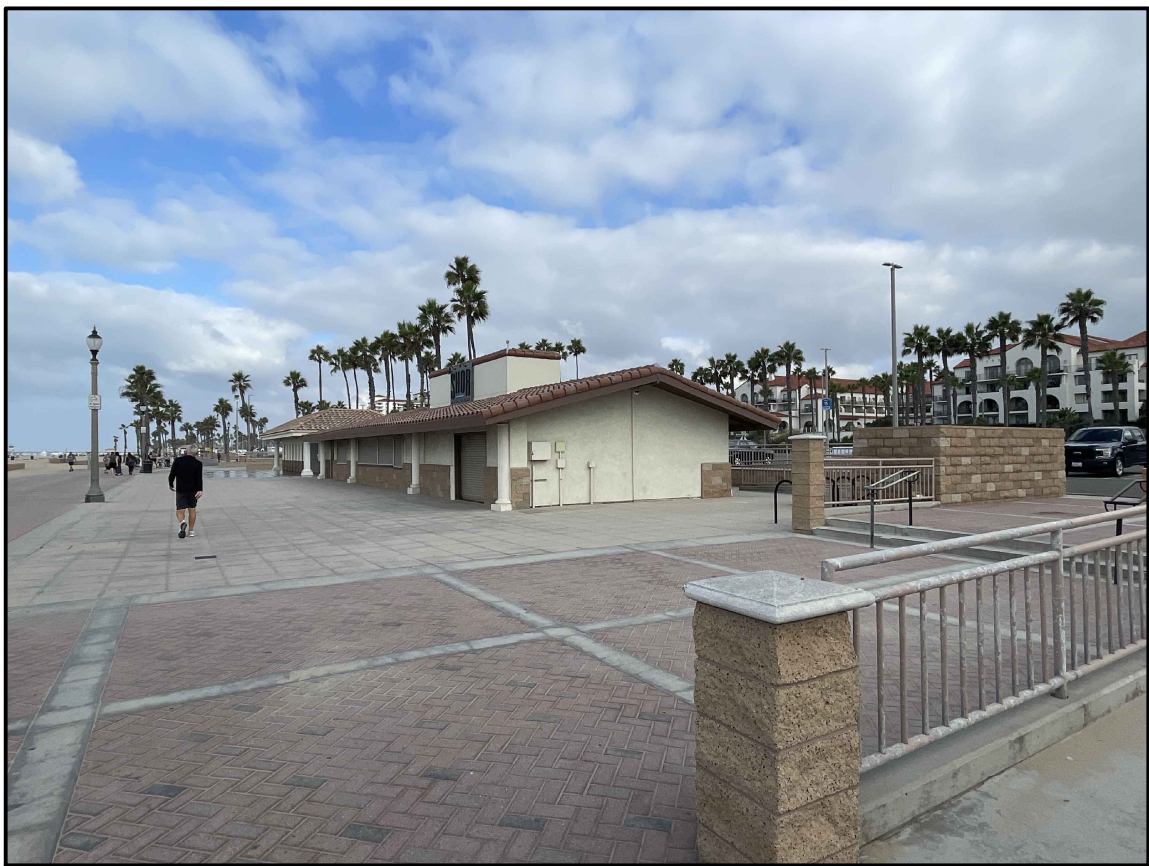


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21529 PACIFIC COAST HWY
HUNTINGTON BEACH, CA 92648

10-13-2022

EXISTING BUILDING



PROPOSED PATIO TRELLIS AND FENCE/GATE



PROJECT NARRATIVE:

THE PURPOSE OF THIS PROJECT IS TO PROVIDE VISUAL UPGRADES AND AMENITIES TO EXISTING WALK-UP FOOD VENDOR BUILDING. PROPOSED UPGRADES TO INCLUDE A TRELLIS WITH HEATERS OVER NEW FENCED AREA FOR TABLES AND SEATING.

HOURS OF OPERATION:
THE PREMISES ARE INTENDED TO BE OPEN DAILY 8:00 AM - 10:00 PM MEMORIAL DAY WEEKEND THROUGH LABOR DAY WEEKEND, ALONG WITH FRIDAYS, SATURDAYS AND SUNDAYS IN THE OFF SEASON.

