

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND AMENDMENTS.
2. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS, SURVEY THE PROPERTY AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COST SUBMITTED SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIALS OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ENGINEER OF RECORD.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
4. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER AND THE DESIGNERS/ENGINEERS SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY.

APPLICABLE CODE

LEGAL JURISDICTION : CITY OF HUNTINGTON BEACH, CA 92649
THE CURRENT PREVAILING BUILDING AND CONSTRUCTION CODES ARE AS FOLLOWS:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
REGULATION OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE, CITY OF HUNTINGTON BEACH AMENDMENTS AND MUNICIPAL CODE.

SCOPE OF WORK

- PROPOSED PROJECT INCLUDES:
1. 185 SF REMODEL AND ADDITION, REMODEL BATH #2, CONVERTING THE (E) KITCHEN-LOUNGE-DINING AREA INTO A (N) KITCHEN-DINING SPACE.
2. CONSTRUCTION OF A 1,064 SF 2ND FLOOR ADDITION: 2 BEDROOMS, 2 BATHROOMS, AND A LAUNDRY ROOM, LIBRARY, FAMILY ROOM.

DEFERRED SUBMITTALS

DEMOLISHED EXISTING POOL PER SEPARATE PERMIT

SPECIAL NOTE

THE DESIGN OF THE ADDITION SHALL BE ARCHITECTURALLY COMPATIBLE WITH REST OF PARTS OF THE EXISTING BUILDING, WITH ALL DESIGN, THE DESIGN, COLOR, MATERIAL AND TEXTURE OF THE ROOF SHALL BE SUBSTANTIALLY THE SAME AS THE MAIN DWELLING UNIT.

PROJECT DATA

JURISDICTION HAVING AUTHORITY: CITY OF HUNTINGTON BEACH, CA 92649
LEGAL DESCRIPTION: TRACT 5360, LOT 65
ASSESSORS PARCEL NO. APN: 178-391-03
IN FLOOD ZONE FEMA SHFA'S: FLOOD ZONE X
CONSTRUCTION TYPE: V-B
ZONING: RL (RESIDENTIAL LOW DENSITY)
OCCUPANCY GROUP: R3/U
SPRINKLERS: NO
LOT SIZE: 5,000 SF
(E) MAIN HOUSE: MAX. NUMBER OF STORIES: 2-STORY
MAX. BUILDING HEIGHT: 35'-0"
REQUIRED MAIN HOUSE SETBACKS: FRONT: 15'-0"
SIDE: 5'-0"
REAR: 10'-0"
SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. CONTRACTOR TO VERIFY ON SITE.
EXISTING: (E) MAIN HOUSE LIVING AREA: 1,748 SF
(E) 2-CAR GARAGE: 445 SF
(E) ENTRY PORCH: 7 SF
(E) COVERED PATIO: 185 SF
EXISTING TOTAL: 2,385 SF
NEW CONSTRUCTION: (N) REMODEL & ADDITION: 185 SF
1ST FLOOR LIVING AREA: 5 SF
2ND FLOOR LIVING AREA: 1,064 SF
2ND BALCONY: 260 SF
NEW TOTAL: 1,514 SF
MAX. LOT COVERAGE: 50%
OVERALL LOT COVERAGE: (1,748 SF + 445 SF + 185 SF + 5 SF) / 5,000 = 47.7% < 50% (OK)

SHEET INDEX

Table with columns for ARCHITECTURE, ELECTRICAL, and STRUCTURAL, listing sheet numbers and titles such as A0.00 TITLE SHEET, A0.01 SITE PLANS, A0.02 CAL GREEN CODE, etc.



ULTIMATE KONSTRUCTION DESIGN & BUILD
REMODEL + ADDITION

PROJECT CONTACT

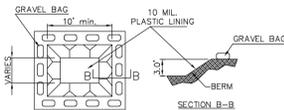
PHONE NUMBER: (714) 468-4664
ADDRESS: 13892 HARBOR BLVD, SUITE 4A, GARDEN GROVE, CA 92843
EMAIL: ULTIMATEKONSTRUCTION@GMAIL.COM

OWNERSHIP

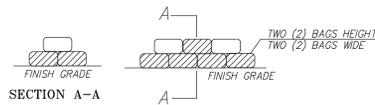
NAME: TIFFANY LE
ADDRESS: 16611 EDGEWATER, HUNTINGTON BEACH, CA 92649
PHONE: (714) 417-6734
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BEST MANAGEMENT PRACTICES

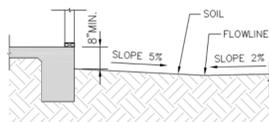
- SE-6: PLACE GRAVEL BAG BERM BMP PER CASQA STANDARDS.
SE-7: IMPLEMENT STREET SWEEPING AND VACUUMING BMP PER CASQA STANDARDS
SE-10: INSTALL STORM DRAIN INLET PROTECTION BMP PER CASQA STANDARDS.
WM-8: IMPLEMENT CONCRETE WASHOUT AREA PER CASQA STANDARDS.
WM-9: SANITARY SEPTIC WASTE MANAGEMENT PER CASQA STANDARDS.
WE-1: IMPLEMENT VEHICLE AND EQUIPMENT FLEUEING PER CASQA STANDARDS.
NS-10: IMPLEMENT VEHICLE AND EQUIPMENT MAINTENANCE PER CASQA STANDARDS.



CONCRETE WASHOUT AREA NTS



GRAVEL BAG DETAIL NTS



SECTION A-A (TYP.) SCALE: NTS

DIG ALERT 811



DIG ALERT (811) IS TO BE CONTACTED AND THAT COMPLIANCE WITH EXCAVATION SAFETY IN ACCORDANCE WITH GOVERNMENT CODE 4216 WILL BE FOLLOWED PRIOR TO ANY EXCAVATION TAKING PLACE.

OWNER / CONTRACTOR ACKNOWLEDGEMENT SIGNATURE:

PROJECT DIRECTORY

OWNER: NAME: TIFFANY LE
ADDRESS: 16611 EDGEWATER, HUNTINGTON BEACH, CA 92649
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PHONE: (714) 417-6734
DRAFTING & TITLE 24: NAME: BB BROTHERS CORPORATION
ADDRESS: 959 SOUTH COAST DR, COSTA MESA, CA 92626
PHONE: (949) 836-5768
TITLE 24: BB BROTHERS CORPORATION
ADDRESS: 959 SOUTH COAST DR COSTA MESA, CA 92626
PHONE: (949) 836-5768
STRUCTURE: NAME: AMIR DEIHIMI
ADDRESS: 201 E SANDPOINTE AVE, #400 SANTA ANA, CA 92707
EMAIL: AMIR@CORESTRUCTURE.COM
PHONE: (949) 954-7244

CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM

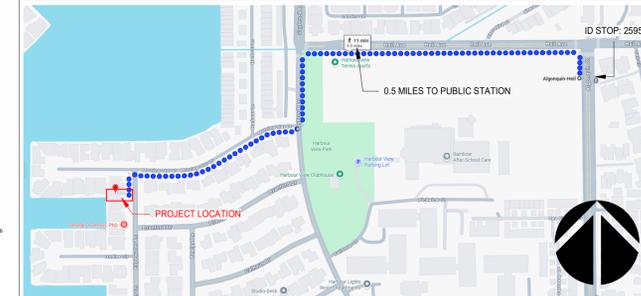
City of Huntington Beach Department of Community Development CONSTRUCTION & DEMOLITION DEBRIS RE-USE & RECYCLING PROGRAM. Includes forms for project information, materials tracking, and recycling facility selection.

Conceptual plans received on: 2/12/2026

REMODEL & ADDITION HOUSE
16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649

Table with columns: DELTA, DATE, DESCRIPTION. Row 1: 12/19/2025, PC1

VICINITY MAP



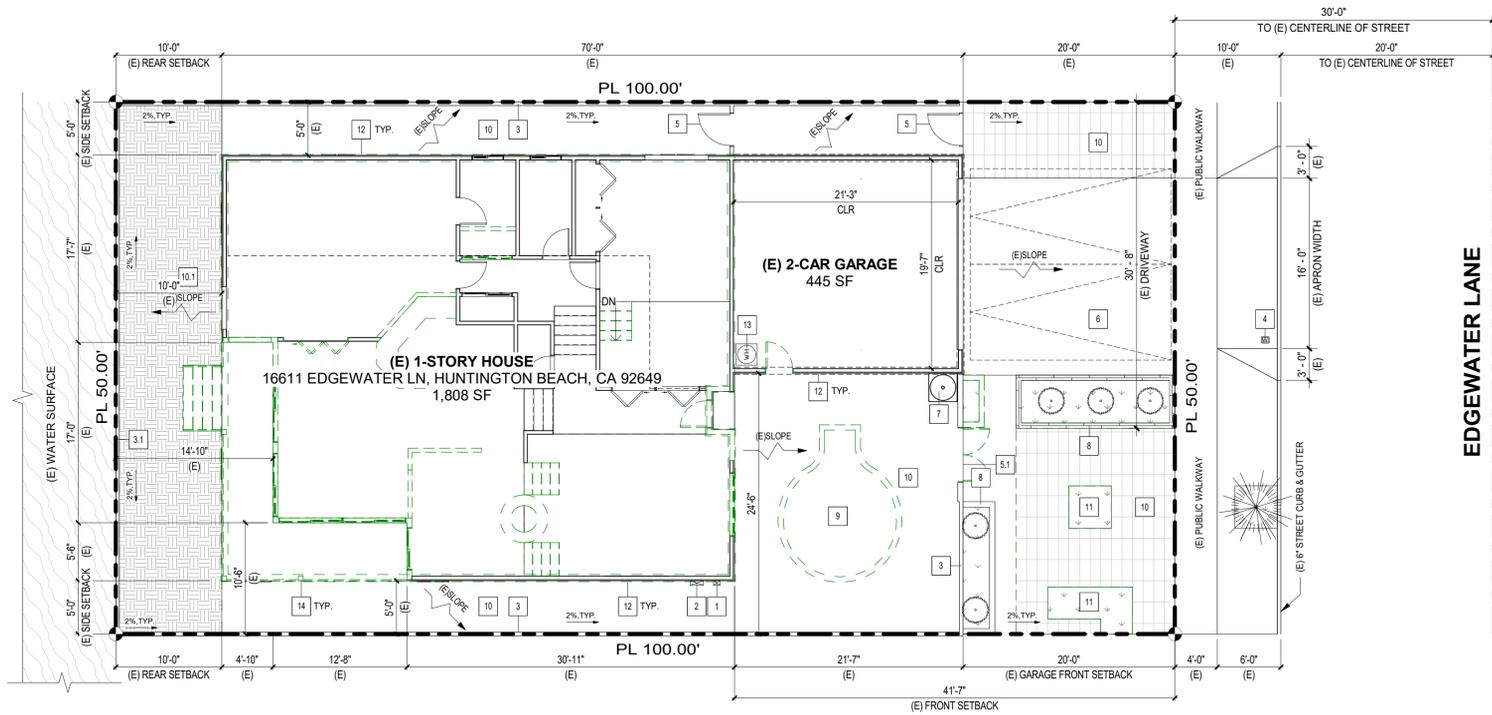
PARKING REQUIREMENT
NOTWITHSTANDING ANY OTHER LAW, A LOCAL AGENCY, WHETHER OR NOT IT HAS ADOPTED AN ORDINANCE GOVERNING ACCESSORY DWELLING UNITS IN ACCORDANCE WITH SUBDIVISION, SHALL NOT IMPOSE PARKING STANDARDS FOR AN ACCESSORY DWELLING UNIT IN ANY OF THE FOLLOWING INSTANCES:
THE ACCESSORY DWELLING UNIT IS LOCATED WITHIN ONE-HALF MILE WALKING DISTANCE OF PUBLIC TRANSIT
PARKING SPACE REQUIRED: (E) 1-STORY HOUSE: 4 STALLS (2 IN ENCLOSED PARKING SPACE, 2 IN OPEN PARKING SPACE)
(N) 2-STORY REMODEL & ADDITION HOUSE: 0 STALLS
TOTAL: 4 STALLS

IF IS THE CONTRACTORS OR OWNER-BUILDERS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE DESIGNERS IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE DESIGNERS PRIOR TO THE CONTRACTOR OR OWNER-BUILDER BEFORE PROCEEDING WITH THE WORK. THE DESIGNERS WILL BE HELD HARMLESS FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.

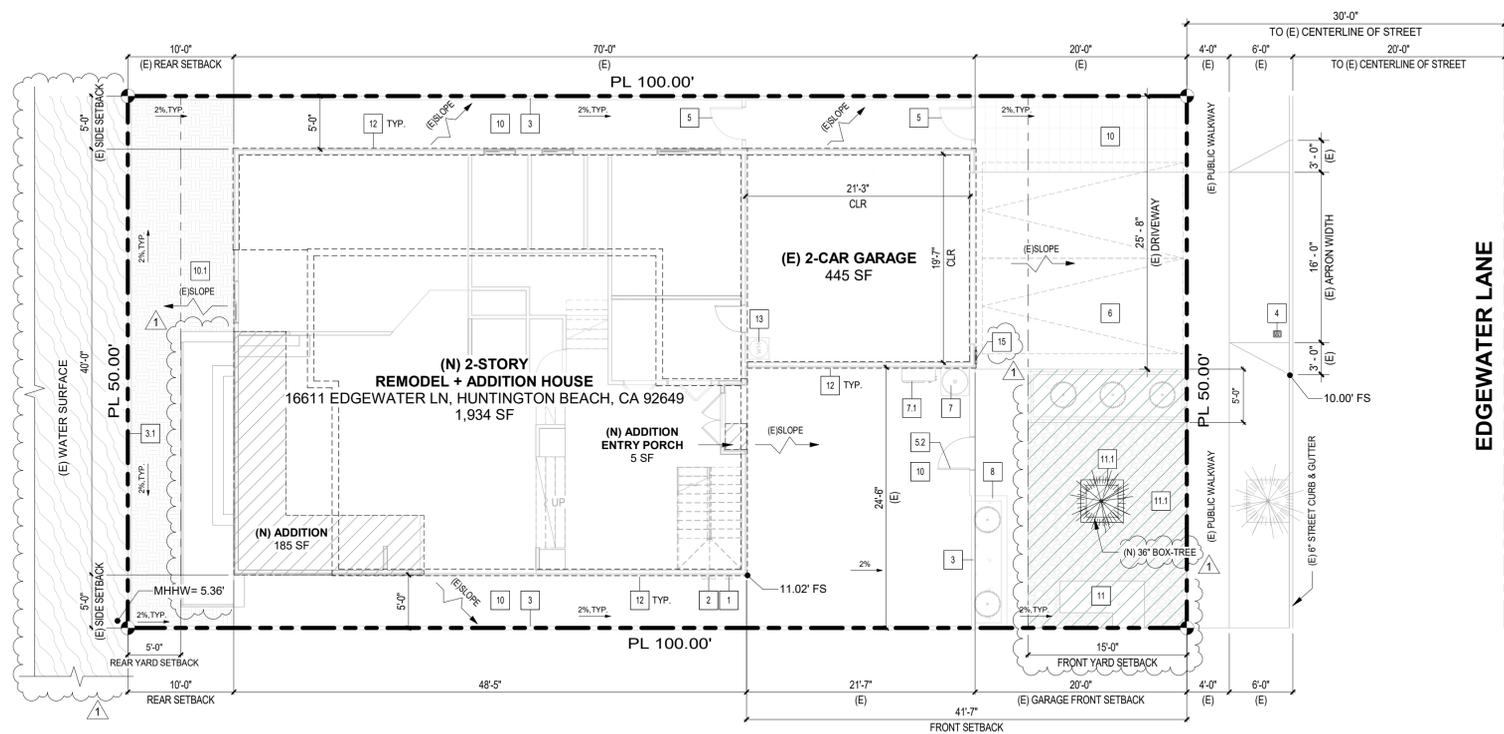
Handwritten signature of the contractor or owner-builder.

TITLE SHEET

A0.00



EXISTING SITE PLAN 1/8" = 1'-0" 1



PROPOSED SITE PLAN 1/8" = 1'-0" 2

SITE PLAN NOTES

- DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC., BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGNER/ENGINEER AS REQUIRED.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOIL WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

SITE PLAN KEYNOTES

- (E) MAIN HOUSE ELECT. METER (V.I.F) TO BE UPGRADED AS NEEDED TO SERVE ADDITION
- (E) MAIN HOUSE ELECT. PANEL (V.I.F) TO BE UPGRADED AS NEEDED TO SERVE ADDITION
- 6FT HIGH BRICK PERIMETER WALL
- (E) WATER METER, V.I.F
- (E) GATE
- (E) DRIVEWAY
- (E) A/C UNIT (V.I.F) TO BE UPGRADED AS NEEDED TO SERVE ADDITION
- (E) PLANTER BOX
- (E) POOL TO BE DEMOLISHED PER SEPARATE PERMIT
- IMPERVIOUS AREA (CONC. TILE)
- PERVIOUS AREA
- (E) WATER HEATER (V.I.F) TO BE UPGRADED AS NEEDED TO SERVE ADDITION
- (E) POST TO BE DEMOLISHED
- 3FT HIGH REAR YARD WOOD FENCE
- (E) GATE TO BE MOVED
- (N) GATE
- (N) HEATPUMP MINI SPLIT SYSTEM FOR ADDITION ON 2ND FLOOR (DUCTLESS)
- IMPERVIOUS AREA (BRICK TILE)
- (N) PERVIOUS AREA GRASS, PLANTER BOX, 36" BOX TREE PERMEABLE PAVER SEE FRONT YARD LANDSCAPE CALC. ON SHEET A0.00
- (N) ADDRESS SIGNAGE. SEE DETAIL ON SHEET A0.00

SYMBOL LEGEND

- (E) SLOPE: EXISTING DIRECTION AND SLOPE
- 2% TYP.: DRAINAGE DIRECTION AND SLOPE
- PROPERTY LINE CORNER POINTS AND ELEVATION DATUM
- #: KEYNOTE CALLOUTS
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- EXISTING TO BE DEMOLISHED
- P.U.E: PUBLIC UTILITIES EASEMENT

FRONT YARD LANDSCAPE CALCULATION

MIN. LANDSCAPE OF FRONTYARD REQ: 40% (15FT FRONT SETBACK)  
 FRONT YARD AREA: 750 SF (15FT FRONT SETBACK)  
 PROVIDED LANDSCAPE OF FRONT YARD: 365 SF (15FT FRONT SETBACK)

**Landscaping:** An area devoted to or developed and maintained with native or exotic plantings, lawn, ground cover, gardens, trees, shrubs, and other plant materials. The area may include incidental features such as permeably pathways, decorative outdoor landscape elements, pools, fountains, water features, paved or decorated surfaces of rock, stone, brick, block, or similar material (excluding driveways, parking, loading, or storage areas), and sculptural elements. Plants on rooftops, porches or in boxes attached to buildings are not considered landscaping.

GRASS, PLANTER BOX: 119 SF  
 PERMEABLE PAVER: 246 SF  
 (N) 36" BOX-TREE

OVERALL LANDSCAPE OF FRONTYARD: 365/750 = 48.7% > 40% (OK)

ADDRESS SIGNAGE

4" MIN. HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH, AND SHALL CONTRAST WITH THEIR BACKGROUND PER CRC R319.1

NOTE:  
 - EXISTING OR PROPOSED LANDSCAPE MUST NOT INTERFERE WITH ADDRESS NUMERALS  
 - ADDRESS NUMERALS SHALL BE INDEPENDENTLY ILLUMINATED DURING HOURS OF DARKNESS, BE A MINIMUM OF 4 INCHES IN HEIGHT WITH 1/2-INCH STROKE, INSTALLED ON A CONTRASTING BACKGROUND, AND VISIBLE FROM THE FIRE APPARATUS ACCESS ROADWAY



ULTIMATE CONSTRUCTION DESIGN & BUILD

REMODEL + ADDITION

PROJECT CONTACT

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OWNERSHIP

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REMODEL & ADDITION HOUSE

16611 EDGEWATER LN,  
 HUNTINGTON BEACH, CA 92649

DELTA	DATE	DESCRIPTION
1	12/19/2025	PC1

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*[Signature]*

SITE PLANS





## AGING-IN-PLACE REQUIREMENTS

### R327.1.1 REINFORCEMENT FOR GRAB BARS:

AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.

- REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH (51 MM BY 203 MM) NOMINAL LUMBER, [1/2 INCH BY 71/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 39 1/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
- WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
- BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.

### EXCEPTIONS:

- WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLD-AWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.
- REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PREFABRICATED SHOWER ENCLOSURES AND BATHTUB WALL PANELS WITH INTEGRAL FACTORY-INSTALLED GRAB BARS OR WHEN FACTORY-INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED.
- SHOWER ENCLOSURES THAT DO NOT PERMIT INSTALLATION OF REINFORCEMENT AND/OR GRAB BARS SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.
- BATHTUBS WITH NO SURROUNDING WALLS, OR WHERE WALL PANELS DO NOT PERMIT THE INSTALLATION OF REINFORCEMENT SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS ADJACENT TO THE BATHTUB OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.

**R327.1.1.1 DOCUMENTATION FOR GRAB BAR REINFORCEMENT:** BATHTUBS AND WATER CLOSETS INSTALLED ON INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION & MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CH. 4, DIVISION 4.4.

### R327.1.2 ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS:

ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.

### EXCEPTIONS:

- DEDICATED RECEPTACLE OUTLETS, FLOOR RECEPTACLE OUTLETS, CONTROLS MOUNTED ON CEILING FANS AND CEILING LIGHTS; AND CONTROLS LOCATED ON APPLIANCES.
- RECEPTACLE OUTLETS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE ON A WALL SPACE WHERE THE DISTANCE BETWEEN THE FINISHED FLOOR AND A BUILT-IN FEATURE ABOVE THE FINISH FLOOR, SUCH AS A WINDOW, IS LESS THAN 15 INCHES (381 MM)

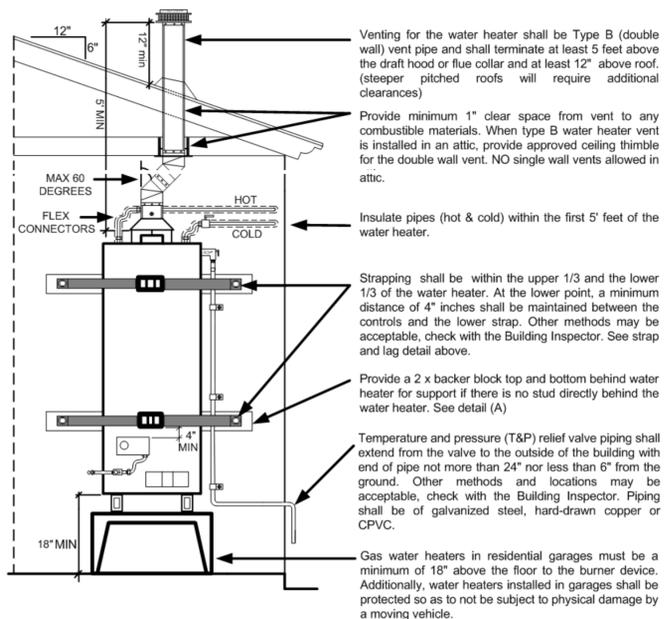
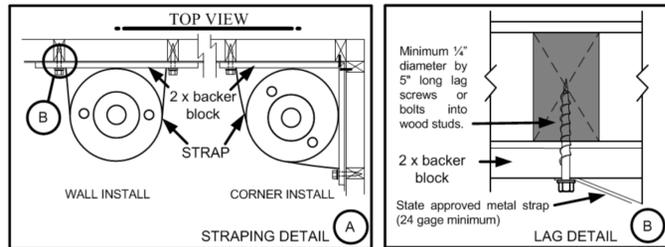
### R327.1.3 INTERIOR DOORS:

EFFECTIVE JULY 1, 2024, AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32 INCHES (812.8 MM), MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION; OR, IN THE CASE OF A TWO OR THREE-STORY SINGLE FAMILY DWELLING, ON THE SECOND OR THIRD FLOOR OF THE DWELLING IF A BATHROOM OR BEDROOM IS NOT LOCATED ON THE ENTRY LEVEL.

### R327.1.4 DOORBELL BUTTONS:

DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY, WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES (1219.2 MM) MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.

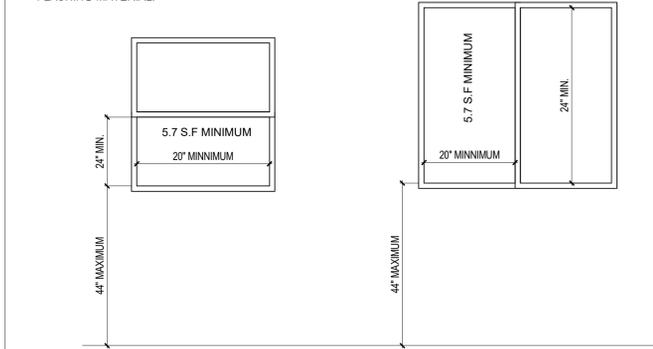
## WATER HEATER REQUIREMENTS



## GENERAL WINDOW NOTES

### WINDOW AND DOOR NOTE

- WINDOW MANUFACTURER AND INSTALLER SHALL INSURE THAT ALL WINDOWS MEET OR EXCEED ALL EGRESS REQUIREMENTS OF CRC R310 & R312
- ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE INSTALLED PER AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION AAMA 2400-02 RECOMMENDATIONS "STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH INTEGRAL MOUNTING FLANGES IN STUD FRAME CONSTRUCTION".
- INSTALL AN ISOLATION MEMBRANE BELOW THE THRESHOLD OF ALL SLIDING GLASS DOORS THAT REST ON A CONCRETE SLAB.
- ALL SEALANT SHALL BE OF HIGH QUALITY AND REVIEWED FOR COMPATIBILITY WITH ASPHALTIC MEMBRANES AND FLASHING MATERIAL.



### EGRESS REQUIREMENTS:

- MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET.
- MIN. SET CLEAR HEIGHT OF 24 INCHES.
- WINDOW SILL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.

## DOOR/ WINDOW NOTES

- ALL DOORS AND WINDOWS SHALL MEET CITY'S SECURITY ORDINANCE.
- ALL EXTERIOR DOORS & WINDOWS SHALL BE WEATHER TIED AND PROVIDE WITH INSECT SCREEN-METAL. DOORS & WINDOWS SHALL BE IN COMPLIANCE WITH ANSI. STD. A13 OR A1342.
- THE MANUFACTURED WINDOWS AND SLIDING DOOR SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONALS FENESTRATION RATING COUNCIL (NFRC) AND COMPLIANCE WITH THE ENERGY CALCULATIONS.
- THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300.
- ALL TEMPERED GLASS (T.G.) SHALL BE ACID-ETCHED, SAND-BLASTED, CERAMIC-FIRED, LASER-ETCHED, OR EMBOSSED PER CRC 2406.3.
- GLAZING AND INSULATION SHALL CONFORM TO THE STATE ENERGY INSULATION STANDARD.
- DEAD BOLT LOCKS ARE REQUIRED ON ALL EXTERIOR DOORS (INCLUDING HOUSE TO GARAGE)
- GLAZING SHALL BE SAFETY GLAZING IF LESS THAN 72" ABOVE BATHROOM FINISH FLOOR
- SLIDING GLASS DOORS AND WINDOWS LOCATED LESS THAN 16 FEET ABOVE ANY SURFACE AVAILABLE FOR USE BY THE PUBLIC SHALL BE CAPABLE OF BEING LOCKED SECURELY. MOVEABLE PANELS SHALL NOT BE EASILY REMOVED FROM THE FRAME.
- ALL MAIN OR FRONT ENTRY TO DWELLINGS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE WITHOUT OPENING DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEW, A VIEW PORT, WINDOW, OR OTHER OPENING.
- ALL SWINGING DOORS SHALL BE EQUIPPED WITH A DEAD BOLT WITH A MINIMUM THROW OF 1 INCH AND AN EMBEDMENT OF NOT LESS THAN 5/8 INCH.
- NON-REMOVABLE PINS SHALL BE USED IN PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE WHEN THE DOOR IS CLOSED.
- UNFRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/2" THICK.
- NARROW-FRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/4" THICK.
- ANY GLASS WHICH IS LOCATED WITHIN 40 INCHES OF THE BLOCKING DEVICE ON A DOOR SHALL BE FULLY TEMPERED, OR HAVE APPROVED METAL BARS, SCREENS OR GRILLS.
- IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM DOOR/WINDOW ROUGH OPENING DIMENSIONS WITH THE MANUFACTURE/SUPPLIER PRIOR TO BEGIN CONSTRUCTION
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- EMERGENCY EGRESS: A. MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET. B. MIN. SET CLEAR HEIGHT OF 24 INCHES. C. WINDOW SILL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.
- FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

## BATHROOM EXHAUST REQUIREMENTS

TABLE 150.0-E

DEMAND-CONTROLLED LOCAL VENTILATION EXHAUST AIRFLOW RATES AND CAPTURE EFFICIENCY	
APPLICATION	COMPLIANCE CRITERIA
Enclosed kitchen or nonenclosed kitchen	Vented range hood, including appliance-range hood combinations, shall meet either the capture efficiency (CE) or the airflow rate specified in Table 150.0-G as applicable.
Enclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s) or a capacity of 5 ACH
Nonenclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s)
Bathroom	50 cfm (25 L/s)

## KITCHEN EXHAUST REQUIREMENTS

Table 150.0-G Kitchen Range Hood Airflow Rates (cfm) and ASTM E3087 Capture Efficiency (CE) Ratings According to Dwelling Unit Floor Area and Kitchen Range Fuel Type

Dwelling Unit Floor Area (ft <sup>2</sup> )	Hood Over Electric Range	Hood Over Natural Gas Range
>1500	50% CE or 110 cfm	70% CE or 180 cfm
>1000 - 1500	50% CE or 110 cfm	80% CE or 250 cfm
750 - 1000	55% CE or 130 cfm	85% CE or 280 cfm
<750	65% CE or 160 cfm	85% CE or 280 cfm



City of Huntington Beach  
Department of Community Development  
HUNTINGTON BEACH SECURITY ORDINANCE  
2000 Main Street, Huntington Beach, CA 92648  
Office: (714) 536-5241 Fax: (714) 374-1647

- Sliding glass doors and windows located less than 16 feet above any surface available for use by the public shall be capable of being locked securely. Moveable panels shall not be easily removed from the frame.
- All main or front entry to dwellings shall be arranged so that the occupant has a view of the area immediately outside without opening door. Such view may be provided by a door view, a view port, window, or other opening.
- Exterior wooden doors shall be of solid core construction or shall be covered on the inside face with 1/2 inch gauge sheet metal attached with screws at 6 inch on centers around the perimeter.
- All swinging doors shall be equipped with a dead bolt with a minimum throw of 1 inch and an embedment of not less than 5/8 inch.
- The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a dead bolt.
- Non-removable pins shall be used in pin type hinges which are accessible from the outside when the door is closed.
- Unframed glass doors shall be fully tempered glass not less than 1/2 inch thick.
- Narrow-framed glass doors shall be fully tempered glass not less than 1/4 inch thick.
- Any glass which is located within 40 inches of the locking device on a door shall be fully tempered, or have approved metal bars, screens or grills.
- Solid wooden hatchways less than 1-3/4 inches thick shall be covered on the inside with 16 gauge sheet metal attached with screws at 6 inch on center around the perimeter and shall be secured from the inside with a slide bar, slide bolts, and/or padlock with hardened steel shackle. All other openings larger than 96 square inches with a dimension in excess of 8 inches shall be secured by metal bars, screens, or grills. (Exception: Non-opening skylights).
- A development which includes 3 or more dwelling units shall be provided with fully-enclosed garages. Garage space for each tenant shall be separated by partitions of 3/8 inch plywood or equivalent with studs set no more than 24 inches on center.

