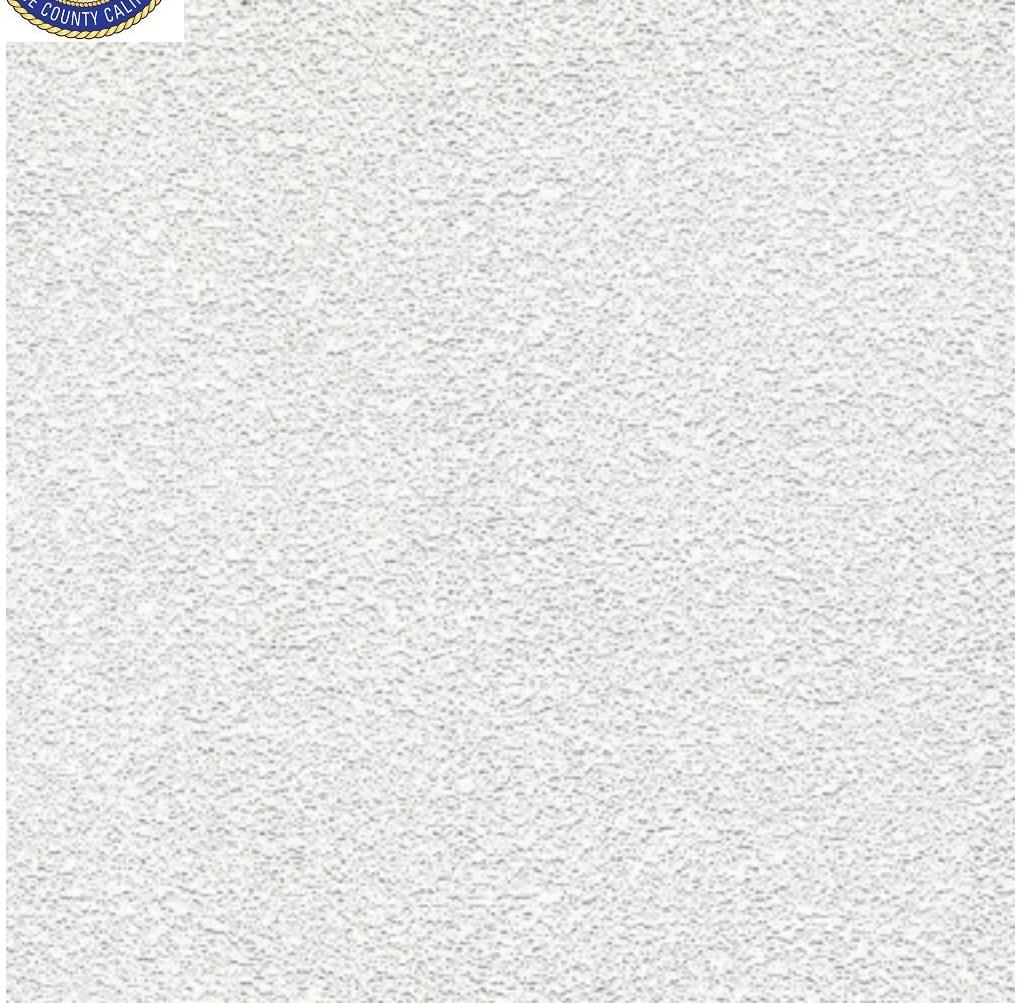




12/05/2025



STUCCO - OMEGA WHITE
OMEGA



NATURAL GRAY CAP
ORCO



PILASTERS VENEER
CRAFT WAREHOUSE BRICK
PEBBLECREEK BY CREATIVE MINES

SHOPOFF

LAND
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LANDSCAPE ARCHITECTURE
18301 VON KARMAN AVE., SUITE 760
IRVINE, CA 92612
O 949.250.4822
www.landconcern.com