THE EXISTING BUILDING CONTAINS:

- FOOD SERVICE AREA: 1,487 SQUARE FEET
- STORAGE AREA: 446 SQUARE FEET

TOTAL EXISTING BUILDING AREA: 1,933 SQUARE FEET

NUMBER OF EMPLOYEES:
THERE WOULD BE 10 ASSOCIATES AT THE FOOD SERVICE AREA.

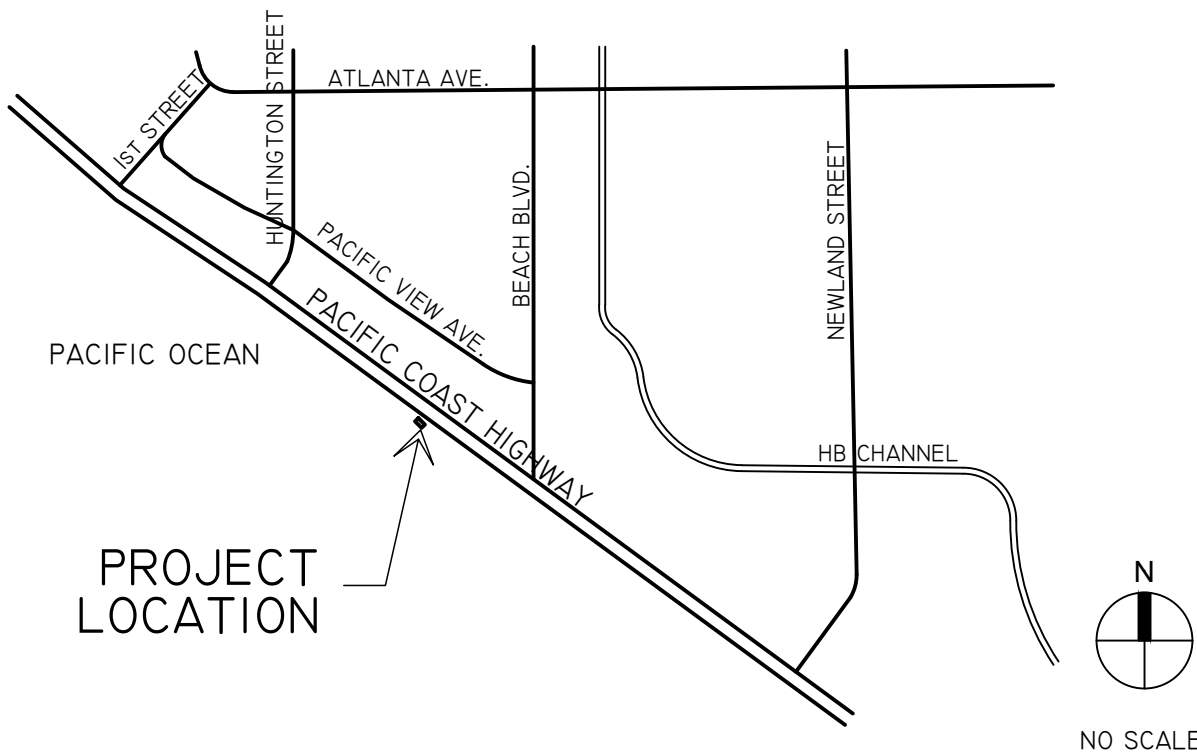
REASON OF THIS APPLICATION:

1. UPGRADES TO THE EXTERIOR OF THE EXISTING BUILDING.
2. THE APPLICANT WILL BE REQUESTING A NEW ABC LICENSE FOR THIS VENUE AT THE SAME TIME AS THE CUP/CDP CITY PROCESS. BEER, WINE, AND DISTILLED SPIRITS WOULD BE SERVED (LIQUOR LICENSE TYPE 47). THE AREA ONLY WITHIN THE 36" HIGH METAL FENCE IS INTENDED FOR ALCOHOL SERVICE AREA.

SURROUNDING USES:
THE BEACH PARKING LOT IS ON THE NORTH AND THE BEACH IS ON THE EAST WEST AND SOUTH OF THE SITE.

POPULATION SERVED:
THE POPULATION SERVED BY THIS PROJECT WOULD BE BEACH AND HOTEL VISITORS.

