

GENERAL NOTES

- THE CONTRACT DOCUMENTS OF WHICH THESE DRAWINGS AND THE SPECIFICATIONS ARE A PART, ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND THE AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY. ANY OTHER USE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, CONSULTING PROFESSIONAL'S DRAWINGS, SPECIFICATIONS OR EXISTING CONDITIONS. THIS NOTIFICATION SHALL BE MADE TO THE ARCHITECT IN WRITING PRIOR TO INSTALLATION OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR ENTIRELY AT HIS EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF INFORMATION IS NOT SHOWN OR IS UNCLEAR.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACKING, HANGERS, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR CASEWORK, BATHROOM ACCESSORIES, FIXTURES, MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- ALL EXTERIOR WALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO THE FACE OF THE STUD WALLS, OR TO THE FACE OF CONCRETE OR MASONRY UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO THE FACE OF GYPSUM BOARD AT STUD WALLS, OR TO THE FACE OF CONCRETE OR MASONRY UNLESS OTHERWISE NOTED.
- ALL CEILING HEIGHT DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO THE FINISHED CEILING SURFACE UNLESS OTHERWISE NOTED.
- ALL DOOR SIZES SHOWN THE DOOR SCHEDULE ARE OPENING SIZES. ALLOWANCES FOR THRESHOLDS, ETC. SHALL BE DEDUCTED.
- THE CONTRACTOR SHALL PROVIDE THERMAL INSULATION IN ALL EXTERIOR WALLS, RAISED FLOOR AND ROOF CAVITIES WITH A MINIMUM RATING AS SHOWN IN THE DRAWINGS AND TITLE 24 COMPLIANCE FORMS. THE THERMAL INSULATION SHALL FORM A CONTINUOUS BARRIER.
- OPEN EXTERIOR JOINTS AROUND THE WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOFS, AND AT PENETRATIONS OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.
- THE CONTRACTOR SHALL INSTALL CASING BEADS WHEREVER WALL BOARD OR PLASTER ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF THE WORK FOR ALL UTILITIES AND SERVICES.
- ALL WORK SHALL COMPLY WITH THE 2022 CBC AND ALL LOCAL DEPT. OF BUILDING & SAFETY CODES AND REGULATIONS.
- ALL SUB CONTRACTORS WORKMANSHIP SHALL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES OR BY BUILDER.
- SUB CONTRACTORS SHALL BE LIABLE FOR ANY DAMAGES TO OWNER'S PROPERTY AS A RESULT OF NEGLIGENCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE.
- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL GOVERNING CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH REQUIREMENTS OF THE SERVICING POWER AND TELEPHONE COMPANIES.
- LUMBER: ALL VERTICAL AND HORIZONTAL LUMBER SHALL BE GRADE MARKED DOUGLAS FIR CONSTRUCTION GRADE #1 FOR ALL 4XD, 6XD, AND LARGER, AND GRADE #2 FOR ALL 2XD AND SMALLER.
- PROVIDE APPROVED BLOCKING AT ALL UNSUPPORTED EDGES OF PLYWOOD ROOF SHEATHING.
- ALL NAILING SHALL COMPLY WITH 2022 CBC.
- ROOFING NAILS AND ALL EXPOSED NAILS SHALL BE GALVANIZED.
- PROVIDE WALL CORNER BRACING AS REQUIRED BY CODE.
- THE CENTER FOR VENT PIPES, HEATER PIPES, SHALL BE NOT LESS THAN 12" FROM THE CENTER OF ANY VALLEY.
- ALL SHEET METAL TO BE 26 GA. GALVANIZED UNLESS OTHERWISE NOTED. USE 28 GA. GALVANIZED VALLEY FLASHING (PER CBC).
- ALL ELECTRICAL WIRING TO BE COPPER. ALUMINUM WIRING SHALL NOT BE USED.
- ALL DUPLEX OUTLETS IN BATHROOMS SHALL BE GROUND FAULT INTERRUPTER CIRCUIT TYPE (GFCI).
- N.T.S. INDICATES NOT TO SCALE.
- EXISTING CONDITION DIMENSIONS TAKE PRECEDENT TO DRAWING DIMENSIONS. DO NOT SCALE WORKING DRAWINGS.
- FOR MORE SPECIFIC NOTES REGARDING FOUNDATIONS, FRAMING OR FLOOR PLANS - SEE PLANS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT 1-800-422-4133, 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION, FOR EXISTING UTILITIES.
- CONTRACTOR TO PROVIDE 3 COPIES OF THE BMP WHICH INCLUDES ALL STRUCTURAL DEVICES AT TIME OF PERMIT ISSUANCE. A REDUCED SCALE PLAN MAY BE PROVIDED.

REFERENCE SYMBOLS

	SPOT ELEVATION		SWITCH
	ELEVATION REFERENCE		SWITCH WITH DIMMER
	EXTERIOR ELEVATION REFERENCE		DUPLEX OUTLET
	SECTION REFERENCE		DATA OUTLET
	NORTH ARROW		GFI DUPLEX OUTLET
			AFCI OUTLET
			OUTDOOR WALL LIGHT
			RECESSED DOWN LIGHT
			PENDANT LIGHT
			SMOKE DETECTOR
			SMOKE & CO2 DETECTOR
			NATURAL GAS CONNECTION
	PROPERTY LINE		EXHAUST
	SETBACK LINE		GRILLE DIFFUSER
	FENCE LINE		

PROJECT DATA

OWNER

CHRIS & GEORGIE PECHULIS

PROJECT ADDRESS

712 HUNTINGTON ST
HUNTINGTON BEACH, CA 92646
ZONE: RL
APN: 024-215-09

TYPE OF WORK

MULTI-FAMILY RESIDENTIAL
REMODEL & ADDITION TO MAIN RESIDENCE

TYPE OF CONSTRUCTION

CONSTRUCTION TYPE	VB
UNSPRINKLERED	
NUMBER OF STORIES	2+LOFT
OCCUPANCY GROUP	R3

APPLICABLE CODES

CALIFORNIA BUILDING CODE	2022 EDITION
CALIFORNIA RESIDENTIAL CODE	2022 EDITION
CALIFORNIA MECHANICAL CODE	2022 EDITION
CALIFORNIA PLUMBING CODE	2022 EDITION
CALIFORNIA ELECTRICAL CODE	2022 EDITION
CALIFORNIA ENERGY CODE	2022 EDITION
CGBC (CALGREEN)	2022 EDITION
H.B. MUNICIPAL CODE 17.05	
HBZSO 230.84	

SHEET INDEX

#	SHEET NAME	SCALE
A-00	PROJECT DATA & INDEX	N.T.S.
A-01	CALGREEN SHEET 1 (AIA)	N.T.S.
A-02	CALGREEN SHEET 2 (AIA)	N.T.S.
A-10	SITE PLAN	1" = 1'-0"
A-11	SITE/ROOF PLANS	1" = 1'-0"
A-12	EXISTING GROUND FLOOR PLAN	1" = 1'-0"
A-13	PROPOSED GROUND FLOOR PLAN	1" = 1'-0"
A-14	UPPER LEVEL FLOOR PLANS	1" = 1'-0"
A-16	UTILITY PLANS	1" = 1'-0"
A-20	EXISTING ELEVATIONS	1" = 1'-0"
A-21	EXISTING ELEVATIONS	1" = 1'-0"
A-22	PROPOSED ELEVATIONS	1" = 1'-0"
A-23	PROPOSED ELEVATIONS	1" = 1'-0"
A-30	PROPOSED SECTIONS	1" = 1'-0"
A-31	PROPOSED SECTIONS	1" = 1'-0"
A-40	3D VIEWS	N.T.S.
A-50	ARCHITECTURAL DETAILS	N.T.S.
A-51	ARCHITECTURAL DETAILS	N.T.S.
A-52	ARCHITECTURAL DETAILS	N.T.S.
S-1	FOUNDATION PLAN	1" = 1'-0"
S-2	FIRST FLOOR HEADER PLAN	1" = 1'-0"
S-3	FIRST FLOOR & LOW ROOF FRAMING PLAN	1" = 1'-0"
S-4	SECOND FLOOR HEADER & MID-ROOF FRAMING	1" = 1'-0"
S-5	LOFT HEADER & HIGH ROOF FRAMING PLAN	1" = 1'-0"
SD-0	GENERAL NOTES	N.T.S.
SD-1	DETAILS	N.T.S.
SD-2	DETAILS	N.T.S.
SD-3	DETAILS	N.T.S.
SD-4	DETAILS	N.T.S.
SD-5	DETAILS	N.T.S.
SSW1	STEEL STRONG WALL ANCHORAGE DETAILS	N.T.S.
SSW2	STEEL STRONG WALL FRAMING DETAILS	N.T.S.
T-01	RESIDENTIAL TITLE 24 SHEET	N.T.S.
T-02	RESIDENTIAL TITLE 24 SHEET	N.T.S.
T-03	RESIDENTIAL TITLE 24 SHEET	N.T.S.

VICINITY MAP



PROJECT SCOPE

MAIN RESIDENCE REMODEL & ADDITION

426 S.F. GROUND FLOOR EXPANSION:
NEW LIVING ROOM SPACE
NEW DEN/OFFICE & BATH

96 S.F. SECOND FLOOR ADDITION:
NEW PRIMARY BATH
NEW WALK-IN-CLOSET
NEW STORAGE LOFT ABOVE
NEW THIRD FLOOR DECK

140 S.F. LOFT ADDITION:
NEW 78 S.F. DECK & STAIR

655 S.F. REMODEL
NEW KITCHEN
NEW LAUNDRY CLOSET

HERS VERIFICATION REQ'T

THE FOLLOWING IS A SUMMARY OF FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERE RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE. ADDITIONAL DETAIL IS PROVIDED IN THE TITLE 24 REPORT ON T-01 THROUGH T-03

- KITCHEN RANGE HOOD
- DUCT LEAKAGE TESTING
- DUCTS LOCATED ENTIRELY IN CONDITIONED SPACE CONFIRMED BY DUCT LEAKAGE TESTING.

FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION

NAME: -----

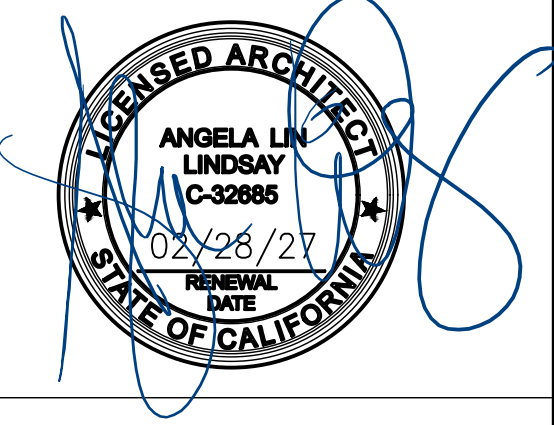
LICENSE NO: -----

RECEIVED
MAY 9, 2025

ANGELA LINDSAY

191 EL CAMINO DRIVE
COSTA MESA, CA 92626
949.872.1179
ANGELA@SoCalh2H.COM

ARCHITECT



EXISTING CONDITIONS

LOT AREA:	6,615 SF
1ST FLOOR LIVING AREA:	1,172 SF
2ND FLOOR LIVING AREA:	340 SF
MAIN RESIDENCE AREA:	1,512 SF
GARAGE AREA:	1,007 SF
2ND FLOOR APARTMENT:	950 SF
GROSS FLOOR AREA:	3,469 SF
F.A.R.:	0.52

PROPOSED CONDITIONS

LOT AREA:	6,615 SF
1ST FLR EXPANSION AREA:	426 SF
2ND FLR EXPANSION AREA:	96 SF
(N) STORAGE LOFT:	140 SF
MAIN RESIDENCE AREA:	2,174 SF
(N) DECK AREA:	143 SF
GARAGE AREA:	1,007 SF
(N) 1ST FLOOR AREA:	1,598 SF
LOT COVERAGE:	39.4 %
GROSS FLOOR AREA:	4,131 SF
F.A.R.:	0.62

	MAY 7, 2025	CONDITIONAL USE PERMIT REVISIONS
	FEB. 12, 2025	CONDITIONAL USE PERMIT DRAWINGS
	AUG. 8, 2024	PLAN CHECK CORRECTIONS
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
THE ORIGINAL SIZE OF THIS DRAWING IS 24"x36"		

SCALE	MAY 7, 2025
DATE	

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

PROJECT TITLE

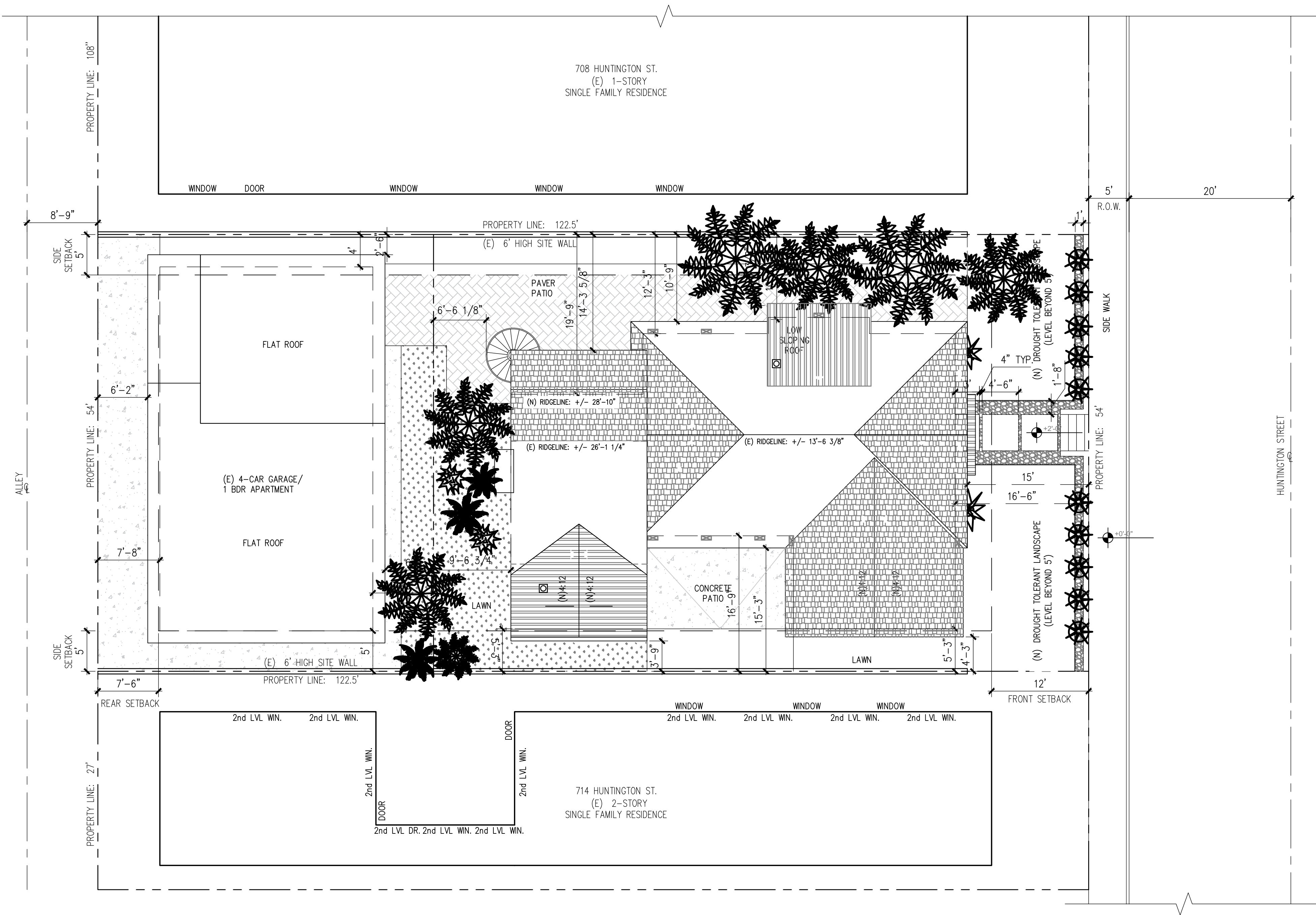
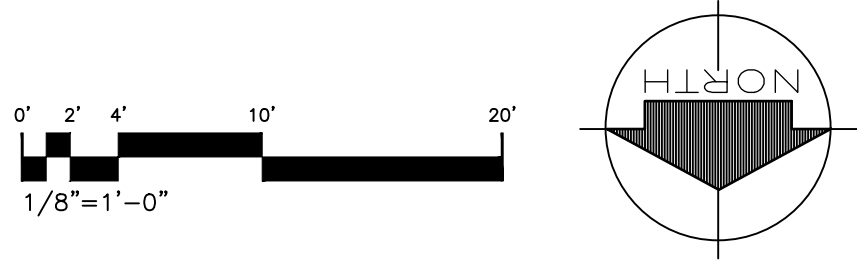
PROJECT DATA
& INDEX

SHEET TITLE

SHEET NO.