MAGNOLIA COAST
HUNTINGTON BEACH, CA

RETAINING WALL MATERIALS BOARD



12/05/2025



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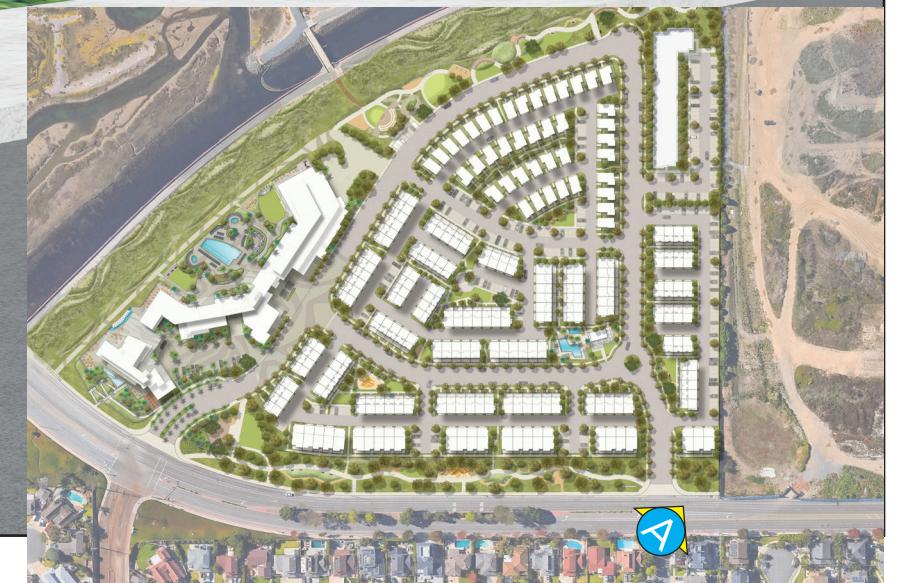
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RETAINING WALL VIEW SIMS



12/05/2025



VICINITY MAP

GRADING GENERAL NOTES N.T.S.

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HUNTINGTON BEACH REQUIREMENTS.
- CITY OF HUNTINGTON BEACH GRADING INSPECTOR IS TO BE NOTIFIED 48 HOURS PRIOR TO ANY GRADING AT THE DEPARTMENT OF PUBLIC WORKS, (714) 536-5431.
- DUST SHALL BE CONTROLLED BY WATERING.
- REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING, INSPECTION IS REQUIRED.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- IMPORT SOIL SHALL BE A GRANULAR MATERIAL WITH LOW EXPANSION POTENTIAL AND SHALL BE COMPAKTED TO AT LEAST 90%.
- THE SUBGRADE OF THE DRIVEWAY AND PARKING AREAS SHALL BE SCARIFIED, BROUGHT TO OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90%. CALL FOR CITY INSPECTION PRIOR TO PLACING CLASS 2 AGGREGATE BASE AND CASTING OF CONCRETE GUTTERS.
- A SOIL COMPAKCTION REPORT SHALL CERTIFY COMPAKCTION WITHIN BUILDINGS AND PAVING AREAS.
- A LICENSED ENGINEER OR A LICENSED LAND SURVEYOR, SHALL CERTIFY LINE AND GRADE OF FINISH FLOOR FORMS.
- THE SOILS ENGINEER SHALL CERTIFY THAT ALL GRADING HAS BEEN COMPLETED PER THE SOILS REPORT PRIOR TO FINAL RELEASE.
- THE ENGINEER OR ARCHITECT OF RECORD SHALL CERTIFY THAT GRADES FOR ALL HARDSCAPE AND DRAINAGE DEVICES HAVE BEEN CONSTRUCTED PER APPROVED GRADING PLAN PRIOR TO FINAL RELEASE.
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH APPROVED SOILS REPORT NOTED HEREIN.
- STANDARD PLAN 100, SHEETS 1, 2, 3 AND 4 ARE INCORPORATED BY REFERENCE.
- THE SOILS ENGINEER AND CIVIL ENGINEER SHALL NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
- A TRAFFIC CONTROL PLAN FOR CONSTRUCTION ACTIVITIES ON THE CITY STREETS AND SIDEWALKS MUST BE PREPARED AND SUBMITTED TO THE CITY OF HUNTINGTON BEACH FOR REVIEW AND APPROVAL. THIS TRAFFIC CONTROL PLAN MUST CONFORM TO THE CITY OF HUNTINGTON BEACH CONSTRUCTION TRAFFIC CONTROL PLAN PREPARATION GUIDELINES, JULY 1998 EDITION. THIS TRAFFIC CONTROL PLAN MUST BE APPROVED BY THE CITY OF HUNTINGTON BEACH PRIOR TO THE ISSUANCE OF AN ENCROACHMENT PERMIT.
- STANDARD PLAN 600 GENERAL NOTES ARE INCORPORATED BY REFERENCE.
- ANY DAMAGE TO THE STREET LIGHT SYSTEM AND/OR TRAFFIC SIGNAL SYSTEM SHALL BE REPAIRED AND CONDUIT AND CONDUCTORS SHALL BE REPLACED PER CURRENT HUNTINGTON BEACH STANDARD PLANS AND STANDARD SPECIAL PROVISIONS FOR THE CONSTRUCTION OF TRAFFIC SIGNALS AND LIGHTING SYSTEMS IN THE CITY OF HUNTINGTON BEACH 2001 EDITION.
- REFER TO LANDSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION AND SLEEVING THAT MAY BE REQUIRED.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES ETC. SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE PUBLIC RECORDS. THOSE SHOWN ON THE RECORDS EXAMINED, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF TUSTIN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF OWNER, ENGINEER, OR THE CITY OF TUSTIN.