VICINITY MAP



PROJECT TEAM

LANDLORD

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EMAIL: KRISS.CASANOVA@SURFCITY-HB.ORG

TENANT- LESSEE

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EMAIL: DEBS@SHPARTNERS.NET
CONTACT: MARCO HANAWI
PHONE: (714) 390-8600
EMAIL: MARCOH@SHPARTNERS.NET

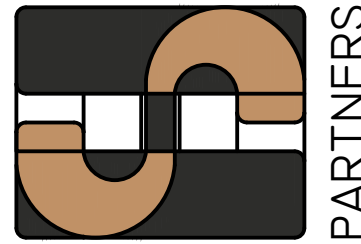
THE MAYER CORPORATION
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CONTACT: TOM WEIGEL
PHONE: (949) 500-0653
EMAIL: TOM@MAYERCORP.COM

SHEET INDEX

ARCHITECTURAL		5 SHEETS																	
G.1	TITLE SHEET																		
G.2	EXISTING PHOTOS																		
A1.1	SITE PLAN																		
A2.1	FLOOR PLAN & EXTERIOR ELEVATIONS																		
I	TOPOGRAPHIC SURVEY																		

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TITLE SHEET

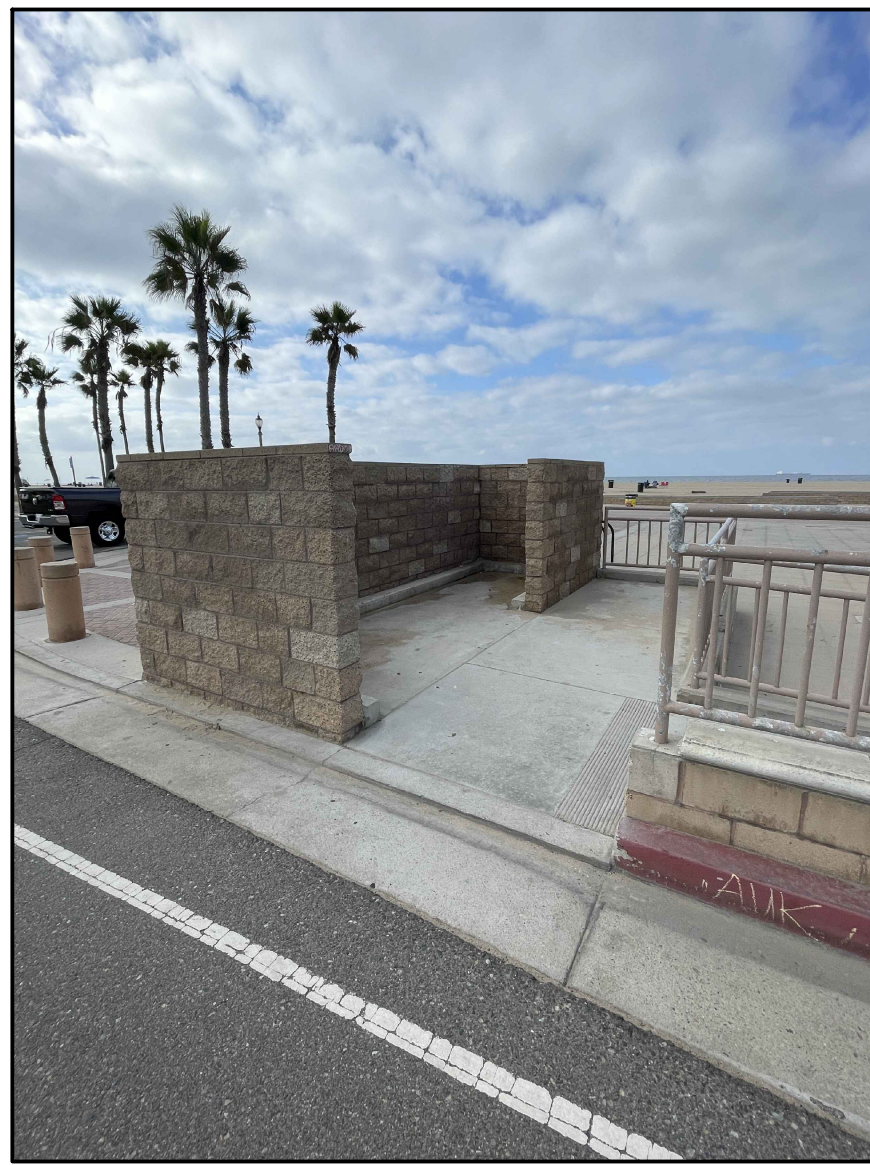
DATE	REMARKS	PLANNING SUBMITTAL									
10-13-2022											