A-00

PROPOSED SITE PLAN



SUBJECT	CODE SECTION	REQUIRED	PROPOSED
PARKING	231.04	MULTI-FAMILY DWELLINGS: 3 OR MORE BEDROOMS = 2.5 SPACES (1 ENCLOSED), 2 UNITS = 5 SPACES (2 ENCLOSED)	4 ENCLOSED IN 4 CAR GARAGE (EXISTING NON-CONFORMING) Δ
MIN. SETBACKS FRONT SIDE GARAGE WITH ALLEY ACCESS BUILDING SEPARATION WALLS EXCEEDING 25' HT.	210.06 210.07(H) 210.07(L) 210.07(D) 210.07(J)	15' MIN. 10% OF LOT WIDTH & NOT <3' & NOT >5' = 5' 5' 10' 3' OVER THE REQUIRED SETBACK = 8'	16'-6" 5'-3" NORTH SIDE, 10'-6" SOUTH SIDE 7'-6" 17'-0 3/8" 14'-3 5/8"
MAX. HEIGHT 2ND STORY TOP PLATE HABITABLE AREA IN ROOF VOLUME	210.06 210.07(N) 210.07(N)	35' 25' SETBACK 5' FROM BLDG EXT. 14'-3 5/8" +5'= 19'-3 5/8"	28'-10" 15'-9 1/4" (NORTH SIDE OF SHELTERING ROOF) 19'-9"
MAX. LOT COVERAGE	210.06	50%	39.4%
LANDSCAPING	232.08	MIN. 8% OF NET SITE AREA SITE AREA = 6,615 S.F. 8% X 6,615 = 529.2 S.F.	1,694 S.F. LANDSCAPE AREA = 25.6%

PROJECT DATA
OWNER CHRIS & GEORGIE PECHULIS 712 HUNTINGTON ST HUNTINGTON BEACH, CA 92646 TEL: 714.926.1170
PROJECT ADDRESS 712 HUNTINGTON ST HUNTINGTON BEACH, CA 92646 ZONE: RL APN: 024-215-09 LEGAL DESCRIPTION: VISTA DEL MAR TR. LOT 15 BLK 703(LOT 16 BLK 703 TR813

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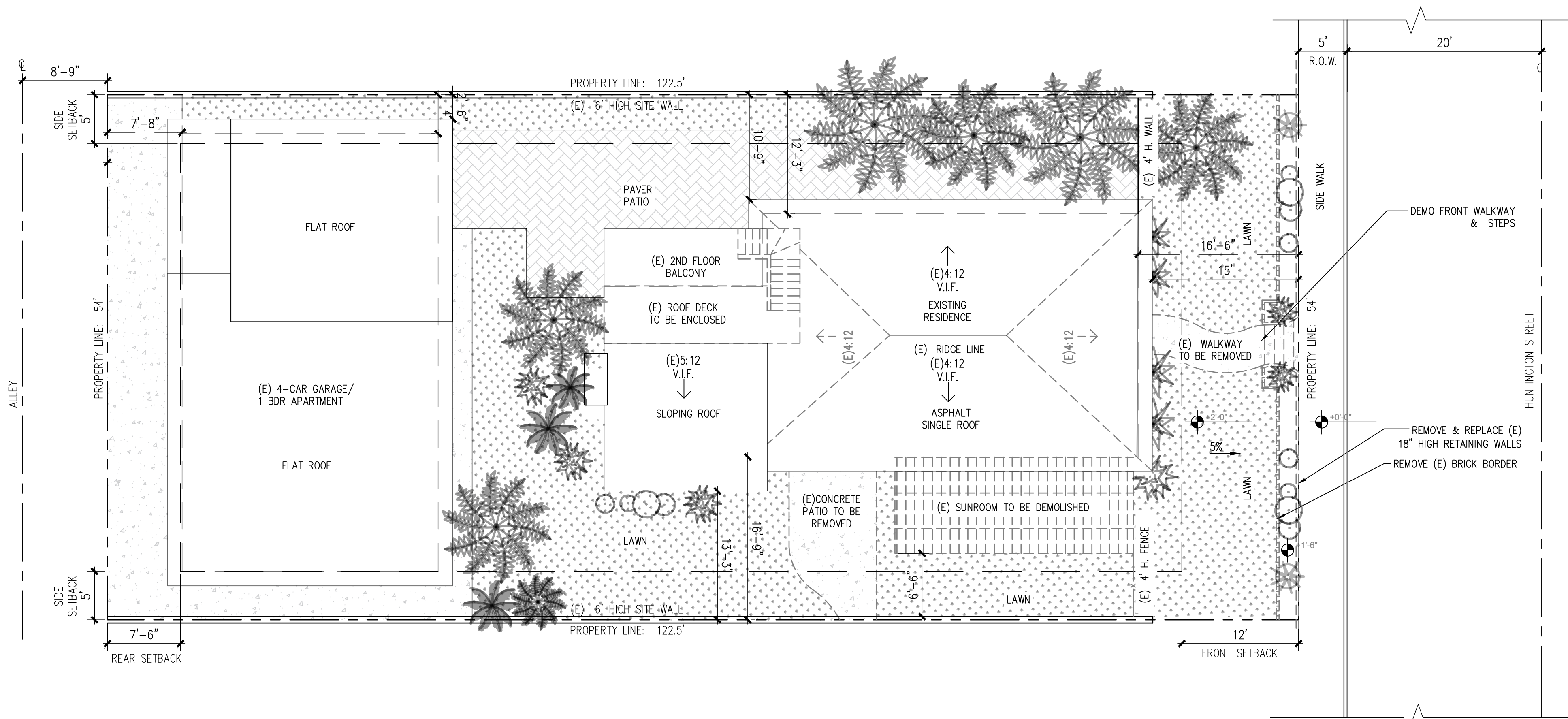
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PROPOSED
SITE PLAN

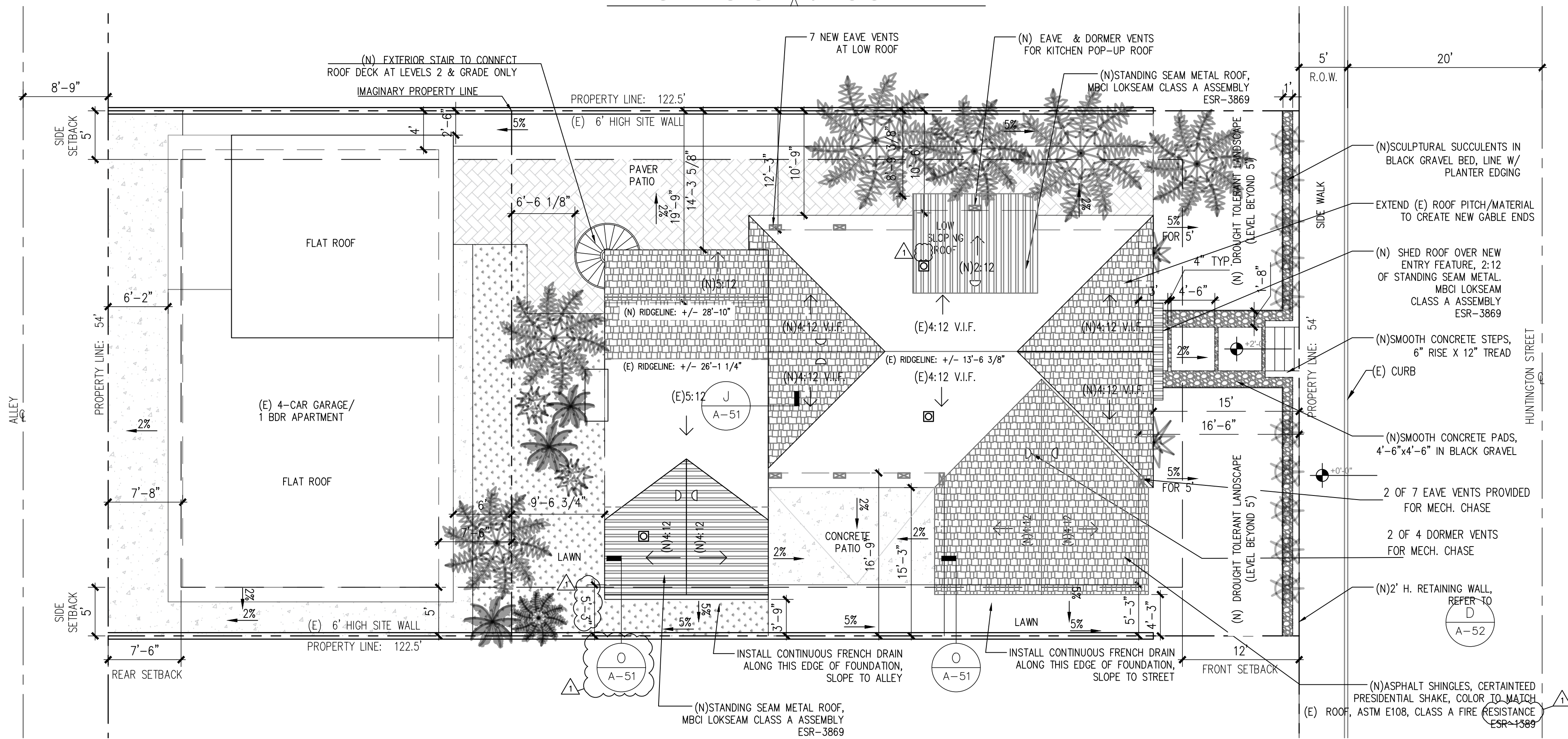
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A-10

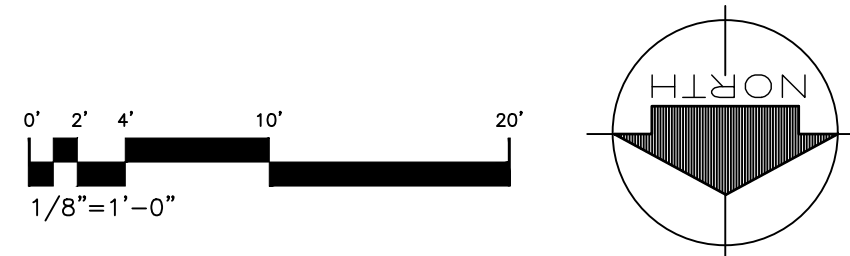
SHEET NO.



EXISTING SITE/ROOF PLAN



PROPOSED SITE/ROOF PLAN



SITE PLAN NOTES:

- THIS DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE CITY OF HUNTINGTON BEACH ZONING & SUBDIVISION ORDINANCES, BUILDING DIVISION, FIRE DEPARTMENT, STATE AND FEDERAL FIRE CODE.
- ADDRESS LETTERS/NUMBERS SHALL BE A MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8 INCH AND SHALL CONTRAST WITH THEIR BACKGROUND.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY FROM PUBLIC SERVICES, IF APPLICABLE.
- ALL BUILDING SPOILS, SUCH AS UNUSABLE LUMBER, WIRE, PIPE AND OTHER SURPLUS OR UNUSABLE MATERIAL, SHALL BE DISPOSED OF AT AN OFF-SITE FACILITY EQUIPPED TO HANDLE THEM. MIN. 65% PER CAL GREEN
- BUILDING SETBACKS ARE TO FACE OF FINISH.

PERMIT NOTE:

EVERY PERMIT SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR THE EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5)

ATTIC VENTILATION (K. POP-UP):

VENT CALC.
DORMER VENT FREE AREA= 0.83 SQ.FT.
103/150= 0.69 SQ.FT. VENTILATION AREA
0.69/2= 0.345 SQ.FT. REQUIRED FOR DORMER/ EAVE VENTS
0.345/0.83= 0.42 DORMER VENTS REQUIRED
0.345/5= 0.69 EAVE VENTS REQUIRED
0.42 DORMER VENTS REQUIRED= 1 DORMER VENT PROVIDED
0.69 EAVE VENTS REQUIRED= 1 EAVE VENT PROVIDED (6"x12")

ATTIC VENTILATION (UPPER ROOF):

(NOTE: REFER TO A-14 & A-30 FOR CLARIFICATION ON ATTIC AREA)

VENT CALC.
DORMER VENT FREE AREA=0.83 SQ.FT.
149.5/150= 1.0 SQ.FT. VENTILATION AREA
1.0 SQ.FT. REQUIRED FOR DORMER/ EAVE VENTS
1.0/0.83= 1.2 DORMER VENTS REQUIRED
1.0/0.5= 2 EAVE VENTS REQUIRED
1.2 DORMER VENTS REQUIRED= 2 DORMER VENTS PROVIDED
2 EAVE VENTS REQUIRED= 2 EAVE VENTS PROVIDED (6"x12")

ATTIC VENTILATION (LOW ROOF):

(NOTE: REFER TO A-13 FOR CLARIFICATION ON ATTIC AREA)

VENT CALC.
DORMER VENT FREE AREA=0.83 SQ.FT.
514/150= 3.4 SQ.FT. VENTILATION AREA
3.4 SQ.FT. REQUIRED FOR DORMER / EAVE VENTS
3.4/0.83= 4 DORMER VENTS REQUIRED
3.4/5= 6.8 EAVE VENTS REQUIRED
4 DORMER VENTS REQUIRED= 4 DORMER VENTS PROVIDED
6.8 EAVE VENTS REQUIRED= 7 EAVE VENTS PROVIDED (6"x12")

DEVELOPMENT STANDARDS:

RL ZONE MULTI-FAMILY

LOT AREA:	6,615 SF
LOT WIDTH:	54' > 50'
UNITS ALLOWED (1/1900):	3.48
UNITS ON PROPERTY:	2
(COMPLIES)	

OFF-STREET PARKING

MAIN RESIDENCE	2.5 SPACES REQ.
4 BEDROOMS	1 ENCLOSED
APARTMENT	1 SPACE REQUIRED
1 BEDROOM	1 ENCLOSED
ENCLOSED PARKING:	4 PROVIDED
(COMPLIES)	

ROOF LEGEND

	NEW ASPHALT SHINGLE ROOF
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	(N) KITCHEN & BATH EXHAUST DUCT TERMINATION

ROOF NOTES:

VENTILATION:

ATTIC VENTILATION NEEDS TO BE AT LEAST 1/150 OF THE AREA WITH 50% REQUIRED VENTING LOCATED AT LEAST 3" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF REQUIRED VENTING PROVIDED BY EAVES OR CORNICE VENTS AND SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE AREA OF VENTILATION MAY BE REDUCED TO 1/300 PROVIDED A VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. (2022 CBC 1203.2)

RADIANT BARRIER

*RADIANT BARRIER: WHERE SPECIFIED IN THE TITLE 24 REPORT, THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING'S TRUSS/RAFTERS, COVERING THE ENTIRE ROOF/ATTIC (INCLUDING ALL GABLE END), WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC.

EXTERIOR FINISHES

ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
ALL EXPOSED TRIM AND PLYWOOD TO BE RESAWN.

ROOF NOTES

ROOF SHEATHING TO BE PLYWOOD SHEATHING W/ 1 X SOLID SHEATHING AT ALL OVERHANGS.
ROOF COVERINGS SHALL BE MIN. CLASS 'A' ASSEMBLY.
TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON PLAN.
EXTERIOR LATH: PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING.