## #HUNTINGTON BEACH SECURITY ORDINANCE

City of Huntington Beach  
Department of Community Development  
OWNER ACKNOWLEDGMENT FOR SETBACKS  
2000 Main Street, Huntington Beach, CA 92648  
Office: (714) 536-5241 Fax: (714) 374-1647

Permit No. \_\_\_\_\_  
Address: \_\_\_\_\_

### Property Owner Acknowledgment: Construction Setback Less than 5' From Property Line(s)

I, as owner of the property listed below, understand the following:

- Any new construction, addition, or alteration within 5' from a property line may require a land survey.
- If I do not obtain a land survey to verify my property lines, I assume full responsibility for the determination of the location of the existing property line.
- If at any time there is a discrepancy or dispute of the construction setback to the property line, a survey may be required.
- I understand and agree to rebuild all portions of construction to the correct property line setback if the property line on the approved plans is later found to be incorrect.
- I understand additional costs may incur to correct the construction to accurately adhere to the setback, including but not limited to: surveying, revising plans, city plan review/inspection fees and additional construction costs.

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner (Print): \_\_\_\_\_

Property Owner (Signature): \_\_\_\_\_

## #OWNER ACKNOWLEDGEMENT OF SETBACKS

## #WATER METER UPGRADE CHECKLIST



City of Huntington Beach  
Department of Community Development  
45-DAY DEMOLITION POSTPONEMENT FOR HISTORIC STRUCTURES OR MONUMENTS  
2000 Main Street, Huntington Beach, CA 92648  
(714) 536-5241

Date: 01/12/2026

Department of Community Development  
City of Huntington Beach  
2000 Main Street, 3rd Floor  
Huntington Beach, CA 92648

Subject: 45-DAY DEMOLITION POSTPONEMENT FOR HISTORICAL STRUCTURES/MONUMENTS

As the owner (or authorized representative) of the property at 16611 Edgewater Ln, Huntington Beach, CA 92649

I hereby agree that, prior to issuance of a demolition permit, I shall offer the structure, structures, or monument to the City of Huntington Beach's Historical Resource Board for the purpose of relocating the structure or monument and/or to fully document and/or preserve significant architectural elements. Furthermore, I shall not incur any costs associated with moving or documenting the structure or monument. The new owner and/or non-profit organization will bear the full cost of relocating the structure or monument. The demolition postponement period will not exceed 45 days from the time plan check fees have been paid for the demolition permit. If the property is subject to environmental review, pursuant to the California Environmental Quality Act (CEQA), the cost of which will be borne by the property owner and/or applicant for demolition. At the end of this postponement period, or the conclusion of the environmental process, the structure or monument shall be removed, and if not, the demolition permit will be granted.

Print Name \_\_\_\_\_ Signature \_\_\_\_\_

Date Structure Built: \_\_\_\_\_

Address: 16611 Edgewater Ln, Huntington Beach, CA 92649

Phone Number: (714) 417 6734

### FOR OFFICE USE ONLY

	YES	NO
Is the property 50 years old and NOT located in the 2014 Historic Survey (Appendix D)	<input type="checkbox"/>	<input type="checkbox"/>
If yes, 45-day Demo Postponement Required		
Is Listed in the 2014 Historic Resource Survey (Appendix B)	<input type="checkbox"/>	<input type="checkbox"/>
If yes, 45-day Demo Postponement Required		

## #45-DAY DEMOLITION POSTPONEMENT FOR HISTORIC STRUCTURES OR MONUMENTS



ULTIMATE KONSTRUCTION DESIGN & BUILD

REMODEL + ADDITION

## PROJECT CONTACT

PHONE NUMBER: (714) 468-4664  
ADDRESS: 13892 HARBOR BLVD, SUITE 4A, GARDEN GROVE, CA 92843  
EMAIL: ULTIMATEKONSTRUCTION@GMAIL.COM

## OWNERSHIP

NAME: TIFFANY LE  
ADDRESS: 16611 EDGEWATER, HUNTINGTON BEACH, CA 92649  
PHONE: (714) 417-6734  
MAIL: TIFFANYLE@YAHOO.COM

REMODEL & ADDITION HOUSE

16611 EDGEWATER LN,  
HUNTINGTON BEACH, CA 92649

DELTA	DATE	DESCRIPTION
1	12/19/2025	PC1

IF THE CONTRACTORS OR OWNER-BUILDERS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE DESIGNERS IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE DESIGNERS PRIOR TO THE CONTRACTOR OR OWNER-BUILDER BEFORE PROCEEDING WITH THE WORK. THE DESIGNERS WILL BE HELD HARMLESS FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.

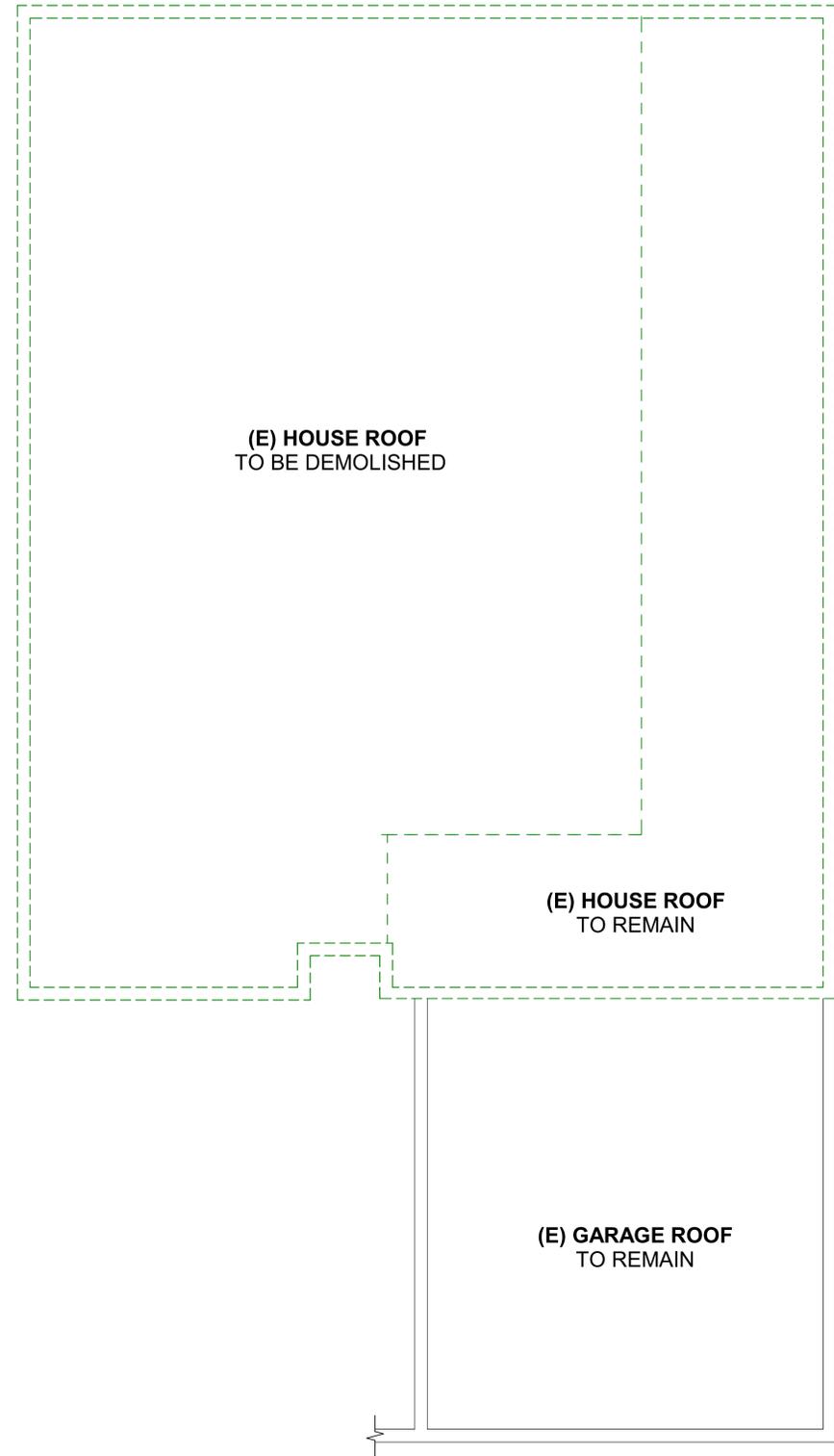
*[Handwritten Signature]*

## GENERAL DETAILS & ATTACHED FORMS

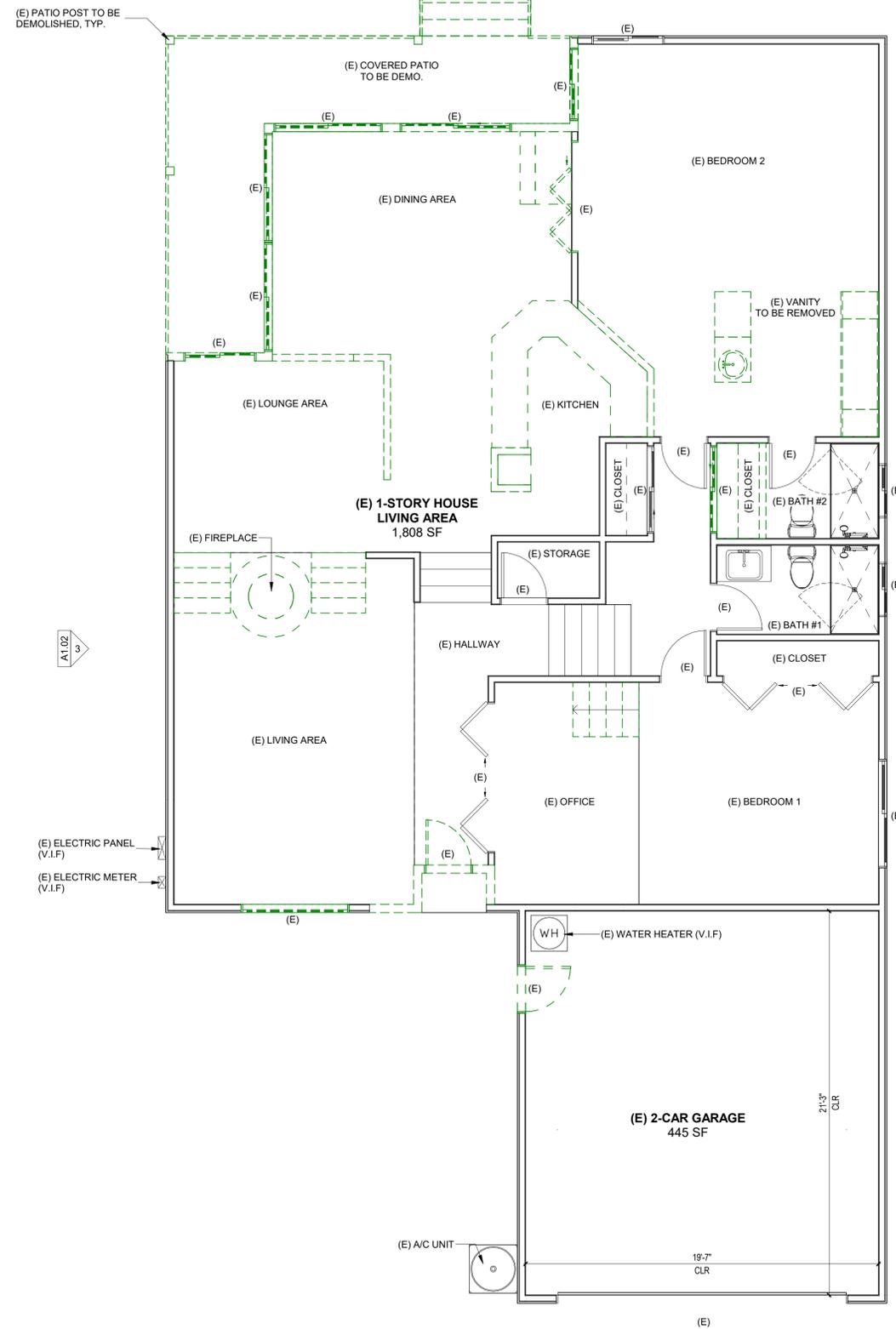
**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING TO BE DEMOLISHED

**NOTE:**  
ALL EXISTING DIMENSIONS IS FOR REFERENCE ONLY AND TO BE VERIFIED IN FIELD BY THE CONTRACTOR



EXISTING ROOF PLAN 1/4" = 1'-0" 2



EXISTING FLOOR PLAN 1/4" = 1'-0" 1



**ULTIMATE CONSTRUCTION  
DESIGN & BUILD**

**REMODEL + ADDITION**

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**REMODEL & ADDITION HOUSE**

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**EXISTING MAIN  
HOUSE FLOOR &  
ROOF PLAN**





ULTIMATE CONSTRUCTION  
DESIGN & BUILD

REMODEL + ADDITION

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REMODEL & ADDITION HOUSE

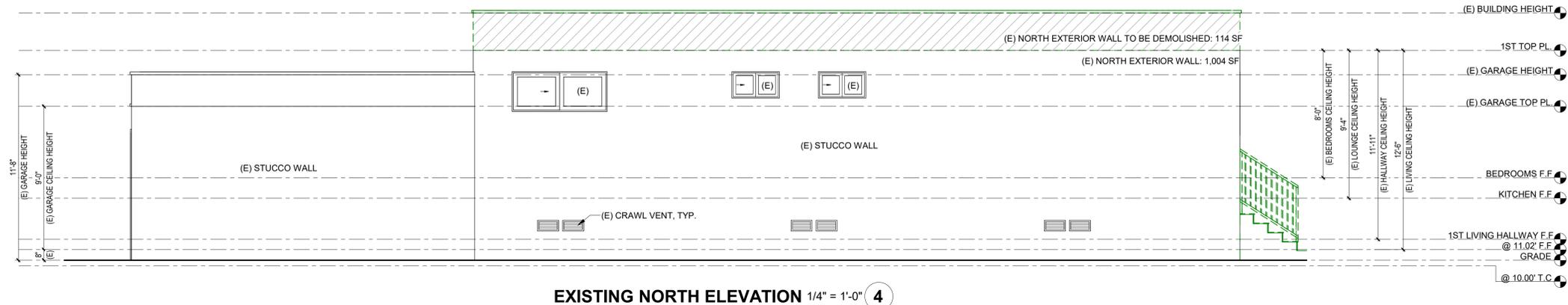
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DELTA	DATE	DESCRIPTION
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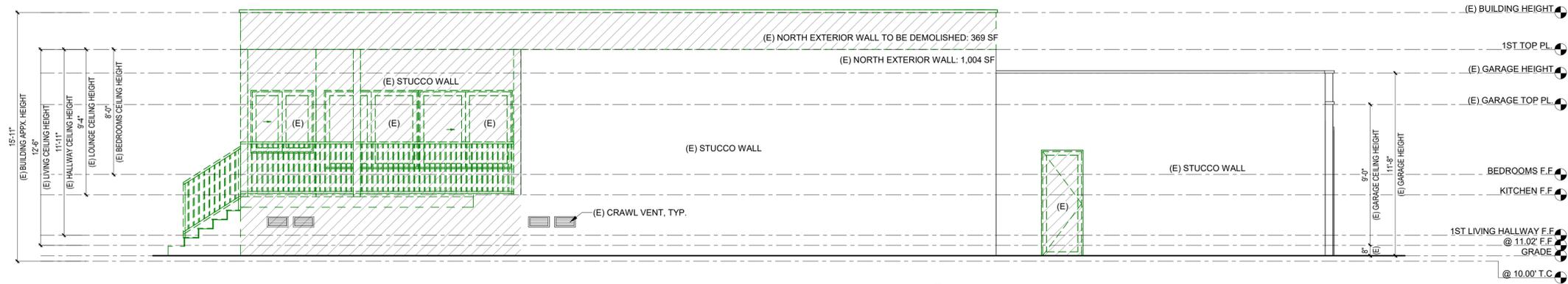
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EXISTING MAIN  
HOUSE ELEVATION

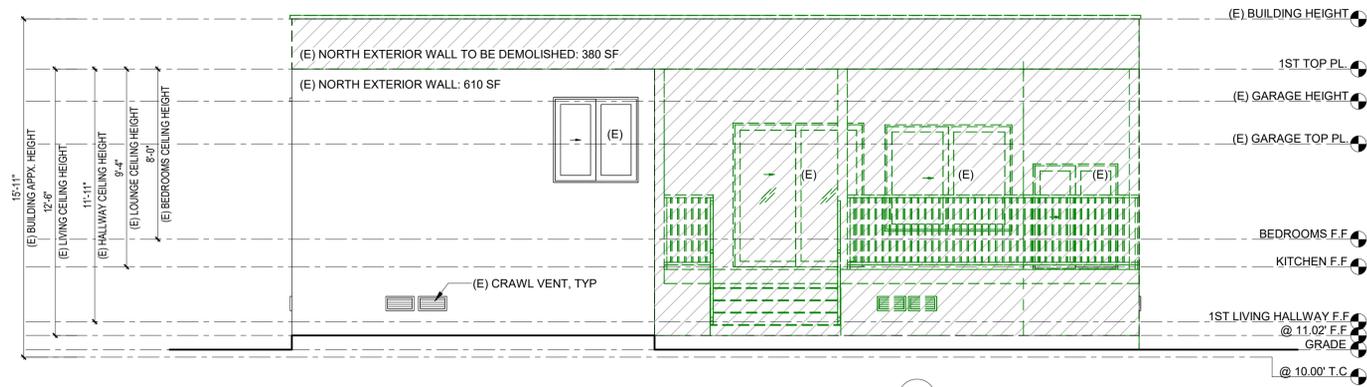
A1.02



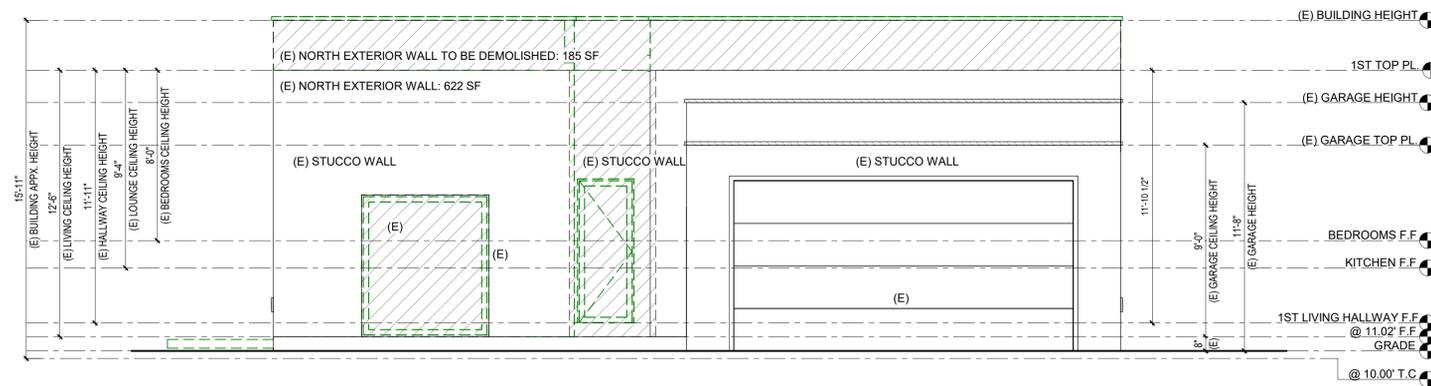
EXISTING NORTH ELEVATION 1/4" = 1'-0" 4



EXISTING SOUTH ELEVATION 1/4" = 1'-0" 3



EXISTING WEST ELEVATION 1/4" = 1'-0" 2



EXISTING EAST ELEVATION 1/4" = 1'-0" 1

DEMOLISED EXT. WALL CALCULATION

(E) EXTERIOR WALL TO BE DEMOLISHED

(E) TOTAL EXTERIOR WALL: 1,004 SF + 1,004 SF + 610 SF + 622 SF = 3,240 SF  
(E) TOTAL DEMO.: 114 SF + 369 SF + 380 SF + 185 SF = 1,048 SF  
DEMO. OF EXTERIOR WALL: 1,048 / 3,240 = 32.3% < 50%

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING TO BE DEMOLISHED

NOTE:  
ALL EXISTING DIMENSIONS IS FOR REFERENCE ONLY AND TO BE VERIFIED IN FIELD BY THE CONTRACTOR

## FLOOR PLAN NOTES

- VERIFY ALL APPLIANCE EQUIPMENT AND FIXTURE DIMENSIONS AND INSTALLATION REQUIREMENTS PRIOR TO CASEWORK FABRICATION INSTALLATION.
- FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
- EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL, UNO.
- CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH.
- SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3 CRC. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAYS OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFG. LISTED REQUIREMENTS.
- PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILINGS OR WALLS OUTSIDE SLEEPING ROOMS PER CHAPTER 3 CRC.
- BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING
- ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
- PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
- PROVIDE TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER OVER ALL WOOD BASE SHEATHING AT EXTERIOR WALLS.
- A MINIMUM 26 GAUGE, CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/8 INCHES SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.7.2.1)
- ACCESS TO ATTIC FURNACE MUST BE WITHIN 20' OF UNIT AND SHALL HAVE A CONTINUOUS SOLID WALKWAY AT LEAST 24" WIDE. A SWITCH CONTROL IS ALSO REQUIRED (CMC 304.4.1)
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO.
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATER HEATER MUST BE STRAPPED TO WALL.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A NATURAL LIGHT IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED AN AVERAGE ILLUMINATION OF 6 FEET-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
- GLAZING WHICH IS LESS THAN 60 INCHES FROM A FLOOR AND WITHIN A 24" ARC OF A DOORWAY'S VERTICAL EDGE MUST COMPLY WITH CH.3 CRC.
- LANDINGS AT DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS GREATER.
- ALL WATER HEATER INSTALLATION LOCATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE: (BEES 150.0(N)1A-D)  
 A. 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.  
 B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.  
 C. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.  
 D. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN A 200,000 BTU/HR SYSTEM.

## DOOR / WINDOW REMARKS

- DOOR SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN AT 90 DEGREE.
- DOOR SHALL HAVE A MINIMUM CLEAR HEIGHT OF 78", MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP
- DOOR SHALL BE READILY OPENABLE FROM THE INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- SELF-CLOSING, TIGHT FITTING, SOLID WOOD, 1-3/8" THICK DOOR, NOT LESS THAN 20-MIN FIRERATED DOOR AT OPENING TO DWELLING (CBC 715.4.3).
- MIN. 72" ABOVE FINISH FLOOR IN BATHROOMS.
- THE MANUFACTURED WINDOWS AND SLIDING DOOR SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONALS FENESTRATION RATING COUNCIL (NFRC) AND COMPLIANCE WITH THE ENERGY CALCULATIONS.
- THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
- ALL TEMPERED GLASS (T.G.) SHALL BE ACID-ETCHED, SAND-BLASTED, CERAMIC-FIRED, ASER-ETCHED, OR EMBOSSED PER CRC 2406.3.
- DEAD BOLT LOCKS ARE REQUIRED ON ALL EXTERIOR DOORS (INCLUDING HOUSE TO GARAGE)
- GLAZING SHALL BE SAFETY GLAZING IF LESS THAN 72" ABOVE BATHROOM FINISH FLOOR

## FLOOR PLAN KEYNOTES

- MIN. 4" DIA. TO THE OUTSIDE, EQUIPPED WITH A BACK DRAFT DAMPER. DUCT LENGTH OR SIZES AS PERMITTED OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL.
- (N) LANDING: 1 1/2" BELOW THRESHOLD. MINIMUM 36" IN DEPTH. MIN 2% SLOPE AWAY FROM BUILDING.
- 2" SHOWER CURB.
- SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- TEMPERED GLASS. 5.1 TEMP. OBSCURED GLASS 5.2 OBSCURED GLASS
- 42" HIGH GUARDRAIL. 6.1 42" HIGH BALCONY GUARDRAIL
- 36" HIGH STAIR RAILING

## LEGEND

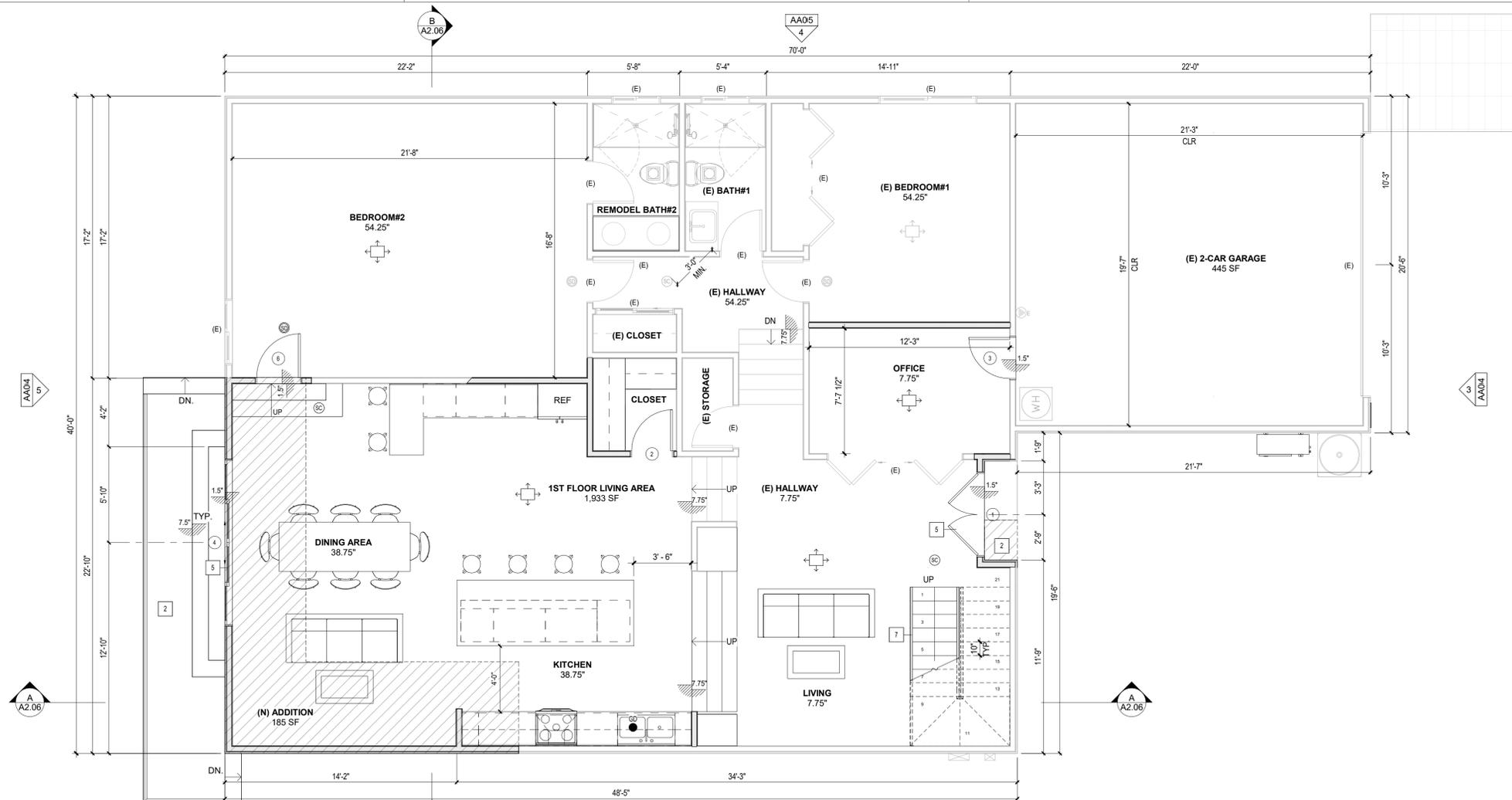
- DOOR TYPE, SEE SCHEDULE A2.01, A2.02
- WINDOW TYPE, SEE SCHEDULE A2.01, A2.02
- KEY NOTE
- FLOOR DEPRESSION
- EGRESS ESCAPE & RESCUE OPENING

## DOOR SCHEDULE (NEW DOORS ONLY)

ID	DOOR SIZE	QTY	DESCRIPTION	U-FACTOR	SHGC	REMARK
1	5'-0" x 6'-8"	1	ENTRY DOOR 2-PANEL, TEMP. GLASS, FRAME, PAINTED FINISH			ENTRY DOOR (1), (2), (3), (9)
2	2'-6" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
3	2'-6" x 6'-8"	1	SOLID CORE 1 PANEL, FRAME, PAINTED FINISH, 20 MINUTES MIN. FIRE RATED DOOR			GARAGE TO HOUSE DOOR
4	10'-0" x 6'-8"	1	SLIDING DOOR 4-PANEL, SOLID CORE, TEMP. GLASS, FRAME, PAINTED FINISH			EXTERIOR DOOR
5	2'-6" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
6	2'-8" x 6'-8"	2	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
7	2'-4" x 6'-8"	2	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
8	5'-0" x 6'-8"	2	SLIDING DOOR 2-PANEL HOLLOW CORE, FRAME, PAINTED FINISH			CLOSET DOOR
9	2'-8" x 6'-8"	1	SOLID CORE 2 PANEL, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
10	5'-0" x 6'-8"	1	SOLID CORE 2 PANEL, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
11	5'-0" x 6'-8"	2	SLIDING DOOR 2-PANEL SOLID CORE, TEMP. GLASS, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
12	5'-9" x 6'-8"	1	BI-FOLD LOUVER DOOR, FRAME, PAINTED FINISH, PROVIDED			LAUNDRY DOOR
13	2'-8" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
Grand total: 17						

## FLOOR PLAN LEGEND

- KITCHEN EXHAUST FAN MIN. 110 CFM SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL
- (N) 2X4 INTERIOR WALL
- (N) 2X4 EXTERIOR WALL / INFILL WITH INSULATION PER T-24
- EXHAUST FAN SHALL BE ENERGY STAR RATED. CEILING MOUNTED LIGHT W/ VENT 50 CFM MIN. INTERMITTENT W/ HUMIDITY CONTROL PER CMC 402.5. BETWEEN 50%-80% SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL
- IAQ FAN CALCULATION: (SELECTION PER T-24)  
 $0.03 \times 2,997 \text{ SF} + 7.5 (4+1) = 127.41 \text{ CFM MIN.}$
- 3/4" HOSE BIBB WITH BACK-FLOW PREVENTOR
- SMOKE DETECTORS AND COMBO SMOKE/CO DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING, WITH BATTERY BACK-UP AND SHALL ALL BE INTERCONNECTED
- SMOKE DETECTORS AND COMBO SMOKE/CO DETECTORS SHALL BE LISTED BY THE STATE OF CALIFORNIA OFFICE OF THE FIRE MARSHAL
- GARBAGE DISPOSAL
- HEATPUMP WATER HEATER NEEA SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- CEILING AIR DIFFUSER
- (E) OUT-DOOR UNIT ON PAD 3" MIN. W/ MECHANICAL SCREEN (V.I.F) SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- (E) ELECTRICAL PANEL/METER (V.I.F) SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- DECK DRAIN
- LAUNDRY DRYER EXHAUST
- ELECTRIC VEHICLE CHARGER
- WALL MOUNTED A/C INDOOR UNIT
- (N) HEATPUMP MINI SPLIT SYSTEM FOR ADDITION ON 2ND FLOOR (DUCTLESS)



1ST PROPOSED REMODEL + ADDITION PLAN 1/4" = 1'-0" 1



**ULTIMATE CONSTRUCTION  
DESIGN & BUILD**

**REMODEL + ADDITION**

### PROJECT CONTACT

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**PROPOSED - 1ST  
FLOOR PLAN**



**A2.01**

## FLOOR PLAN NOTES

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- FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
- EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL, UNO.
- CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH.
- SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3 CRC. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAYS OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFGOR. LISTED REQUIREMENTS.
- PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILINGS OR WALLS OUTSIDE SLEEPING ROOMS PER CHAPTER 3 CRC.
- BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING
- ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
- PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
- PROVIDE TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER OVER ALL WOOD BASE SHEATHING AT EXTERIOR WALLS.
- A MINIMUM 26 GAUGE, CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/8" INCHES SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.7.2.1)
- ACCESS TO ATTIC FURNACE MUST BE WITHIN 20' OF UNIT AND SHALL HAVE A CONTINUOUS SOLID WALKWAY AT LEAST 24" WIDE. A SWITCH CONTROL IS ALSO REQUIRED (CMC 304.4.1)
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO.
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATER HEATER MUST BE STRAPPED TO WALL.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A NATURAL LIGHT IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED AN AVERAGE ILLUMINATION OF 6 FEET-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
- GLAZING WHICH IS LESS THAN 60 INCHES FROM A FLOOR AND WITHIN A 24" ARC OF A DOORWAY'S VERTICAL EDGE MUST COMPLY WITH CH.3 CRC.
- LANDINGS AT DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS GREATER.
- ALL WATER HEATER INSTALLATION LOCATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE: (BEES 150.0(N)1A-D)  
 A. 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.  
 B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.  
 C. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.  
 D. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN A 200,000 BTU/HR SYSTEM.