PA / PM:	DS / MH
DRAWN BY:	MH
JOB NO.:	21-38

SHEET
G.1

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PHOTOS OF EXISTING AREA



EXISTING PHOTOS

DATE	REMARKS
10-15-2022	PLANNING SUBMITTAL

PA / PM:	DS / MH
DRAWN BY:	MH
JOB NO.:	21-38

SHEET

G.2

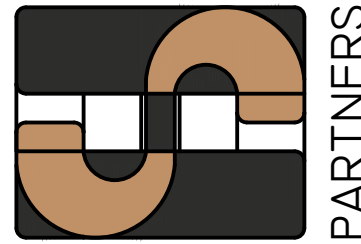
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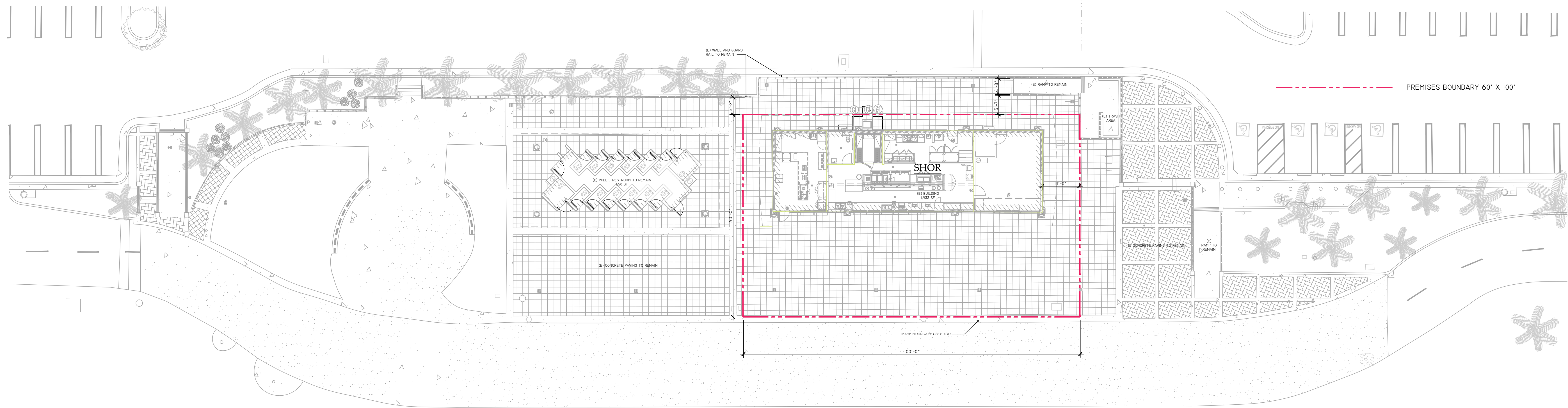
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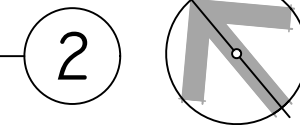
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24"x36"