Figure 13a: Valley Metal

Use minimum nails to hold metal in place.
Valley felt
W valley metal
Eave felt should be lapped over the valley joint to give 3 levels of eave protection. (valley felt, eave felt and metal)
Valley metal 6" long, overlapped 6" at joints, painted both sides.
Roofing felt
Metal to extend as far as shakes or shingles
Open valley width 4" to 8" depending on water volume. Mask anticipated water lines (width of open valley) on valley sides with a chalk line.
Solid sheathing at eave

* INSULATION SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS TO PROVIDE ADEQUATE AIR FLOW.

*INSULATION R-19 IN FLOORS PER BUILDING OFFICIAL SHALL BE SUPPORTED BY NONCORROSIVE UNITS (WIRE) PERPENDICULAR TO FLOOR JUST 12 IN ON CENTER

*PROVIDE AIR PATHS EQUAL TO 1/4 THE FREE AIR REQUIRED FOR VENTILATION FROM EXTERIOR UNDER FLOOR UNIT LINE TO OPPOSITE EXTERIOR UNDER FLOOR UNIT LINE PASSING THROUGH INTERIOR STEM WALL/FLOOR JOIST BLOCKING.

2X BLOCKING METAL MESH VENT

RAFTERS AND CEILING JOISTS AS NOTED ON PLAN
INSULATION
FREE FLOW AIR @ EAVES

SCREEN

A35 DOUBLE PLATE

*ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH OPENING OF 1/4-INCH IN DIMENSION.

*WHERE EAVES VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF INSULATION PLUS THE REQUIRED 1" CLEARANCE, MEMBER SIZES MAY HAVE TO BE INCREASED FOR RAFTER-CEILING JOISTS.

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ARCHITECT

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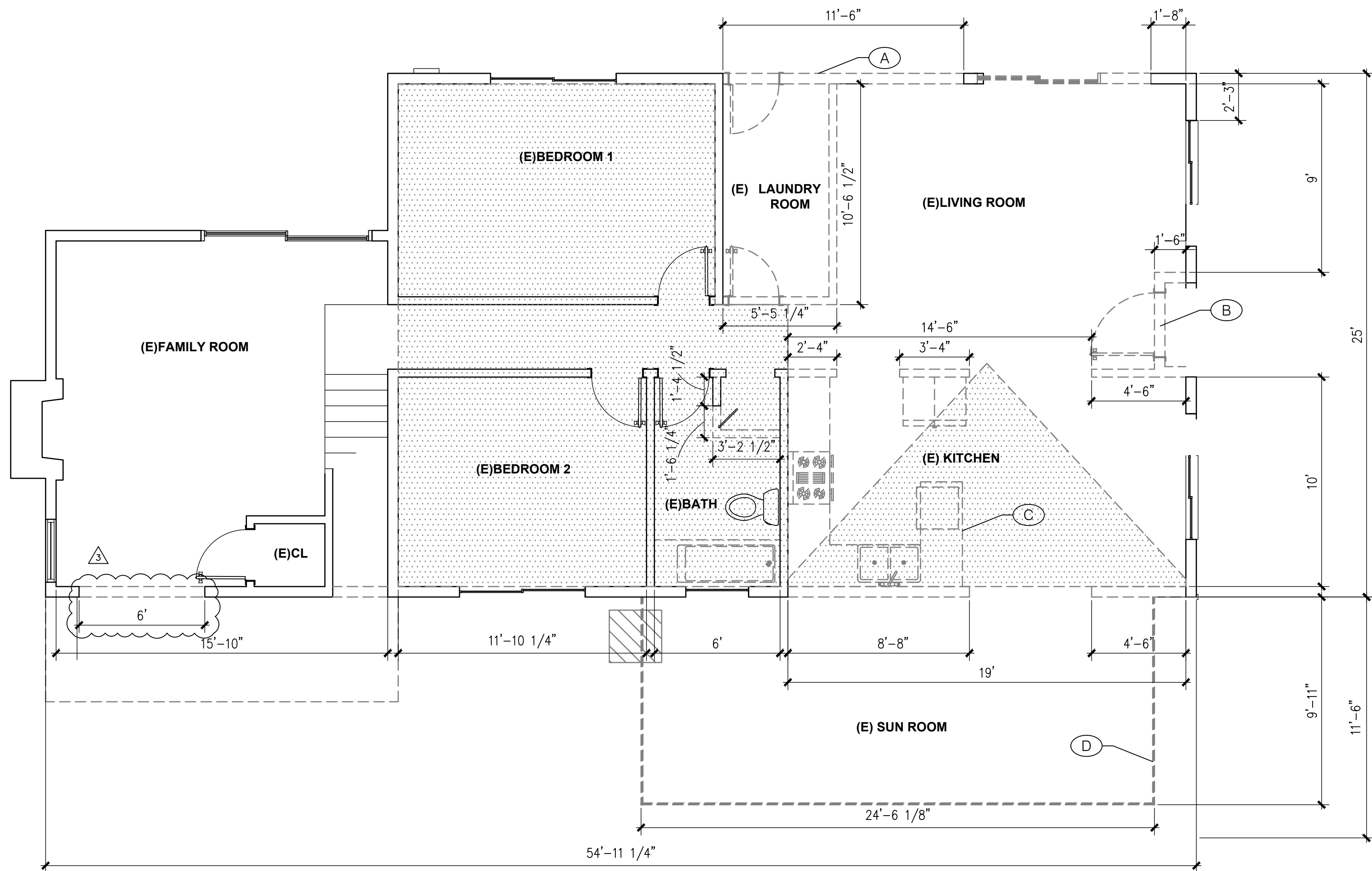
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1	AUG. 8, 2024	PLAN CHECK CORRECTIONS
NO.	DATE	DESCRIPTION
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THE ORIGINAL SIZE OF THIS DRAWING IS 24"x36"		
SCALE	DATE	

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

EXISTING / PROPOSED SITE/ ROOF PLAN

A-11

SHEET NO.



EXISTING FLOOR PLAN

PLAN KEYNOTES:

A

EXISTING LAUNDRY ROOM TO BE DEMOLISHED.
LAUNDRY TO BE RELOCATED TO FAMILY ROOM

B

EXISTING ENTRY DOOR TO BE REPLACED WITH NEW
ENTRY FEATURE THAT IS FLUSH WITH EXTERIOR WALL

C

EXISTING KITCHEN TO BE RELOCATED TO THE NORTH

D

EXISTING SUNROOM TO BE DEMOLISHED AND REPLACED
WITH 4 SEASONS SUN ROOM

FLOOR PLAN NOTES:

A) CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE
AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING
SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING
TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY
CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING
THE SUBFLOOR. (R109.1.1.1)

B) ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL
SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT,BEFORE
FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO
FRAMING INSPECTION. (R109.1.2)

C) WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN
ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX,
CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED
IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC,
INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND
MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC
WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED
IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

WALL LEGEND

NEW WALLS

EX. WALLS TO REMAIN

DEMO WALLS

0' 1' 2' 5' 10'

1/4"=1'-0"

NORTH

ANGELA LINDSAY
191 EL CAMINO DRIVE
COSTA MESA, CA 92626
949.872.1179
ANGELA@soCalh2h.com

ARCHITECT

ANGELA LIN
LINDSAY
C-32886
08/28/27
RENEWAL
STATE OF CALIFORNIA

EXISTING CONDITIONS

LOT AREA: 6,615 SF
1ST FLOOR LIVING AREA: 1,172 SF
2ND FLOOR LIVING AREA: 340 SF
MAIN RESIDENCE AREA: 1,512 SF
GARAGE AREA: 1,007 SF
2ND FLOOR APARTMENT: 950 SF
GROSS FLOOR AREA: 3,469 SF
F.A.R.: 0.52

PROPOSED CONDITIONS

LOT AREA: 6,615 SF
1ST FLR EXPANSION AREA: 426 SF
2ND FLR EXPANSION AREA: 96 SF
(N) STORAGE LOFT: 140 SF
MAIN RESIDENCE AREA: 2,174 SF
(N) DECK AREA: 143 SF
GARAGE AREA: 1,007 SF
(N) 1ST FLOOR AREA: 1,598 SF
LOT COVERAGE: 39.4 %
GROSS FLOOR AREA: 4,131 SF
F.A.R.: 0.62

1 MAY 7, 2025 CONDITIONAL USE PERMIT REVISIONS

2 FEB. 12, 2025 CONDITIONAL USE PERMIT DRAWINGS

1 AUG. 8, 2024 PLAN CHECK CORRECTIONS

NO. DATE DESCRIPTION

ISSUES AND REVISIONS

THE ORIGINAL SIZE OF THIS DRAWING IS 24"x36"

SCALE

DATE MAY 7, 2025

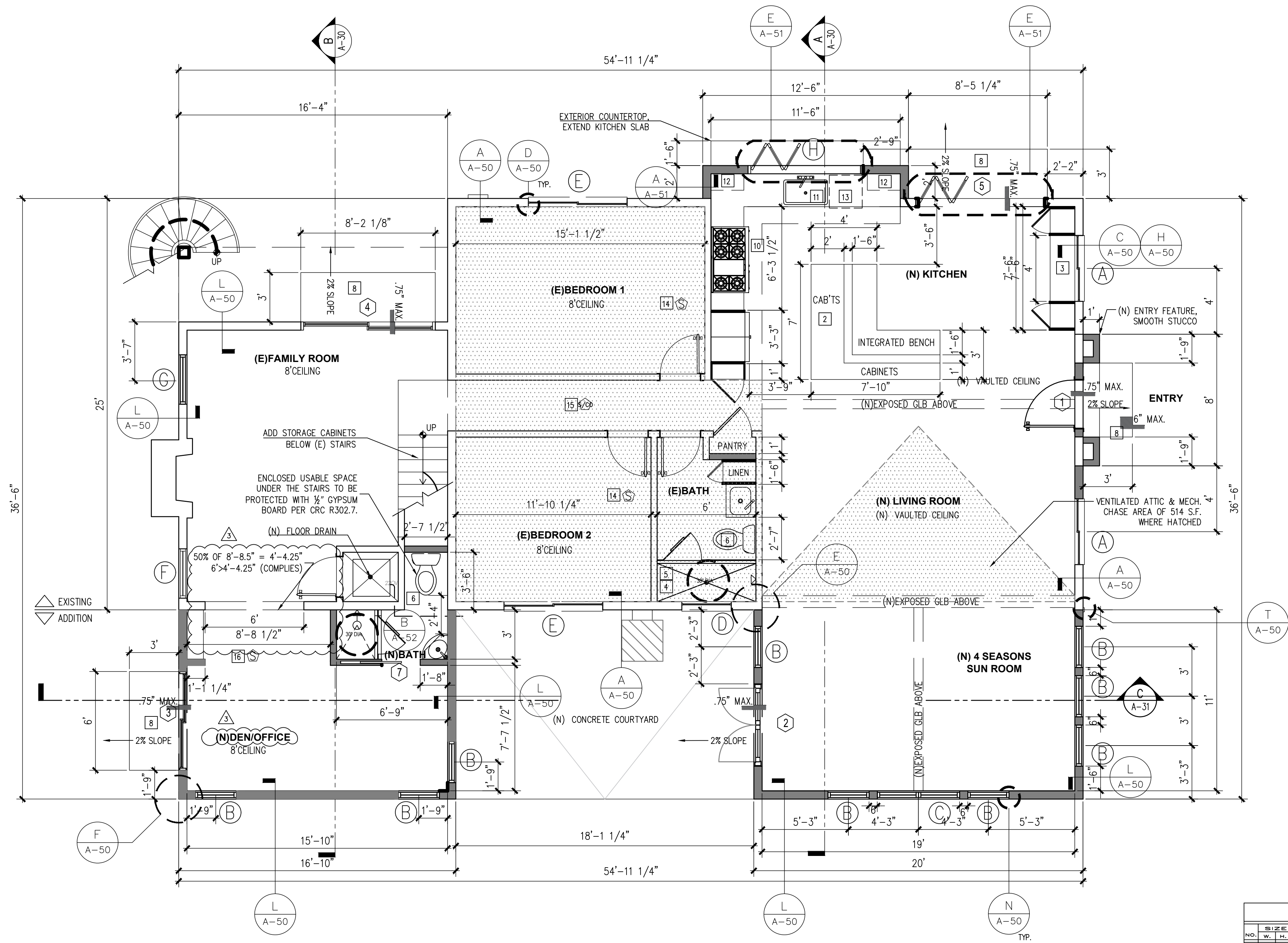
PROJECT TITLE

EXISTING / DEMO PLAN

SHEET TITLE

A-12

SHEET NO.



PROPOSED GROUND FLOOR PLAN

WALL OPENINGS:

DAYLIGHT CALCULATION (GLAZING AREA > 8% OF ROOM AREA)
LIVING ROOM: 209 SQ.FT.
LIVING ROOM GLAZING REQUIRED: 209x.08 = 16.72S.F.
PROVIDED: WIN. B: GLAZED AREA S.F.= 12.90SQ.FT.=77.40 S.F
WIN. C: GLAZED AREA S.F.= 32.4 SQ.FT.=109.8S.F
109.8 S.F. > 16.72 REQ'D S.F.(COMPLIES).
KITCHEN: 357.75 SQ.FT.
KITCHEN GLAZING REQUIRED: 357.75x.08 = 28.62 S.F.
PROVIDED: WIN. A: GLAZED AREA S.F.= 13.00 SQ.FT.
WIN. H: GLAZED AREA S.F.= 32.66 SQ.FT.
DOOR 5: GLAZED AREA S.F.= 28.57 SQ.FT.=74.23 S.F.
74.23 S.F. > 28.62 REQ'D S.F.(COMPLIES).
BEDROOM: 166.25SQ.FT.
BEDROOM GLAZING REQUIRED:166.25x.08 = 13.3 S.F.
PROVIDED: WIN. B: GLAZED AREA S.F.= 12.90 SQ.FT.=38.7 S.F
38.70 S.F. > 13.3 REQ'D S.F.(COMPLIES).
PRIMARY BATHROOM: 83.0 SQ.FT.
BATHROOM GLAZING REQUIRED: 83.0 x .08 = 6.64 S.F.
PROVIDED: WIN. J: GLAZED AREA S.F.= 18.25 SQ. FT.
18.25 S.F. > 6.64 REQ'D S.F.

VENTILATION CALCULATION (OPERABLE AREA > 4% OF ROOM AREA)
LIVING ROOM: 209 SQ.FT.
LIVING ROOM VENTILATION REQUIRED: 209 x.04 = 8.36 S.F.
PROVIDED: WIN. A: OPERABLE AREA S.F.=7.5 S.F.
DOOR 2: OPERABLE AREA S.F.=34 S.F.
41.5 < 8.36 S.F. (COMPLIES)
KITCHEN: 357.75 SQ.FT.
KITCHEN VENTILATION REQUIRED: 357.75 x.04 = 14.31 S.F.
PROVIDED: WIN. G: OPERABLE AREA S.F. = 18.25
18.25 S.F. > 14.31 S.F.(COMPLIES)
PRIMARY BATHROOM: 83.0 SQ.FT.
BATHROOM VENTILATION REQUIRED: 83.0 x .04 =3.32 S.F.
PROVIDED: WIN. J: OPERABLE AREA S.F. = 3.4 X 2=6.8 S.F.
6.8 S.F. > 3.32 S.F.(COMPLIES)



2000 Main Street 3rd Floor
Huntington Beach, CA 92648
714/536-5241

WATER METER UPGRADE CHECK LIST

Owner's / Applicant's Name Chris & Georgie Pechulis
Job Address 712 Huntington St. Huntington Beach, CA 92648
Permit Number (if applicable)
Contact Number (714) 926 - 1170

NOTE: Provide ALL counts of New and Existing Fixtures Below!!!