## DOOR / WINDOW REMARKS

- DOOR SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN AT 90 DEGREE.
- DOOR SHALL HAVE A MINIMUM CLEAR HEIGHT OF 78", MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP
- DOOR SHALL BE READILY OPENABLE FROM THE INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- SELF-CLOSING, TIGHT FITTING, SOLID WOOD, 1-3/8" THICK DOOR, NOT LESS THAN 20-MIN FIRERATED DOOR AT OPENING TO DWELLING (CBC 715.4.3).
- MIN. 72" ABOVE FINISH FLOOR IN BATHROOMS.
- THE MANUFACTURED WINDOWS AND SLIDING DOOR SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONALS FENESTRATION RATING COUNCIL (NFRC) AND COMPLIANCE WITH THE ENERGY CALCULATIONS.
- THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300.
- ALL TEMPERED GLASS (T.G.) SHALL BE ACID-ETCHED, SAND-BLASTED, CERAMIC-FIRED, ASER-ETCHED, OR EMBOSSED PER CRC 2406.3.
- DEAD BOLT LOCKS ARE REQUIRED ON ALL EXTERIOR DOORS (INCLUDING HOUSE TO GARAGE)
- GLAZING SHALL BE SAFETY GLAZING IF LESS THAN 72" ABOVE BATHROOM FINISH FLOOR

## FLOOR PLAN KEYNOTES

- MIN. 4" DIA. TO THE OUTSIDE. EQUIPPED WITH A BACK DRAFT DAMPER. DUCT LENGTH OR SIZES AS PERMITTED OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL.
- (N) LANDING. 1 1/2" BELOW THRESHOLD. MINIMUM 36" IN DEPTH. MIN. 2% SLOPE AWAY FROM BUILDING.
- 2" SHOWER CURB.
- SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- TEMPERED GLASS. 5.1 TEMP. OBSCURED GLASS
- 42" HIGH GUARDRAIL. 6.1 42" HIGH BALCONY GUARDRAIL
- 36" HIGH STAIR RAILING. 5.2 OBSCURED GLASS

## LEGEND

- DOOR TYPE, SEE SCHEDULE A2.01, A2.02
- WINDOW TYPE, SEE SCHEDULE A2.01, A2.02
- KEY NOTE
- FLOOR DEPRESSION
- EGRESS ESCAPE & RESCUE OPENING

## DOOR SCHEDULE (NEW DOORS ONLY)

ID	DOOR SIZE	QTY	DESCRIPTION	U-FACTOR	SHGC	REMARK
1	5'-0" x 6'-8"	1	ENTRY DOOR 2-PANEL, TEMP. GLASS, FRAME, PAINTED FINISH			ENTRY DOOR (1), (2), (3), (9)
2	2'-6" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
3	2'-6" x 6'-8"	1	SOLID CORE 1 PANEL, FRAME, PAINTED FINISH, 20 MINUTES MIN. FIRE RATED DOOR			GARAGE TO HOUSE DOOR
4	10'-0" x 6'-8"	1	SLIDING DOOR 4-PANEL, SOLID CORE, TEMP. GLASS, FRAME, PAINTED FINISH			EXTERIOR DOOR
5	2'-6" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
6	2'-8" x 6'-8"	2	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
7	2'-4" x 6'-8"	2	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
8	5'-0" x 6'-8"	2	SLIDING DOOR 2-PANEL HOLLOW CORE, FRAME, PAINTED FINISH			CLOSET DOOR
9	2'-8" x 6'-8"	1	SOLID CORE 1 PANEL, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
10	5'-0" x 6'-8"	1	SOLID CORE 2 PANEL, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
11	5'-0" x 8'-8"	2	SLIDING DOOR 2-PANEL SOLID CORE, TEMP. GLASS, FRAME, PAINTED FINISH	0.5		EXTERIOR DOOR
12	5'-9" x 6'-8"	1	BI-FOLD LOUVER DOOR, FRAME, PAINTED FINISH, PROVIDED			LAUNDRY DOOR
13	2'-8" x 6'-8"	1	HOLLOW CORE 1 PANEL, FRAME, PAINTED FINISH			INTERIOR DOOR
Grand total: 17						

## WINDOW SCHEDULE (NEW WINDOWS ONLY)

ID	WINDOW SIZE	QTY	DESCRIPTION	U-FACTOR	SHGC	REMARK
A	2'-6" x 5'-0"	4	SINGLE HUNG, DUAL GLASS, FRAME, FINISH PER MFR.			OBSCURED
B	3'-0" x 3'-0"	2	SLIDER, DUAL GLASS, FRAME, FINISH PER MFR.			OBSCURED
C	5'-0" x 4'-0"	1	SLIDER, DUAL GLASS, FRAME, FINISH PER MFR.			OBSCURED, TEMP. @BATH (5),(10)
D	3'-0" x 1'-0"	3	SLIDER, DUAL GLASS, FRAME, FINISH PER MFR.			
Grand total: 10						

## FLOOR PLAN LEGEND

- KITCHEN EXHAUST FAN MIN. 110 CFM SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL
- (N) 2X4 INTERIOR WALL
- (N) 2X4 EXTERIOR WALL / INFILL WITH INSULATION PER T-24
- EXHAUST FAN SHALL BE ENERGY STAR RATED. CEILING MOUNTED LIGHT W/ VENT 50 CFM MIN. INTERMITTENT W/ HUMIDITY CONTROL PER CMC 402.5. BETWEEN 50%-80% SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL
- IAQ FAN CALCULATION: (SELECTION PER T-24)  
0.03 x 2,997 SF + 7.5 (4+1) = 127.41 CFM MIN.
- 3/4" HOSE BIBB WITH BACK-FLOW PREVENTOR
- SMOKE DETECTORS AND COMBO SMOKE/CO DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING, WITH BATTERY BACK-UP AND SHALL ALL BE INTERCONNECTED
- SMOKE DETECTORS AND COMBO SMOKE/CO DETECTORS SHALL BE LISTED BY THE STATE OF CALIFORNIA OFFICE OF THE FIRE MARSHAL
- GARBAGE DISPOSAL
- HEATPUMP WATER HEATER NEEA SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- CEILING AIR DIFFUSER
- (E) OUT-DOOR UNIT ON PAD 3" MIN. W/ MECHANICAL SCREEN (V.I.F) SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- (E) ELECTRICAL PANEL/METER (V.I.F) SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
- DECK DRAIN
- LAUNDRY DRYER EXHAUST
- ELECTRIC VEHICLE CHARGER
- WALL MOUNTED A/C INDOOR UNIT
- (N) HEATPUMP MINI SPLIT SYSTEM FOR ADDITION ON 2ND FLOOR (DUCTLESS)



**ULTIMATE CONSTRUCTION  
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## PROJECT CONTACT

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## OWNERSHIP

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REMODEL & ADDITION HOUSE

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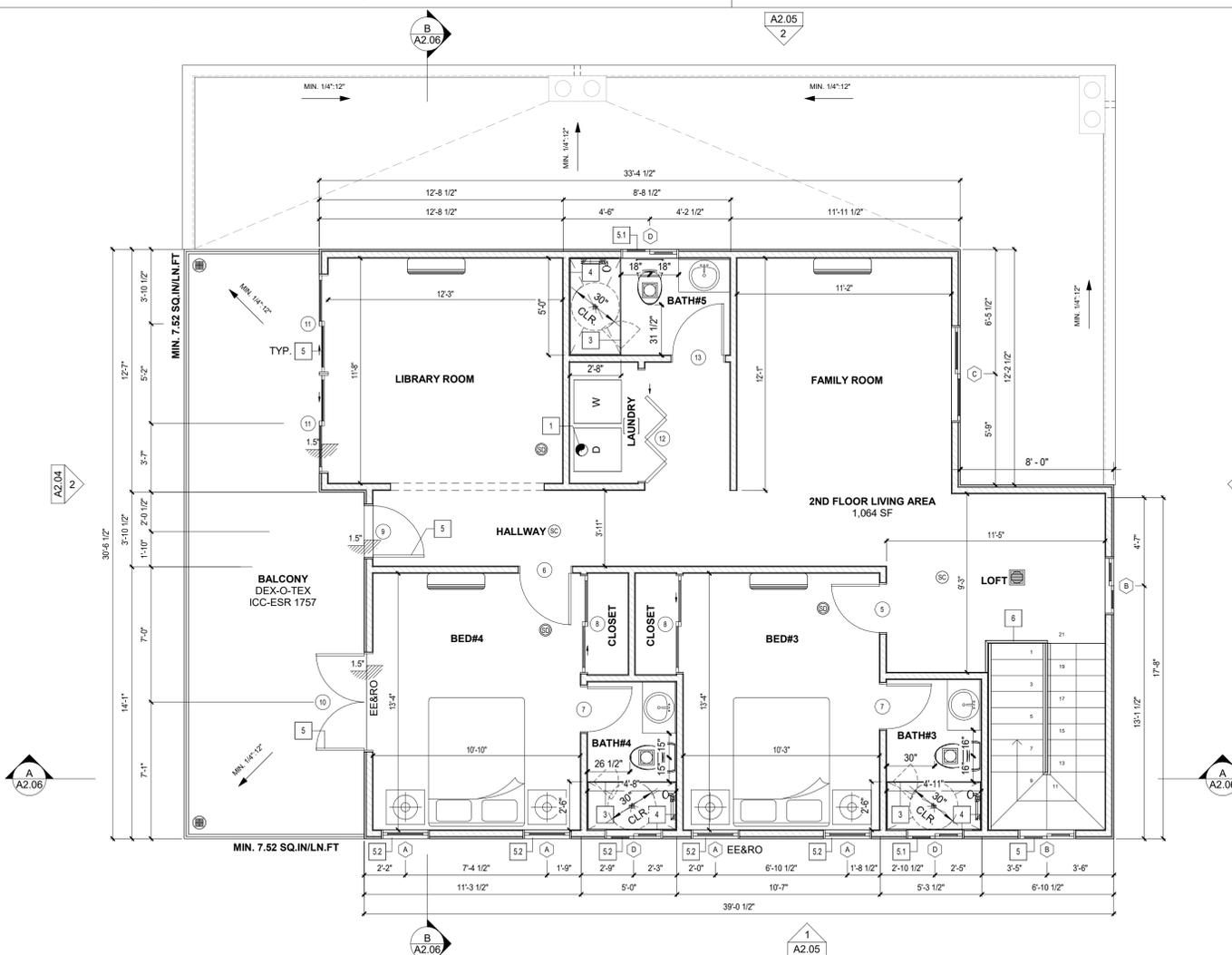
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*[Signature]*

PROPOSED - 2ND  
 FLOOR PLAN

A2.02



2ND PROPOSED ADDITION PLAN 1/4" = 1'-0" 1



### ROOF PLAN GENERAL NOTES

1. ROOF MATERIAL COVERING CLASS "B" 3 LAYER OF #300 GAF ROOF FELT ICC-ESR #2053. THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. PROJECTIONS LESS THAN 3'-0" (HOUSE WITH SPRINKLER) TO PROPERTY LINE TO BE 1-HOUR CONSTRUCTION, TYP.
3. PROVIDE MIN. 2% SLOPE AT FLAT ROOF AND DECK (IF OCCUR).



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**REMODEL & ADDITION HOUSE**

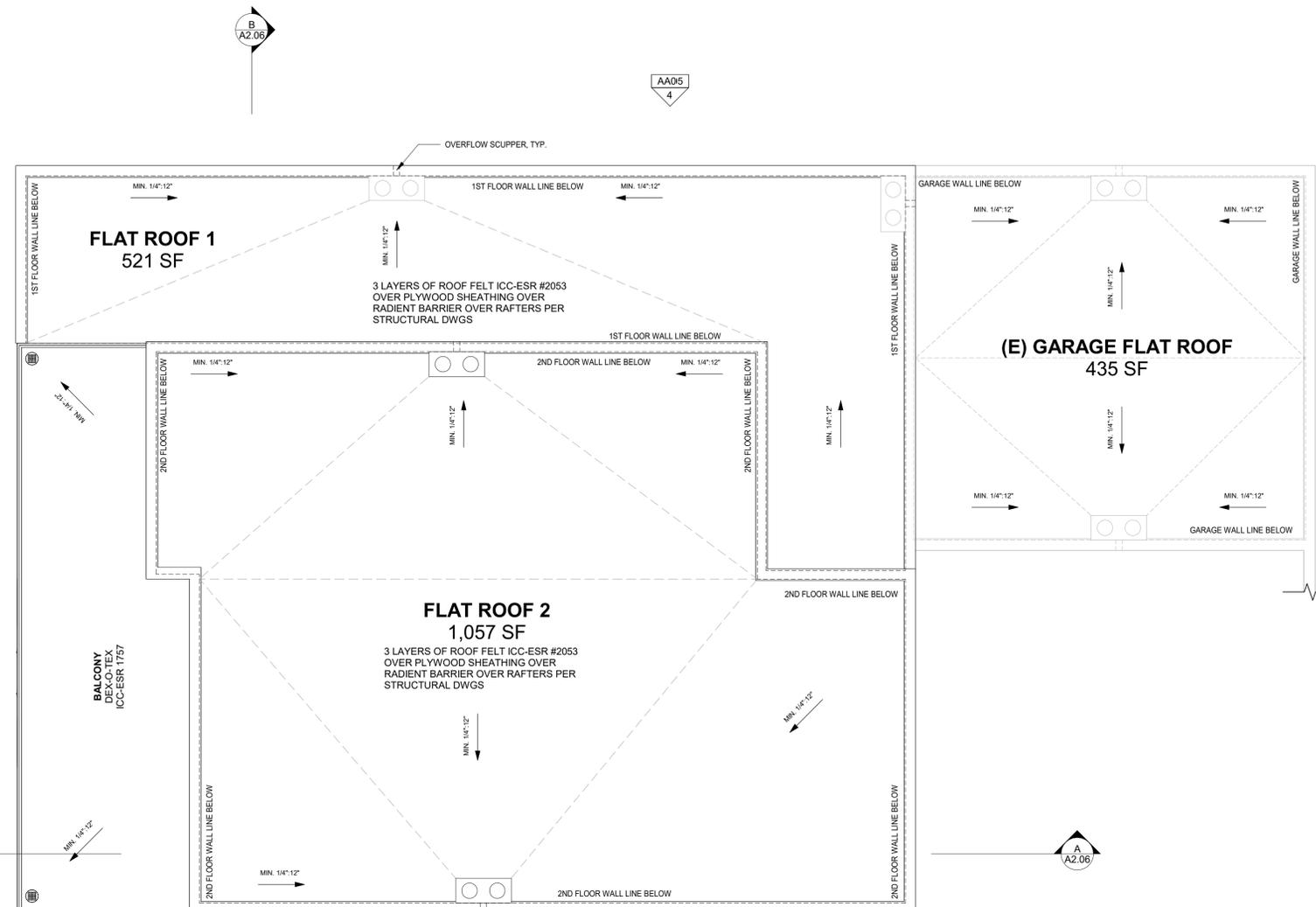
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**PROPOSED - ROOF  
PLAN**

**A2.03**



**PROPOSED ROOF PLAN** 1/4" = 1'-0" **1**



### ELEVATION & SECTION NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY. CRC R317.2(2).
3. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
4. MIN. 3/8" OSB PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
5. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
6. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
7. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3  
 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
8. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

### ELEVATION KEYNOTES

- 1 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 2 (N) ROOF MATERIAL COVERING CLASS "B" 3 LAYERS OF ROOF FELT ICC-ESR #2053
- 3 (N) 3FT HIGH PARAPET WALL
- 4 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS TO MATCH EXISTING HOUSE
- 5 TEMP. GLASS
- 6 TEMP. OBSCURED GLASS
- 7 42" HIGH GUARDRAIL AT EXTERIOR DECK PER CBC 1015.2. GUARDRAIL TO WITHSTAND 200 LBS LATERAL LOAD
- 8 (N) LANDING. 1 1/2" BELOW THRESHOLD. MINIMUM 36" IN DEPTH. MIN. 2% SLOPE AWAY FROM BUILDING
- 9 (N) OVERFLOW SCUPPER
- 10 42" HIGH GLASS RAILING
- 11 (N) ADDRESS SIGNAGE, SEE DETAIL ON SHEET A0.00

### LEGENDS

- ⊗ DOOR TYPE, SEE SCHEDULE A2.01, A2.02
- ⊗ WINDOW TYPE, SEE SCHEDULE A2.01, A2.02
- ⊗ KEY NOTE
- 1'5" FLOOR DEPRESSION
- EE&RO EGRESS ESCAPE & RESCUE OPENING



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### PROJECT CONTACT

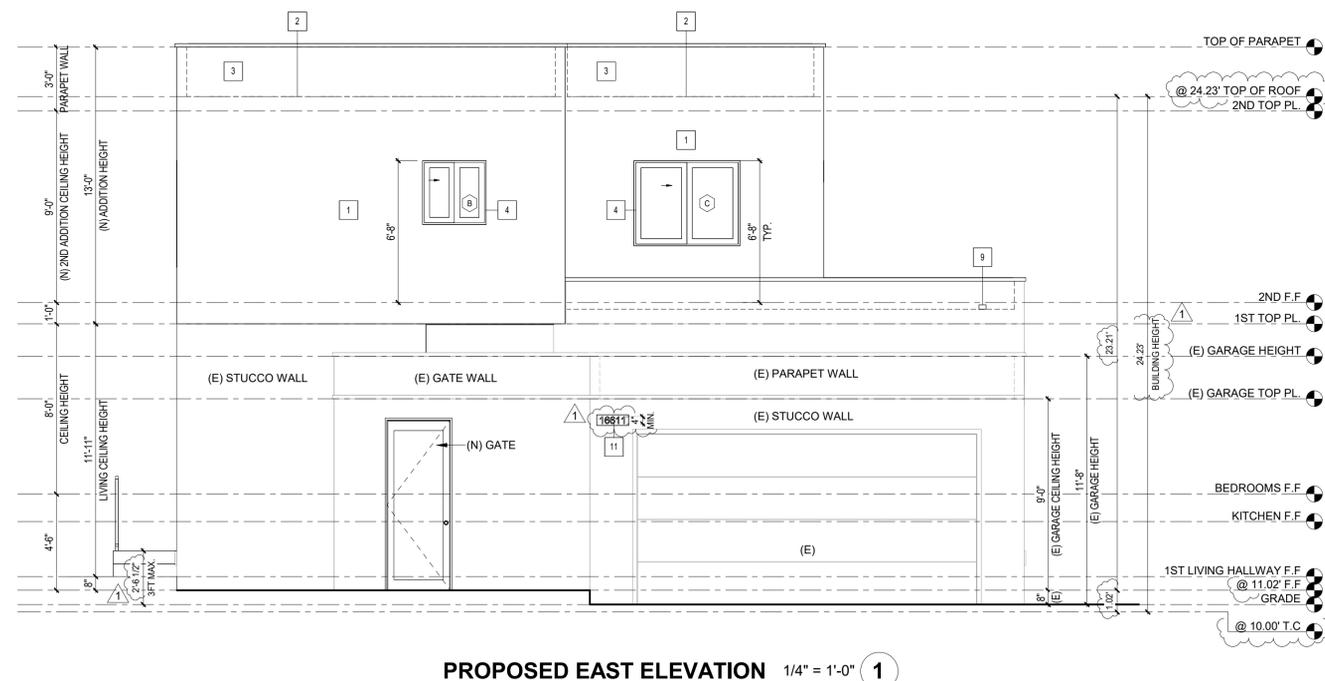
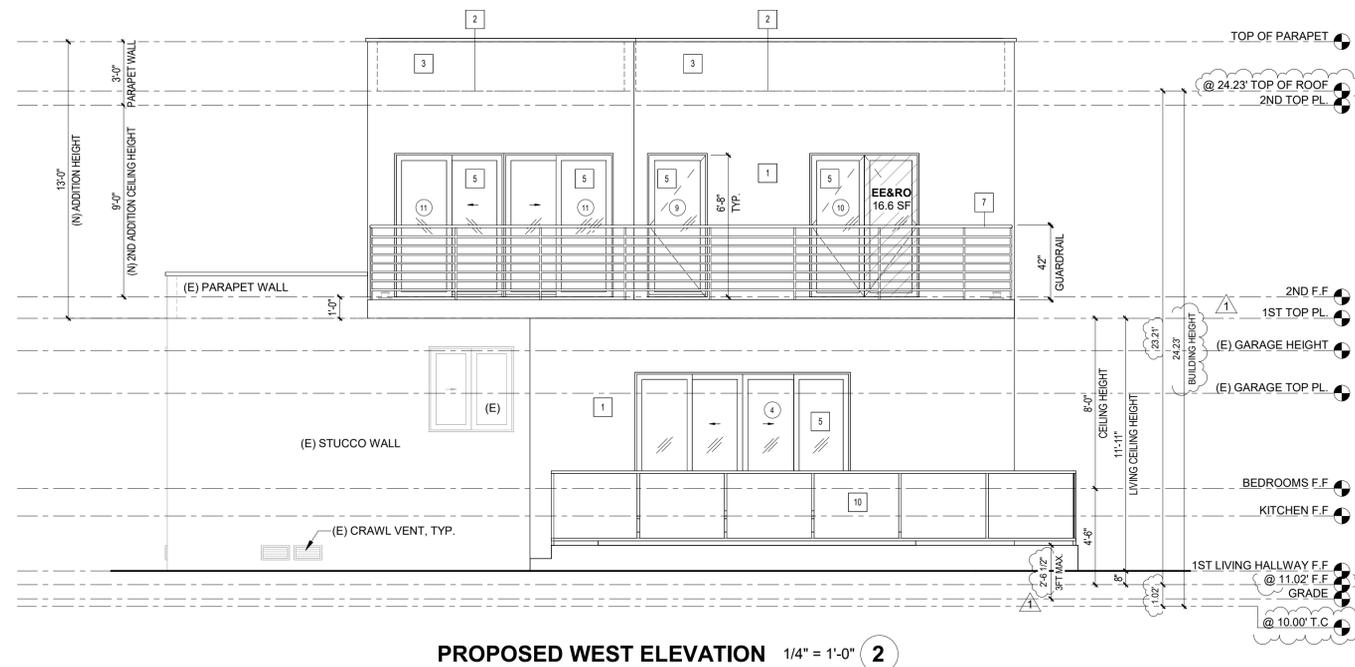
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**REMODEL & ADDITION HOUSE**

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**PROPOSED -  
ELEVATIONS**

### ELEVATION & SECTION NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.2(2).
3. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
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### LEGENDS

- XX DOOR TYPE, SEE SCHEDULE A2.01, A2.02
- XX WINDOW TYPE, SEE SCHEDULE A2.01, A2.02
- XX KEY NOTE
- 1.5' FLOOR DEPRESSION
- EE&RO EGRESS ESCAPE & RESCUE OPENING



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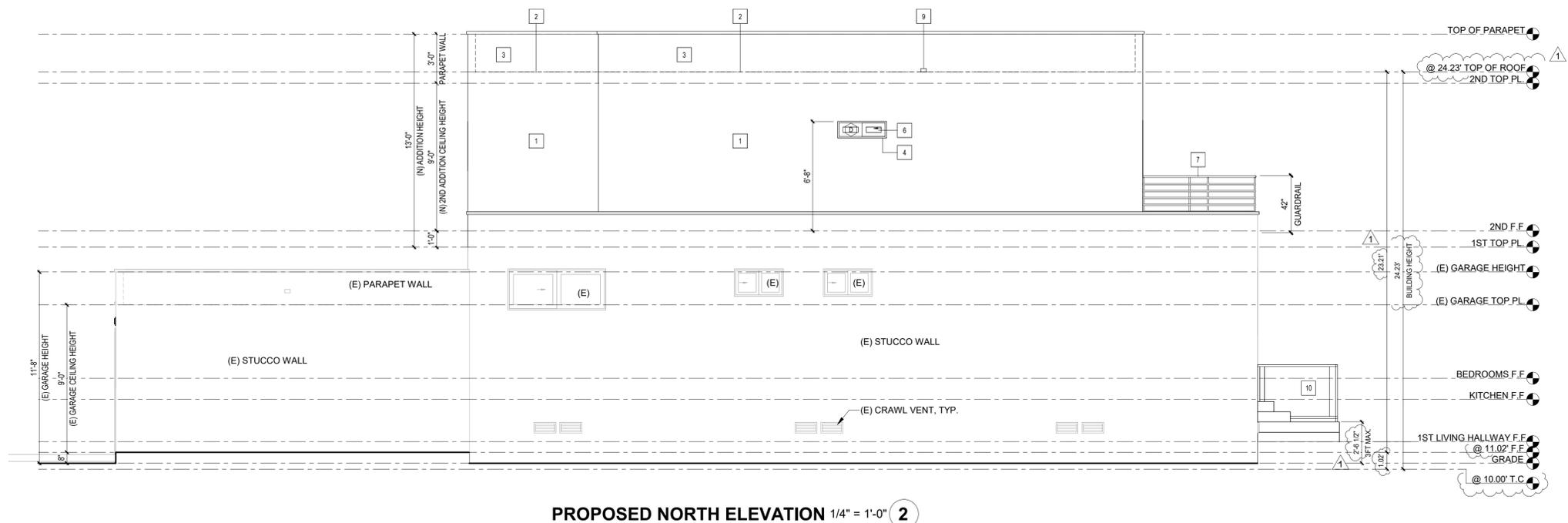
**REMODEL + ADDITION**

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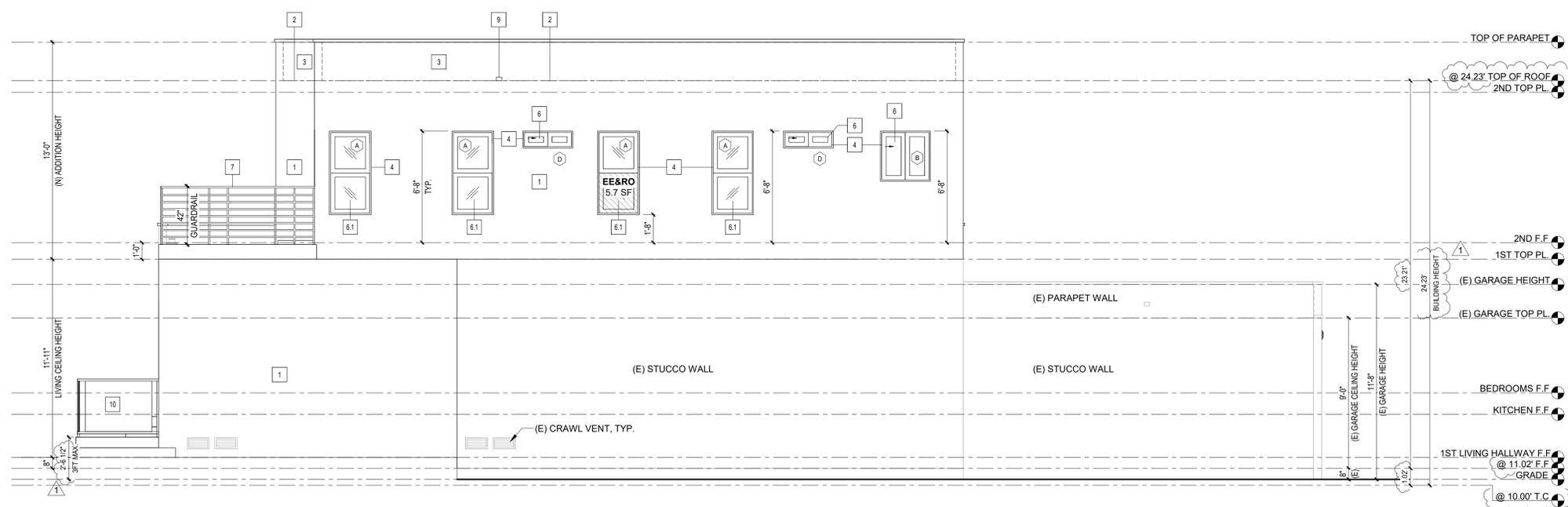
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**PROPOSED NORTH ELEVATION 1/4" = 1'-0" 2**