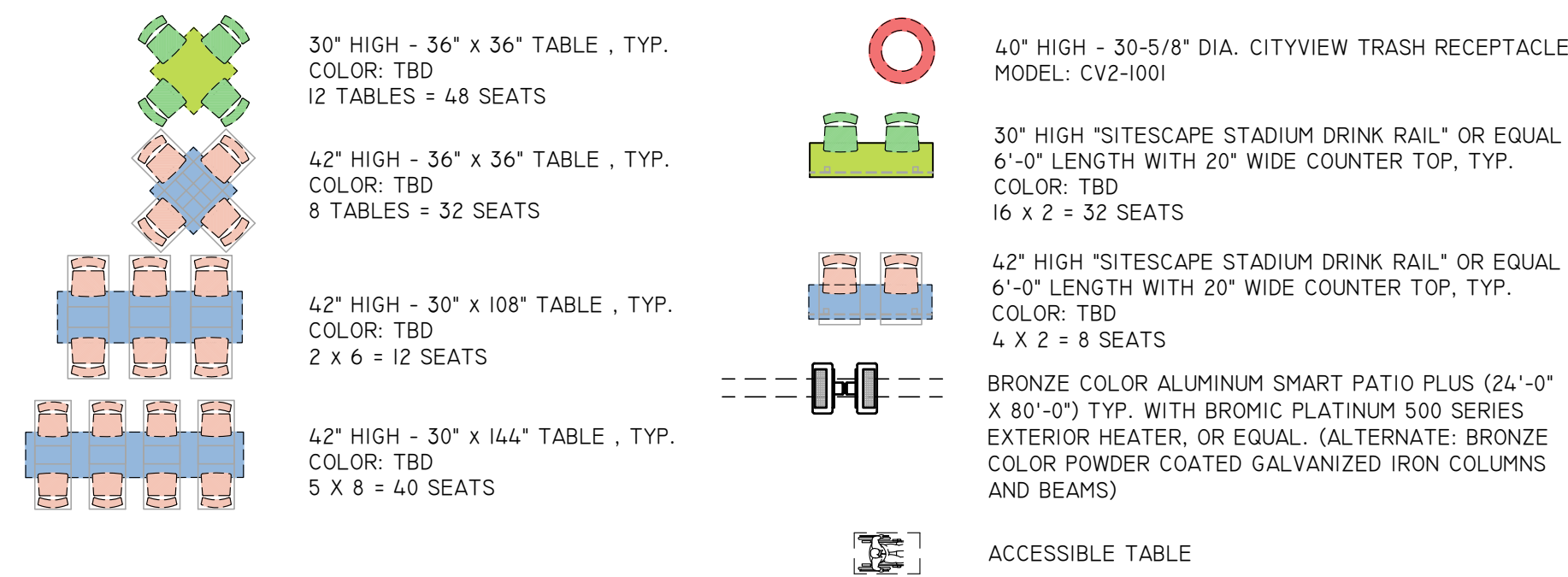


SITE PLAN - PREMISES BOUNDARY

SCALE: 1/16"=1'-0"



LEGEND:



PLUMBING FIXTURE CALCULATIONS

CPC 2019 - TABLE 422.1

USE (NET) - A2	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
KITCHEN STORAGE	1,487	200	8
PATIO	446	300	2
PATIO STANDING	2,475	15	165
	360	5	72
TOTAL OCCUPANTS			247

PLUMBING REQUIRED: 247 (124 MEN AND 124 WOMEN)
MEN : 2 WATER CLOSET, 1 URINAL, 1 LAVATORY
WOMEN : 4 WATER CLOSET, 1 LAVATORY