Water Closet / Toilet	3	x	2.5	=	7.5
Bathroom Sink including Bar Sink	1	x	1.0	=	1.0
Bath Tub with 1/2" fill valve	2	x	4.0	=	8
Bath Tub with 3/4" fill valve	0	x	10.0	=	0
Shower Stall (per head)	1	x	2.0	=	2
Kitchen Sink	1	x	1.5	=	1.5
Dish Washer	1	x	1.5	=	1.5
Laundry/Washer	1	x	1.0	=	1.0
Laundry Sink	0	x	1.5	=	0
Hose Bibb	2	x	2.5	=	5.0
Hose Bibb (each additional)	1	x	1.0	=	1.0

TOTAL FIXTURE COUNT

TABLE 6-5
Fixture Unit Table for Determining Water Pipe and Meter Sizes

Meter	Building	Supply	Street and	Maximum Allowable Length in Feet
Inches	Inches	Inches	Inches	Inches
3/4	1-1/4	30	30	30
1	1-1/4	78	78	67
1-1/2	1-1/4	78	78	62

Water Closets	4	=	10
Lav.	6	=	6
Bathrooms	2	=	8
Jac.Tub	1	=	10
Shower Stalls	2	=	4
Kitchen Sink	1	=	1.5
Dish Washer	1	=	1.5
Laundry	1	=	4
Hose Bibb	1	=	2.5
Hose Bibb	3	=	3

TOTAL

Note: Most SFR's have about 80 to 1000 in total plumbing length. Verify total fixture count on the table below. See that 50.5 exceeds 39, so you would have to upgrade your water meter to a 1 inch meter with a 1 1/4 inch supply.

DOOR SCHEDULE

NO.	SIZE	STYLE	EXISTING	MATERIAL	GLAZED AREA	QTY	REMARKS
1	36" x 80"	ENTRY	NO	WOOD	3.98 SQ. FT.	1	0.300.20
2	60" x 80"	FRONT DOOR	NO	GLASS	19.2 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
3	72" x 80"	SLIDING	NO	GLASS	23.0 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
4	96" x 80"	SLIDING (E) HEADER	NO	GLASS	28.8 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
5	96" x 80"	FOLDING	NO	CONTEMPORARY GLASS	38.0 SQ. FT.	1	LA CANTINA FOLDING DOOR 3 PANEL, HEADER HT. 7'-6"
6	28" x 80"	INTERIOR	NO	WOOD	2.0 SQ. FT.	2	
7	30" x 80"	SOLID CORE	NO	WOOD	1.0 SQ. FT.	1	
8	30" x 80"	HT. FRENCH	NO	WOOD	1.0 SQ. FT.	1	
9	36" x 80"	HT. FRENCH	NO	GLASS	23.0 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
10	72" x 80"	SLIDING	RETROFIT	GLASS	23.0 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
11	96" x 80"	SLIDING	NO	GLASS	28.8 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
12	96" x 80"	SLIDING	NO	GLASS	28.8 SQ. FT.	1	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD

WINDOW SCHEDULE

NO.	SIZE	STYLE	EXISTING	MATERIAL	GLAZED AREA	QTY	REMARKS
1	48" x 48"	HORIZONTAL	RETROFIT	GLASS	12.0 SQ. FT.	2	WEATHERSHIELD PREMIUM COASTAL W/LITES: EXT. BLACK / INT. WOOD
2	30" x 72"	DIRECT SET	NO	GLASS	12.0 SQ. FT.	9	TEMPERED
3	60" x 92"	W/OPERABLE TRANSOM	NO	GLASS	32.0 SQ. FT.	1	TEMPERED, HEADER AT 100" A.F.F.
4	36" x 24"	HORIZONTAL	RETROFIT	GLASS	9.0 SQ. FT.	1	TEMPERED, INSTALLER TO MEASURE FOR RETROFIT PRIOR TO ORDERING
5	72" x 43.5"	SLIDER W/ PRIME MOLD	RETROFIT	GLASS	19.0 SQ. FT.	2	LOWER PANEL FOR GRESS TO BE 33" MAX. IN SLIDER UPPER CABINET
6	36" x 72"	DIRECT SET	RETROFIT	GLASS	17.0 SQ. FT.	1	MATCH WINDOW F
7	36" x 72"	DIRECT SET	NO	GLASS	17.0 SQ. FT.	1	MATCH WINDOW F
8	64" x 56"	PASS THROUGH	NO	CONTEMPORARY GLASS	1.88 SQ. FT.	1	LA CANTINA 3 PANEL TO MATCH DOOR 5, HEADER INT. 7'-0"
9	24" x 48"	DIRECT SET	NO	GLASS	6.0 SQ. FT.	3	TEMPERED
10	76" x 20"	DIRECT SET	NO	GLASS	0.97 SQ. FT.	1	TEMPERED
11	36" x 56"	SINGLE HUNG	NO	GLASS	11.0 SQ. FT.	1	MATCH WINDOW L
12	36" x 56"	SINGLE HUNG	RETROFIT	GLASS	11.0 SQ. FT.	1	MATCH WINDOW L
13	48" x 68"	HORIZONTAL	RETROFIT	GLASS	15.6 SQ. FT.	2	TEMPERED, HEADER AT 20" A.F.F. OF LOFT
14	24" x 48"	HORIZONTAL	REUSE (E)	GLASS	6.0 SQ. FT.	1	TEMPERED
15	36" x 20"	HORIZONTAL	NO	GLASS	3.6 SQ. FT.	2	TEMPERED
16	48" x 68"	DIRECT SET	NO	GLASS	15.6 SQ. FT.	1	TEMPERED

GENERAL NOTES:

- PER CALIFORNIA STATE CIVIL CODE SECTION 11001.1-1101.8 REQUIRES THAT FOR SINGLE-FAMILY RESIDENTIAL PROPERTY FOR IMPROVEMENT ACTIVITY REQUIRING BUILDING PERMIT, THE BUILDING APPLICANT IS RESPONSIBLE FOR REPLACING ALL NONCOMPLIANT PLUMBING FIXTURES WITHIN THE BUILDING WITH WATER-CONSERVING PLUMBING FIXTURES.
- PER SECTION 301.1.1 CALGreen AND CIVIL CODE SECTION 1101.3(c), ALL NON-COMPLIANT PLUMBING FIXTURES WITHIN THIS RESIDENCE SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES.
 - THE MAXIMUM FLOW RATE PER CAL GREEN CODE (SHT GC-1):
 - WATER CLOSETS: 1.28 GPF
 - SINGLE SHOWER HEADS: 1.8 GPM @ 80 PSI
 - MULTIPLE SHOWER HEADS: 2.0 GPM @ 80 PSI
 - LAVATORY FAUCETS: 1.2 GPM @ 80 PSI
 - KITCHEN FAUCETS: 1.8 GPM @ 80 PSI
 - INSULATION REQUIREMENTS:
 - CEILING: R-30
 - EXTERIOR WALLS: R-15 (IF CONDITIONED SPACE)

FLOOR PLAN KEYNOTES:

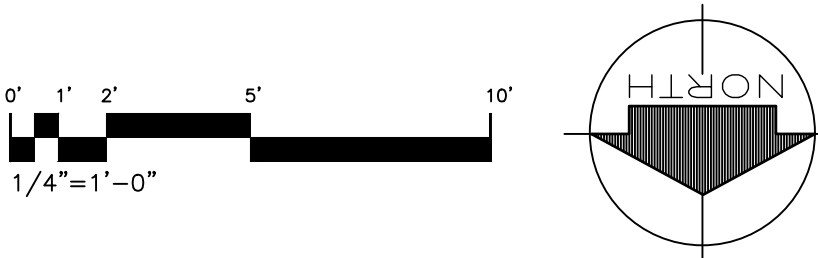
- (N) CLOSET W/ SHELF AND POLE.
- (N) L-SHAPED ISLAND W/BUILT-IN BANQUETTE
- (N) DROP ZONE CABINETS & BENCH
- WALL COVERING AT BATHROOM SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, TO 72" ABOVE DRAIN INLET AT SHOWER OR TUB WITH SHOWER MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED W/ INDIVIDUAL CONTROLS OF THE PRESSURE-BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE.
- 30" MIN. WATER CLOSET SPACE SIDE TO SIDE AND 24" MIN. IN FRONT
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHROOMS, AND LESS THAN 5' ABOVE SHOWERS SHALL BE TEMPERED.
- CONC. LANDING W/ MIN OF 36" LENGTH AND A MAXIMUM SLOPE OF ANY LANDING SHALL NOT EXCEED 1/4 INCH PER FOOT
- 22"x30" ATTIC ACCESS
- (N) GAS RANGE WITH VENTILATION HOOD ABOVE
- (N) KITCHEN SINK WITH GARBAGE DISPOSAL
- (N) UPPERS ON EITHER SIDE OF SINK
- (N) DISHWASHER
- SMOKE DETECTORS IN EXISTING AREAS TO BE BATTERY OPERATED
- CARBON MONOXIDE DETECTOR SHALL BE HARD WIRED AND SHALL BE EQUIPPED WITH BATTERY BACKUP. CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
- NEW SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL BE EQUIPPED WITH BATTERY BACKUP. SMOKE DETECTOR SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
- NOT USED

WINDOW & DOOR SCHEDULE NOTES:

- ALL FINISHES APPLIED TO DOORS SHALL OCCUR AT ALL 6 SURFACE PLANES/EDGES
- PAINTED DOORS & WINDOWS TO HAVE PAINTED JAMBS & TRIMS, U.N.O.
- STAINED DOORS & WINDOWS TO HAVE STAINED JAMBS & TRIMS, U.N.O.
- NEW STAIN-GRADE DOORS TO BE 7-PLY, PAINT GRADE TO BE 5-PLY
- ALL GLASS IN HAZARDOUS LOCATIONS TO BE TEMPERED:
 - AT SWINGING, BI-FOLD & SLIDING DOORS AND SHALL BE LABELED AS SUCH BY CODE
 - AT WINDOWS WITHIN 24" OF A DOOR AND WITHIN 18" A.F.F. WITHIN 3' HORIZONTAL OF A WALKWAY OR PATH OF TRAVEL
 - IN GUARDS AND RAILINGS
 - WITHIN 60" OF WATER'S EDGE IN A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM
 - WITHIN 36" A.F.F. OF STAIRS OR RAMPS
 - WITHIN A 60" HORIZONTAL ARC LESS THAN 180° FROM THE BOTTOM TREAD OF STAIRS.
- MAX. HEIGHT OF THRESHOLD TO BE 1/2". CHANGE IN LEVEL BETWEEN 1/2" AND 3/4" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2
- EXTERIOR DOORS TO HAVE BRASS INTERLOCK WEATHERSTRIPPING, GALV. FLASHING ABOVE ALL UNPROTECTED EXTERIOR DOOR OPENINGS
- ALL HARDWARE TO BE SELECTED BY OWNER
- ALL EXTERIOR SWINGING DOORS SHALL HAVE DEAD BOLT LOCKSETS.
- 36" WIDE (AND WIDER) ENTRY DOORS SHALL HAVE 4 HINGES
- CONTRACTOR TO VERIFY DOOR BETWEEN GARAGE IS 20-MINUTE RATED WITH SELF-CLOSING LATCHING DEVICE
- CONTRACTOR TO VERIFY ALL DOOR & WINDOW DIMENSIONS AND SITE CONDITIONS PRIOR TO ORDERING
- CONTRACTOR TO VERIFY ROUGH OPENING WITH DOOR & WINDOW MANUFACTURER BEFORE ROUGH OPENINGS ARE INSTALLED
- ALL EXTERIOR DOORS HAVING GLASS ELEMENTS SHALL BE DUAL GLAZED, U.N.O.
- REFER TO TITLE 24 COMPLIANCE REPORT FOR GLAZING RECOMMENDATIONS
- ALL HEADERS AT 6'-8" U.N.O.
- FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

WALL LEGEND

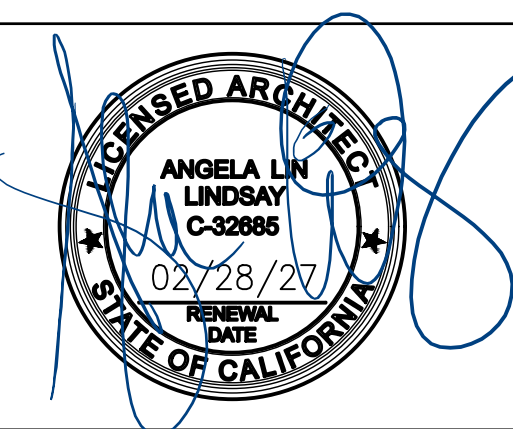
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ARCHITECT



EXISTING CONDITIONS

LOT AREA: 6,615 SF
1ST FLOOR LIVING AREA: 1,172 SF
2ND FLOOR LIVING AREA: 340 SF
MAIN RESIDENCE AREA: 1,512 SF
GARAGE AREA: 1,007 SF
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GROSS FLOOR AREA: 3,469 SF
F.A.R.: 0.52

PROPOSED CONDITIONS

LOT AREA: 6,615 SF
1ST FLR EXPANSION AREA: 426 SF
2ND FLR EXPANSION AREA: 96 SF
(N) STORAGE LOFT: 140 SF
MAIN RESIDENCE AREA: 2,174 SF
(N) DECK AREA: 143 SF
GARAGE AREA: 1,007 SF
(N) 1ST FLOOR AREA: 1,598 SF
LOT COVERAGE: 39.4 %
GROSS FLOOR AREA: 4,131 SF
F.A.R.: 0.62

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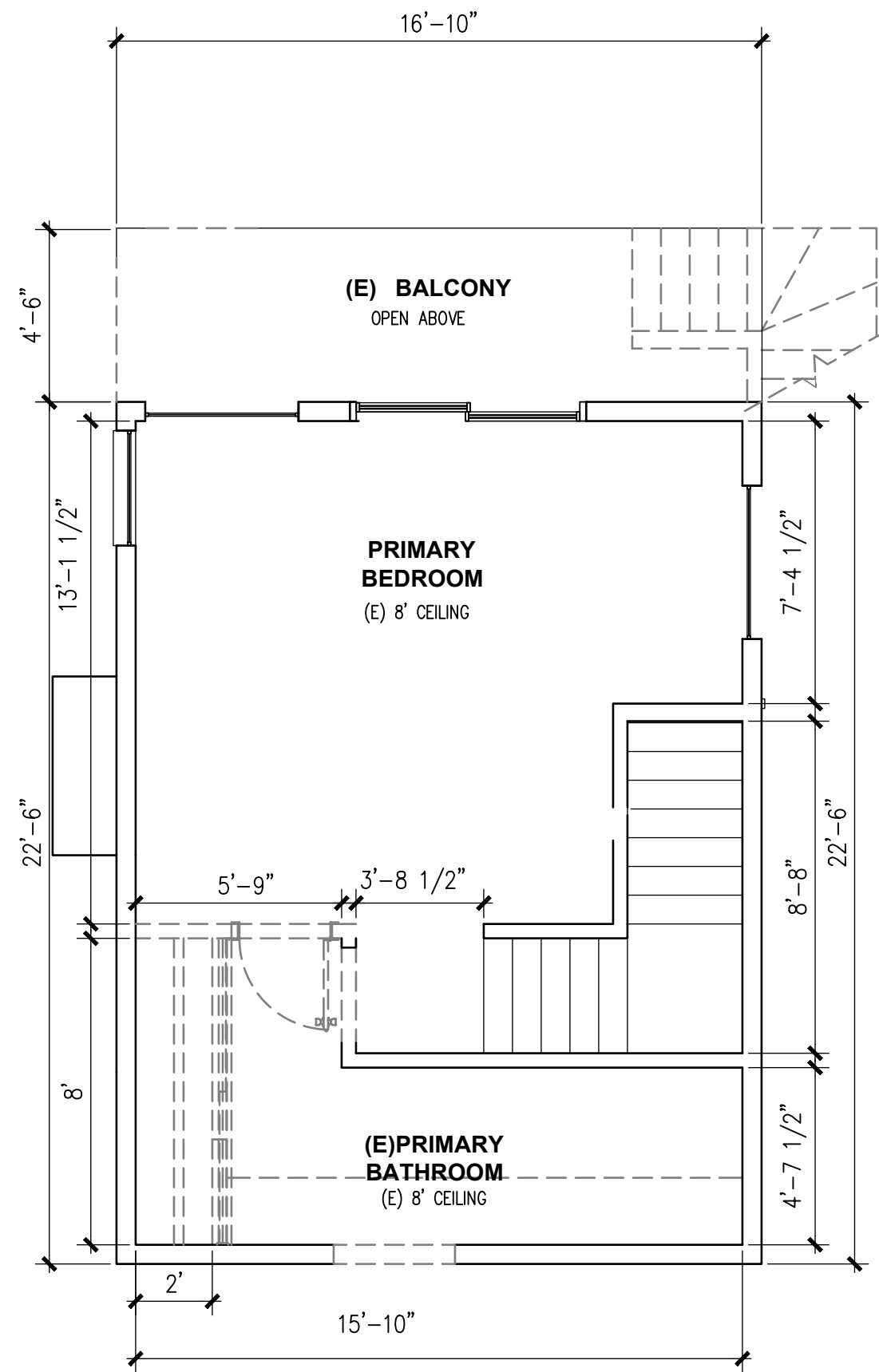
PROJECT TITLE

