVE EXTERIOR WALL-MOUNTED LIGHT FIXTURE. MOTION SENSOR OR PHOTO-SENSOR LIGHTING.
14. WOOD COLUMN.
15. ROLL-UP GARAGE DOOR BY BUILDER. SPECIFIED BY CONDITION OF APPROVAL, PROVIDE ELECTRIC DOOR OPENER W/BATTERY BACKUP.
16. GATE
17. SOLID FENCE



**LEFT SIDE ELEVATION (EAST) 1/4" = 1'-0" 1**



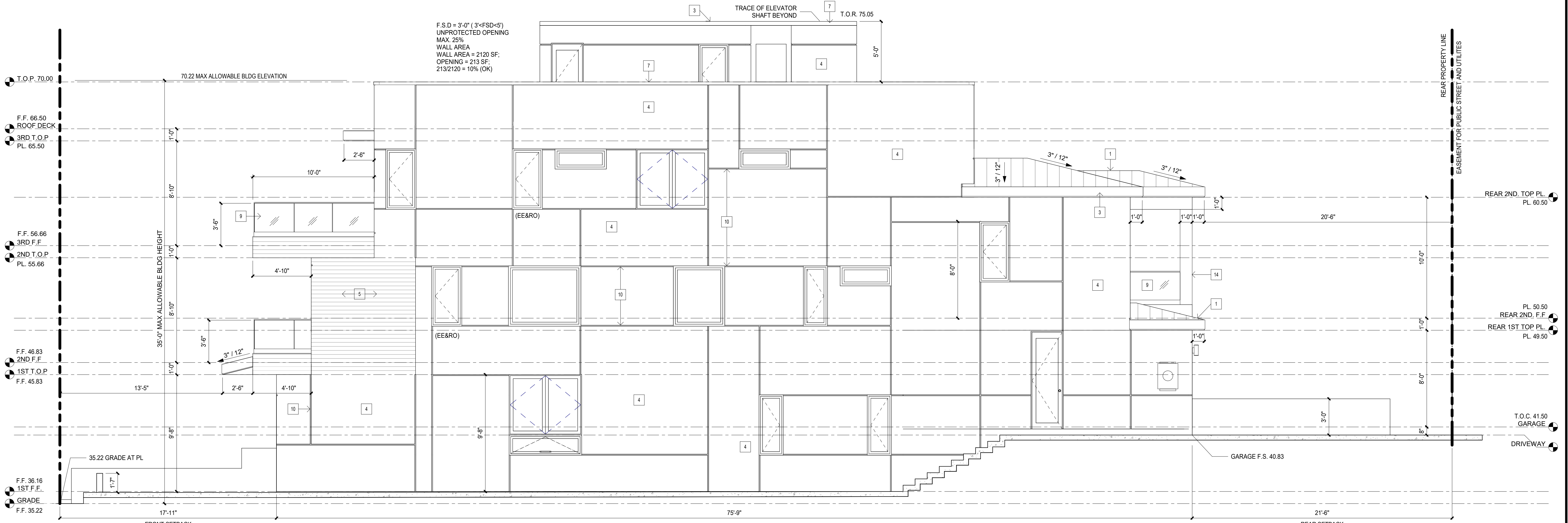
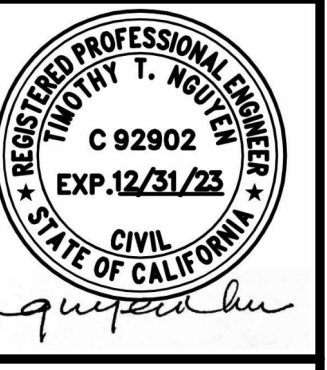
REAR ALLEY ELEVATION (NORTH) 1/4" = 1'-0" 1

**ELEVATION NOTES:**

1. ALUM. STANDING SEAM ROOFING AS SELECTED BY OWNER
2. CLEAR ANODIZED ALUM. GUTTER AND DOWNSPOUTS AS SELECTED BY OWNER
3. TYP. STUCCO AT FASCIA AND SOFFIT
4. TYP 7/8" SMOOTH TROWELED STUCCO COLOR PER OWNER
5. SIMULATED WOOD PORCELAIN TILE AS SLECTED BY OWNER THIN SET OVER 1/2" SCRATCH COAT
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14. WOOD COLUMN.
15. ROLL-UP GARAGE DOOR BY BUILDER. SPECIFIED BY CONDITION OF APPROVAL, PROVIDE ELECTRIC DOOR OPENER W/BATTERY BACKUP.
16. GATE
17. SOLID FENCE



REV.	DESCRIPTION	DATE



RIGHT SIDE ELEVATION (WEST) 1/4" = 1'-0" 3

**CUSTOM RESIDENCE - LOT 11**  
 109 9TH STREET, HUNTINGTON BEACH, CA 92648

SHEET TITLE

**REAR & RIGHT ELEVATION**

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SHEET No. **A-3**