1 DRINKING FOUNTAIN HI AND LOW
1 SERVICE/MOP SINK

PLUMBING PROVIDED: 14 WATER CLOSETS EXISTING PUBLIC RESTROOMS
2 ACCESSIBLE WATER CLOSETS
12 WATER CLOSETS
1 DRINKING FOUNTAIN HI AND LOW
1 SERVICE/MOP SINK

EXIT CALCULATIONS

CBC 2019 - TABLE 1004.5

BUILDING USE (NET)	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
KITCHEN STORAGE	1,487	200	8
	446	300	2
TOTAL OCCUPANTS			10

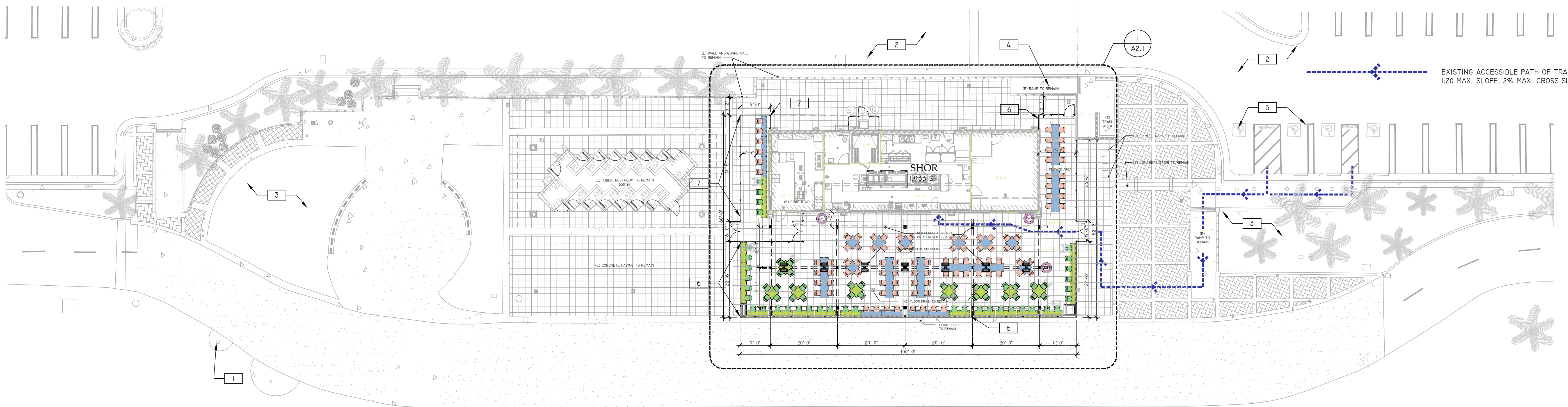
ONE EXIT IS REQUIRED, TWO (2) EXITS ARE PROVIDED