PROPOSED GROUND FLOOR PLAN

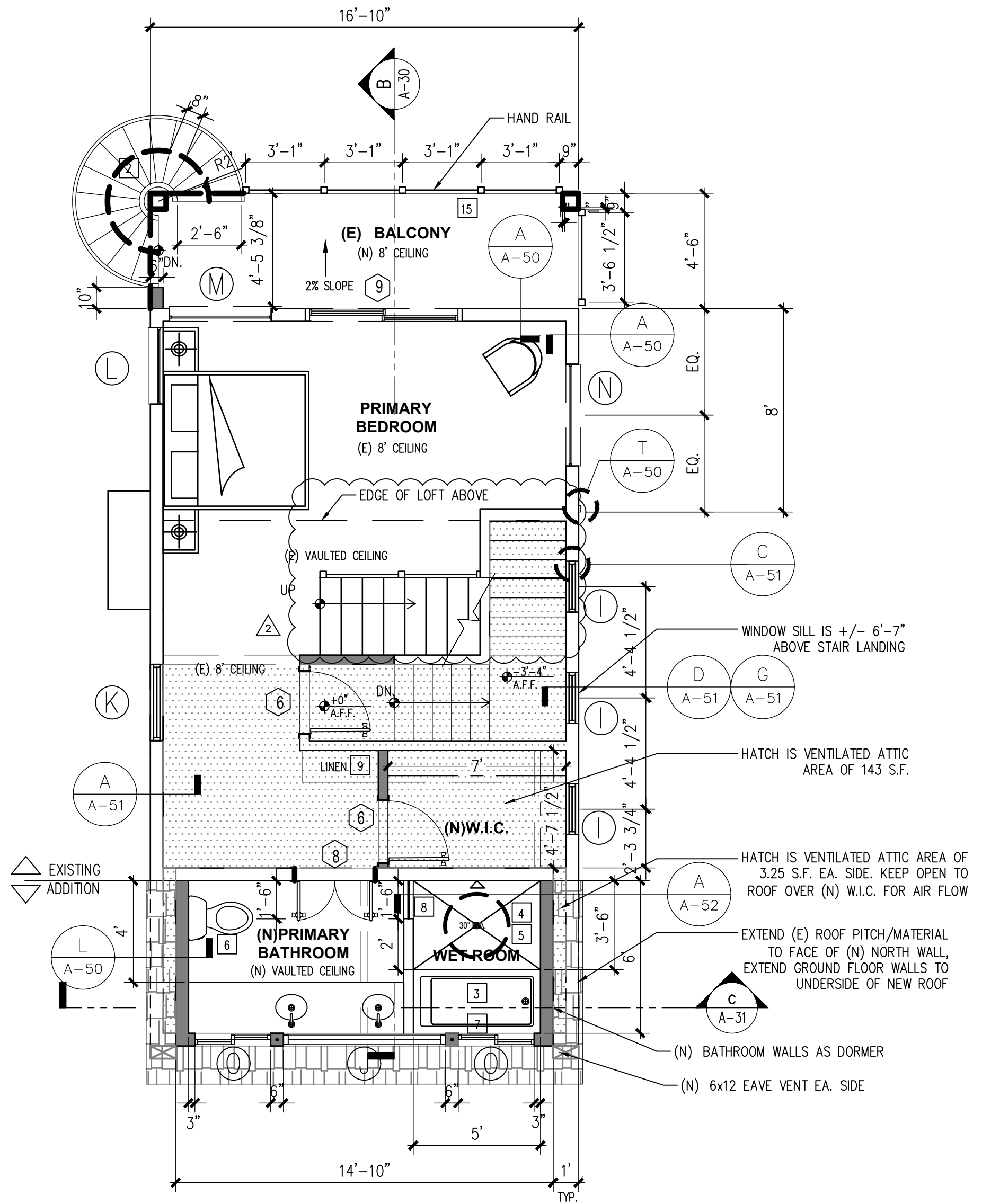
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A-13

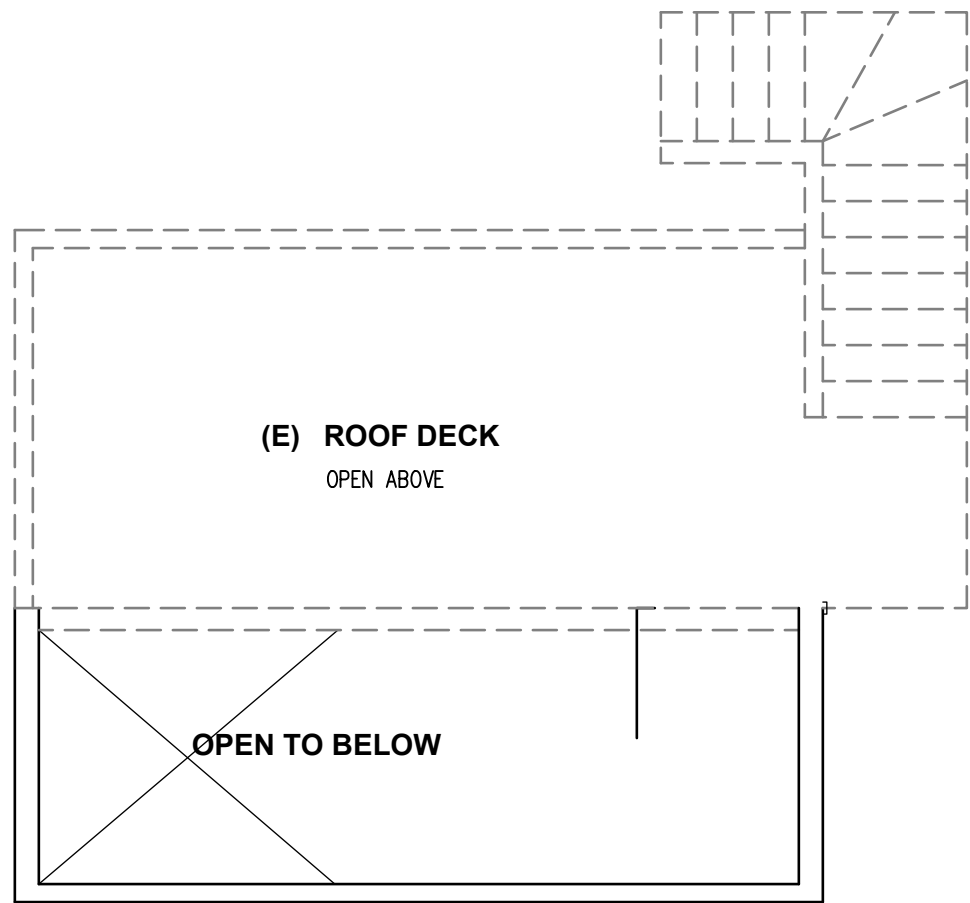
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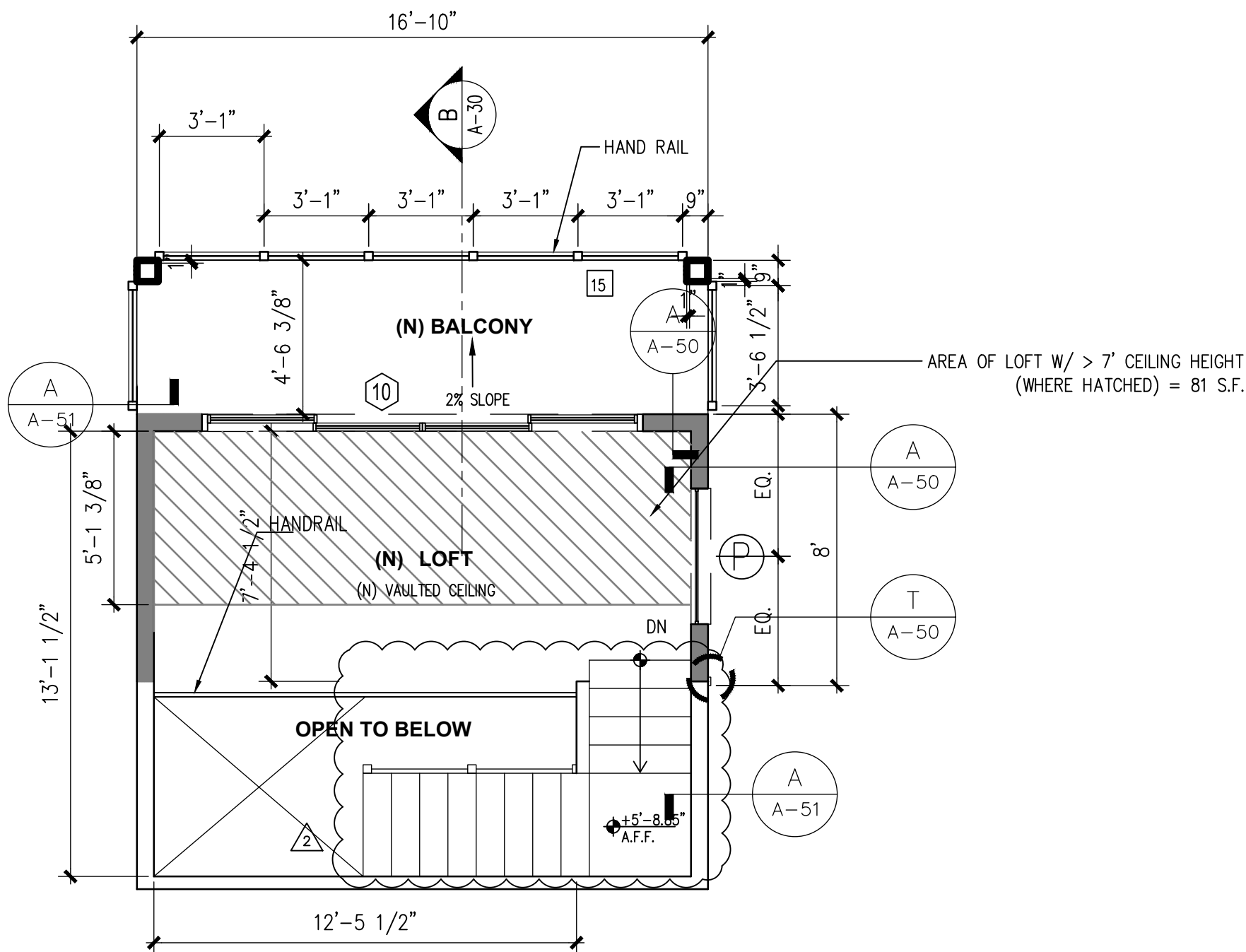
EXISTING SECOND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



EXISTING LOFT PLAN

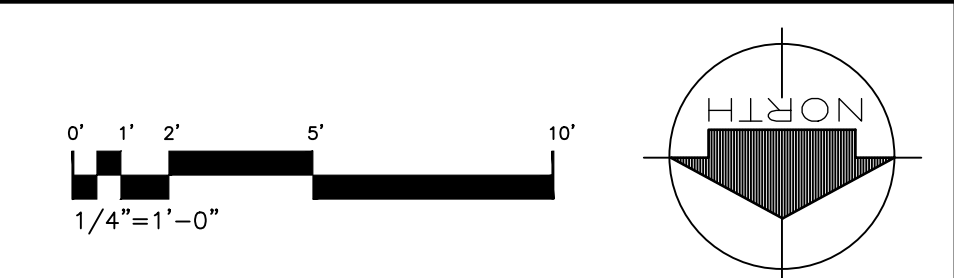


PROPOSED LOFT PLAN

- GENERAL NOTES:
- PER CALIFORNIA STATE CIVIL CODE SECTION 11001.1-1101.8 REQUIRES THAT FOR SINGLE-FAMILY RESIDENTIAL PROPERTY FOR IMPROVEMENT ACTIVITY REQUIRING BUILDING PERMIT, THE BUILDING APPLICANT IS RESPONSIBLE FOR REPLACING ALL NONCOMPLIANT PLUMBING FIXTURES WITHIN THE BUILDING WITH WATER-CONSERVING PLUMBING FIXTURES.
1. PER SECTION 301.1.1 CALGreen AND CIVIL CODE SECTION 1101.3(c), ALL NON-COMPLIANT PLUMBING FIXTURES WITHIN THIS RESIDENCE SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES.
2. THE MAXIMUM FLOW RATE PER CAL GREEN CODE (SHT GC-1):
- A. WATER CLOSETS: 1.28 GPF
 - B. SINGLE SHOWER HEADS: 1.8 GPM @ 80 PSI
 - C. MULTIPLE SHOWER HEADS: 2.0 GPM @ 80 PSI
 - D. LAVATORY FAUCETS: 1.2 GPM @ 80 PSI
 - E. KITCHEN FAUCETS: 1.8 GPM @ 80 PSI
3. INSULATION REQUIREMENTS:
- (N) CEILING: R-30
 - (N) EXTERIOR WALLS: R-15 (IF CONDITIONED SPACE)

- FLOOR PLAN KEYNOTES:
- 1 NOT USED
 - 2 PRE-FABRICATED METAL STAIR & HANDRAIL
 - 3 DROP-IN TUB
 - 4 WALL COVERING AT BATHROOM SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN INLET AT SHOWER OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
 - 5 SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED W/ INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE.
 - 6 30" MIN. WATER CLOSET SPACE SIDE TO SIDE AND 24" MIN. IN FRONT
 - 7 GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHROOMS, AND LESS THAN 5' ABOVE SHOWERS SHALL BE TEMPERED.
 - 8 HALF-WALL W/ SHOWER GLAZING UP TO 6'
 - 9 36" WIDE LINEN CABINET BY OTHERS
 - 10 NOT USED
 - 11 NOT USED
 - 12 NOT USED
 - 13 NOT USED
 - 14 SMOKE DETECTORS IN EXISTING AREAS TO BE BATTERY OPERATED
 - 15 IMPERVIOUS MOISTURE BARRIER(ALX DECK COATING, ESR-2201)