**PROPOSED SOUTH ELEVATION 1/4" = 1'-0" 1**

DELTA	DATE	DESCRIPTION
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*[Handwritten signature]*

**PROPOSED -  
ELEVATIONS (CONT.)**

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4. MIN. 3/8" OSB PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
5. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
6. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
7. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3  
 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
8. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

### SECTION KEYNOTES

- A (N) 2x ROOF JOISTS PER STRUCT
- B WEEP SCREED FOR STUCCO, 2" MIN. ABOVE PAVED AREAS, 8" MIN. ABOVE NATURAL GRADE
- C (N) 2x FLOOR JOISTS PER STRUCT
- D (N) CONCRETE SLAB PER STRUCT
- E (N) FOOTING PER STRUCT
- F (N) 2x STUD WALL PER STRUCT
- G (N) PARAPET WALL
- H (N) 36" HIGH STAIR RAILING
- I (N) 42" GUARDRAIL
- J (N) LANDING
- K (N) OVERFLOW SCUPPER

### LEGENDS

- XX DOOR TYPE, SEE SCHEDULE A2.01, A2.02
- XX WINDOW TYPE, SEE SCHEDULE A2.01, A2.02
- XX KEY NOTE
- 1.5" FLOOR DEPRESSION
- EE&RO EGRESS ESCAPE & RESCUE OPENING



**ULTIMATE CONSTRUCTION  
DESIGN & BUILD**

**REMODEL + ADDITION**

### PROJECT CONTACT

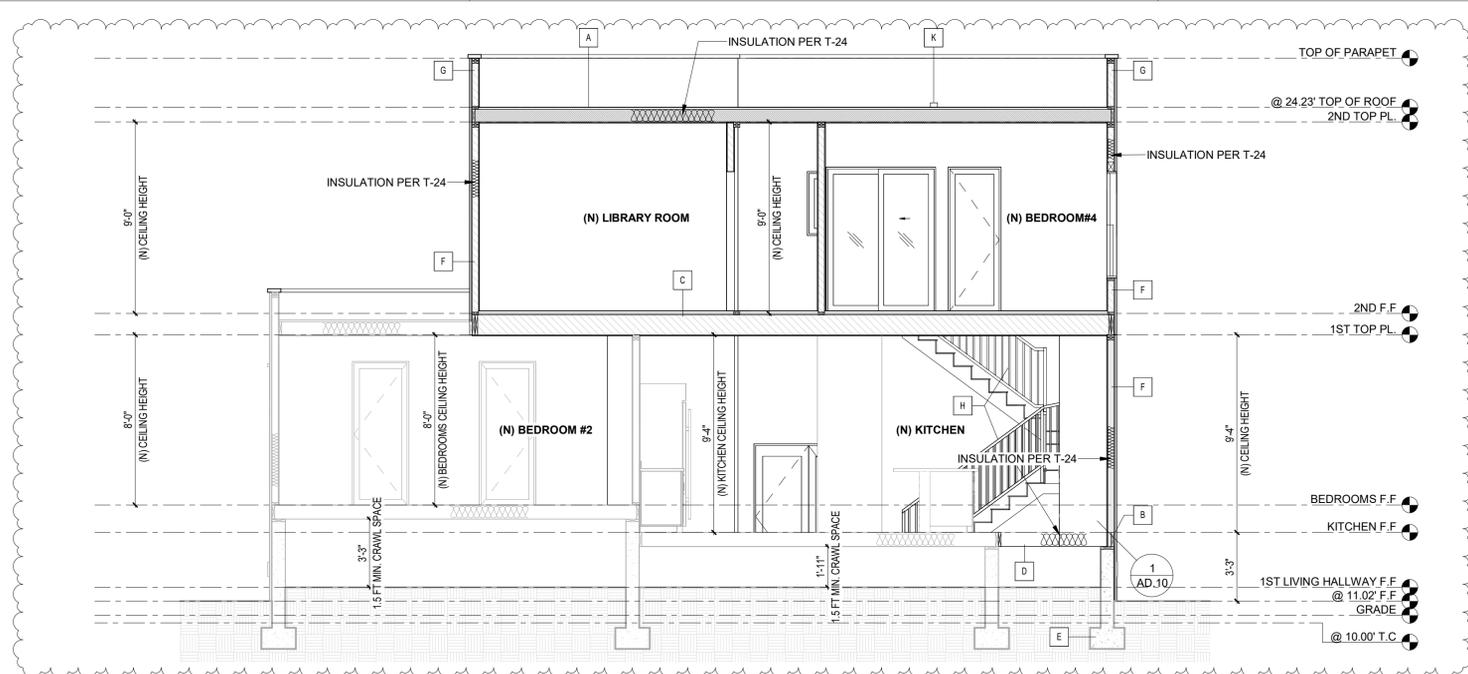
**PHONE NUMBER:** (714) 468-4664  
**ADDRESS:** 13892 HARBOR BLVD, SUITE 4A, GARDEN GROVE, CA 92843  
**EMAIL:** ULTIMATEKONSTRUCTION@GMAIL.COM

### OWNERSHIP

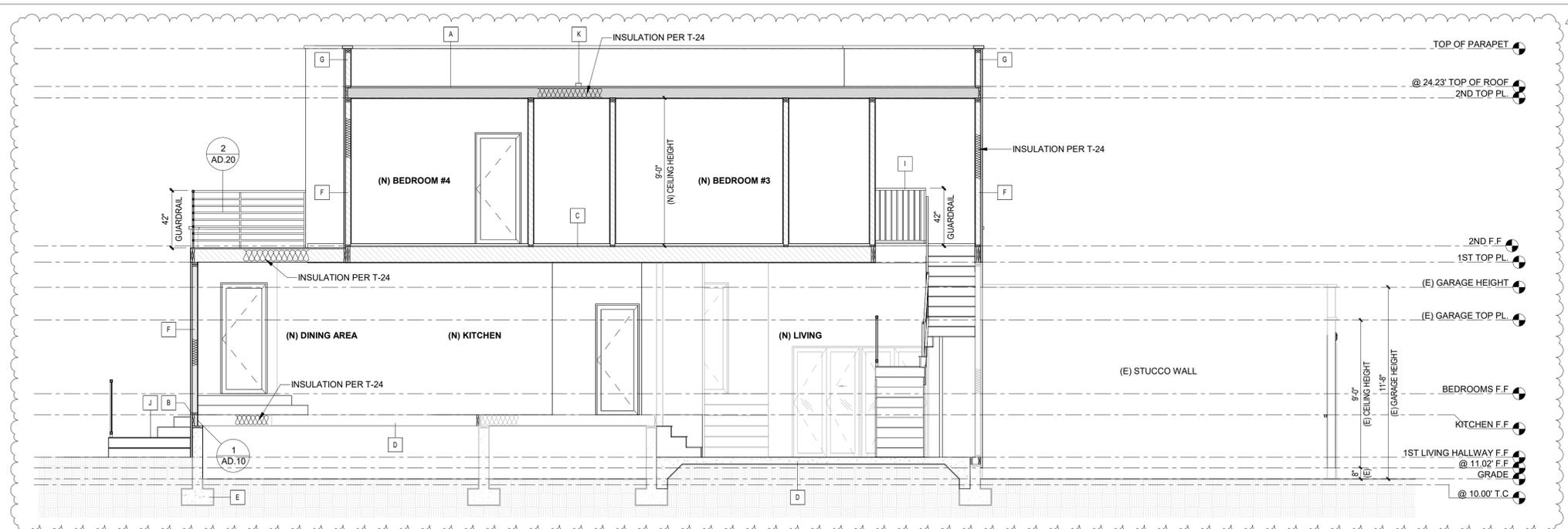
**NAME:** TIFFANY LE  
**ADDRESS:** 16611 EDGEWATER, HUNTINGTON BEACH, CA 92649  
**PHONE:** (714) 417-6734  
**MAIL:** TIFFANYLE@YAHOO.COM

**REMODEL & ADDITION HOUSE**

**16611 EDGEWATER LN,  
HUNTINGTON BEACH, CA 92649**



**SECTION B-B 1/4" = 1'-0" B**



**SECTION A-A 1/4" = 1'-0" A**

DELTA	DATE	DESCRIPTION
1	12/19/2025	PC1

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*[Handwritten Signature]*

**PROPOSED -  
SECTIONS**



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**REMODEL & ADDITION HOUSE**

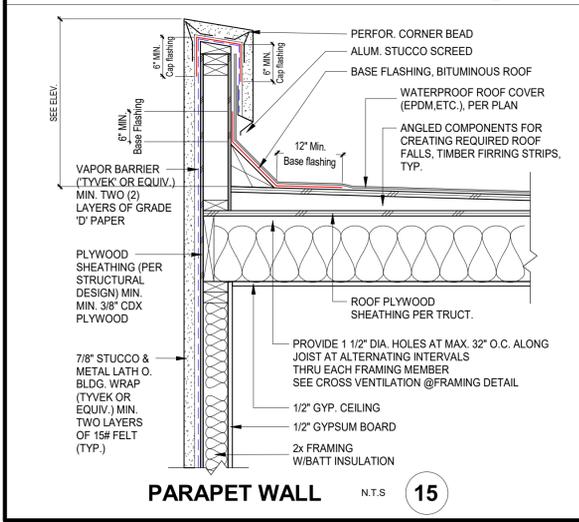
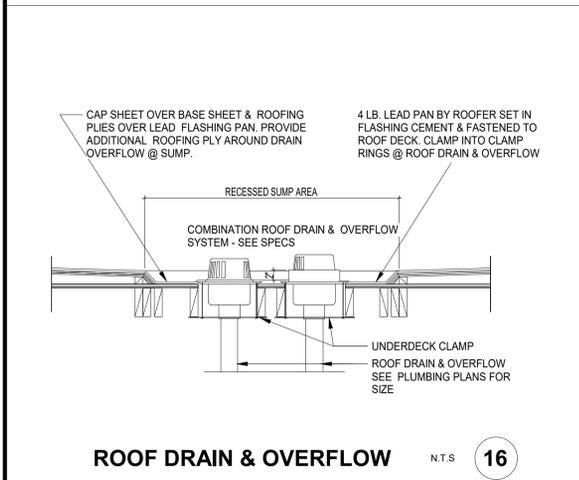
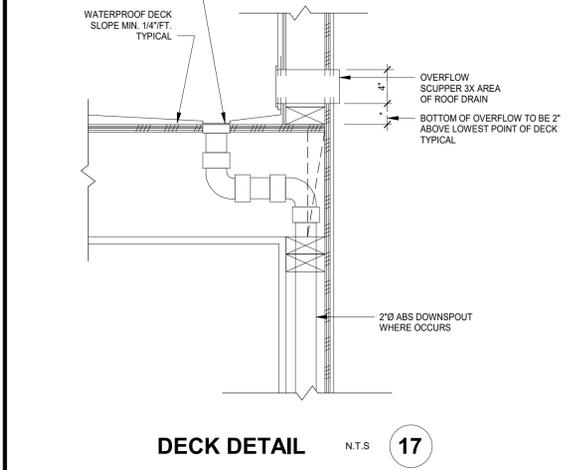
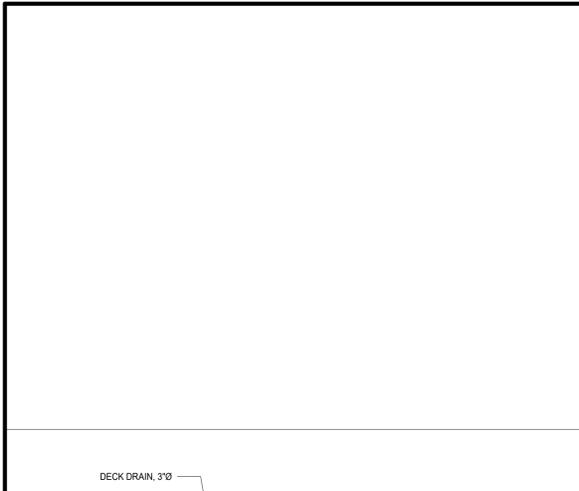
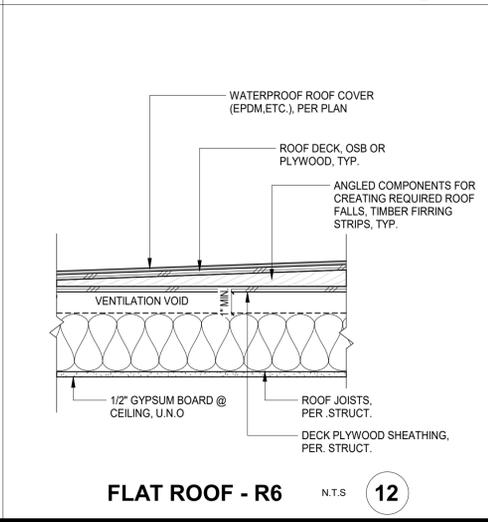
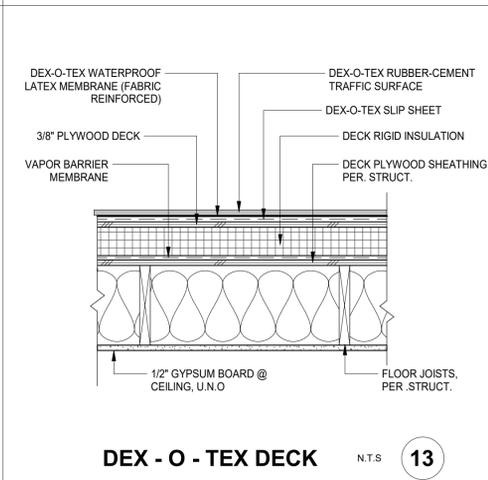
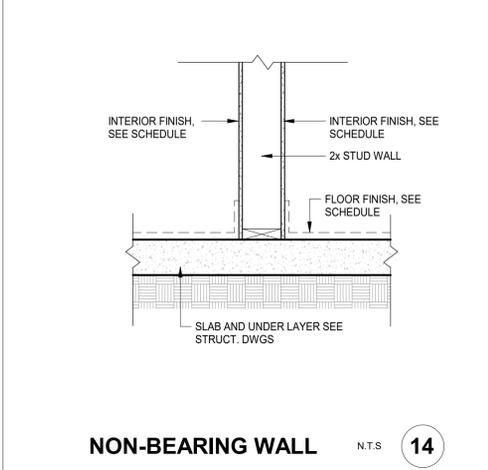
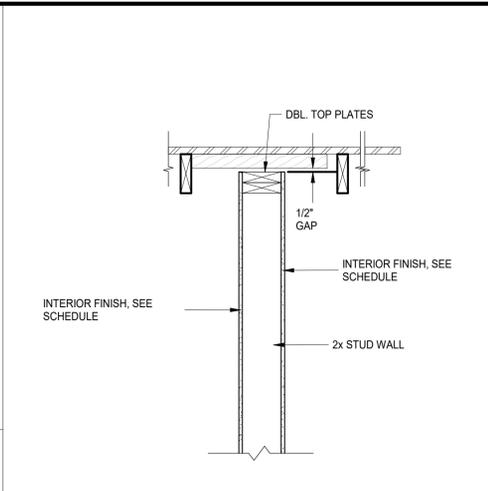
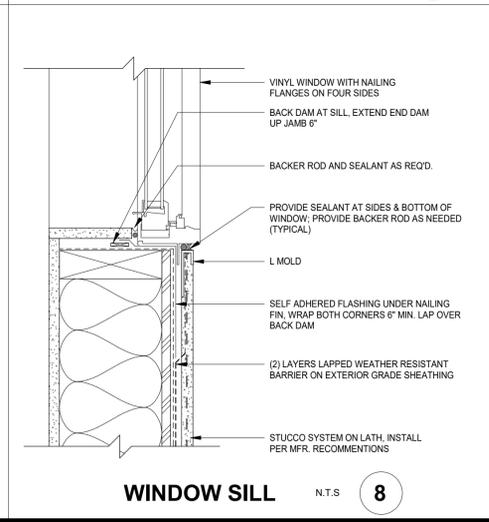
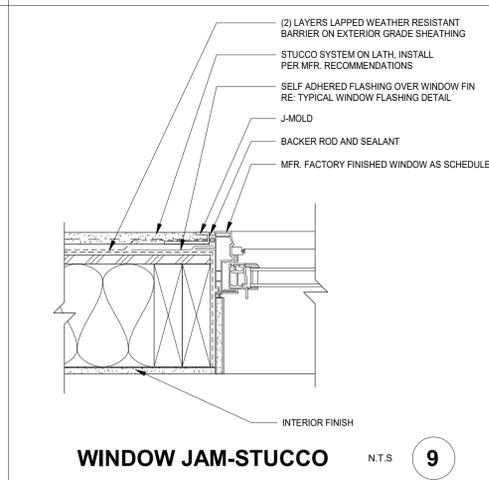
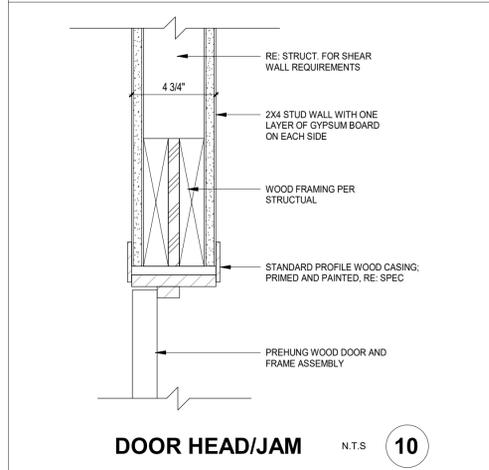
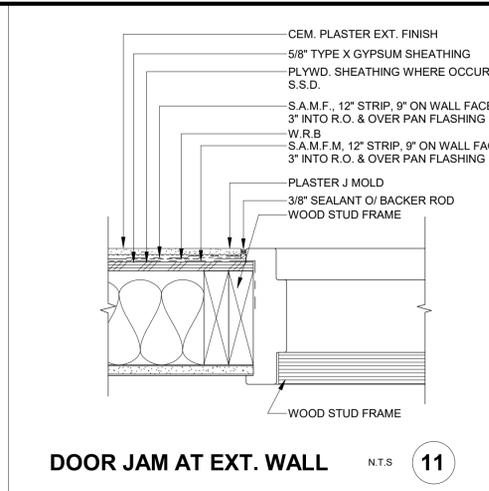
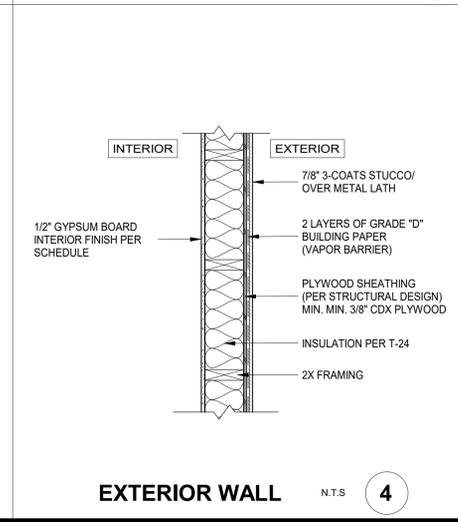
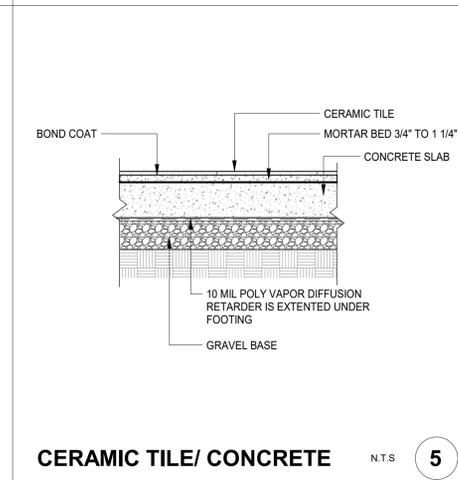
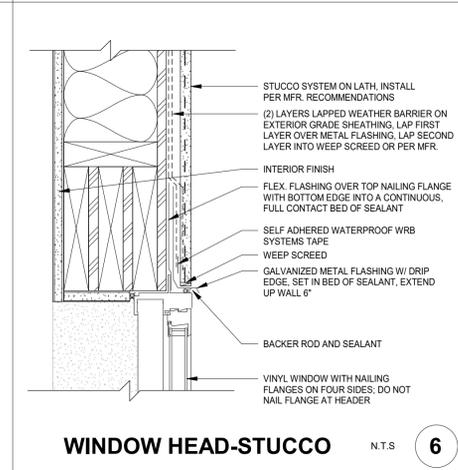
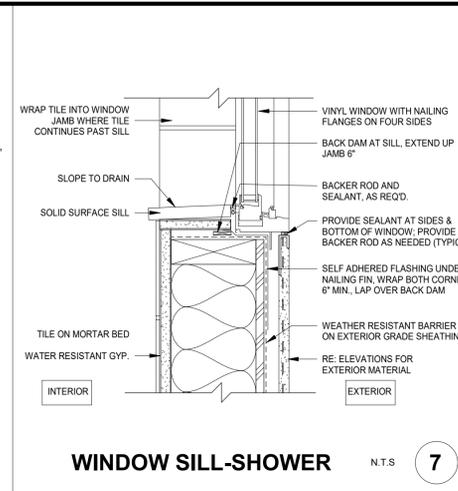
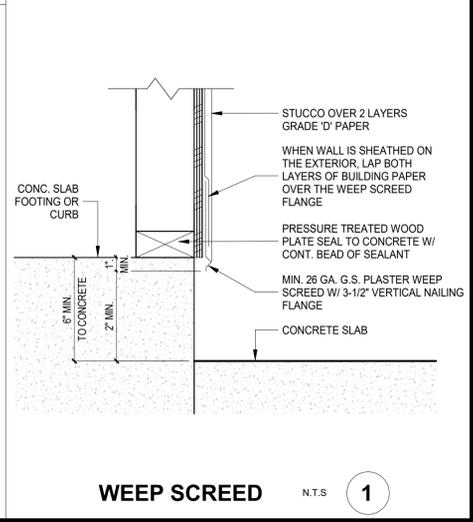
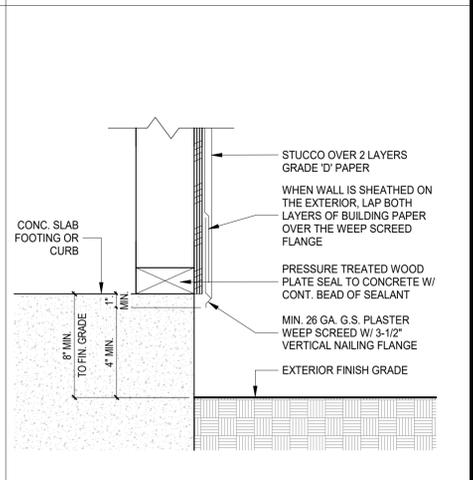
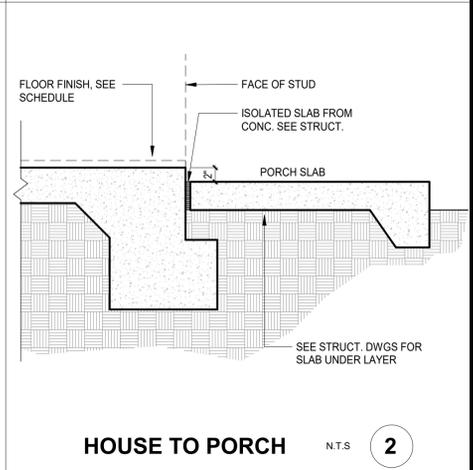
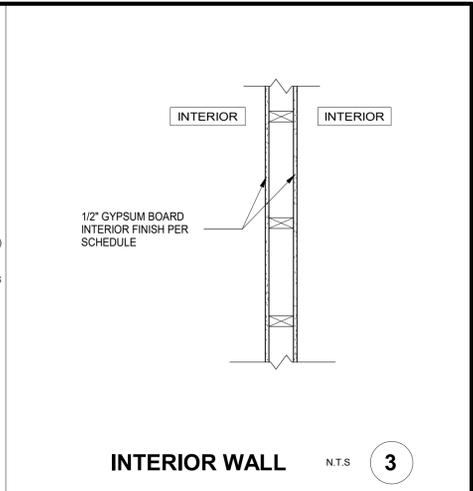
**16611 EDGEWATER LN,  
HUNTINGTON BEACH, CA 92649**

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**ARCHITECTURAL  
DETAILS**

**AD.10**





**ULTIMATE KONSTRUCTION  
DESIGN & BUILD**

**REMODEL + ADDITION**

**PROJECT CONTACT**

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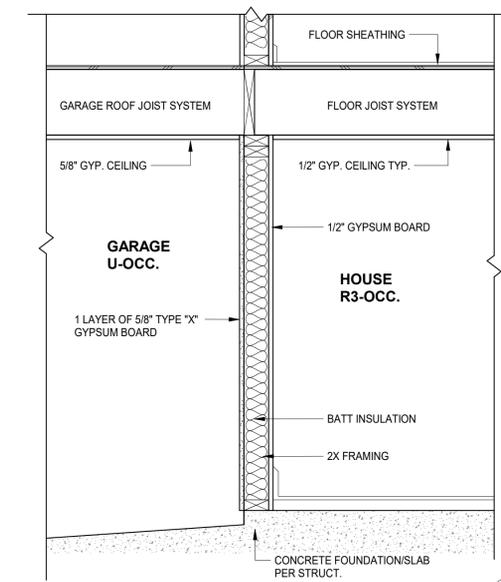
**REMODEL & ADDITION HOUSE**

**16611 EDGEWATER LN,  
HUNTINGTON BEACH, CA 92649**

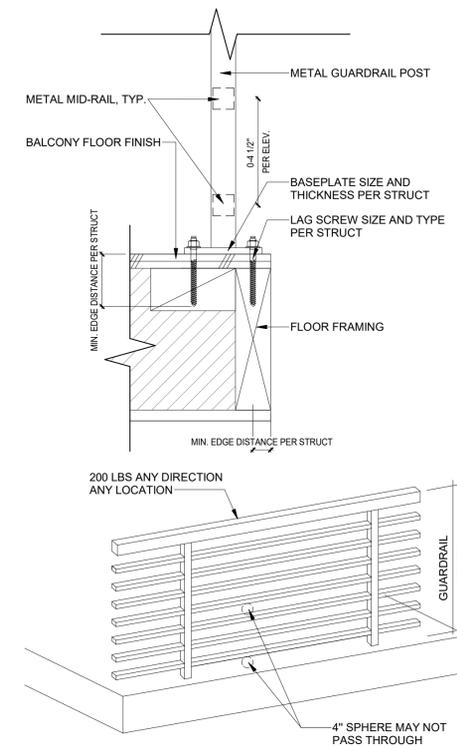
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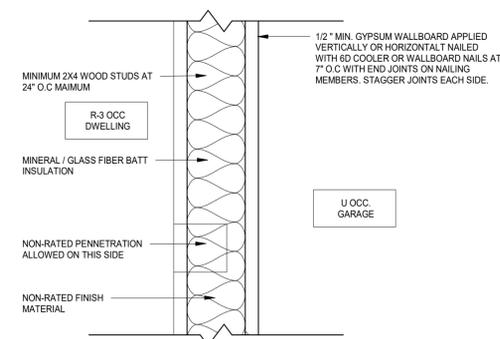
**ARCHITECTURAL  
DETAILS (CONT.)**



**WALL BETWEEN GARAGE - HOUSE** N.T.S. **3**



**BALCONY DETAIL** N.T.S. **2**



**REQ'D FIRE BARRIER CRC SEC. R302.6**  
**GARAGE TO DWELLING** N.T.S. **1**



ULTIMATE CONSTRUCTION  
DESIGN & BUILD

REMODEL + ADDITION

PROJECT CONTACT

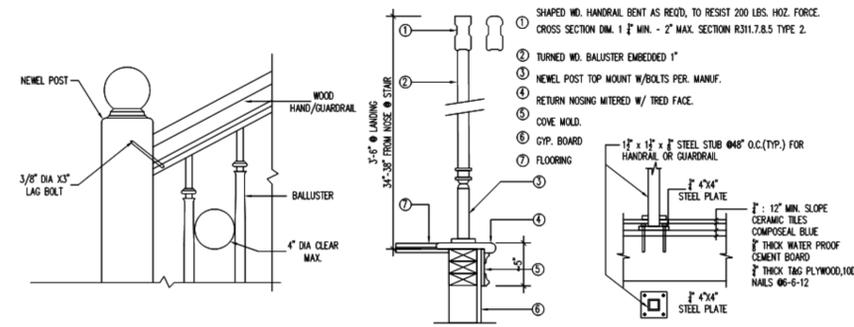
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REMODEL & ADDITION HOUSE

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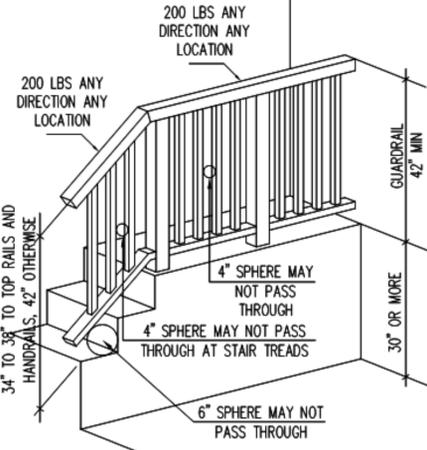


HANDRAILS AND GUARDRAILS SHALL BE CONSTRUCTED SUCH THAT:

GUARDS SHALL NOT BE LESS THAN 42" HEIGHT. HANDRAILS SHALL NOT BE LESS THAN 34" OR MORE THAN 38" IN HEIGHT ABOVE THE STAIR NOSING WHERE THE TOP RAIL SERVES AS A HANDRAIL. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. SIMILARLY, RAILS AT SIDES OF STAIR TREADS SUCH THAT A 4" DIAMETER SPHERE CAN NOT PASS THROUGH. THE HANDRAIL & GUARDS CONSTRUCTION SHALL BE ABLE TO RESIST A LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL. THE TRIANGULAR OPENINGS AT STAIR TREAD, RISER, & BOTTOM SHALL BE SUCH THAT A 6" DIAMETER SPHERE CAN NOT PASS THROUGH.

THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THE BUILDING CODE AND IS ONLY AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

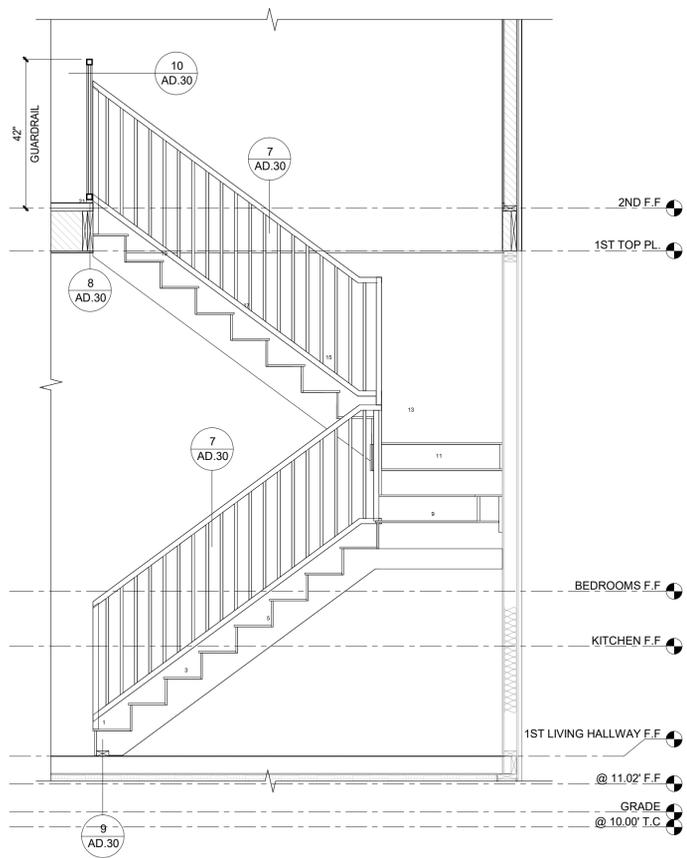
- 1 SHAPED W.D. HANDRAIL BENT AS REQ'D. TO RESIST 200 LBS. HOZ. FORCE. CROSS SECTION DIM. 1 1/2" MIN. - 2" MAX. SECTION R311.7.8.5 TYPE 2.
- 2 TURNED W.D. BALUSTER EMBEDDED 1"
- 3 NEWEL POST TOP MOUNT W/BOLTS PER MANUF.
- 4 RETURN NOSING MITERED W/ TREAD FACE.
- 5 COVE MOLD.
- 6 GYP. BOARD
- 7 FLOORING



SEE 2016 CBC 1012 & 1013, 1607.8  
2016 CRC R311.7 & R312

HANDRAIL/GUARDRAIL

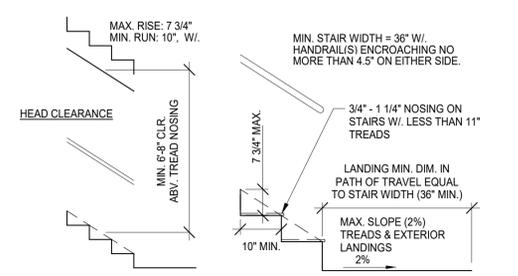
N.T.S. 10



STAIRS SECTION B-B

N.T.S. 5

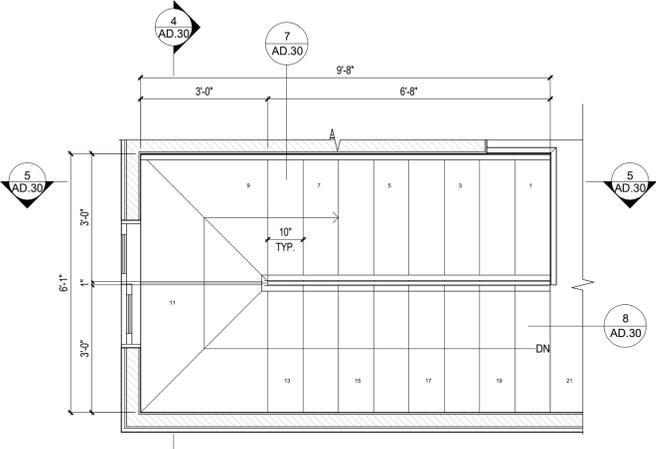
NOTE: STAIRS SHOULD MEET REQUIREMENTS SET FORTH IN SECTION R311 - MEANS OF EGRESS (CRC).



NOSING NOTE: THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" INCH. A NOSING NOT LESS THAN 3/4" INCH BUT NOT MORE THAN 1 1/4" INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2" INCH. RISERS SHALL BE VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE. EXCEPTIONS:  
1. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11 INCHES.  
2. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS.

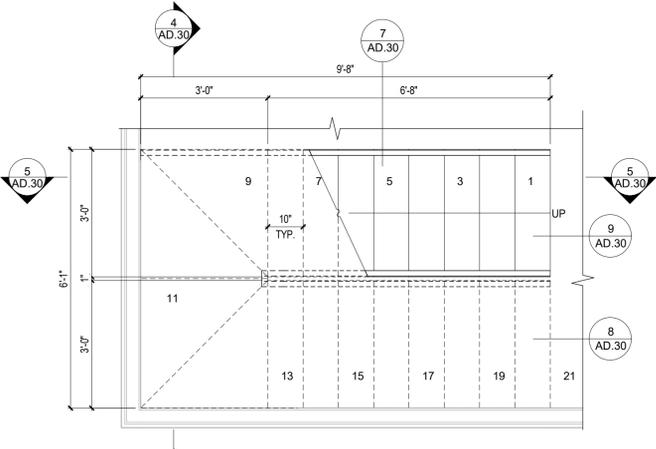
STEP REQUIREMENTS

N.T.S. 3



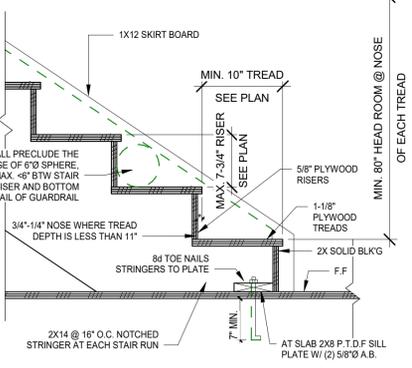
STAIR 2ND FLOOR PLAN

1/2" = 1'-0" 2



STAIR 1ST FLOOR PLAN

1/2" = 1'-0" 1



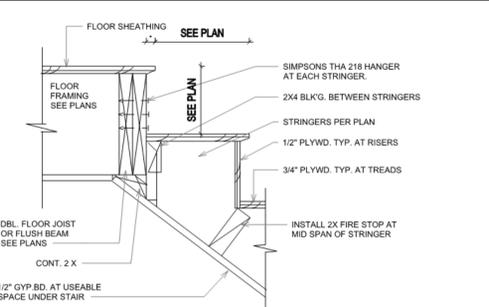
STAIR CONNECTION @ SLAB

N.T.S. 9

HANDRAIL REQ'TS - R311.7.8  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.  
1 - HEIGHT. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.  
EXCEPTIONS:  
1. THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.  
2. WHEN HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARDRAIL OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED THE MAXIMUM HEIGHT.  
2 - CONTINUITY. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.  
EXCEPTIONS:  
1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN.  
2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD.  
3 - GRIP-SIZE. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.  
- TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 1/4 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH.  
- TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH A DISTANCE OF 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN 7/8 INCH BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4 INCHES TO A MAXIMUM OF 2 3/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH.  
4 - EXTERIOR WOOD/PLASTIC COMPOSITE HANDRAILS. WOOD/PLASTIC COMPOSITE HANDRAILS SHALL COMPLY WITH THE PROVISIONS OF SECTION R607.3.

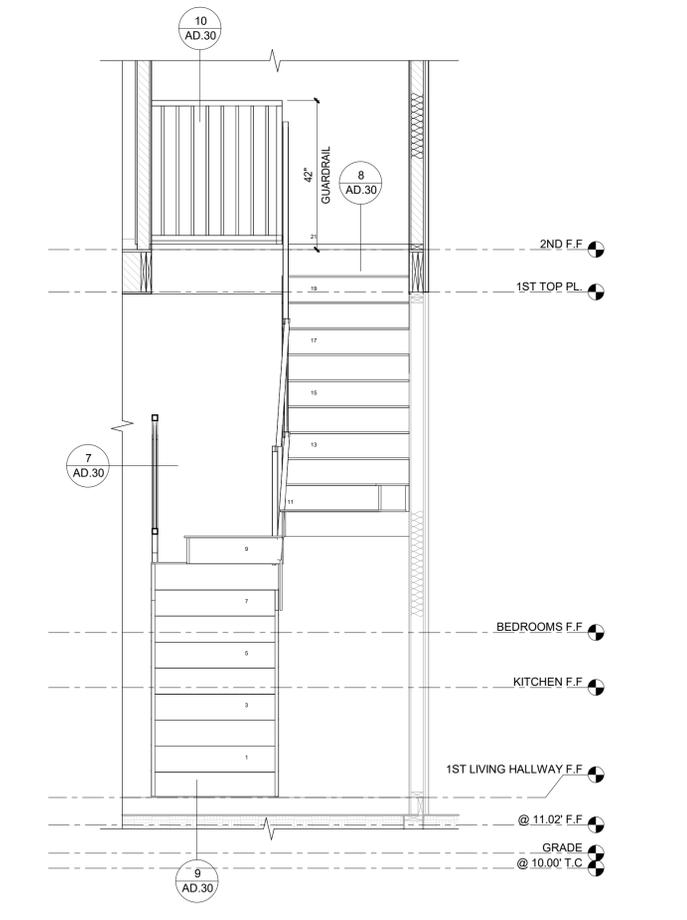
HANDRAIL DETAILS

N.T.S. 7



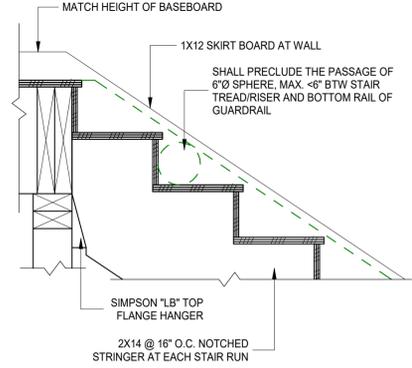
STRINGER TO LANDING/FLOOR

N.T.S. 6



STAIR SECTION A-A

N.T.S. 4



STAIR CONNECTION @ TOP

N.T.S. 8

DELTA	DATE	DESCRIPTION
1	12/19/2025	PC1

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STAIR DETAILS

AD.30



ULTIMATE KONSTRUCTION DESIGN & BUILD

REMODEL + ADDITION

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REMODEL & ADDITION HOUSE

16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649

Table with 3 columns: DELTA, DATE, DESCRIPTION. Row 1: 12/19/2025, PC1

IF THE CONTRACTORS OR OWNER-BUILDERS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE DESIGNERS IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD BE AWARE...

Handwritten signature of Tiffany Le

TITLE 24

T24.1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Energy Use Summary, HERS Feature Summary, and Building Features Information.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Energy Use Summary, Opaque Surfaces, and Opaque Surfaces - Cathedral Ceilings.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes General Information, Compliance Results, and Zone Information.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Fenestration / Glazing table.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Opaque Surfaces - Cathedral Ceilings table.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Opaque Surfaces table.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Opaque Surface Constructions, Building Envelope - HERS Verification, Water Heating Systems, and Water Heaters.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Opaque Surface Constructions table.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Project Name: 16611 Edgewater Ln. Calculation Date/Time: 2025-08-20T16:20:44:07:00. Input File Name: 16611 Edgewater Ln.rbd22x. Includes Fenestration / Glazing, Opaque Doors, and Slab Floors.

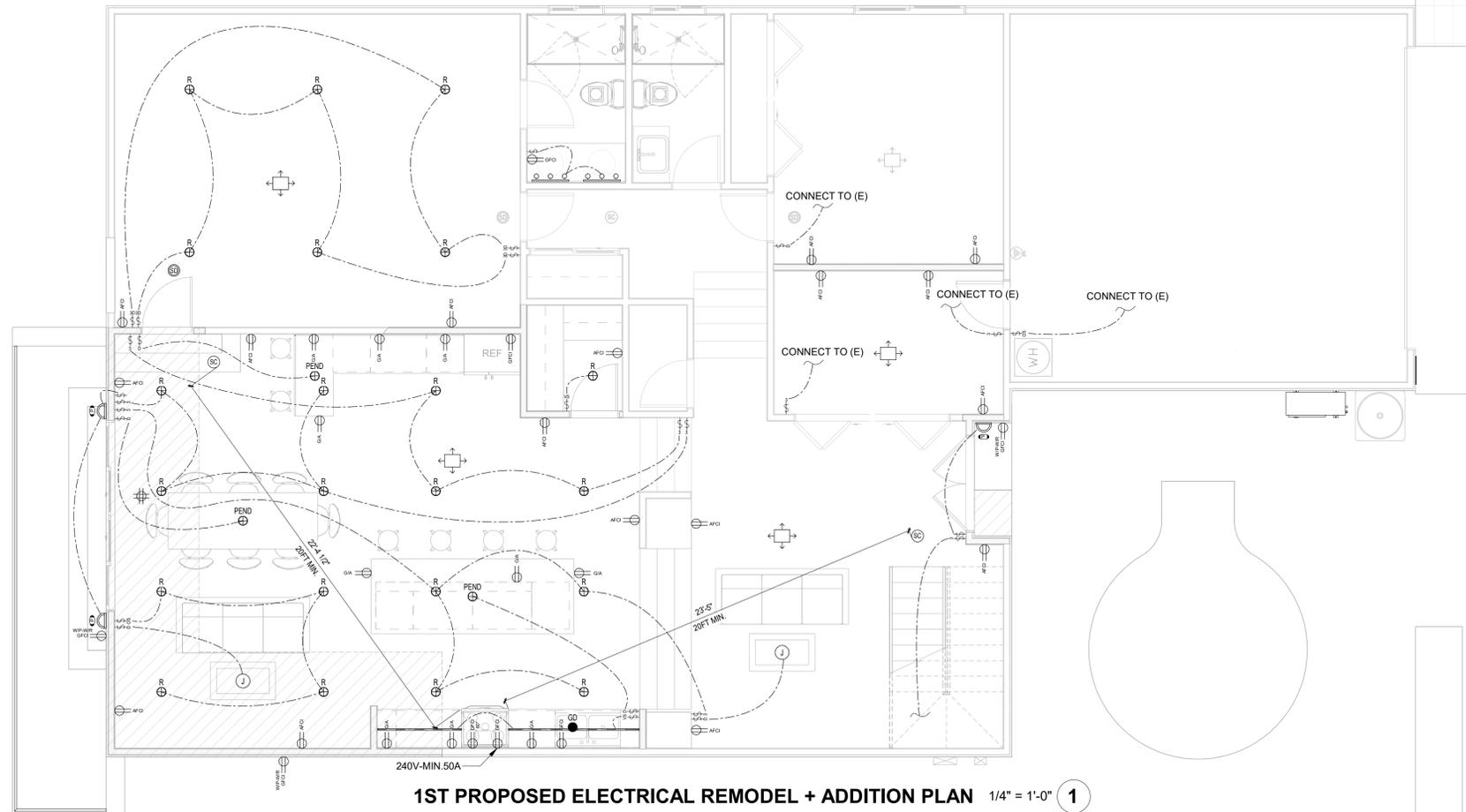


## ELECTRICAL NOTES

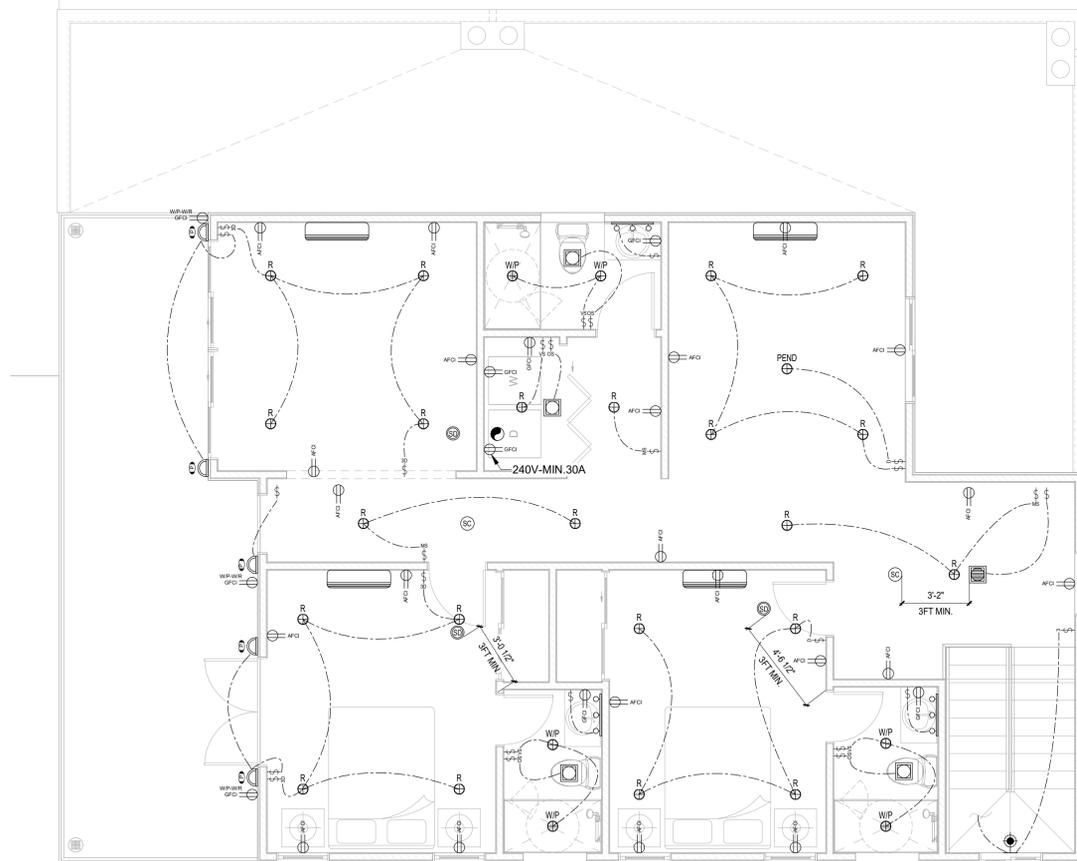
1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, AND ALL APPLICABLE LOCAL REGULATIONS.
2. ALL 120V, 15A AND 20A OUTLETS IN HABITABLE SPACES (BEDROOMS, LIVING ROOMS, KITCHENS, ETC.) SHALL HAVE AFCI PROTECTION PER CEC 210.12.
3. GFCI PROTECTION IS REQUIRED FOR ALL OUTLETS IN BATHROOMS, KITCHENS (SERVING COUNTERTOPS), GARAGES, LAUNDRY AREAS, BASEMENTS, AND ALL OUTDOOR LOCATIONS PER CEC 210.8.
4. ALL NEW OUTLETS SHALL BE TAMPER-RESISTANT. OUTDOOR OUTLETS SHALL BE WEATHER-RESISTANT (WR) WITH IN-USE (BUBBLE-TYPE) COVERS PER CEC 406.9.
5. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED PER CBC 907.2.11. THEY SHALL BE INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL.
6. ALL LIGHTING FIXTURES SHALL BE HIGH-EFFICACY PER CALIFORNIA ENERGY CODE (TITLE 24). RECESSED FIXTURES IN INSULATED CEILINGS MUST BE IC-RATED AND AIRTIGHT (AT).
7. KITCHEN COUNTERTOP OUTLETS SHALL BE SPACED NO MORE THAN 48 INCHES APART, WITH AT LEAST TWO DEDICATED 20A SMALL APPLIANCE CIRCUITS PER CEC 210.52(B).
8. BATHROOMS SHALL HAVE AT LEAST ONE 20A DEDICATED CIRCUIT, SERVING ONLY BATHROOM OUTLETS PER CEC 210.11(C)(3).
9. A DEDICATED 20A CIRCUIT IS REQUIRED FOR THE LAUNDRY AREA PER CEC 210.11(C)(2), SERVING ONLY LAUNDRY EQUIPMENT OUTLETS.
10. OUTDOOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCELL, MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK PER CALIFORNIA ENERGY CODE.
11. ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM 3 FEET OF CLEARANCE IN FRONT, 30 INCHES WIDE, AND 6.5 FEET HIGH PER CEC 110.26.
12. ALL METALLIC PIPING SYSTEMS (WATER, GAS) SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND PER CEC 250.104.
13. GROUNDING ELECTRODE SYSTEM SHALL INCLUDE A UFER GROUND (CONCRETE-ENCASED ELECTRODE) OR AN APPROVED GROUND ROD PER CEC 250.52.
14. ELECTRICAL PANELS AND DISCONNECTS SHALL BE PERMANENTLY LABELED, AND CIRCUITS IDENTIFIED CLEARLY FOR ALL DWELLING UNITS PER CEC 110.22.

## CEILING/ELECTRICAL PLAN LEGEND

-  KITCHEN EXHAUST FAN MIN. 110 CFM SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL.
-  EXHAUST FAN SHALL BE ENERGY STAR RATED. CEILING MOUNTED LIGHT w/ VENT 50 CFM MIN. INTERMITTENT w/ HUMIDITY CONTROL PER CMC 402.5. BETWEEN 50%-80% SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL.
-  IAQ FAN PER T-T24
-  (E) ELECTRICAL PANELMETER (V.I.F) SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
-  SMOKE DETECTOR HARDWIRED w/ BATTERY BACK UP
-  SMOKE DETECTOR COMBINED WITH CO DETECTOR, HARDWIRED WITH BATTERY BACKUP.
-  HEATPUMP WATER HEATER NEEA SHALL BE UPGRADED AS NEEDED TO SERVE ADDITION
-  (E) OUT-DOOR UNIT ON PAD 3" MIN.
-  CEILING AIR DIFFUSER
-  SWITCH w/ VACANCY SENSOR
-  SWITCH w/ OCCUPANCY SENSOR
-  SWITCH w/ MOTION SENSOR
-  3-WAY SWITCH
-  3-WAY SWITCH w/ DIMMER SENSOR
-  DIMMER SWITCH
-  ON/OFF SWITCH
-  GARBAGE DISPOSAL
-  HIGH EFFICACY VANITY WALL LIGHT
-  EXTERIOR WALL SCONCE LIGHT WITH HIGH EFFICACY AND CONTROL BY PHOTO-SENSOR AND MOTION-SENSOR COMBINATIONS
-  L.E.D. RECESSED LIGHT FIXTURE
-  CEILING MOUNTED HANGING LED LIGHT FIXTURE (PENDANT)
-  L.E.D. RECESSED LIGHT FIXTURE (w/ WATER PROOF)
-  JUNCTION BOX FOR LIGHT OR FAN IN FUTURE
-  WALL MOUNTED LIGHT
-  UNDERCABINET LED LIGHT
-  110V DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPT (ENTIRE CIRCUIT)
-  110V DUPLEX OUTLET, ARC FAULT CIRCUIT INTERRUPTER (ENTIRE CIRCUIT)
-  110V DUPLEX OUTLET, AFCI/ GFCI
-  FLOOR OUTLET
-  ELECTRIC VEHICLE CHARGER
-  HIGH EFFICACY PHOTOCELL WITH MOTION SENSOR COMBINATIONS
-  DRYER EXHAUST
-  W/P : WATER PROOF
-  W/R : WEATHER - RESISTANT



1ST PROPOSED ELECTRICAL REMODEL + ADDITION PLAN 1/4" = 1'-0" 1



2ND PROPOSED ELECTRICAL ADDITION PLAN 1/4" = 1'-0" 2



**ULTIMATE CONSTRUCTION  
DESIGN & BUILD**

**REMODEL + ADDITION**

### PROJECT CONTACT

**PHONE NUMBER:** (714) 468-4664  
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### OWNERSHIP

**NAME:** TIFFANY LE  
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**REMODEL & ADDITION HOUSE**

**16611 EDGEWATER LN,  
HUNTINGTON BEACH, CA 92649**

DELTA	DATE	DESCRIPTION
1	12/19/2025	PC1

IT IS THE CONTRACTOR'S OR OWNER-BUILDER'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE DESIGNERS IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE DESIGNERS PRIOR TO THE CONTRACTOR OR OWNER-BUILDER BEFORE PROCEEDING WITH THE WORK. THE DESIGNERS WILL BE HELD HARMLESS FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.

**PROPOSED  
ELECTRICAL  
REMODEL +  
ADDITION PLAN**

**E0.01**



**MASONRY**

- MASONRY WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 530, 'BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES' AND CBC 2104.
- MIN. SPECIFIED COMPRESSIVE STRENGTH SHALL BE FM = 2000 PSI, UNO ON THE PLANS.
- CEMENT: ASTM C-150, LOW ALKALI, TYPE I OR II PORTLAND CEMENT. (MASONRY CEMENT AND PLASTIC CEMENT SHALL NOT BE USED).
- MORTAR:
  - CONFORMING TO ASTM C-270, TYPE S.
  - MIX PROPORTIONS SHALL CONFORM TO ASTM C-270.
  - AGGREGATES SHALL CONFORM TO ASTM C-144.
- GROUT:
  - CONFORMING TO ASTM C-476.
  - ATTAINS THE MASONRY COMPRESSIVE STRENGTH FM OR 2000 PSI AT 28 DAYS, WHICHEVER IS GREATER.
  - MIX PROPORTIONS SHALL CONFORM TO ASTM C-476.
  - AGGREGATES SHALL CONFORM TO ASTM C-404.
  - USE COARSE GROUT IN GROUT SPACES 2 INCHES OR MORE IN WIDTH AND IN CELLS TO BE GROUTED SOLID.
- PRISM TEST SHALL BE PERFORMED FOR MASONRY WITH fm OVER 2000 PSI AS DESCRIBED IN BUILDING CODE, SECTION 2105.
- VERTICAL REINFORCING SHALL BE FULL HEIGHT OF WALL AND SHALL BE BRACED AT 8'-0" MAXIMUM TO PREVENT MOVEMENT WHILE GROUTING.
- HORIZONTAL REINFORCING SHALL BE IN BOND BEAM UNITS AND TIED SECURELY TO VERTICAL REINFORCING.
- DOWELS, ANCHORS, AND OTHER EMBEDDED ITEMS SHALL BE TIED SECURELY IN PLACE TO PREVENT MOVEMENT WHILE GROUTING, WET SETTING OR STABBING IS NOT ALLOWED.
- MAXIMUM GROUT LIFTS SHALL NOT EXCEED 8'-0" AND CLEANOUTS AT THE BOTTOM OF ALL CELLS SHALL BE USED UNLESS THE LIFT IS 4'-0" OR LESS. THE CLEANOUTS SHALL BE SEALED BEFORE GROUTING. GROUT FOR EACH POUR SHALL BE STOPPED 1 1/2" BELOW THE TOP OF A BLOCK COURSE EXCEPT AT TH FINAL COURSE. ALL GROUT SHALL BE THOROUGHLY CONSOLIDATED BY VIBRATING IMMEDIATELY AFTER PLACING. SHAKING OR RODDING REBAR IS NOT ALLOWED. FILL ALL CELLS WITH GROUT.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SAFETY OF LIFT HEIGHT FOR OPEN ENDED OR FIELD MODIFIED BLOCKS.
- STRUCTURAL MASONRY SHALL BE HOLLOW, MEDIUM WEIGHT(115 PCF), LOAD BEARING CONCRETE MASONRY UNIT CONFORMING TO CBC 2103.1. BLOCK TEST DATA BY A CERTIFIED LAB. SHALL BE PROVIDED TO THE EOR FOR REVIEW.
- ALL MASONRY BLOCK CONSTRUCTION SHALL BE PLACED IN RUNNING BOND METHOD WITH ALL VERTICAL CELLS IN ALIGNMENT, TYP.
- LAP REINFORCING BARS PER TYPICAL MASONRY LAP SCHEDULE, U.N.O.
- MECHANICAL, ELECTRICAL AND PLUMBING PENETRATION SHALL COMPLY WITH:
  - DO NOT CUT ANY REINFORCING THAT MAY INTERFERE WITH ANY PENETRATIONS. INSTALL SLEEVES AS REQUIRED PRIOR TO GROUTING OF CELLS.
  - NO PENETRATION SHALL BE CORED WITHOUT PRIOR APPROVAL FROM EOR.
  - CONDUITS AND PIPING PARALLEL TO PLANE OF WALL MAY NOT BE EMBEDDED IN WALL.
  - PENETRATION AT LINTELS, PILASTERS AND JAMBS ARE ONLY PERMITTED AS SHOWN OR SPECIFICALLY DETAILED. NO OTHER PENETRATION IS ALLOWED.

**STRUCTURAL STEEL**

- STRUCTURAL STEEL TO BE SUPPLIED DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS.
- PROVIDE THE FOLLOWING MATERIALS FOR STRUCTURAL STEEL, UNO:
 

ROLLED WIDE FLANGE SECTIONS	ASTM A992 (Fy = 50 ksi)
HOLLOW STRUCTURAL SECTIONS (HSS), SQUARE AND RECT.	ASTM A500, GR. B (Fy = 46 KSI)
STEEL PIPE	ASTM A53, GR. B (Fy=35 KSI)
HOLLOW STRUCTURAL SECTION (HSS), ROUND	ASTM A500, GR. B (Fy=42 KSI)
HP SECTIONS	ASTM A572, GR.50 (Fy=50 KSI)
PLATES, ANGLES, CHANNELS & TEES	ASTM A36
MACHINE BOLTS	ASTM A307
HIGH STRENGTH BOLTS	ASTM A325, Type N, A490
WELDED HEADED STUDS	ASTM A108
NUTS	ASTM A563
ANCHOR RODS/BOLTS	ASTM F1554, GR. 36 OR 55

- Holes for bolts should be drilled or punched & shall be 1/16" larger than bolt diameter.
- ALL STRUCTURAL WELDING PROCEDURES AND MATERIALS SHALL CONFORM TO BUILDING CODE, SECTION 2204.1. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS.
- ALL TESTING AND INSPECTION OF SHOP AND FIELD WELDING OPERATIONS SHALL BE MADE BY A CERTIFIED WELDING INSPECTOR WHICH ARE APPROVED BY THE BUILDING OFFICIAL.
- WELDING SHALL CONFORM THE LATEST EDITION OF AWS D1.1 AND SHALL USE EITHER THE SHIELDED OR FLUX CORE METHODS. ELECTRODES USED SHALL BE E70XX, E71-T8 OR E70-T6. ALL WELDING SHALL BE PERFORMED BY QUALIFIED AND CERTIFIED WELDERS.
- ALL FABRICATIONS SHALL BE DONE IN A SHOP OF AN APPROVED AND LICENSED FABRICATOR BY AISC AND/OR LOCAL JURISDICTION. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- NON-SHRINK GROUT BENEATH COLUMN BASES OR BEARING PLATES SHALL BE 5000 PSIMIN.) NON-SHRINK SHALL BE INSTALLED IMMEDIATELY AFTER COLUMN IS PLUMBED. CONTRACTOR SHALL NOT LOAD COLUMN ANCHOR BOLTS UNDER PLACEMENT OF NON-SHRINK GROUT WITHOUT TAKING APPROPRIATE MEASURES TO PREVENT BUCKLING OF ANCHOR BOLTS UNDER CONSTRUCTION LOADS.
- WELDS IDENTIFIED AS REQUIRING CONTINUOUS OR PERIODIC INSPECTIONS NEED NOT TO HAVE CONTINUOUS SPECIAL INSPECTION WHEN THE WELDING IS PERFORMED IN AN APPROVED FABRICATOR'S SHOP. FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH CBC SECTION 1704.2.
- ALL FULL PENETRATION GROVE WELDS FOR MOMENT CONNECTIONS SHALL BE ULTRASONICALLY INSPECTED BY AN APPROVED TESTING AGENCY AND SHALL CONFORM TO THE LATEST EDITION OF AWS D1.1, SECTIONS 5 & 6.
- STEEL FABRICATOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND COORDINATE WITH MECHANICAL DRAWINGS AND SUB-CONTRACTOR FOR SIZE, LOCATION OF ALL MECHANICAL UNITS AND OPENINGS.
- ALL MISC. FILLET WELDS NOT NOTED, INCLUDING THOSE FOR STIFFENERS, MISC. PLATES, ETC. SHALL BE PER AISC 360, TABLE J2.4.
- WELDED MEMBERS AND CONNECTIONS IN THE SEISMIC LOAD RESISTING SYSTEM SHALL BE SUBJECT TO AWS D1.8 REQUIREMENTS.