PATIO USE (NET)	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
PATIO TABLE/CHAIR	2,475	15	165
PATIO STANDING	360	5	72
TOTAL OCCUPANTS			237

TWO EXITS ARE REQUIRED, THREE (3) EXITS ARE PROVIDED

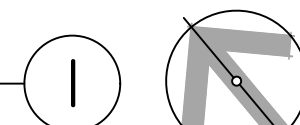
NOTES

- EXISTING HI-LOW DRINKING FOUNTAIN
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING LANDSCAPE AND IRRIGATION AREA TO REMAIN.
- EXISTING SERVICE RAMP TO REMAIN.
- EXISTING ACCESSIBLE PARKING SPACES AND PARKING STRIPING TO REMAIN
- PROPOSED 36" HIGH - STAINLESS STEEL CABLE RAILING WITH 3"x3" POSTS AT 5'-0" O.C. (ALTERNATE: BRONZE COLOR POWDER COATED GALVANIZED IRON POSTS)
- PROPOSED 72" HIGH - PRIVACY FENCE "COMPOSITE" CLADDING 1" X 6" - COLOR TO MATCH EXISTING BUILDING WITH BRONZE COLOR POWDER COATED GALVANIZED IRON POSTS AT 5'-0" O.C.



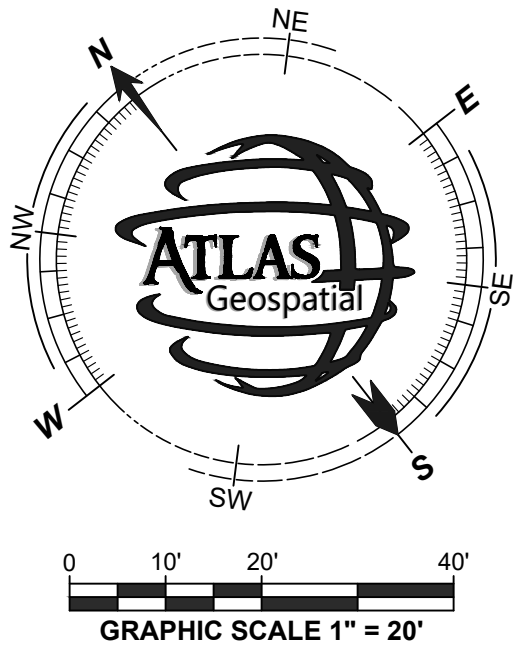
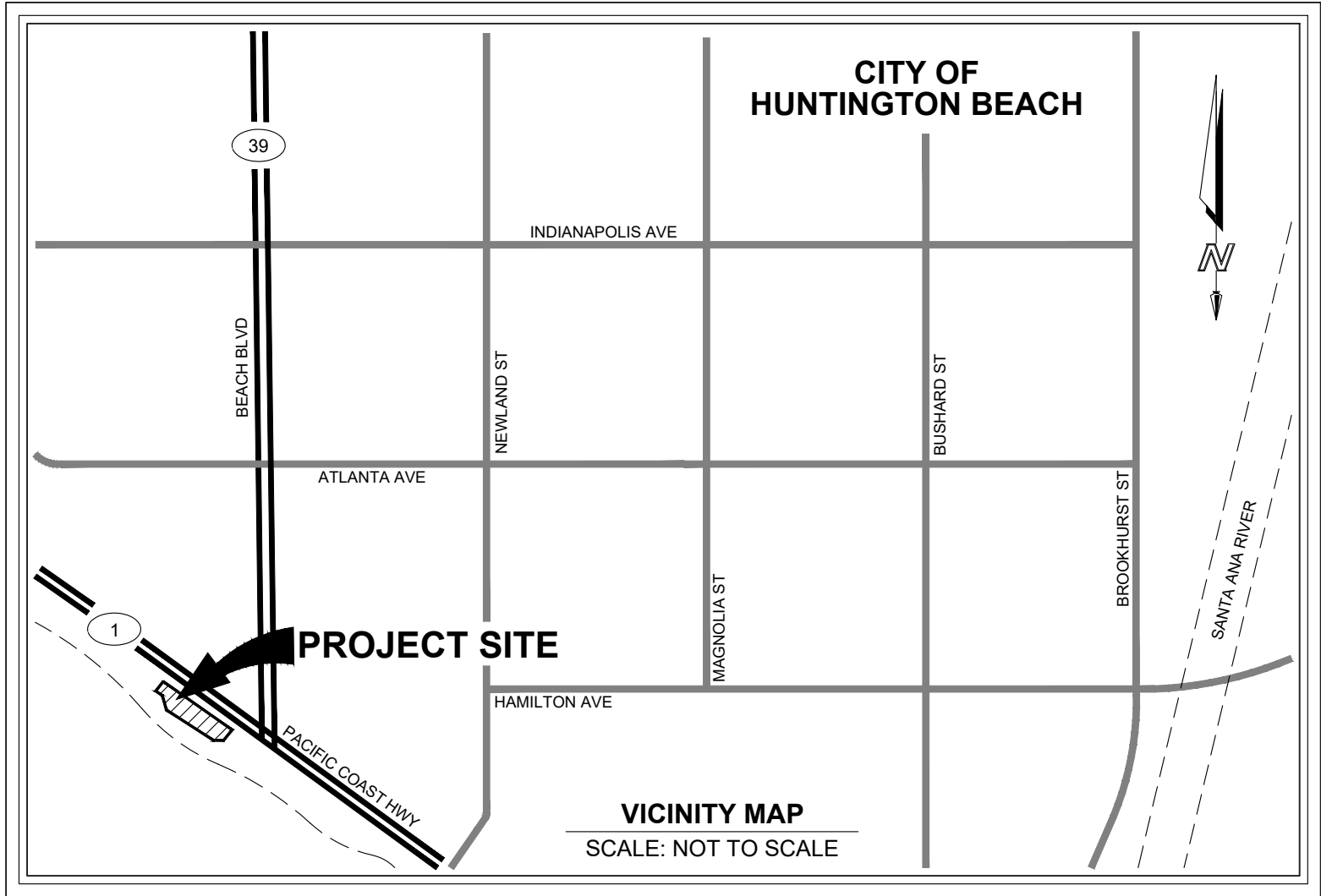
SITE PLAN - PROPOSED FENCE AND GATES