- WALL LEGEND
- NEW WALLS
 - EX. WALLS TO REMAIN
 - DEMO WALLS



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SCALE	FEB. 12, 2025
DATE	

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

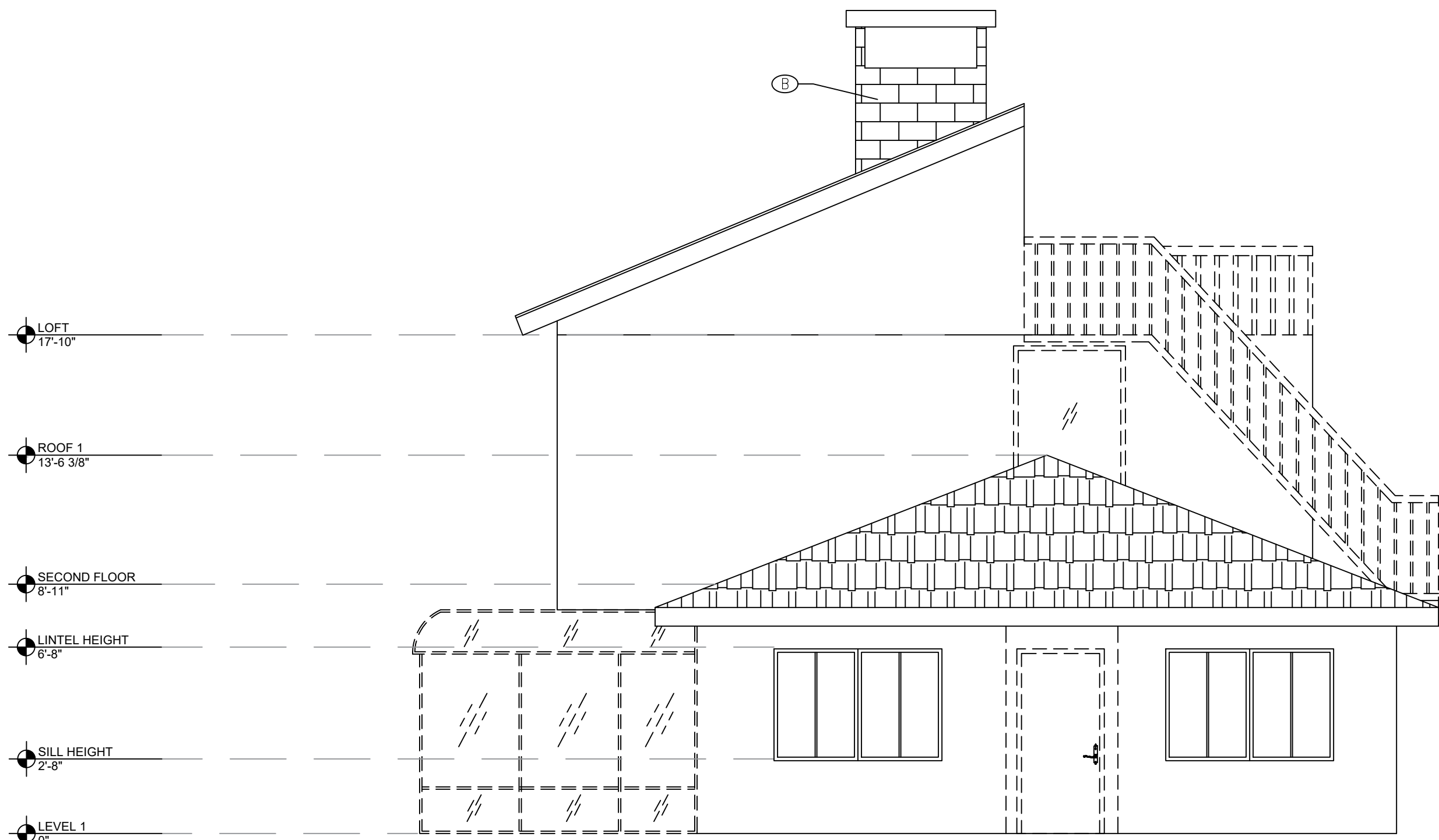
PROJECT TITLE

UPPER LEVEL
FLOOR PLANS

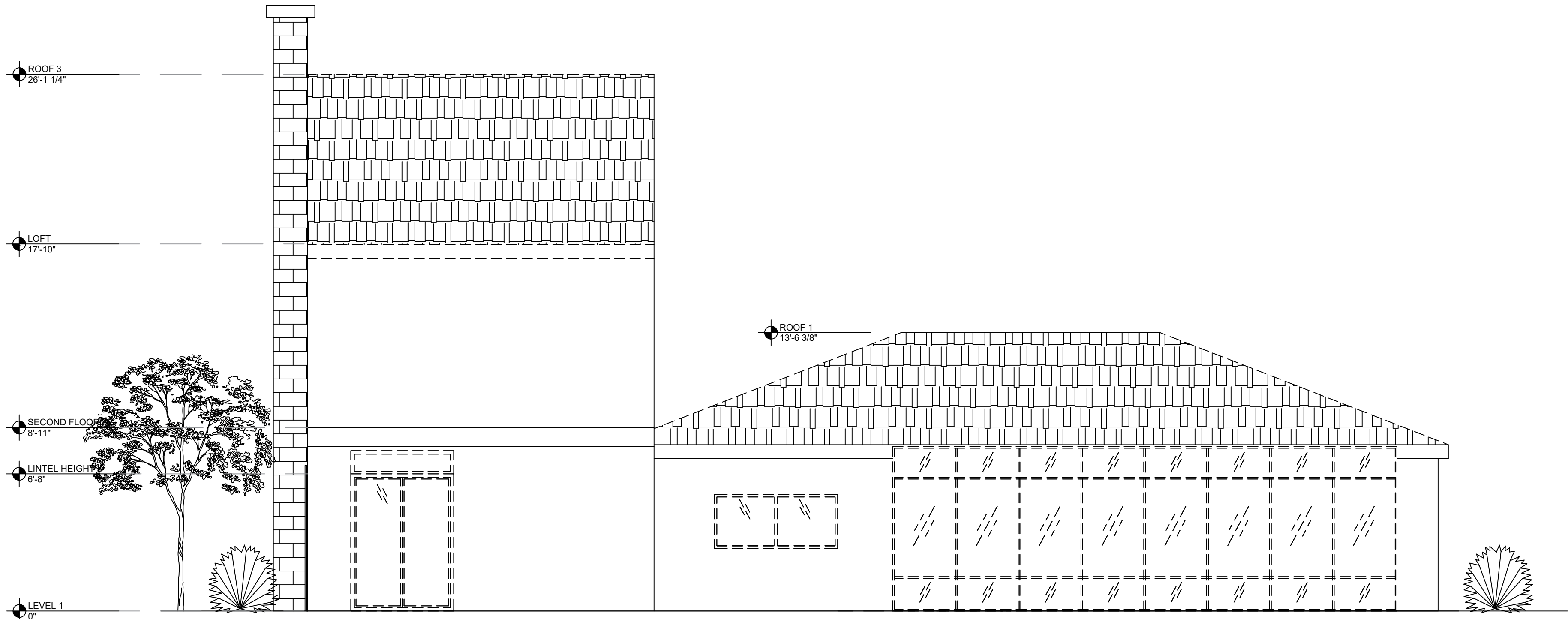
SHEET TITLE

SHEET NO.

A-14



WEST SIDE ELEVATION



NORTH SIDE ELEVATION

(E) ELEVATION KEYNOTES:

- (A) 4" X 4" WOODEN POST
(B) CHIMNEY

ANGELA LINDSAY

191 EL CAMINO DRIVE
COSTA MESA, CA 92626
949.872.1179
ANGELA@SoCalh2H.COM

ARCHITECT



EXISTING CONDITIONS

LOT AREA: 6,615 SF
1ST FLOOR LIVING AREA: 1,172 SF
2ND FLOOR LIVING AREA: 340 SF
MAIN RESIDENCE AREA: 1,512 SF
GARAGE AREA: 1,007 SF
2ND FLOOR APARTMENT: 950 SF
GROSS FLOOR AREA: 3,469 SF
F.A.R.: 0.52

PROPOSED CONDITIONS

LOT AREA: 6,615 SF
1ST FLR EXPANSION AREA: 426 SF
2ND FLR EXPANSION AREA: 96 SF
(N) STORAGE LOFT: 140 SF
MAIN RESIDENCE AREA: 2,174 SF
(N) DECK AREA: 143 SF
GARAGE AREA: 1,007 SF
(N) 1ST FLOOR AREA: 1,598 SF
LOT COVERAGE: 39.4 %
GROSS FLOOR AREA: 4,131 SF
F.A.R.: 0.62

2	FEB. 12, 2025	CONDITIONAL USE PERMIT DRAWINGS
1	AUG. 8, 2024	PLAN CHECK CORRECTIONS
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
THE ORIGINAL SIZE OF THIS DRAWING IS 24"x36"		

SCALE	DATE
	FEB. 12, 2025

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

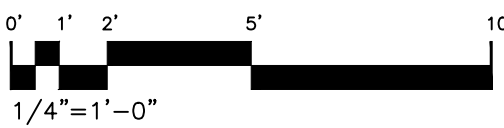
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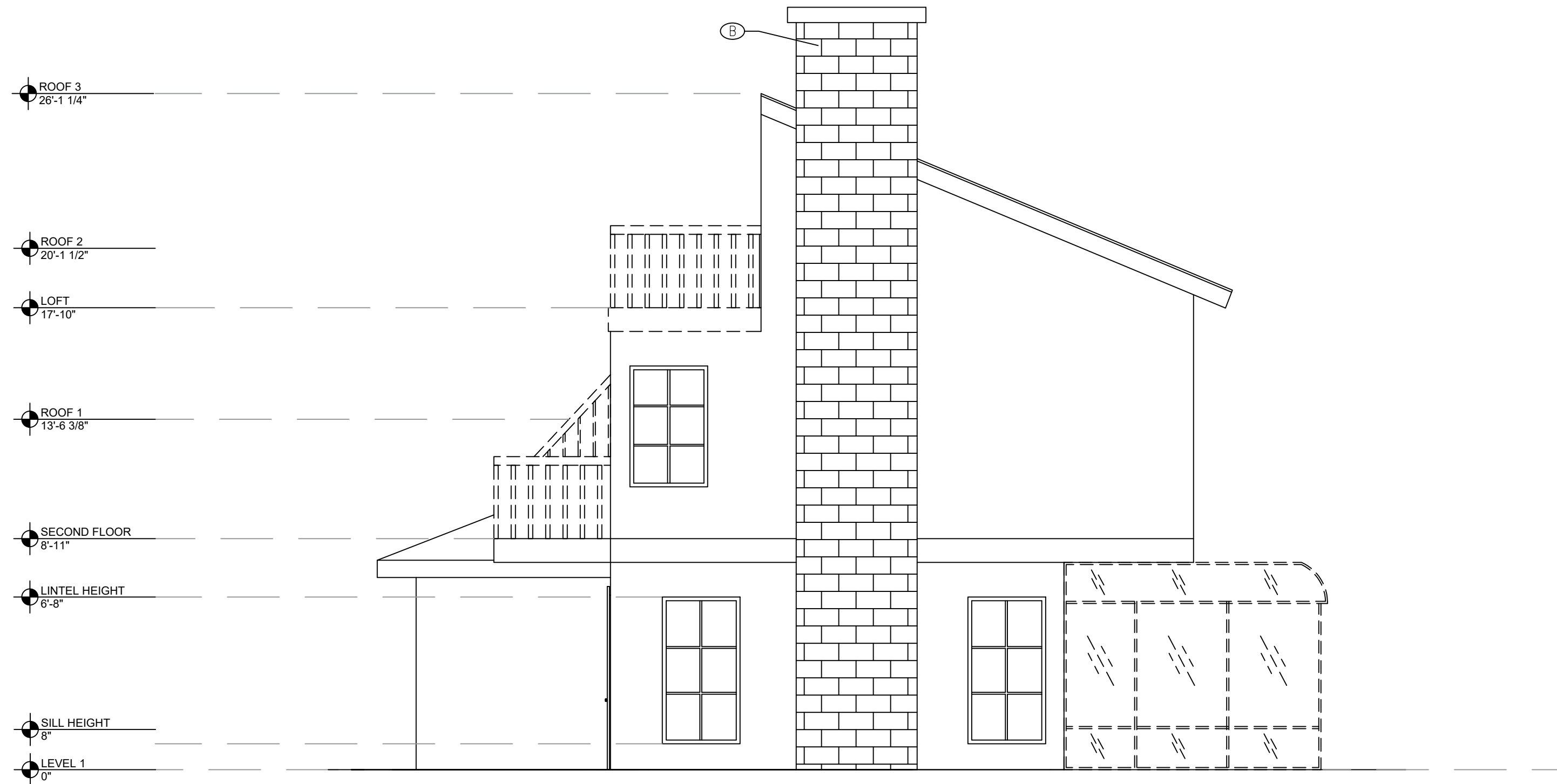
EXISTING
ELEVATIONS

SHEET TITLE

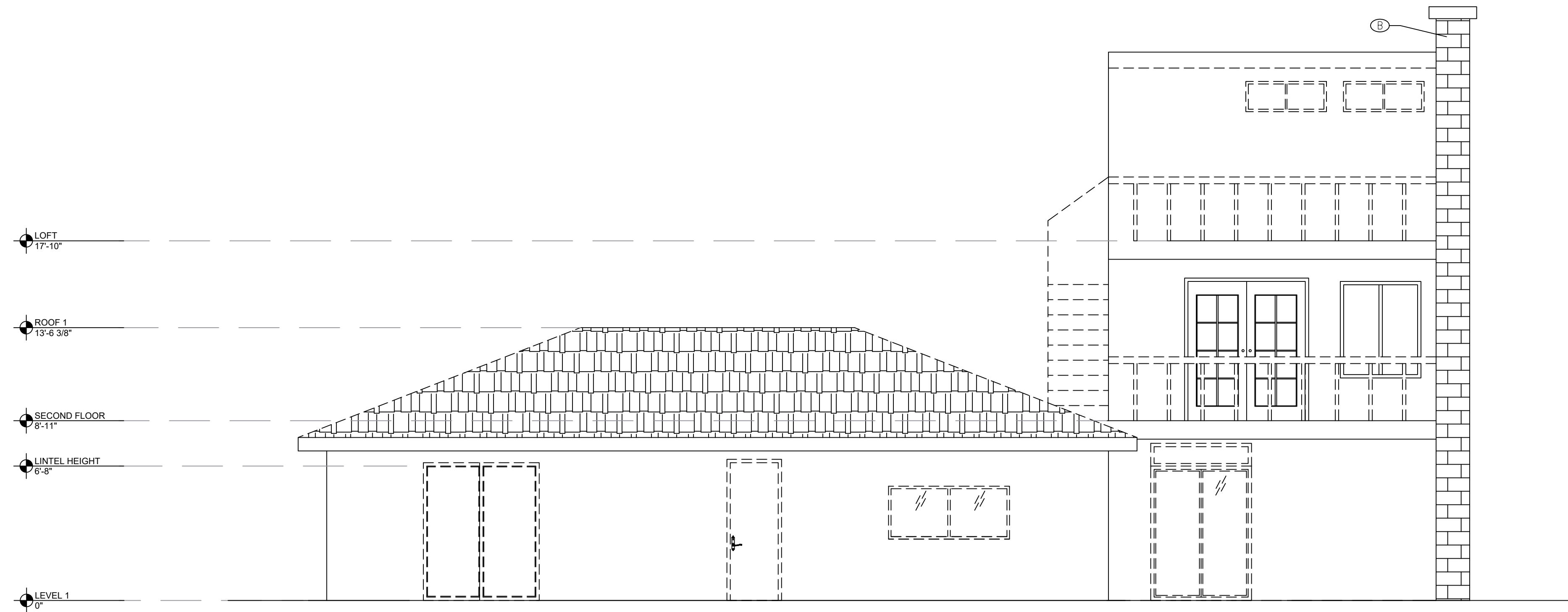
A-20

SHEET NO.





EAST SIDE ELEVATION



SOUTH SIDE ELEVATION

(E) ELEVATION KEYNOTES:

- A 4" X 4" WOODEN POST
- B CHIMNEY

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EXISTING CONDITIONS

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SCALE	DATE
	FEB. 12, 2025

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

PROJECT TITLE

EXISTING
ELEVATIONS

SHEET TITLE

A-21

SHEET NO.