**SUBMITTALS AND SHOP DRAWINGS**

- PREFABRICATED OR SPECIALTY ITEMS AND THEIR COMPONENTS, WHICH ARE INDICATED BY THE STRUCTURAL DRAWINGS TO BE DESIGNED BY OTHERS, MAY BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AS A DEFERRED SUBMITTAL PROVIDED THAT SUCH SUBMITTAL IS AUTHORIZED BY THE BUILDING DEPARTMENT. DEFERRED SUBMITTALS REQUIRED TO BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD SHALL INCLUDE BUT NOT BE LIMITED TO:
  - CONFORMING TO ASTM C-270, TYPE S.
  - MIX PROPORTIONS SHALL CONFORM TO ASTM C-270.
  - AGGREGATES SHALL CONFORM TO ASTM C-144.
- ALL DEFERRED SUBMITTALS SHALL INCLUDE CALCULATIONS AND DRAWINGS PREPARED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND STAMPED BY AN APPROPRIATELY LICENSED PROFESSIONAL ENGINEER. SUBMITTALS SHALL SHOW LOCATION AND MAGNITUDE OF LOADS, SIZE AND CONFIGURATIONS OF MEMBERS, AND COMPATIBILITY WITH THE PRIMARY STRUCTURAL SYSTEM.
- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS. SHOP DRAWINGS ARE REVIEWED ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS, DESIGN ACCURACY OF SUCH PRODUCT, DIMENSIONS AND QUANTITY OF THE PRODUCT IS NOT REVIEWED BY EOR. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DRAWINGS SHALL BE CLOUDED. ANY OF THE AFOREMENTIONED SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEERS REVIEW UNLESS SPECIFICALLY NOTED ACCORDINGLY.
- THE SHOP DRAWINGS DO NOT SUPERSEDE OR REPLACE THE ORIGINAL CONTRACT DRAWINGS. ANY ENGINEERING PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN APPROPRIATELY REGISTERED ENGINEER. ENGINEERING SYSTEM SOLUTIONS SHALL NOT BE RESPONSIBLE FOR THE ADEQUACY OF ENGINEERING DESIGNS PERFORMED BY OTHERS.
- SHOP DRAWINGS SHALL REFERENCE DATE AND DELTA (IF ANY) OF CONTRACT DRAWINGS.

**STATEMENT OF SPECIAL INSPECTION:**

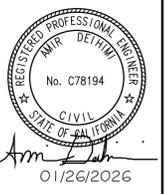
- CONTINUOUS AND PERIODIC SPECIAL INSPECTION IS REQUIRED FOR THE WORK AS DESCRIBED IN IBC/CBC CHAPTER 17, SEE INSPECTION SCHEDULE BELOW, ONLY CHECKED ITEMS ARE REQUIRED.
- APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OF FAILURE TO COMPLY WITH THE PLANS OR SPECIFICATIONS, ANY DETAIL THAT FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE STRUCTURAL ENGINEER FOR INTERPRETATION OR CLARIFICATION.
- CONTINUOUS SPECIAL INSPECTION PER AWS D1.1 IS REQUIRED FOR ALL STRUCTURAL STEEL WELDING, EXCEPT FOR SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE.
- STRUCTURAL WOOD, PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEARWALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS, AND HOLD-DOWNS, EXCEPTION: SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEARWALLS, SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER. INSPECTIONS SHALL BE PERFORMED BEFORE COVERING.
- CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THIS STATEMENT OF SPECIAL INSPECTION SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH A SYSTEM OR COMPONENT PER SEC 1704.4.
- WHERE FABRICATION OF MEMBERS AND ASSEMBLIES IS PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE REQUIRED BY THIS SECTION, UNLESS THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION, APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY, AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE OF VERIFYING APPROVAL OF FABRICATOR.
- THE SPECIAL INSPECTOR SHALL BE A QUALIFIED INDIVIDUAL WHO WILL DEMONSTRATE COMPETENCE, AND KNOWLEDGE TO THE BUILDING OFFICIAL, FOR THE SPECIFIC TYPE OF SPECIAL INSPECTION REQUIREMENT REQUIRED PER SCHEDULE BELOW.
- WOOD SPECIAL INSPECTIONS SHALL BE PER CBC SECTION 1705.1.
- SPECIAL INSPECTIONS FOR WIND AND SEISMIC RESISTANCE SHALL BE PER SECTION 1705.1.1 AND 1705.1.2 RESPECTIVELY.

**STATEMENT OF SPECIAL INSPECTIONS (ONLY INDICATED ITEMS ARE REQUIRED)**

REQD(?)	INSPECTION ITEMS	SPECIAL INSPECTORS (NAME, PHONE#, REGISTRATION#)
YES	STRUCTURAL STEEL (1705.2.1)	
	STEEL FRAME JOINT DETAILS	
	COLD-FORMED STEEL DECK (1705.2.2)	
	OPEN-WEB STEEL JOISTS AND JOISTS GIRDERS (1705.2.3)	
	REINFORCING STEEL AND PRE-STRESSING STEEL TENDONS	
	SHOTCRETE (CURING TEMPERATURE, DESIGN MIX, PLACEMENT, STRENGTH ETC. PER TABLE 1705.3)	
	COLD-FORMED STEEL TRUSSES SPANNING >= 60 FT	
	CONCRETE CONSTRUCTION (DESIGN MIX, FORMWORK, PLACEMENT, ETC. PER TABLE 1705.3) (SEE 1705.3 EXCEPTIONS)	
YES	STRUCTURAL WELDING/REBAR WELDING	
	ALL MASONRY CONSTRUCTION (1705.4)	
	WOOD FOR HIGH LOAD DIAPHRAGMS (1705.5.1)	
	METAL-PLATE-CONNECTED WOOD TRUSSES SPANNING >=60 FT	
	SOILS (EXCAVATION, FILL, ETC. PER 1705.6) (SEE 1705.6 EXCEPTIONS)	
	DRIVEN PILES PER 1705.7	
	CAST IN PLACE PILES PER 1705.8	
	HELICAL PILE FOUNDATIONS PER 1705.9	
	ERECTION OF PRE- CAST CONCRETE MEMBERS	
	BOLTS INSTALLED IN CONCRETE	
	HIGH STRENGTH BOLTING/MATERIAL VERIFICATION	
YES	WOOD DIAPHRAGM AND SHEAR WALLS*	
YES	EPOXY POST INSTALLED ANCHORS	

\* FOR SPECIAL INSPECTION OF WOOD DIAPHRAGMS AND SHEAR WALLS, CONTACT EOR FOR SCHEDULE.

REVISION	DATE	DESCRIPTION
1	1/21/2025	PLAN CHECK
2		
3		
4		
5		
6		



Project Name: **REMODEL & ADDITION HOUSE**

Project Address: **16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649**

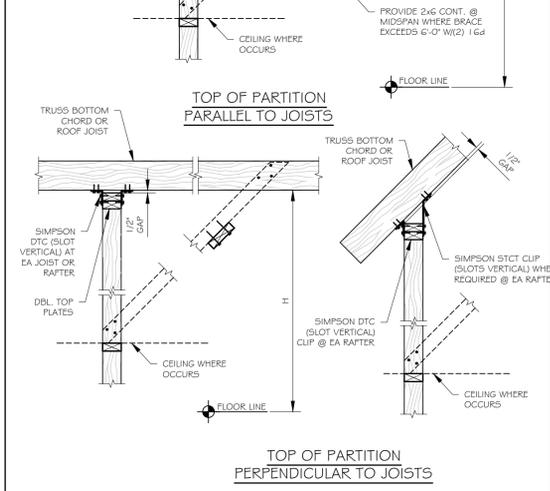
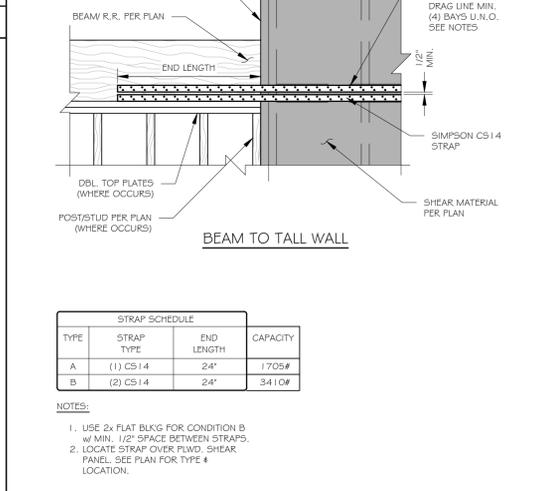
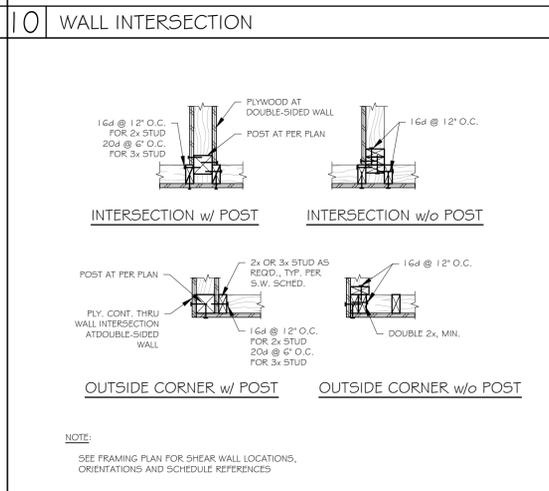
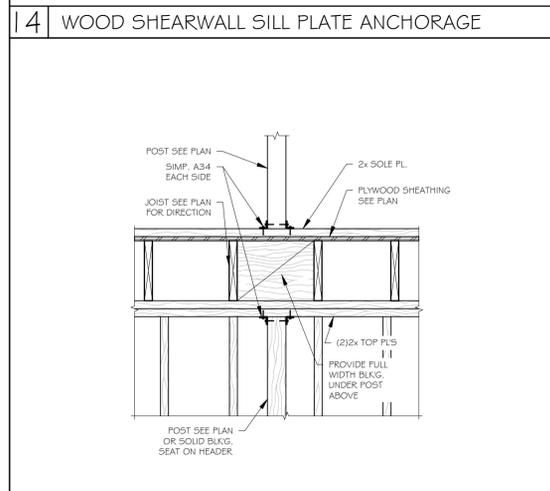
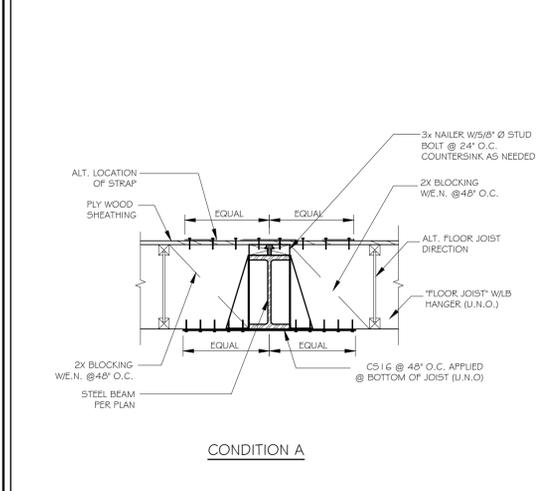
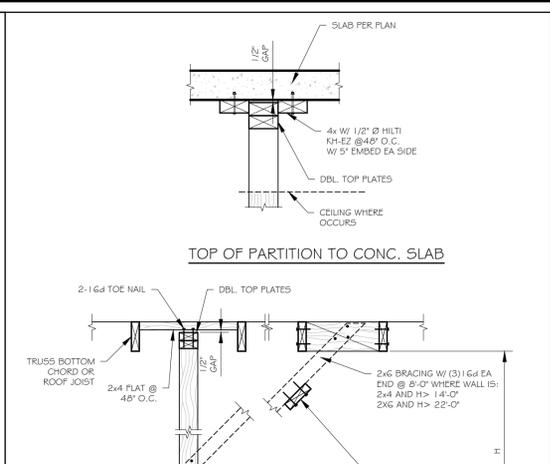
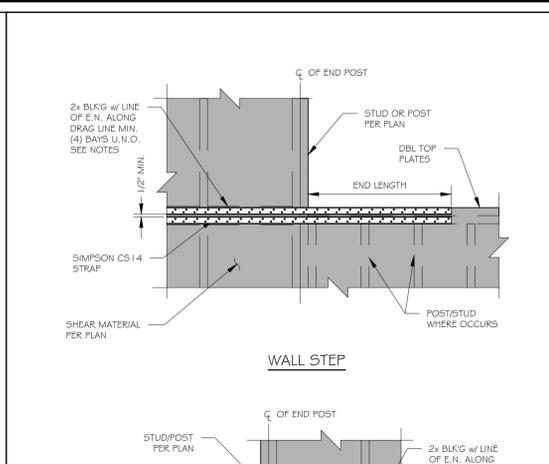
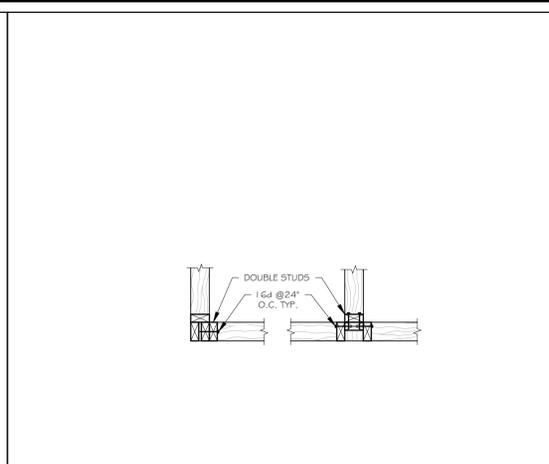
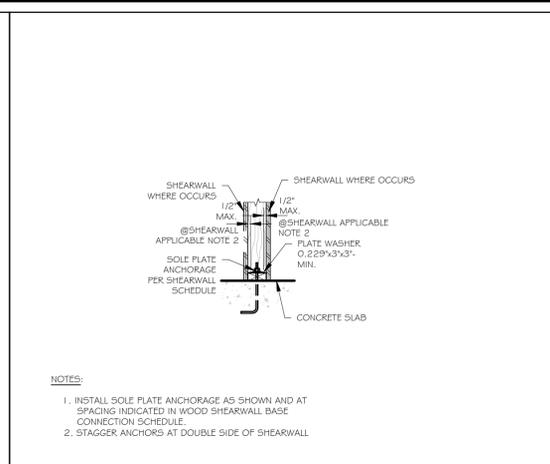
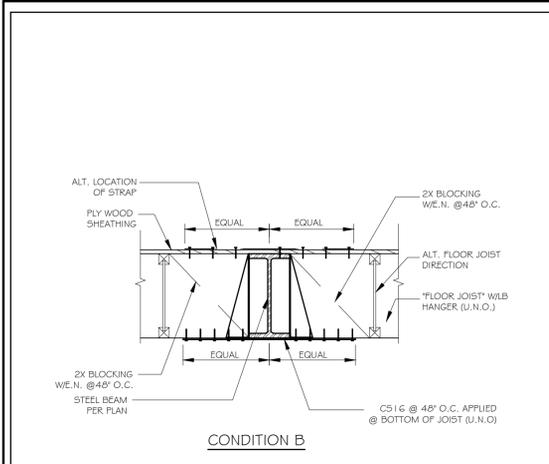
DATE: 01/26/2026

PROJECT MANAGER: **A.T.**

**GENERAL NOTES & REQUIREMENTS**

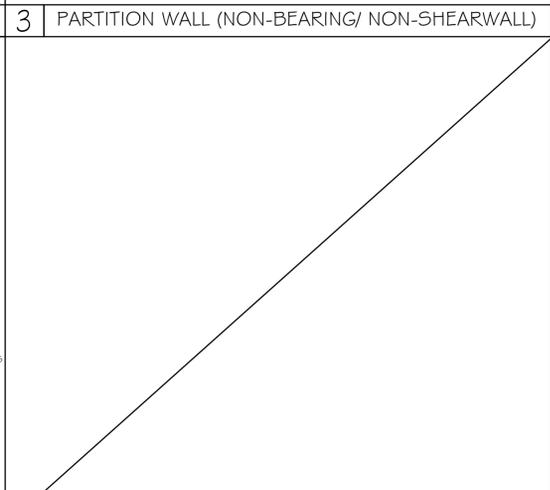
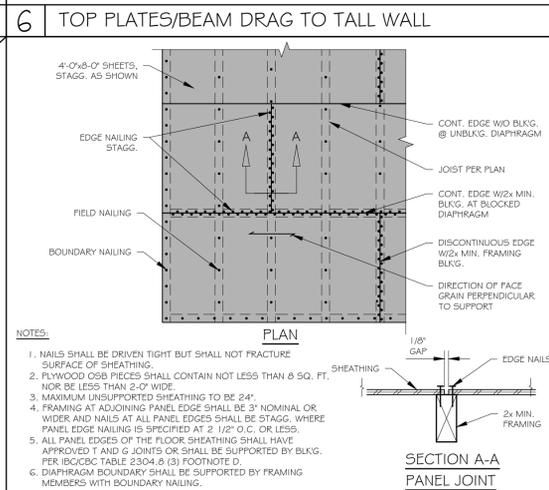
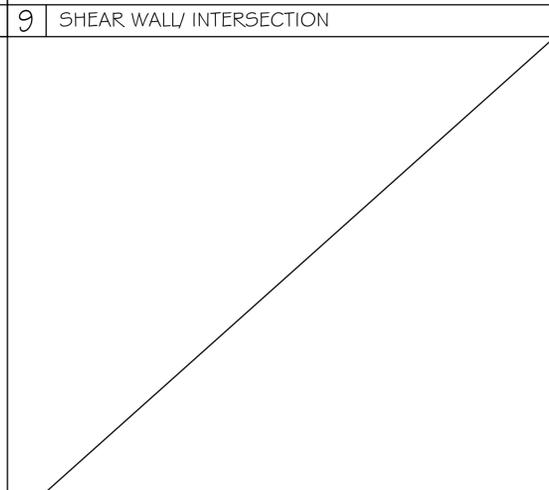
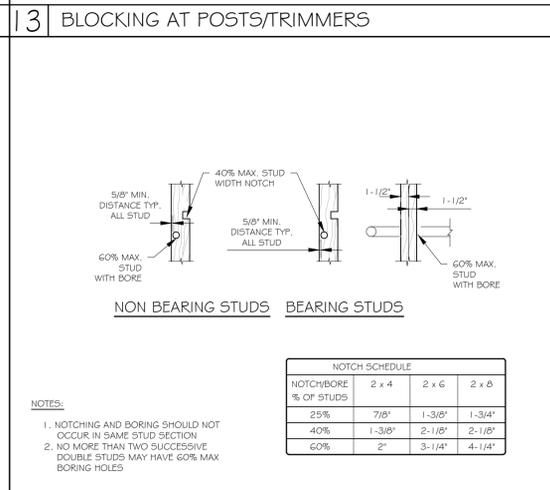
JOB NO.: 16611

SHEET NO.: **S-0.111**



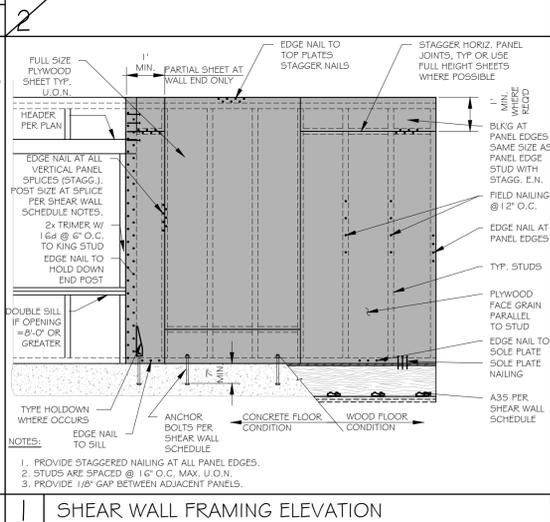
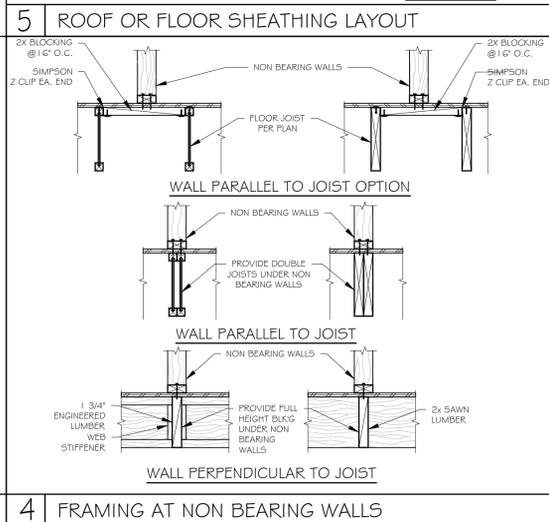
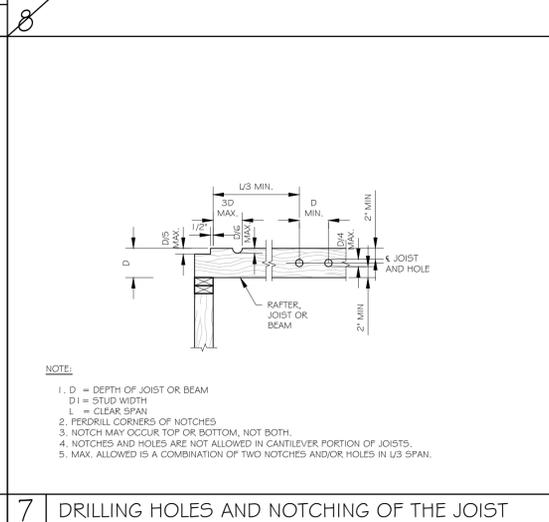
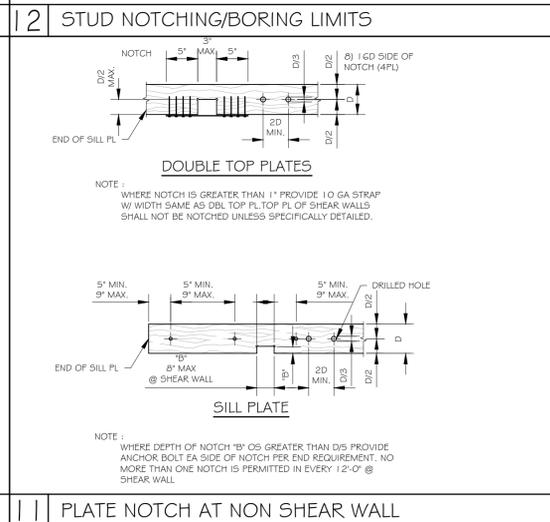
CLASS B REBAR TENSION SPLICE LENGTH  
(PROVIDED CONCRETE COVER, CLEAR BAR SPACING AND TRANSVERSE REINFORCEMENT ARE IN COMPLIANCE WITH ACI 318-19, CHAPTER 25)

Fc	LOCATION	Fy	3	4	5	6	7	8	9	10	11
6000 PSI NORMAL WEIGHT CONCRETE	*TOP BARS AND HORIZONTAL WALL STEEL	40	20	27	34	41	59	68	76	86	95
	OTHER BARS	60	30	41	51	61	89	101	114	129	143
6000 PSI NORMAL WEIGHT CONCRETE	*TOP BARS AND HORIZONTAL WALL STEEL	40	16	21	26	31	46	52	59	66	73
	OTHER BARS	60	23	31	39	47	68	78	88	99	110
6000 PSI NORMAL WEIGHT CONCRETE	*TOP BARS AND HORIZONTAL WALL STEEL	40	19	25	31	37	54	62	70	78	87
	OTHER BARS	60	28	37	46	56	81	93	104	118	131
6000 PSI NORMAL WEIGHT CONCRETE	*TOP BARS AND HORIZONTAL WALL STEEL	40	14	19	24	28	42	47	54	60	67
	OTHER BARS	60	21	28	36	43	62	71	80	90	100



REBAR TENSION SPLICE LENGTH  
(PROVIDED MASONRY COVER, CLEAR BAR SPACING AND TRANSVERSE REINFORCEMENT ARE IN COMPLIANCE WITH ACI 530-13, SECTION 9.3.3.3)

Fy (psi)	Fm (psi)	BAR SIZE								
		3	4	5	6	7	8	9		
60000	1500	19	34	45	54	63	72	81		
	2000	18	30	45	54	63	72	81		
	2500	18	26	41	54	63	72	81		
60000	2500	18	26	41	54	63	72	81		
	3000	18	24	36	54	63	72	81		



REVISION

NO.	DATE	DESCRIPTION
1	1/21/2025	PLAN CHECK
2		
3		
4		
5		
6		

REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
01/26/2026

Project Name: REMODEL & ADDITION HOUSE  
Project Address: 16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649

DATE: 01/26/2026  
PROJECT MANAGER: A.T.

TYPICAL DETAILS  
JOB NO.: 16611  
SHEET NO.: S-0.20

SHEAR WALL SCHEDULE						
2022 CALIFORNIA BUILDING CODE (1), (3)						
SHEAR PANEL TYPE	SHEATHING (B)	EDGE NAILING (COMMON) (S)	FIELD NAILING (COMMON) (S)	ALLOWABLE SHEAR (PLF)	SILL PLATE CONNECTION	FRAMING CLIPS A35's, L550's OR LTP4's (S), (6)
SW1	3/8" APA raised	8 d's @ 2' O.C.	8 d's @ 12" O.C.	260 (7) 220	1 6d's SIMMER @ 6" O.C. 1/4"x6"x6" SCS SCREWS @ 16" O.C.	48" @ 24" O.C.
SW2	3/8" APA raised	8 d's @ 2' O.C.	8 d's @ 12" O.C.	380 (7) 320	1 6d's SIMMER @ 4" O.C. 1/2"x6"x6" SCS SCREWS @ 12" O.C.	42" @ 16" O.C.
SW3	3/8" APA raised	8 d's @ 2' O.C.	8 d's @ 12" O.C.	490 (7) 410	1 6d's SIMMER @ 3" O.C. 1/2"x6"x6" SCS SCREWS @ 8" O.C.	36" @ 8" O.C.
SW4	3/8" APA raised	8 d's @ 2' O.C.	8 d's @ 12" O.C.	640 (7) 530	1 6d's SIMMER @ 2" O.C. 1/2"x6"x6" SCS SCREWS @ 6" O.C.	24" @ 8" O.C.
SW5	1 5/32" APA raised Structural I	10 d's @ 2' O.C.	10 d's @ 12" O.C.	800	2 ROWS STAGG. @ 5" O.C.	18" @ 6" O.C.

(1) SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.  
 (2) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.  
 (3) STUDS ARE SPACED @ 16" O.C. MAX. UNLESS NOTED OTHERWISE ON PLAN.  
 (4) PERIODIC SPECIAL INSPECTION IS REQUIRED.  
 (5) USE CLIPS @ 6" O.C. ON SIMPSON STRONG WALL & HARDY FRAME (U.N.O.).  
 (6) USE SPACING PER SCHEDULE IF NUMBER OF FRAMING CLIPS ARE NOT SPECIFIED ON FRAMING PLANS.  
 (7) ALLOWABLE SHEAR ARE FOR STUDS SPACED @ 24" O.C. MAX.  
 (8) SHEATHING CONFORMS TO EITHER DOC PS 1 OR PS 2 STANDARDS.  
 (9) NAILING @ 6" O.C. WHEN STUDS ARE SPACED @ 24" O.C.  
 (10) FOR DOUBLE SIDED SHEAR PANELS:  
 a. USE HALF THE SPACING OF SILL PLATE ANCHOR BOLTS FOR TYPES SW3, SW4 & SW5  
 b. USE ONLY 1/4"x6"x6" SCS SCREWS IN SCHEDULE AND WITH HALF THE SPACING, FOR TYPES SW4 & SW5.  
 c. SEE SHEAR TRANSFER DETAIL ON PLAN FOR FRAMING CLIP TYPES AND HALF THE SPACING, FOR TYPES SW3, SW4 & SW5.