SCALE: 1/16"=1'-0"



TOPOGRAPHIC SURVEY

21529 PACIFIC COAST HIGHWAY
CITY OF HUNTINGTON BEACH, COUNTY OF
ORANGE, STATE OF CALIFORNIA



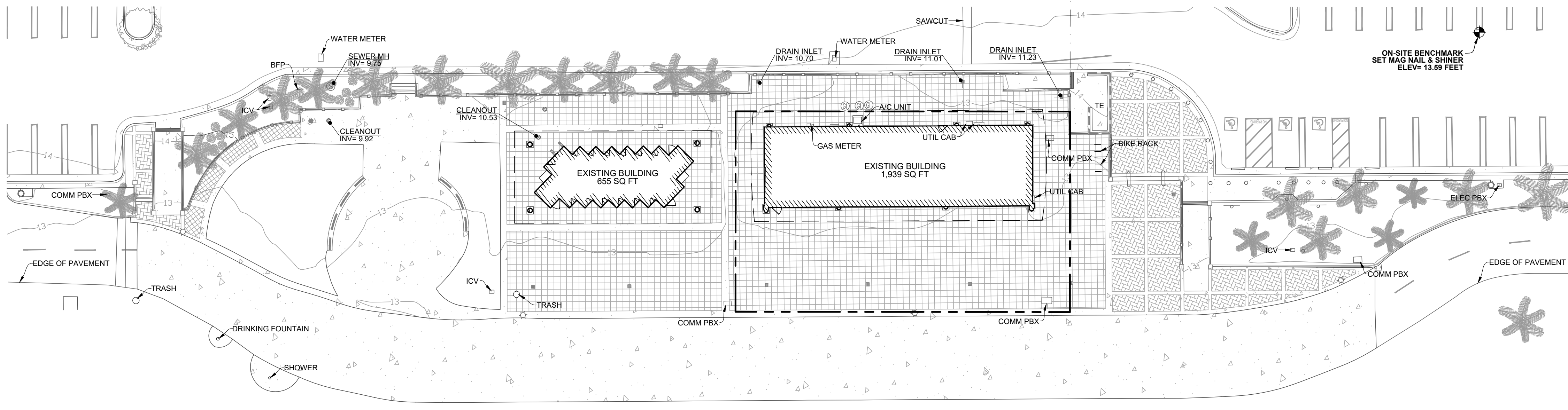
SURVEYOR'S NOTES

- 1 THIS SURVEY WAS PERFORMED ON APRIL 7, 2022.
- 2 BASIS OF BEARINGS BEING THE CENTERLINE OF BEACH BOULEVARD, PER CLIENT PROVIDED LEASE DOCUMENT, A BEARING OF S00°17'48"W.
- 3 ELEVATION SHOWN HEREON ARE BASED PER ORANGE COUNTY PUBLIC WORKS, DESIGNATION HB-196-71, BEING A FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-196-71". SET IN THE NORTHEAST CORNER OF A 3 FT BY 5 FT CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF BEACH BOULEVARD AND ATLANTA AVENUE, 250 FT EASTERLY OF THE CENTERLINE OF BEACH BOULEVARD AND 42.5 FT SOUTHERLY OF THE CENTERLINE OF ATLANTA AVENUE. MONUMENT IS SET LEVEL WITH THE SIDEWALK. ELEVATION= 6.46 FEET (NAVD88).
- ON-SITE BENCHMARK IS LOCATED SOUTHEAST OF SURVEYED AREA. ELEVATION= 13.59 FEET
- 4 PROPERTY BOUNDARIES SHOWN HEREON (IF ANY) ARE BASED ON MISCELLANEOUS RECORD DOCUMENTS, AND ARE SHOWN FOR EXHIBIT PURPOSES ONLY. THIS SURVEY MAKES NO EFFORT TO RESOLVE ANY MATERIAL DISCREPANCIES WHICH MAY OR MAY NOT HAVE BEEN FOUND DURING THE PERFORMANCE OF THIS WORK. THIS IS NOT A PROPERTY BOUNDARY SURVEY, AND IS NOT FOR USE IN LAND TRANSFER.

LEGEND

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING

- PROPERTY BOUNDARY LINE
--- PROPOSED LEASE AREA
--- CENTERLINE
--- RIGHT OF WAY LINE
--- INDETERMINATE BOUNDARY LINE
--- EASEMENT LINE
--- EXISTING CONTOURS
--- OH ELEC
--- OVERHEAD ELECTRICAL LINE
--- EXISTING CHAIN LINK FENCE
--- EXISTING WROUGHT IRON FENCE
--- BLOCK WALL
--- INDICATES RESTRICTED ACCESS
--- ZONING BOUNDARY
--- ASSESSOR'S PARCEL NUMBER
- APN
R.O.W.
PL
CL
FC
WL
FN
INV
ICV
PBX
FDC
PIV
BFP
ELEC
COMM
X=BHL
- RIGHT OF WAY
PROPERTY LINE
CENTER LINE
FACE OF CURB
WALL
FENCE
INVERT
IRRIGATION CONTROL VALVE
PULLBOX
FIRE DEPARTMENT CONNECTION
POST INDICATOR VALVE
BACKFLOW PREVENTOR
ELECTRIC
COMMUNICATION
BUILDING HEIGHT LOCATION
FIRE HYDRANT
LIGHT WITH CONCRETE BASE
WATER VALVE
GAS VALVE
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
SEWER CLEANOUT
GREASE INTERCEPTOR MANHOLE
COMMUNICATION MANHOLE
SPOT ELEVATIONS
STREET SIGN
UTILITY POLE
GUY WIRE
EXISTING BOLLARD
TRAFFIC SIGNAL/LIGHTPOLE
FOUND MONUMENT AS DESCRIBED
SET 5/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
EXISTING BUILDING WITH OVERHANG



TOPOGRAPHIC SURVEY

21529 PACIFIC COAST HIGHWAY, CITY OF
HUNTINGTON BEACH, COUNTY OF ORANGE,
STATE OF CALIFORNIA

PROJECT NUMBER: 22-046	
DWG NAME: 22-046 HYATT HUNTINGTON BEACH	
PREPARED BY: AG/AM	DATE: 05.09.2022
CHECKED BY: JAA/AM	DATE: 05.09.2022

REVISION	SHEET
0	1 OF 1

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