ANGELA LINDSAY

191 EL CAMINO DRIVE
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949.872.1179
ANGELA@SoCalh2h.com

ARCHITECT



EXISTING CONDITIONS

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MAIN RESIDENCE AREA: 1,512 SF
GARAGE AREA: 1,007 SF
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GROSS FLOOR AREA: 3,469 SF
F.A.R.: 0.52

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(N) STORAGE LOFT: 140 SF
(N) MAIN RESIDENCE AREA: 2,174 SF
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GARAGE AREA: 1,007 SF
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LOT COVERAGE: 39.4 %
GROSS FLOOR AREA: 4,131 SF
F.A.R.: 0.62

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SCALE	FEB. 12, 2025
	DATE

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

PROJECT TITLE

PROPOSED
ELEVATIONS

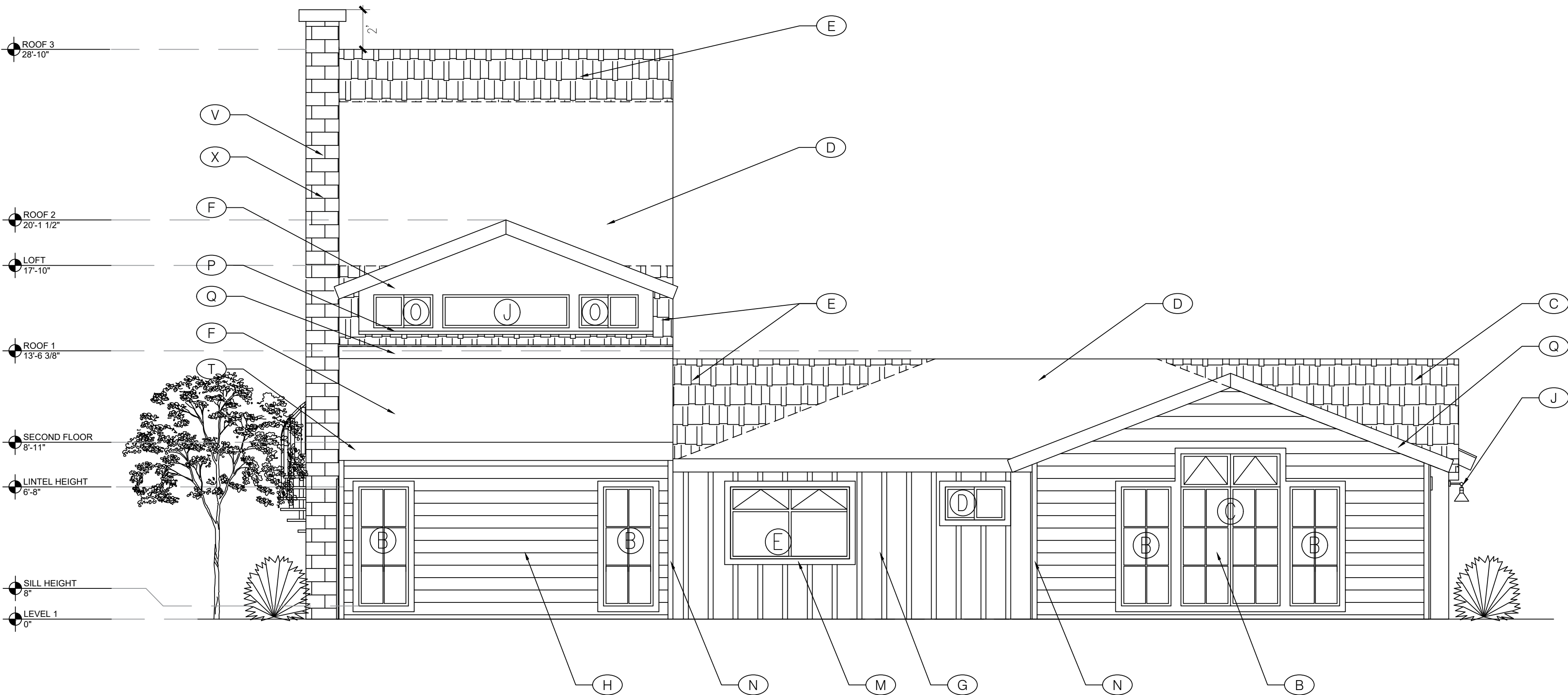
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A-22

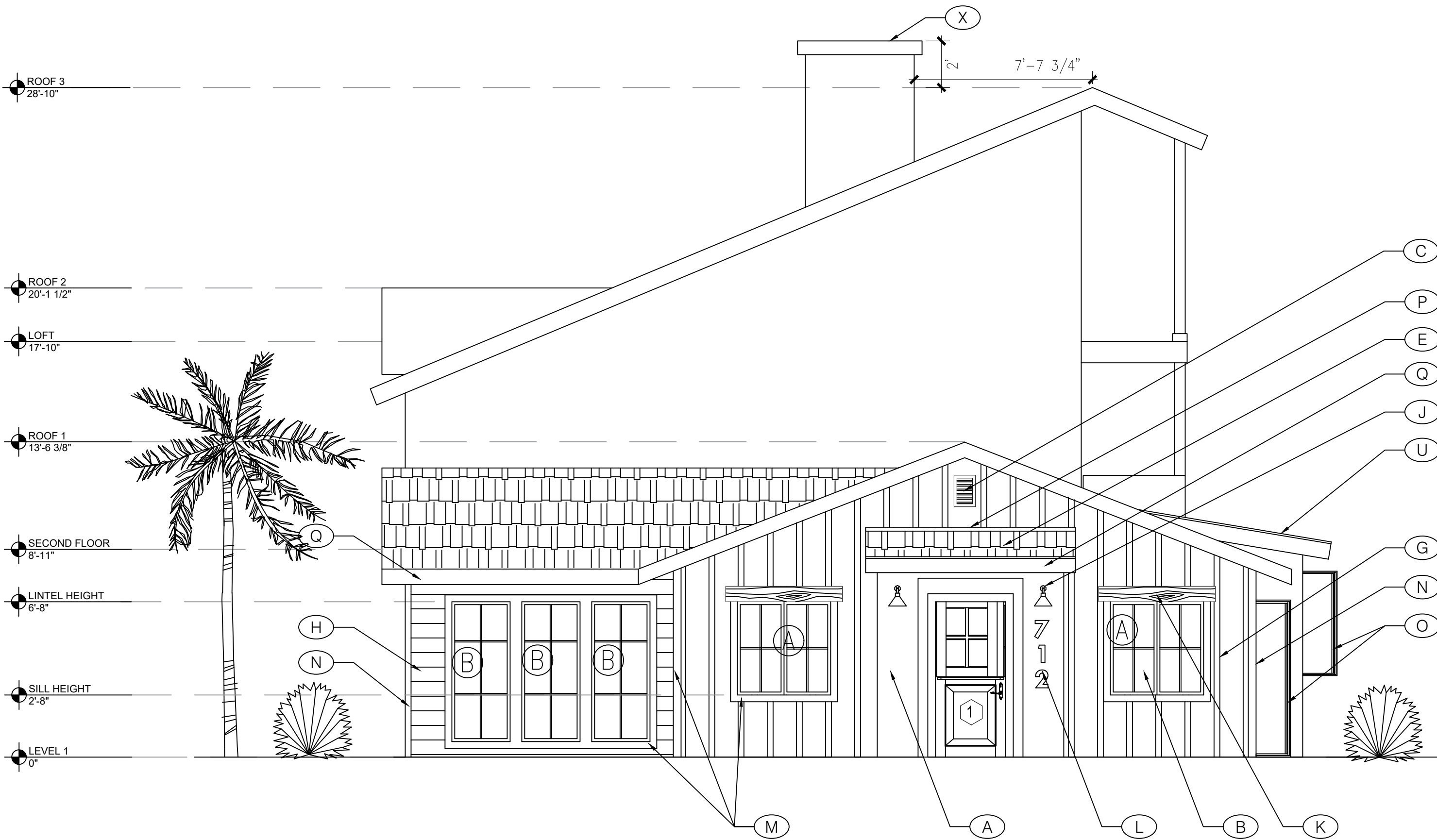
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ELEVATION KEYNOTES:

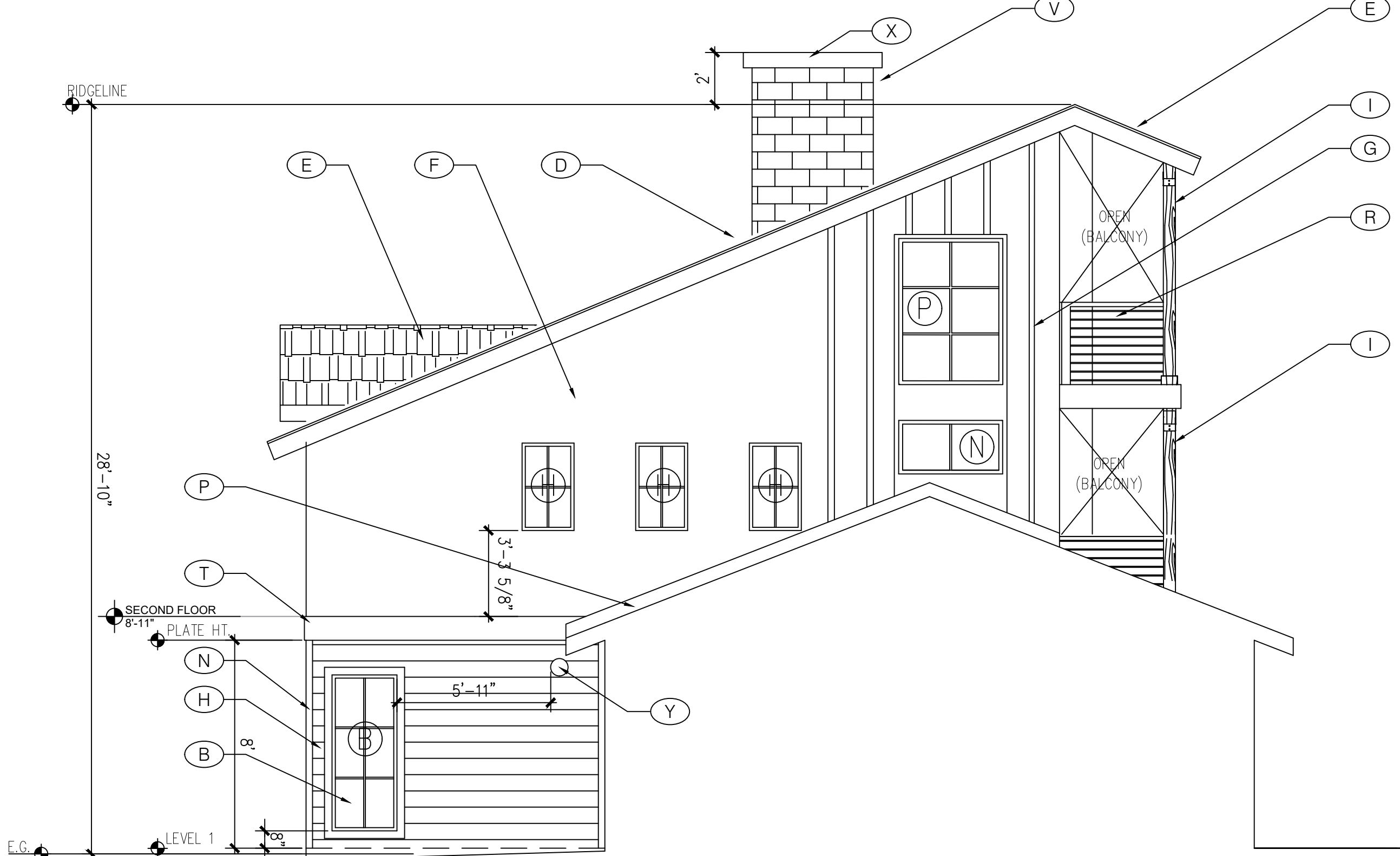
- (A) (N) ENTRY FEATURE OF SMOOTH STUCCO, PAINTED, COLOR TBD
(B) NEW WINDOWS: WEATHERSHIELD VUE IN BLACK OR APPROVED EQ.
(C) (N) GABLE ROOF END AND FAUX GABLE VENT, PAINT TO MATCH ADJACENT SURFACE
(D) (E) ROOF TO REMAIN
(E) NEW ASPHALT SHINGLE ROOF, MATCH EXISTING ROOF TO REMAIN
(F) STUCCO, MATCH EXISTING TEXTURE, PAINT COLOR TBD
(G) HARDIE PANEL VERTICAL BOARD & BATTEN SIDING, PAINTED, COLOR TBD
(H) HARDIE PANEL 8" LAP SIDING, PAINTED, COLOR TBD
(I) EXPOSED WOOD BEAM & COLUMNS, STAINED AND SEALED, REFER TO STRUCTURE WITH DECORATIVE BLACK SIMPSON HARDWARE, REFER TO STRUCTURE
(J) NEW COPPER LIGHT FIXTURE
(K) DECORATIVE WOOD HEADER, STAINED AND SEALED
(L) BLACK METAL HOUSE NUMBERS, 9" HIGH EA., FONT TO MATCH IMAGE
(M) HARDIE TRIM PAINTED, COLOR TBD
(N) HARDIE CORNER TRIM PAINTED, COLOR TBD
(O) NEW FOLDING DOOR/WINDOW WITH BLACK ALUMINUM FINISH, LA CANTINA OR SIMILAR
(P) APPLY APPROVED METAL FLASHING TO ALL ROOF TRANSITIONS AND PENETRATIONS
(Q) FASCIA BOARD, PRIMED AND PAINTED
(R) BLACK METAL CABLE RAILING BY VIEW RAIL OR APPROVED EQ.
(S) PRE-FABRICATED BLACK METAL SPIRAL STAIR W/ CABLE RAILING BY VIEW RAIL OR APPROVED EQ.
(T) 1X WOOD TRIM AT 2ND FLR LEVEL, PAINTED, SIZE & PLACE TO HIDE STEEL STRUCTURE
(U) NEW LOW SLOPING ROOF FELT TO MATCH ASPHALT SHINGLES
(V) (E) CHIMNEY TO REMAIN
(W) EXTERIOR COUNTERTOP TO BE A CONTINUATION OF INTERIOR COUNTER MATERIAL
(X) EXISTING CHIMNEY VENT SHALL TERMINATE NOT LESS THAN 2' ABOVE THE NEW ROOF PEAK OR ANY POINT ON THE ROOF WITHIN 10' HORIZONTAL OF THE VENT. (CMC 802.5.4) CONTRACTOR TO VERIFY OR REPLACE.
(Y) BATHROOM EXHAUST DUCT TERMINATION SHALL EXHAUST 3' FROM OPENINGS