### FOUNDATION NOTES

- REFER TO SHEET S-0, I.O FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
- TOP OF ALL EXTERIOR FOOTING, GRADE BEAM FOOTING, PAD FOOTING, OR FLAG POLE FOOTING TO BE MIN. 8" BELOW FINISH GRADE.
- FOR NON-SHEAR WALLS, MASAMASAP MUDDSILL ANCHORS CAN BE USED IN LIEU OF ANCHOR BOLTS WITH END DISTANCE OF 4" MIN. PER ESR #2555.
- FOR DOUBLE SHEAR PANEL TYPES SW3, SW4, SW5 USE MIN. 3X6 SILL PLATES U.N.O.
- SEE DETAIL 9/SD1.0 AND 10/SD1.0 FOR HOLDOWN INSTALLATION

### LEGEND

	DENOTES EXISTING FOOTING		DENOTES NEW FOOTING
	DENOTES EXISTING PAD		DENOTES NEW PAD
	DENOTES PAD NUMBER PER SCHEDULE		DENOTES PAD NUMBER IN CALCULATIONS
	DENOTES DETAIL NUMBER		DENOTES DETAIL SHEET NUMBER
	DENOTES HOLDOWN PER SCHEDULE		
	DENOTES SHEAR PANEL LENGTH		DENOTES SHEAR WALL SCHEDULE
	DENOTES SLAB STEP PER ARCH. (VERIFY PRIOR TO CONSTRUCTION)		
	DENOTES DROP BEAM OR HEADER PER PLAN		DENOTES FLUSH BEAM PER PLAN
	DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS		DENOTES POST OR TRIMMER AS NOTED
	DENOTES POST OR TRIMMER FROM FLOOR ABOVE		DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE
	DENOTES FRAMING ZONE DIVISION		

### FOOTING SCHEDULE

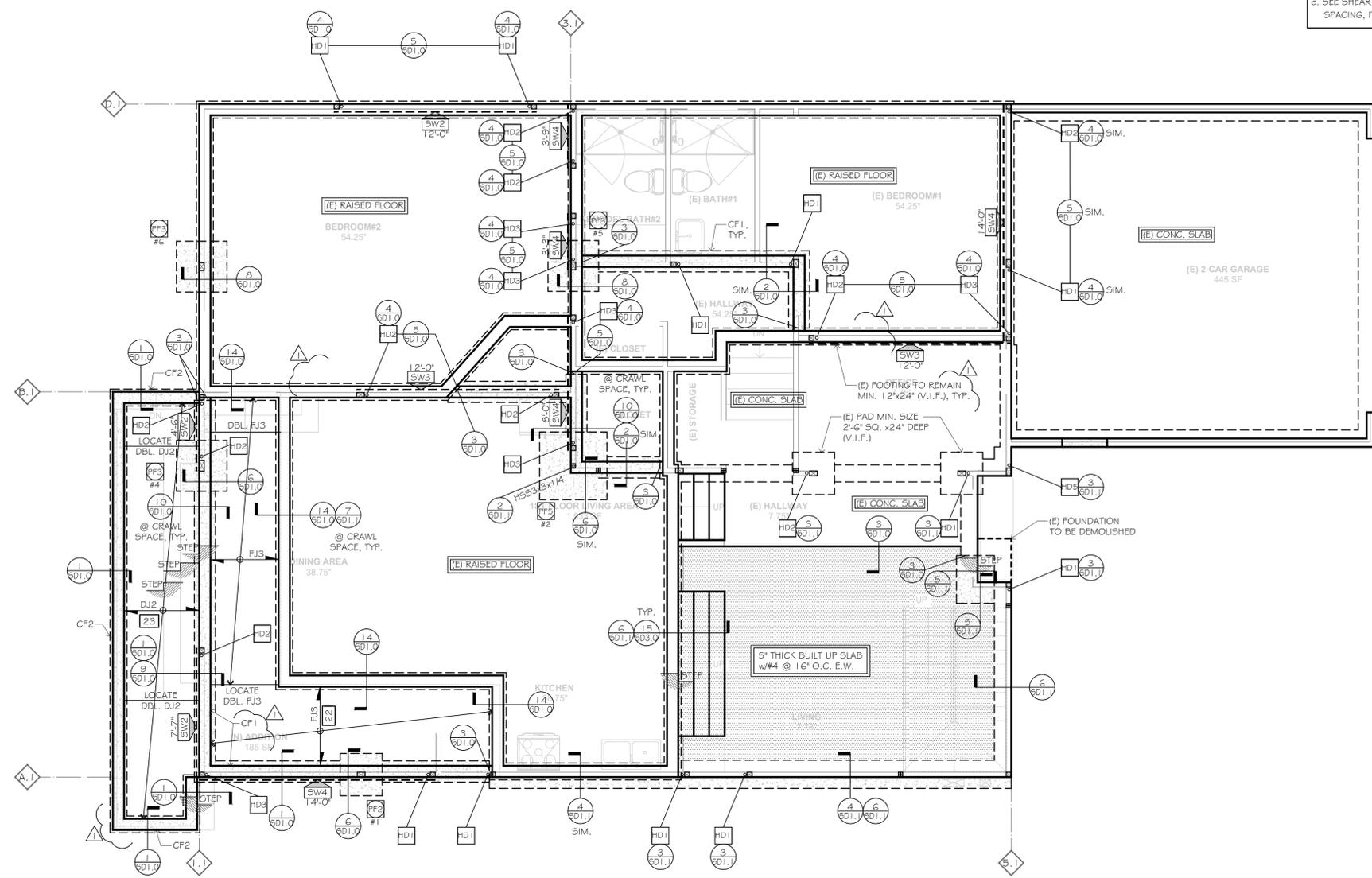
SYMBOL	PAD SIZE	REINFORCEMENT
FF1	2'-0" SQ. x 24" THICK	(3) #5 E.W.
FF2	2'-6" SQ. x 24" THICK	(4) #5 E.W.
FF3	3'-0" SQ. x 24" THICK	(4) #5 E.W.
FF4	3'-6" SQ. x 24" THICK	(5) #5 E.W.
FF5	4'-0" SQ. x 24" THICK	(6) #5 E.W.
FF6	4'-6" SQ. x 24" THICK	(6) #5 E.W.
FF7	5'-0" SQ. x 24" THICK	(7) #5 E.W.
CF1	CONT. W=15', D=24"	CONT. (2) #5 TOP & BOTTOM
CF2	CONT. W=12', D=24"	CONT. (2) #5 TOP & BOTTOM

### HOLDOWN SCHEDULE

SYMBOL	SIMPSON HOLDOWN	USP HOLDOWN	NOTES
HD1	HDU2	PHD2A	REFER TO DETAIL 7/SD1.0
HD2	HDU4	PHD4A	
HD3	HDU5	PHD5A	
HD4	HDU8	PHD8	
HD5	HDU11	UPHD11	

### FRAMING SCHEDULE

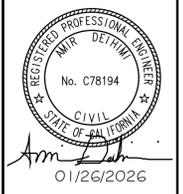
MARK	MEMBER TYPE
(E)	EXISTING FRAMING
RR1	2 X 12 ROOF RAFTERS @ 16" O.C.
FJ1	2 X 12 FLOOR JOISTS @ 16" O.C.
FJ2	2 X 12 FLOOR JOISTS @ 12" O.C.
FJ3	2 X 8 FLOOR JOISTS @ 16" O.C.
DJ1	2 X 10 DECK JOISTS @ 16" O.C.
DJ2	2 X 8 DECK JOISTS @ 16" O.C.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REVISION		DESCRIPTION
DATE	1/21/2025	PLAN CHECK
1		
2		
3		
4		
5		
6		



Project Name: REMODEL & ADDITION HOUSE  
 Project Address: 16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649  
 DATE: 01/26/2026  
 PROJECT MANAGER: A.T.

FOUNDATION PLAN

JOB NO.: 16611  
 SHEET NO.: S-1.0



SHEAR WALL SCHEDULE							
2022 CALIFORNIA BUILDING CODE (1), (3)							
SHEAR PANEL TYPE	SHEATHING (B)	EDGE NAILING (COMMON)	FIELD NAILING (COMMON)	ALLOWABLE SHEAR (PLF)	SILL PLATE CONNECTION	FRAMING CLIPS	
SW1	3/8" APA rated	8 d's @ 12" O.C.	8 d's @ 12" O.C.	260 (7) 220	1 C's SINKER @ 6" O.C. @ 16" O.C.	48"	@ 24" O.C.
SW2	3/8" APA rated	8 d's @ 12" O.C.	8 d's @ 12" O.C.	380 (7) 320	1 C's SINKER @ 6" O.C. @ 12" O.C.	42"	@ 16" O.C.
SW3	3/8" APA rated	8 d's @ 12" O.C.	8 d's @ 12" O.C.	490 (7) 410	1 C's SINKER @ 6" O.C. @ 3" O.C.	36"	@ 8" O.C.
SW4	3/8" APA rated	8 d's @ 12" O.C.	8 d's @ 12" O.C.	640 (7) 530	1 C's SINKER @ 6" O.C. @ 2" O.C.	24"	@ 8" O.C.
(4) (2)	1 5/32" APA rated Structural I	10 d's @ 2" O.C.	10 d's @ 12" O.C.	800	2 ROWS STAGG. @ 5" O.C.	18"	@ 6" O.C.

(1) SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.  
(2) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.  
(3) STUDS ARE SPACED @ 16" O.C. MAX. UNLESS NOTED OTHERWISE ON PLAN.  
(4) PERIODIC SPECIAL INSPECTION IS REQUIRED.  
(5) USE CLIPS @ 6" O.C. ON SIMPSON STRONG WALL & HARDY FRAME (U.N.O.).  
(6) USE SPACING PER SCHEDULE IF NUMBER OF FRAMING CLIPS ARE NOT SPECIFIED ON FRAMING PLANS.  
(7) ALLOWABLE SHEAR ARE FOR STUDS SPACED @ 24" O.C. MAX.  
(B) SHEATHING CONFORMS TO EITHER DOC PS 1 OR PS 2 STANDARDS.  
(9) NAILING @ 6" O.C. WHEN STUDS ARE SPACED @ 24" O.C.  
(10) FOR DOUBLE SIDED SHEAR PANELS:  
a. USE HALF THE SPACING OF SILL PLATE ANCHOR BOLTS FOR TYPES SW3, SW4 & SW5.  
b. USE ONLY 1/4"x6" SDS SCREWS IN SCHEDULE AND WITH HALF THE SPACING, FOR TYPES SW4 & SW5.  
c. SEE SHEAR TRANSFER DETAIL ON PLAN FOR FRAMING CLIP TYPES AND HALF THE SPACING, FOR TYPES SW3, SW4 & SW5.

### FRAMING NOTES

- REFER TO SHEET S-0.10 FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
- USP CONNECTORS CAN BE USED IN LIEU OF SIMPSON STRONG TIE IN THIS PROJECT. CONTACT E.O.R. FOR CONVERSION TABLE OR SUBMIT SHOP DRAWINGS TO E.O.R. FOR REVIEW AND APPROVAL.
- USE USP "TFL" HANGERS FOR CONNECTION OF I-JOISTS TO OTHER FRAMING MEMBERS (U.N.O.) AND "JUS" HANGERS FOR CONNECTION OF SOLID JOISTS.
- USE STG224 STRAP FOR THE TOP PLATES SPLICE AT ALL FRAMING LEVELS (3BVS02.0), UNO ON PLANS.
- USE ST22 STRAP FOR LEDGER SPLICES, UNO.
- USE (1)CS1 G x 3'-0" STRAP AT RIM JOISTS SPLICE, U.N.O ON PLANS. 1/4" MIN. LVL RIM JOISTS SHOULD BE USED AT ALL FLOOR FRAMING EDGES.
- HEADER AT NON-BEARING WALLS, USE 2x4 FOR OPENINGS UP TO 3'-0" MAX., (2)2x4 FOR OPENINGS UP TO 6'-0" MAX., 4x6 FOR OPENINGS UP TO 12'-0" MAX., (UNO). USE 4x4 FOR OPENINGS LESS THAN 16" AT BEARING WALLS WITHOUT POINT LOADS.
- WOOD HEADER OR POSTS MADE UP OF 2 OR MORE 2X5 SHALL BE SPIKED TOGETHER PER THE NAILING SCHEDULE.
- SHEARWALL PANEL TO BE NAILED TO ALL MULTIPLE STUDS RECEIVING HOLDOWNS AND DO NOT BREAK AT PERPENDICULAR WALL LOCATIONS, UNO.
- APPLY TYP. DETAIL 1GS-0.20 TO ALL HEADER AND POST TRIM CONNECTIONS ON THE EXTERIOR WALL. (U.N.O.).

### LEGEND

--- X --- DENOTES DROP BEAM OR HEADER PER PLAN  
X DENOTES FLUSH BEAM PER PLAN  
[X] DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS  
□ DENOTES POST OR TRIMMER AS NOTED  
□ DENOTES POST OR TRIMMER FROM FLOOR ABOVE  
--- X --- DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE  
X-X DENOTES SHEAR PANEL LENGTH  
X DENOTES PANEL TYPE, REFER TO SHEARWALL SCHEDULE  
(X) DENOTES KEY NOTE NUMBER  
(X) DENOTES DETAIL NUMBER  
(X) SDV DENOTES DETAIL SHEET NUMBER  
--- DENOTES BEARING WALL  
--- DENOTES OVER FRAMING  
(X) DENOTES FLOOR TO FLOOR HOLDOWN PER SCHEDULE IN DETAIL 1/SD3.0 & 2/SD3.0  
--- DENOTES DRAG DIRECTION  
--- DENOTES FRAMING ZONE DIVISION  
X DENOTES SHEARWALL LINE IN CALCULATIONS

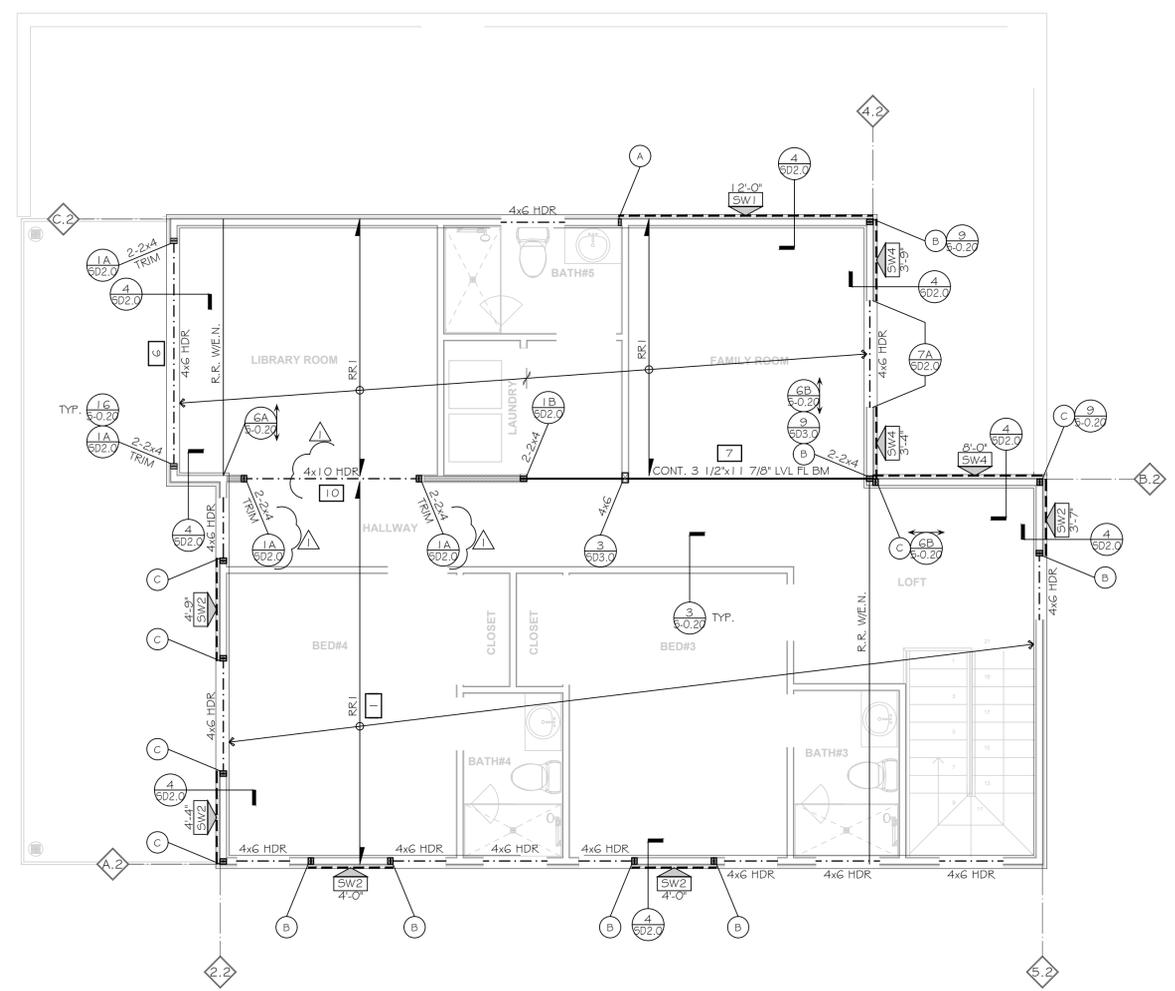
### KEY NOTES

- DRAG TRUSS W.E.N.
- SHEAR TRUSS W.E.N.
- CONTINUOUS JOIST W.E.N.
- TRUSS HANGER BY TRUSS MANUFACTURER
- LINE OF 2x FLAT BLOCKING W.E.N.
- LINE OF FULL HEIGHT BLKG W.E.N.
- CONTINUOUS LINE OF BLOCKING W.E.N. UNDER SHEAR WALL ABOVE W (1) CS1 G
- ALIGN POST WITH UPPER FLOOR POST WITH SOLID BLOCKING BETWEEN FLOOR
- PROVIDE SOLID BLOCKING WHERE POSTS ARE DISCONTINUOUS AT JOIST SPACE AND/OR FROM TOP OF BEAMS/HEADERS TO LOWER TOP PLATE.

BLOCKED ROOF DIAPHRAGM: 8d's @ 4" B.N., 8d's @ 6" E.N., 8d's @ 12" F.N.  
BLOCKED FLOOR DIAPHRAGM: 10d's @ 6" B.N., 10d's @ 6" E.N., 10d's @ 12" F.N.

### FRAMING SCHEDULE

MARK	MEMBER TYPE
(E)	EXISTING FRAMING
RR1	2 X 12 ROOF RAFTERS @ 16" O.C.
FJ1	2 X 12 FLOOR JOISTS @ 16" O.C.
FJ2	2 X 12 FLOOR JOISTS @ 12" O.C.
FJ3	2 X 8 FLOOR JOISTS @ 16" O.C.
DJ1	2 X 10 DECK JOISTS @ 16" O.C.
DJ2	2 X 8 DECK JOISTS @ 16" O.C.



ROOF FRAMING PLAN  
SCALE : 1/4" = 1'-0"

REVISION	DESCRIPTION
1	DATE: 1/21/2025
2	PLAN CHECK
3	
4	
5	
6	

REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
01/26/2026

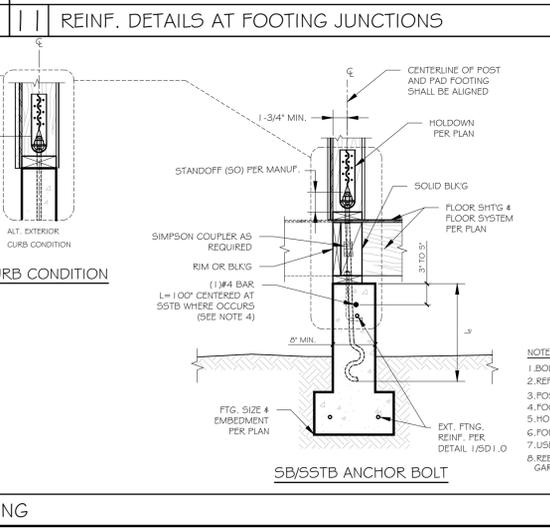
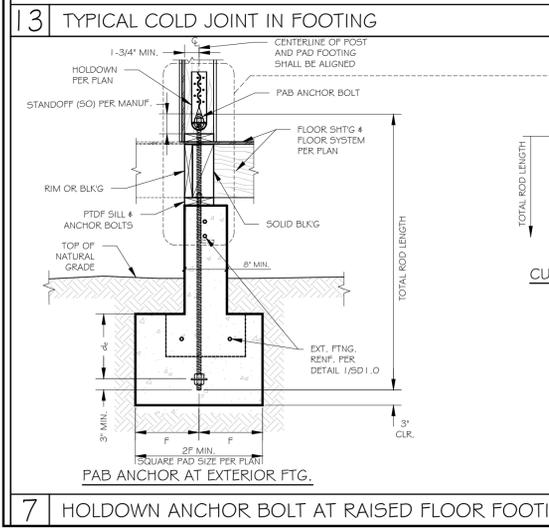
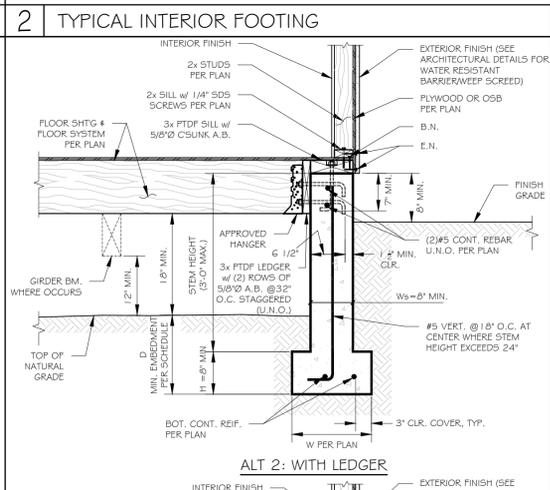
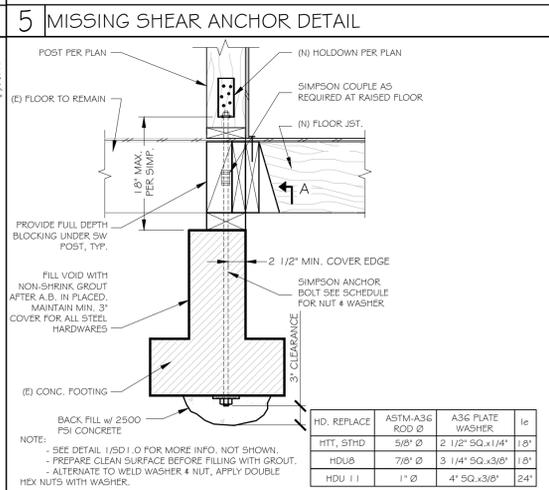
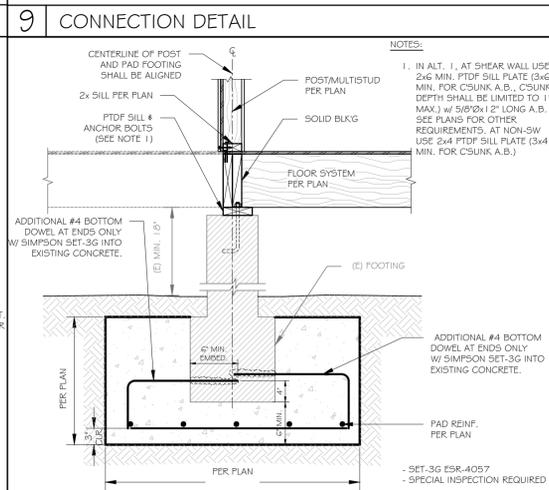
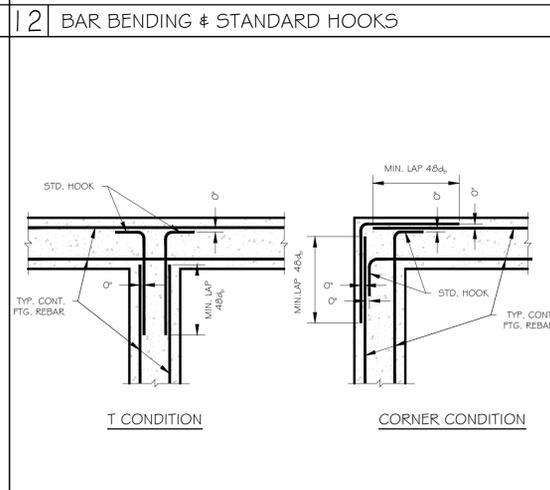
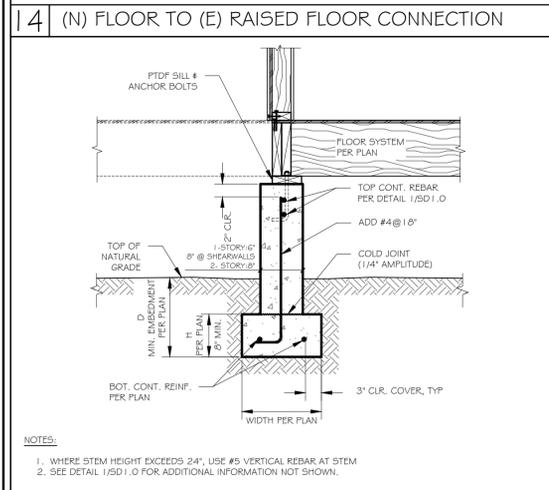
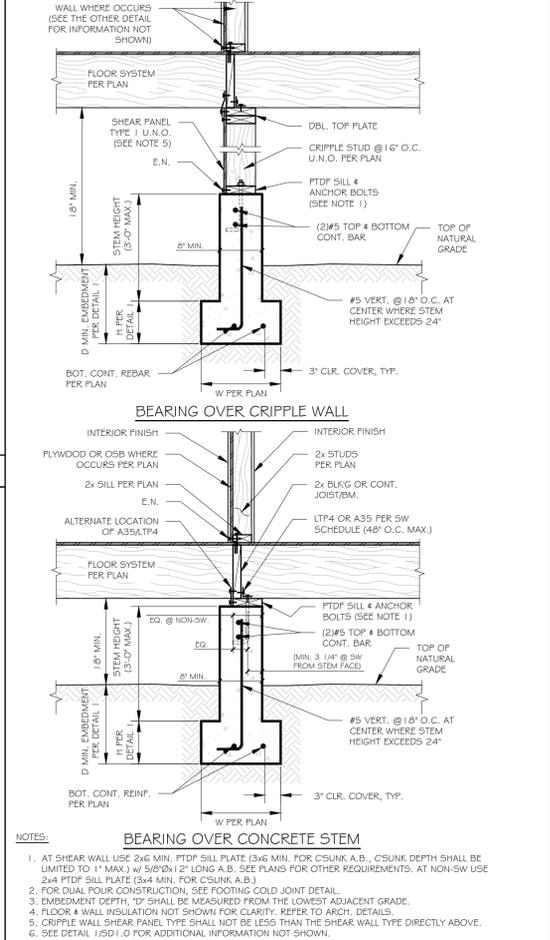
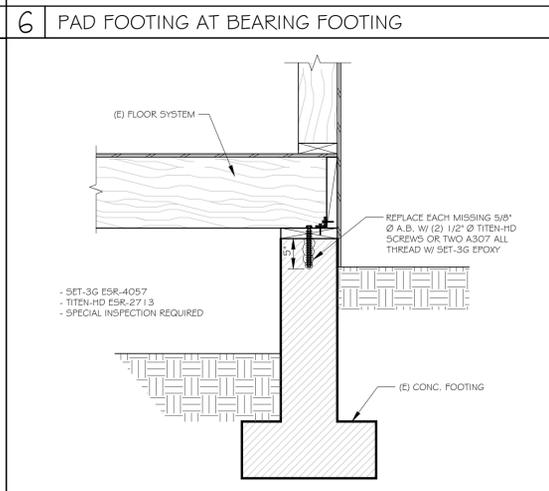
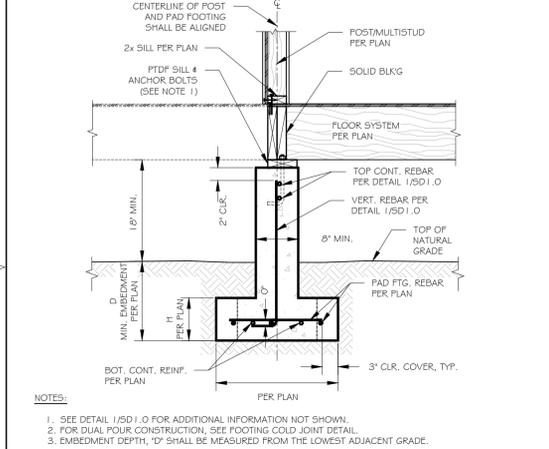
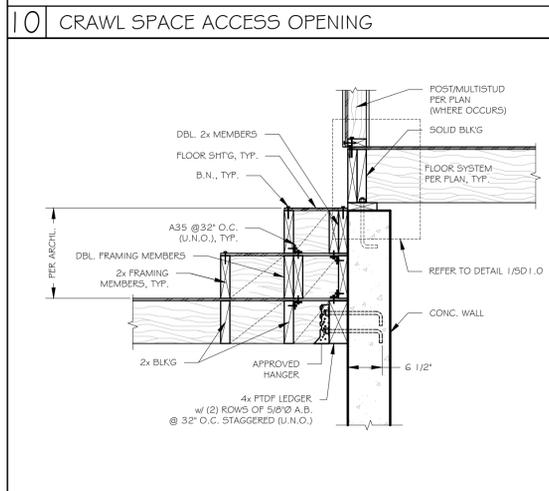
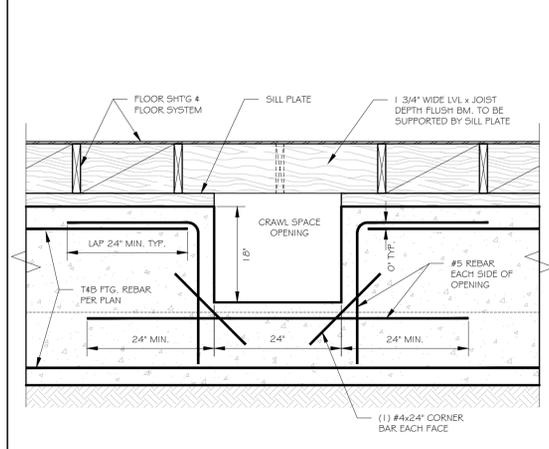
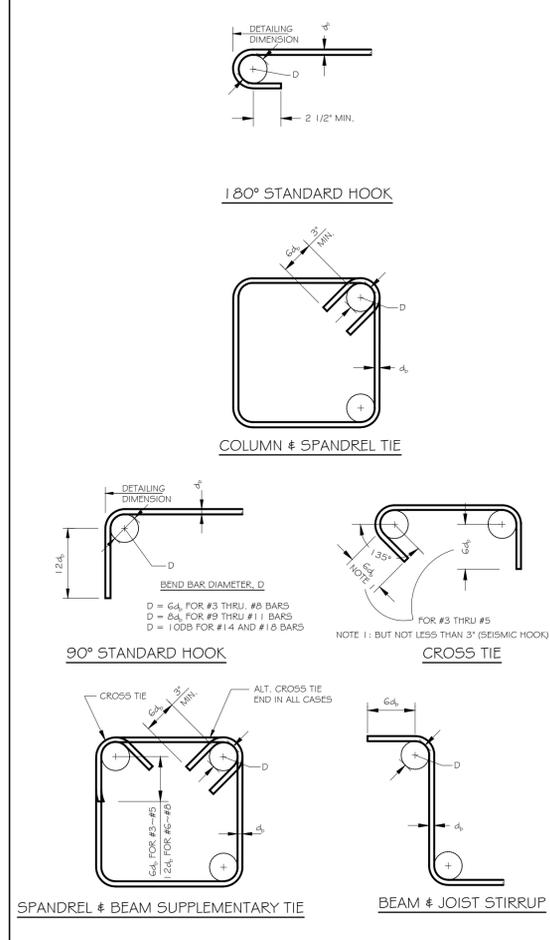
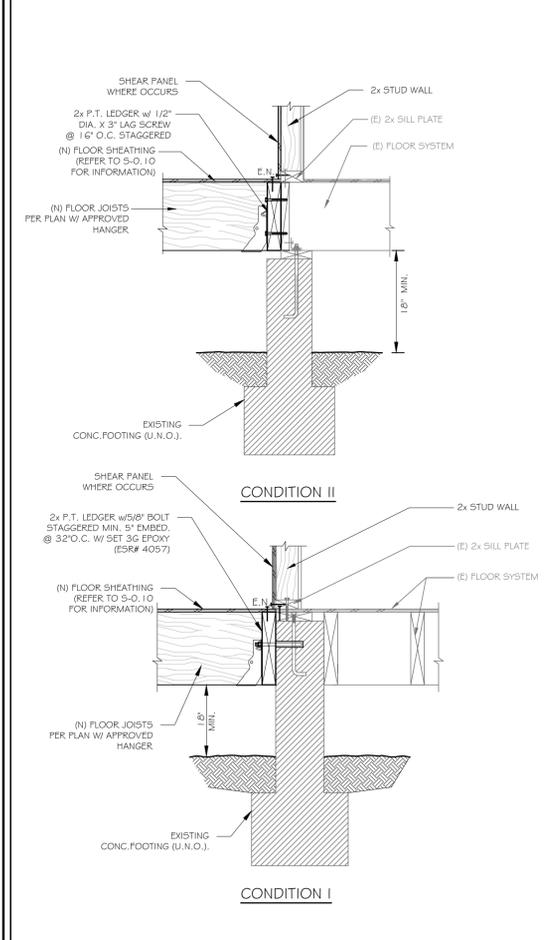
Project Name: REMODEL & ADDITION HOUSE  
Project Address: 16611 EDGEWATER LN, HUNTINGTON BEACH, CA 92649

DATE: 01/26/2026  
PROJECT MANAGER: A.T.