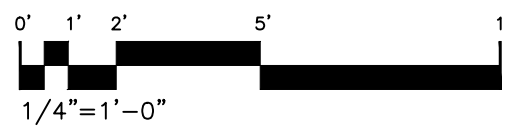
NORTH SIDE ELEVATION



WEST (FRONT) ELEVATION

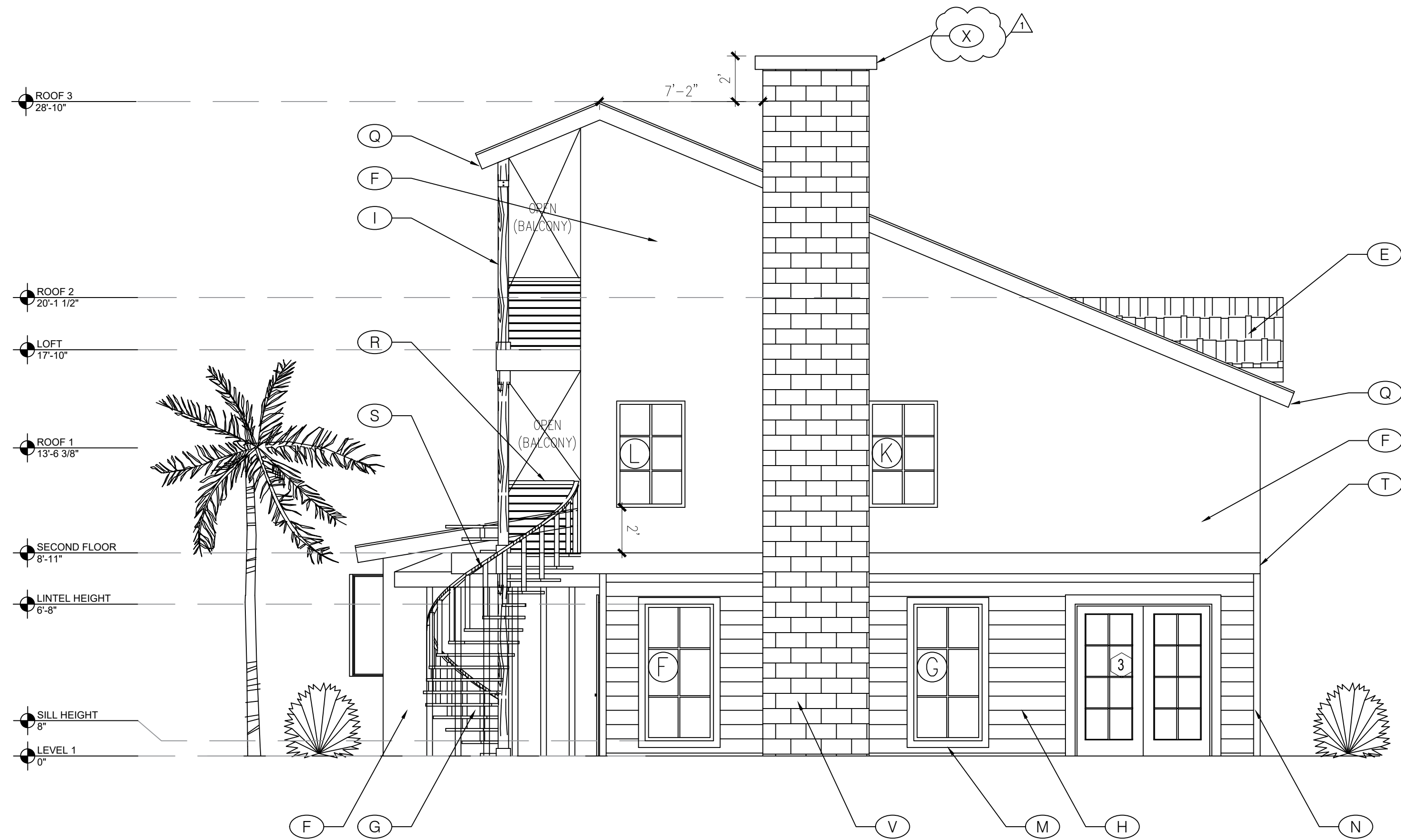


WEST COURTYARD (BACK) ELEVATION

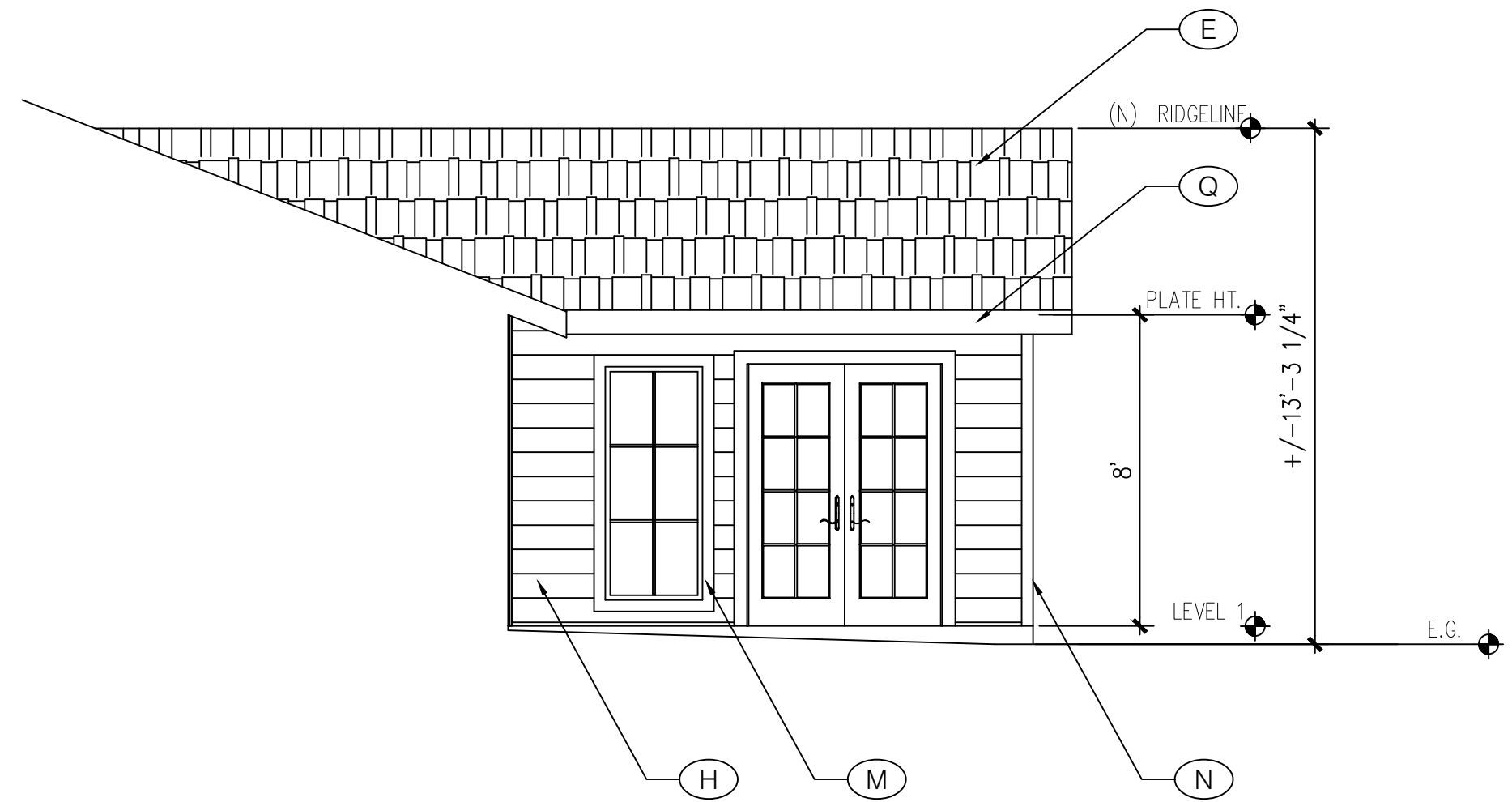




SOUTH SIDE ELEVATION



EAST (BACK) ELEVATION



EAST (COURTYARD) ELEVATION

- ELEVATION KEYNOTES:
- (A) (N) ENTRY FEATURE OF SMOOTH STUCCO, PAINTED, COLOR TBD
 - (B) NEW WINDOWS: WEATHERSHIELD VUE IN BLACK OR APPROVED EQ.
 - (C) (N) GABLE ROOF END AND FAUX GABLE VENT, PAINT TO MATCH ADJACENT SURFACE
 - (D) (E) ROOF TO REMAIN
 - (E) NEW ASPHALT SHINGLE ROOF, MATCH EXISTING ROOF TO REMAIN
 - (F) STUCCO, MATCH EXISTING TEXTURE, PAINT COLOR TBD
 - (G) HARDIE PANEL VERTICAL BOARD & BATTEN SIDING, PAINTED, COLOR TBD
 - (H) HARDIE PANEL 8" LAP SIDING, PAINTED, COLOR TBD
 - (I) EXPOSED WOOD BEAM & COLUMNS, STAINED AND SEALED, REFER TO STRUCTURE WITH DECORATIVE BLACK SIMPSON HARDWARE, REFER TO STRUCTURE
 - (J) NEW COPPER LIGHT FIXTURE
 - (K) DECORATIVE WOOD HEADER, STAINED AND SEALED
 - (L) BLACK METAL HOUSE NUMBERS, 9" HIGH EA., FONT TO MATCH IMAGE
 - (M) HARDIE TRIM PAINTED, COLOR TBD
 - (N) HARDIE CORNER TRIM PAINTED, COLOR TBD
 - (O) NEW FOLDING DOOR/WINDOW WITH BLACK ALUMINUM FINISH, LA CANTINA OR SIMILAR
 - (P) APPLY APPROVED METAL FLASHING TO ALL ROOF TRANSITIONS AND PENETRATIONS
 - (Q) FASCIA BOARD, PRIMED AND PAINTED
 - (R) BLACK METAL CABLE RAILING BY VIEW RAIL OR APPROVED EQ.
 - (S) PRE-FABRICATED BLACK METAL SPIRAL STAIR W/ CABLE RAILING BY VIEW RAIL OR APPROVED EQ.
 - (T) 1X WOOD TRIM AT 2ND FLR LEVEL, PAINTED, SIZE & PLACE TO HIDE STEEL STRUCTURE
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 - (V) (E) CHIMNEY TO REMAIN
 - (W) EXTERIOR COUNTERTOP TO BE A CONTINUATION OF INTERIOR COUNTER MATERIAL
 - (X) EXISTING CHIMNEY VENT SHALL TERMINATE NOT LESS THAN 2' ABOVE THE NEW ROOF PEAK OR ANY POINT ON THE ROOF WITHIN 10' HORIZONTAL OF THE VENT. (CMC 802.5.4) CONTRACTOR TO VERIFY OR REPLACE.

ANGELA LINDSAY
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ANGELA@SoCalh2H.COM

ARCHITECT

ANGELA LINDSAY
C-32888
02/28/23
RENEWAL DATE

EXISTING CONDITIONS

LOT AREA: 6,615 SF

1ST FLOOR LIVING AREA: 1,172 SF

2ND FLOOR LIVING AREA: 340 SF

MAIN RESIDENCE AREA: 1,512 SF

GARAGE AREA: 1,007 SF

2ND FLOOR APARTMENT: 950 SF

GROSS FLOOR AREA: 3,469 SF

F.A.R.: 0.52

PROPOSED CONDITIONS

LOT AREA: 6,615 SF

1ST FLR EXPANSION AREA: 426 SF

2ND FLR EXPANSION AREA: 96 SF

(N) STORAGE LOFT: 140 SF

MAIN RESIDENCE AREA: 2,174 SF

(N) DECK AREA: 143 SF

GARAGE AREA: 1,007 SF

(N) 1ST FLOOR AREA: 1,598 SF

LOT COVERAGE: 39.4 %

GROSS FLOOR AREA: 4,131 SF

F.A.R.: 0.62

2	FEB. 12, 2025	CONDITIONAL USE PERMIT DRAWINGS
1	AUG. 8, 2024	PLAN CHECK CORRECTIONS
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
THE ORIGINAL SIZE OF THIS DRAWING IS 24"x36"		

SCALE	FEB. 12, 2025
DATE	

PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

PROJECT TITLE

PROPOSED
ELEVATIONS

SHEET TITLE

A-23

SHEET NO.



1191 EL CAMINO DRIVE
COSTA MESA, CA 92626
949.872.1179
ANGELA@SoCalh2H.COM

ANGELA LIN
LINDSAY
C-32686
02/28/27
RENEWAL
DATE

LOT AREA:	6,615 S
1ST FLOOR LIVING AREA:	1,172 S
2ND FLOOR LIVING AREA:	340 S
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GARAGE AREA:	1,007 S
2ND FLOOR APARTMENT:	950 S
GROSS FLOOR AREA:	3,469 S
F.A.R.:	0.5

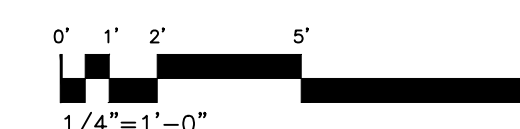
LOT AREA:	6,615 S
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(N) 1ST FLOOR AREA:	1,598 S
LOT COVERAGE:	39.4 %
GROSS FLOOR AREA:	4,131 S
F.A.R.:	0.6

SCALE	DATE
	MAY 7, 2025

PROJECT TITLE _____

SHEET TITLE:

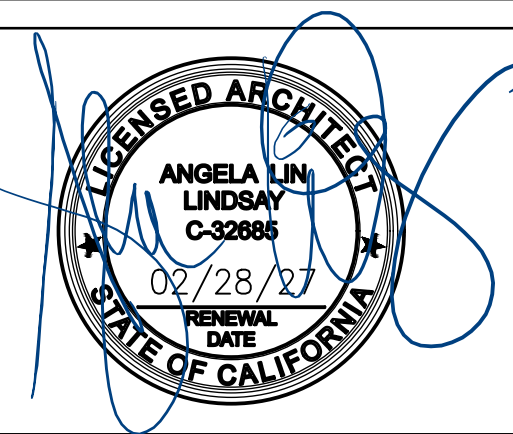
SHEET NO. _____



ANGELA LINDSAY

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ANGELA@SoCalh2h.COM

ARCHITECT



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1	MAY 7, 2025	CONDITIONAL USE PERMIT REVISIONS
2	FEB. 12, 2025	CONDITIONAL USE PERMIT DRAWINGS
3	AUG. 8, 2024	PLAN CHECK CORRECTIONS
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
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SCALE	MAY 7, 2025
DATE	

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712 HUNTINGTON ST
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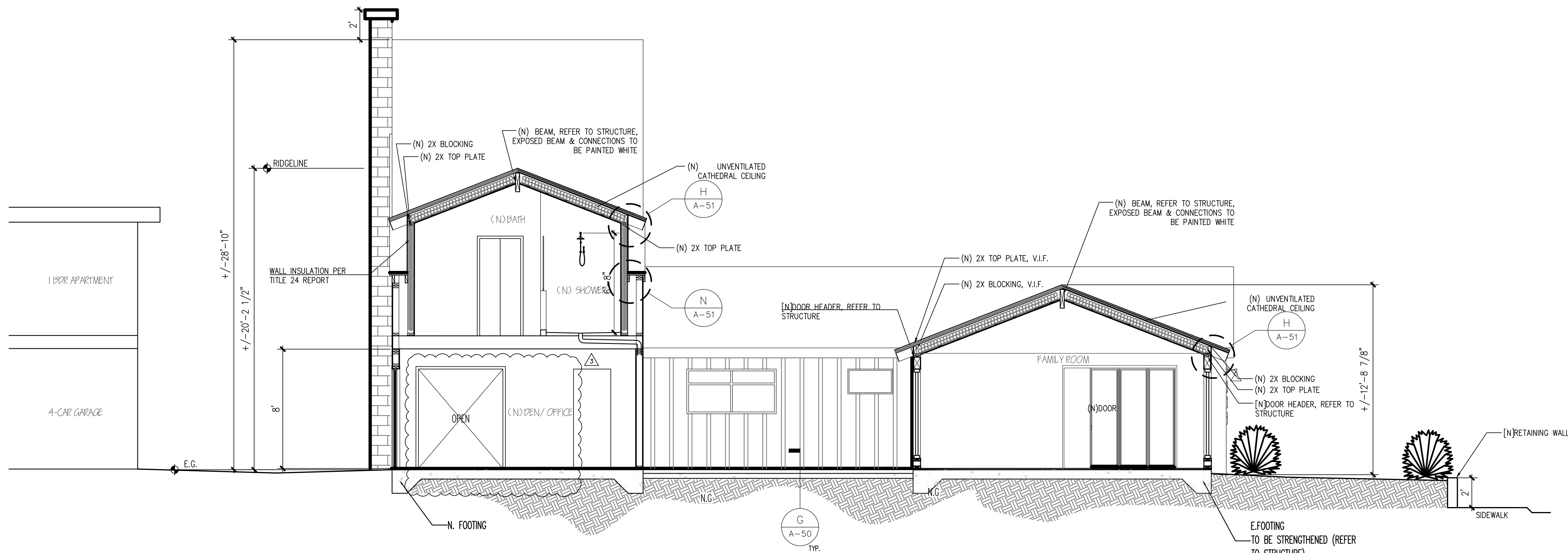
PROJECT TITLE

PROPOSED
SECTIONS

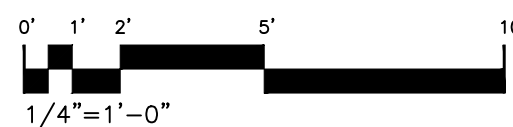
SHEET TITLE

A-31

SHEET NO.



SECTION-C





WEST VIEW FROM HUNTINGTON ST



NORTH-WEST VIEW



SOUTH-WEST VIEW



SOUTH-EAST VIEW

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PECHULIS RESIDENCE
712 HUNTINGTON ST
HUNTINGTON BEACH, CA
92648

PROJECT TITLE

PROPOSED
3D VIEWS

SHEET TITLE

A-40

SHEET NO.