ROOF FRAMING PLAN

JOB NO.: 16611  
SHEET NO.:

S-3.0

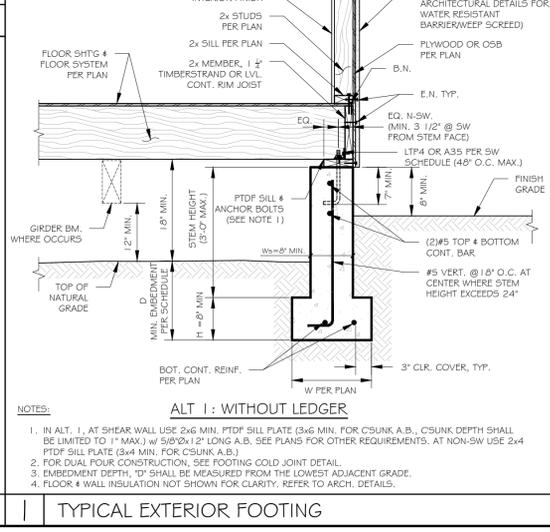
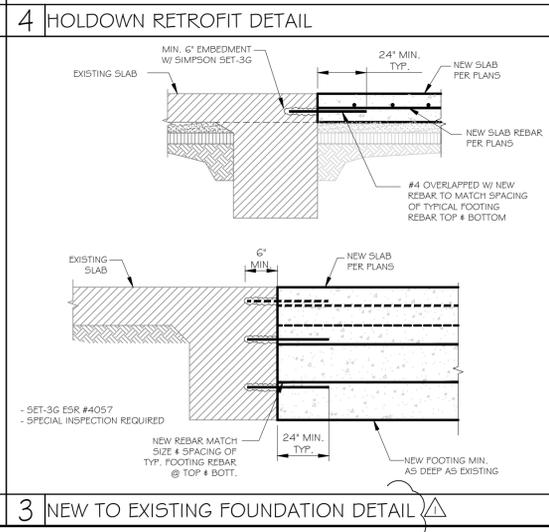


**8 NEW PAD FOOTING TO EXISTING FOOTING**

HOLDOWN SIMPSON TYPE	SIMPSON "5B" ANCHOR BOLT SLAB ON GRADE CURB/ STEM WALL	SIMPSON "5B" ANCHOR BOLT CURB/ STEM WALL	SIMPSON "PAB" PRE-ASSEMBLED ANCHOR BOLT TYPE	EMBEDMENT (d)	SQUARE PAD SIZE (2F)
HDU2	S5TB24	S5B5/8x24	S5B5/8x24	-	-
HDU4	-	S5B5/8x24	S5B5/8x24	-	-
HDU5	-	S5B5/8x24	S5B5/8x24	-	-
HDU8	S5TB28	S5TB28	S5B7/8x24	S5B7/8x24	-
HDI1	-	S5B1x30	S5B1x30	-	-
HDI4	-	-	-	PAB8	11" 34"

**NOTES:**

1. BOLTS SHALL BE SECURED IN PLACE PRIOR TO FOUNDATION POUR, U.O.N.
2. REFER TO MANUF. REQUIREMENTS, SPECIFICATIONS, AND APPLICABLE ICC-ESR REPORT.
3. POST TENSION CABLE MAY NOT BE COUNTED AS REGO HOLDDOWN REBAR.
4. FOOTING TOP REBAR(S) MAY BE COUNTED AS REGO HOLDDOWN REBAR(S).
5. HOLD-DOWNS MAY BE RAISED OFF MID-SILL TO ACCOMMODATE MS-LOCATED ANCHOR BY 1-1/2" MAX. REFER TO MANUF. SPECS.
6. FOR ALL INFORMATION NOT SHOWN, REFER TO DETAIL.
7. USE OF MULTIPLE WASHERS TO ACCOMPLISH TOTAL REGO THICKNESS IS NOT PERMITTED.
8. REBAR IS REQUIRED AT TOP OF STEM WALL FOUNDATION, BUT IS NOT REQUIRED FOR SLAB ON GRADE EDGE AND GARAGE CURB IF FOOTING WIDTH IS 12" OR GREATER. REFER TO MANUFACTURER FOR MIN. END DISTANCES.



**REVISION**

NO.	DATE	DESCRIPTION
1	1/21/2025	PLAN CHECK
2		
3		
4		
5		
6		

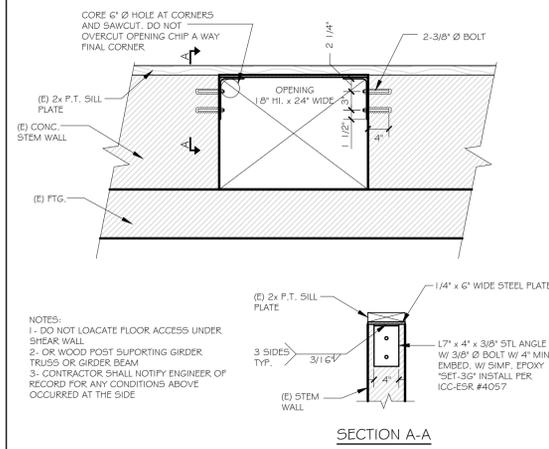
**REGISTERED PROFESSIONAL ENGINEER**  
 No. C78194  
 CIVIL  
 STATE OF CALIFORNIA  
 01/26/2026

**Project Name:** REMODEL & ADDITION HOUSE  
**Project Address:** 116611 EDgewater Ln, HUNTINGTON BEACH, CA 92649

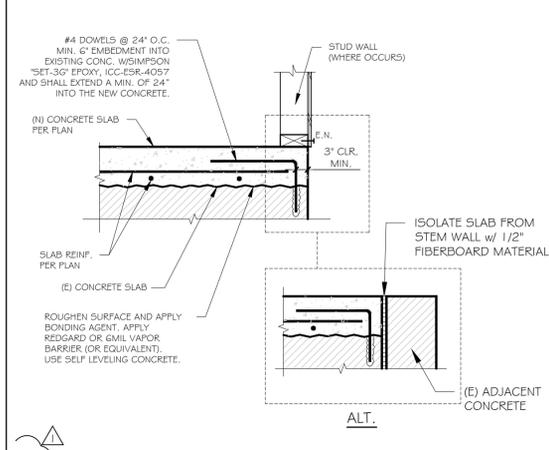
**Project Manager:** A.T.  
**Date:** 01/26/2026

**JOB NO.:** 116611  
**SHEET NO.:** SD1.0

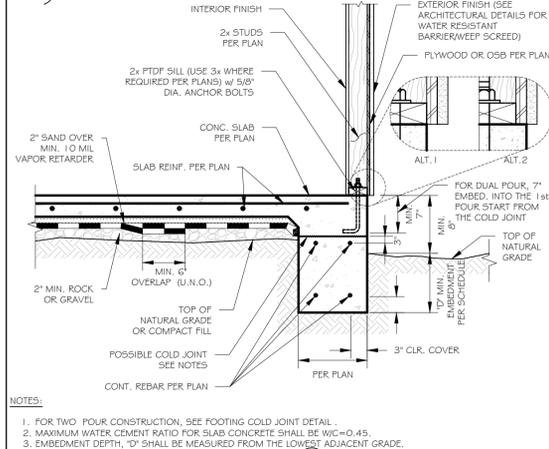
**FOUNDATION DETAILS**



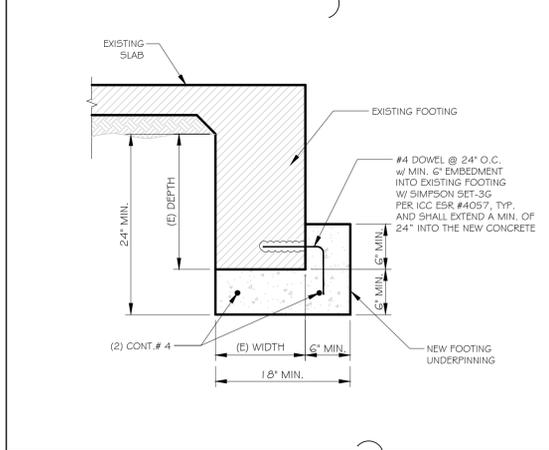
7 FLOOR ACCESS IN (E) FTG.



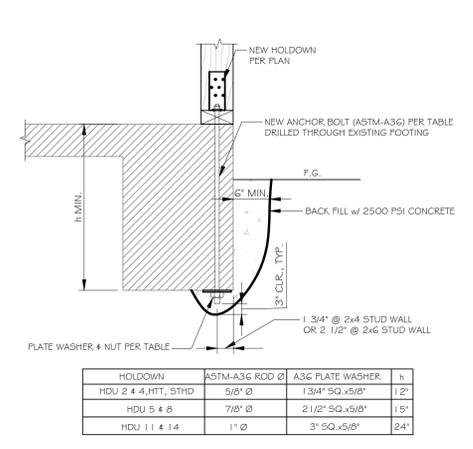
6 ADDITION OF SLAB AT EXISTING FOUNDATION



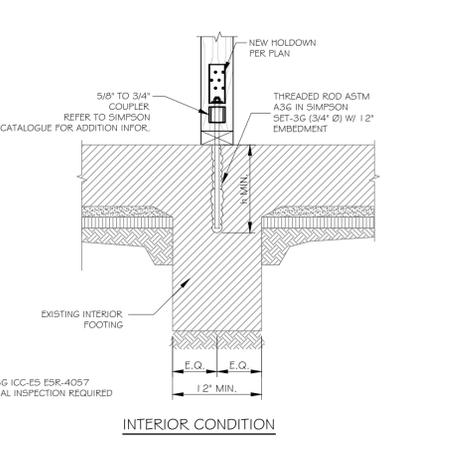
5 TYPICAL EXTERIOR FOOTING



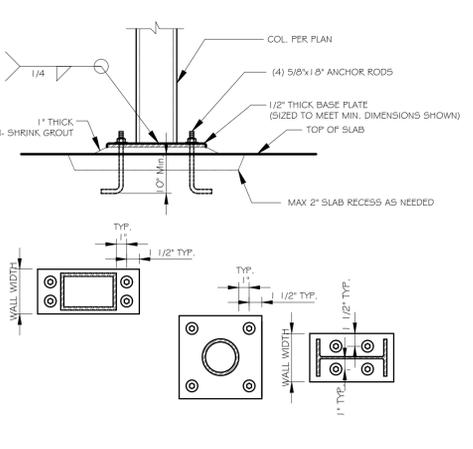
4 UNDERPINNING FOOTING DETAIL



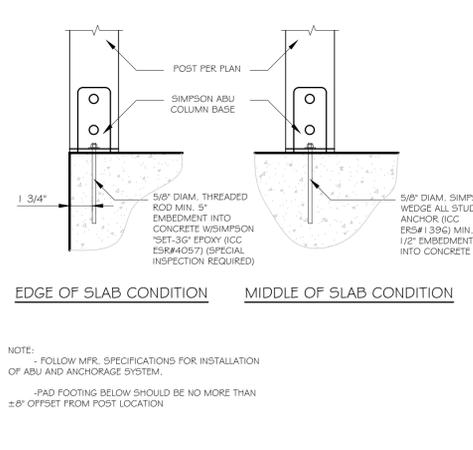
EXTERIOR CONDITION



INTERIOR CONDITION



3 HOLDOWN RETROFIT DETAIL



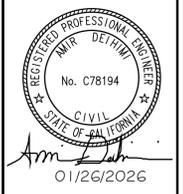
2 BASE PLATE DETAIL



1 MISSING COLUMN BASE

HOLDOWN	ASTM-A36 ROD Ø	A36 PLATE WASHER	h
HDU 2 x 4, HTT, 5THD	5/8" Ø	1 3/4" SQ. 5/8"	1 1/2"
HDU 5 x 6	7/8" Ø	2 1/2" SQ. 5/8"	1 1/2"
HDU 1 1/4 x 1 1/4	1" Ø	3" SQ. 5/8"	2 1/4"

REVISION	DESCRIPTION
1	DATE: 1/21/2025
2	PLAN CHECK
3	
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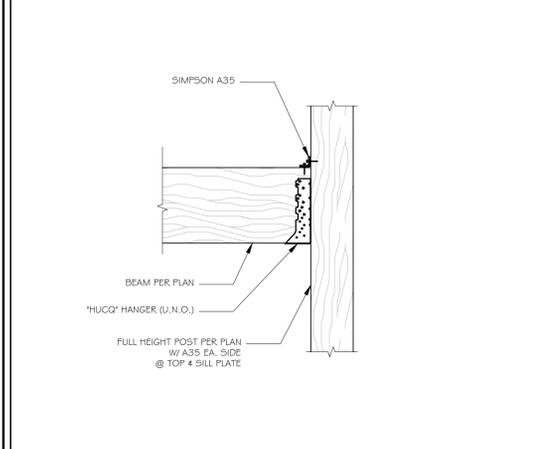
DATE: 01/26/2026  
 PROJECT MANAGER: A.T.

FOUNDATION DETAILS

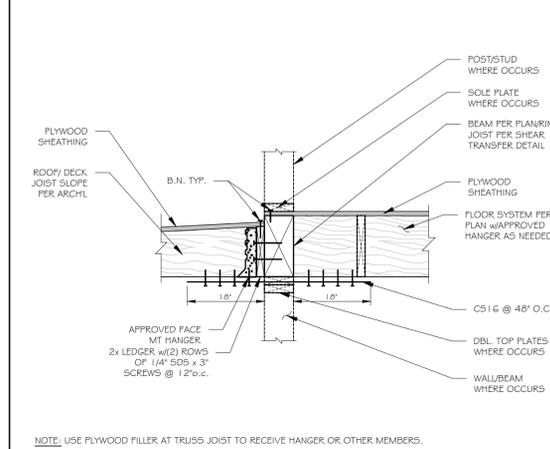
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 SHEET NO.:

SDI.1

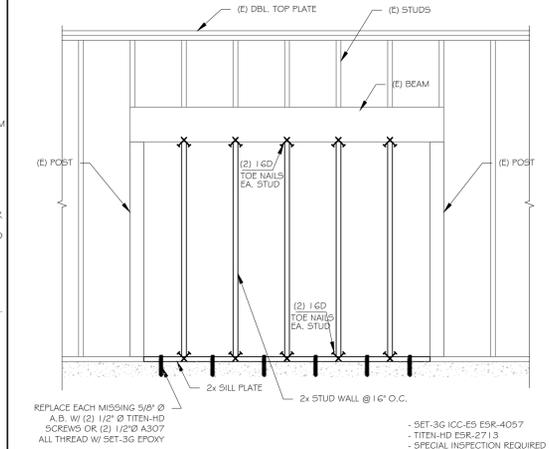




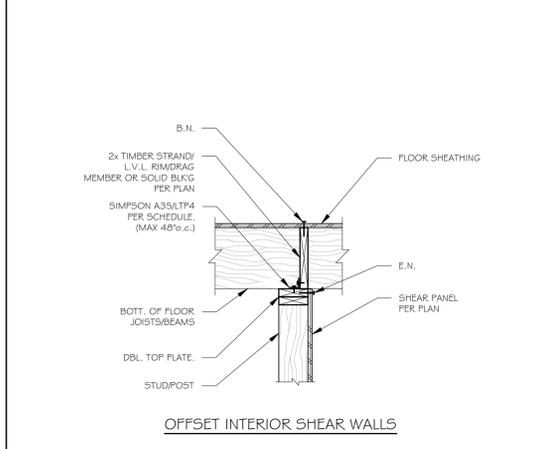
6 BEAM & POST CONNECTION



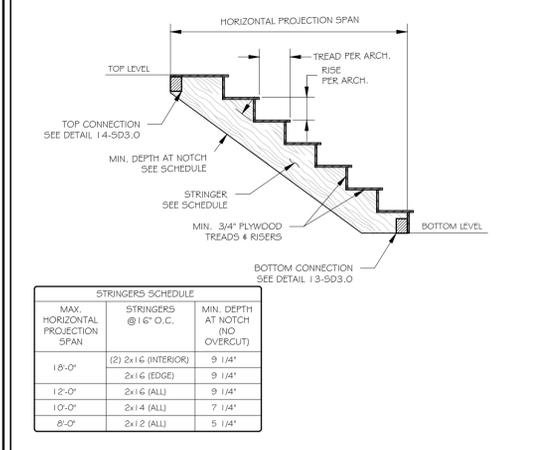
12 CORRIDOR / DECK CONNECTION



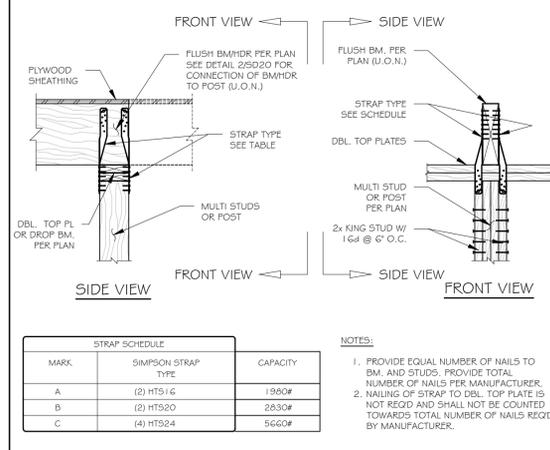
8 WALL INFILL DETAIL



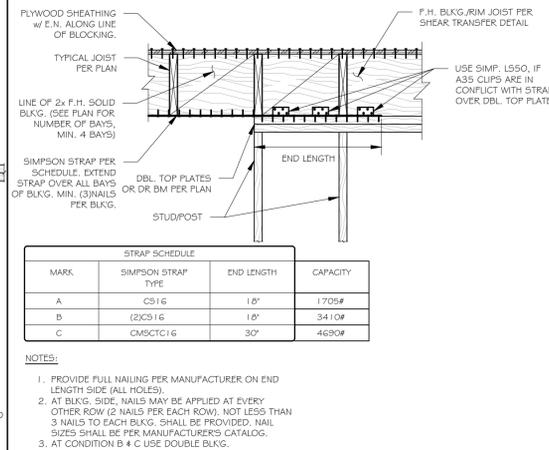
3 CONNECTION DETAIL



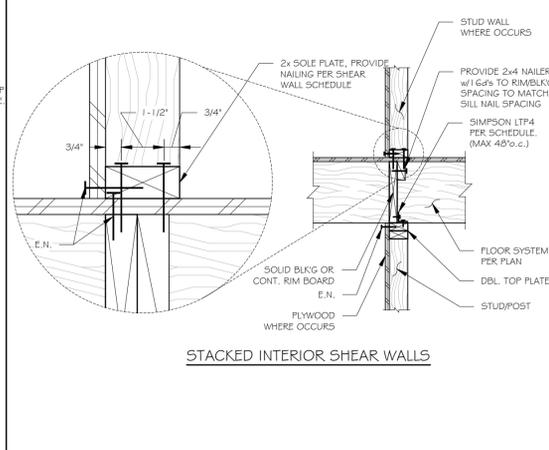
15 STAIRS STRINGER SCHEDULE



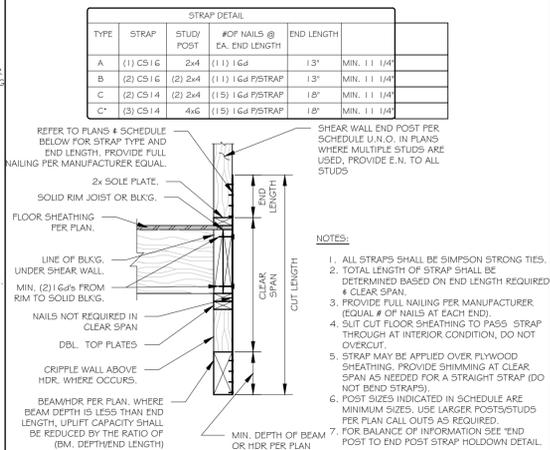
11 HOLDOWN OF FLUSH BEAM TO POST



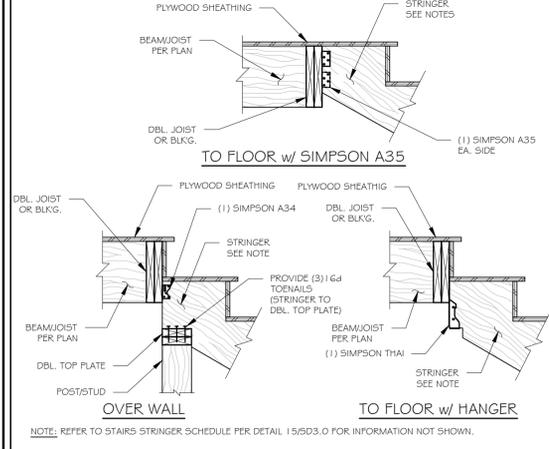
7 DRAG DETAIL AT PERPENDICULAR JOISTS



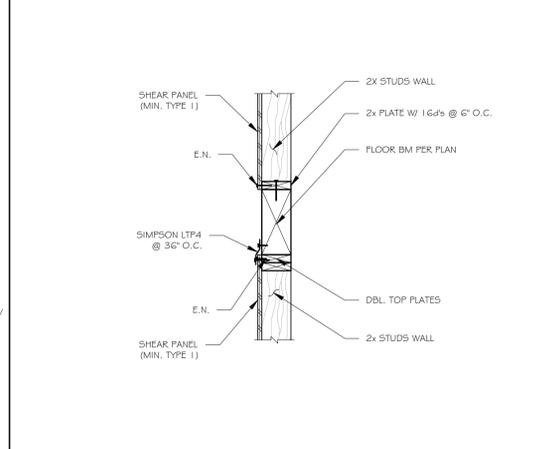
5 SHEAR TRANSFER



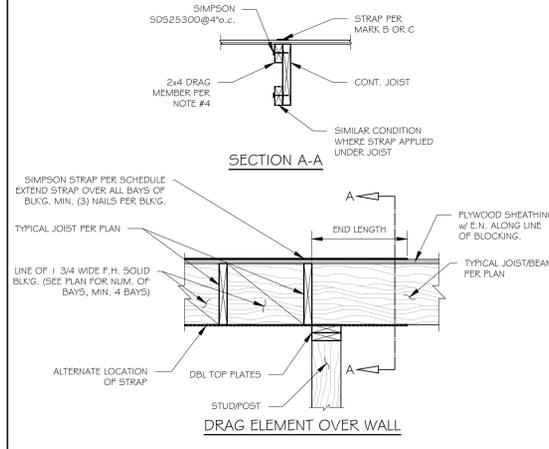
2 END POST AT BEAM/HDR STRAP HOLDDOWN



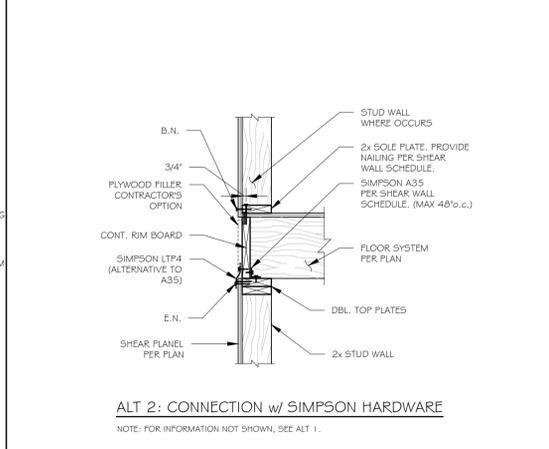
14 STAIRS STRINGER TOP CONNECTION



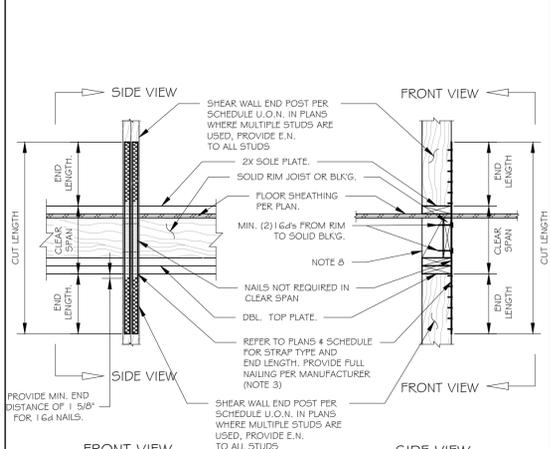
10 SHEAR TRANSFER DETAIL



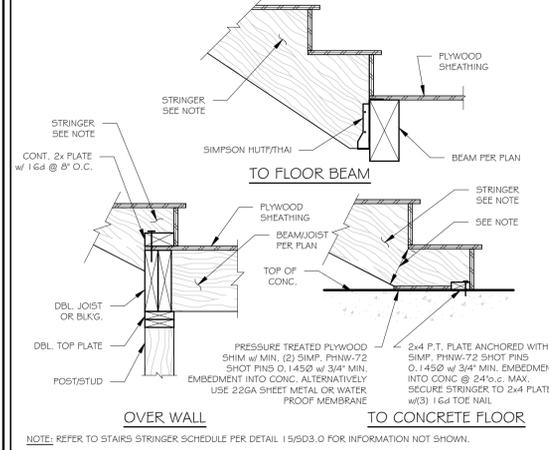
6 DRAG ELEMENT PERPENDICULAR TO JOISTS



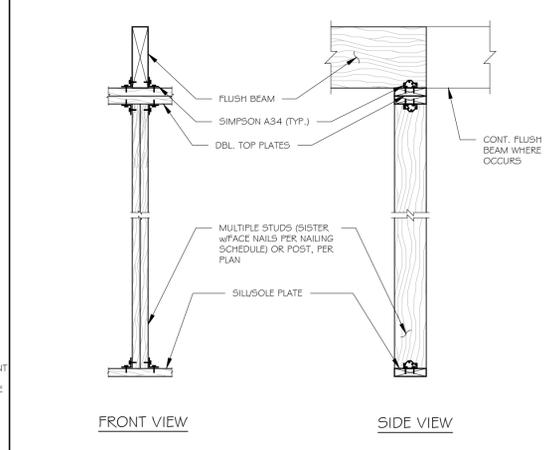
4 SHEAR TRANSFER AT EXTERIOR WALL



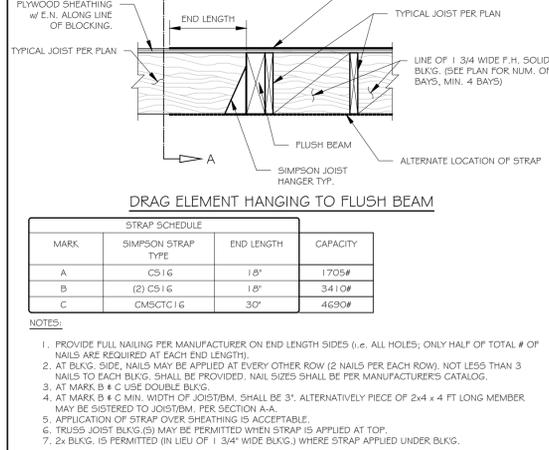
1 STRAP AT POST TO POST



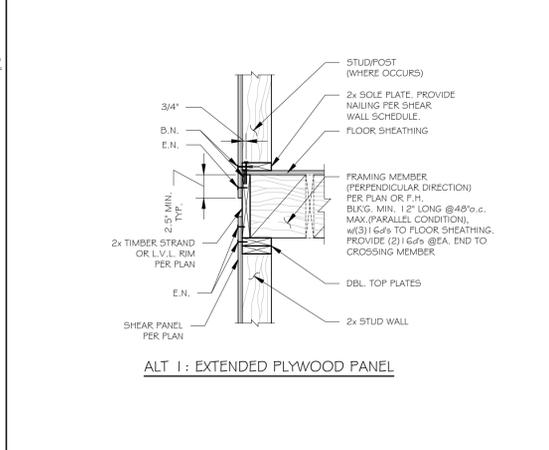
13 STAIRS STRINGER BOTTOM CONNECTION



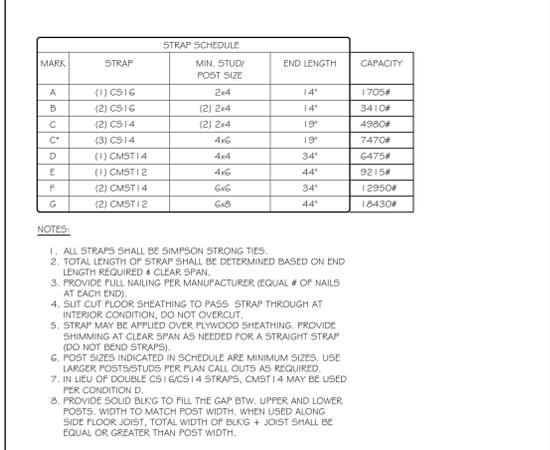
9 FLUSH BEAM TO DBL TOP PLATES CONNECTION



6 DRAG ELEMENT PERPENDICULAR TO JOISTS

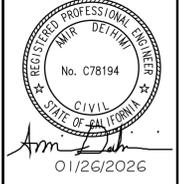


4 SHEAR TRANSFER AT EXTERIOR WALL



1 STRAP AT POST TO POST

REVISION	DATE	DESCRIPTION
1	1/21/2025	PLAN CHECK
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STRUCTURAL DETAILS  
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