THE CONTRACTOR AND ALL ITS SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS".

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND OWNERS OF ANY DISCOVERED UNMAPPED UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

GENERAL NOTES

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5)

APPLICABLE CODES

HUNTINGTON BEACH MUNICIPAL CODE SECTION 17.05
A CITY OF HUNTINGTON BEACH DEPARTMENT OF PUBLIC WORKS GRADING PLAN AND PERMIT IS REQUIRED FOR (BUT IS NOT LIMITED TO) THE FOLLOWING: GROUND LEVEL ADDITIONS OF 650 SQUARE FEET OR GREATER, EXCAVATIONS EXCEEDING 50 CUBIC YARDS AND PAVEMENT CONSTRUCTION EXCEEDING 3,000 SQUARE FEET. THESE REQUIREMENTS APPLY EVEN IF THESE THRESHOLDS ARE TRIGGERED AS A RESULT OF ADDED SCOPE OF WORK AFTER ORIGINAL BUILDING PERMITS ARE ISSUED. REFER TO THE HUNTINGTON BEACH MUNICIPAL CODE SECTION 17.05 FOR ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS. CONTACT THE PUBLIC WORKS DEPARTMENT AT (714) 536-5431 FOR FURTHER INFORMATION.

HUNTINGTON BEACH ZONING SUBDIVISION ORDINANCE SECTION 230.84
PUBLIC IMPROVEMENTS AND DEDICATIONS MAY BE REQUIRED FOR PROJECTS EXCEEDING A THIRD OF THE VALUE OF THE EXISTING BUILDING. EVEN IF THIS THRESHOLD IS TRIGGERED AS A RESULT OF ADDED SCOPE OF WORK AFTER ORIGINAL BUILDING PERMITS ARE ISSUED, PUBLIC IMPROVEMENTS MAY INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING: REPLACEMENT OR CONSTRUCTION OF CURBS, GUTTERS, SIDEWALKS, ACCESSIBILITY RAMPS, STREET AND/OR ALLEY PAVING, SEWER LATERALS, WATER METERS AND LATERALS, DRIVEWAY APRONS, ETC. REFER TO THE HUNTINGTON BEACH ZONING AND SUBDIVISION ORDINANCE SECTION 230.84 FOR ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS. CONTACT THE PUBLIC WORKS DEPARTMENT AT (714) 536-5431 FOR FURTHER INFORMATION.

Under ground
Service Alert
of Southern California
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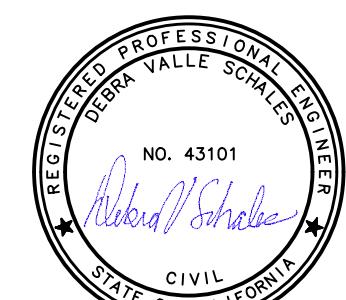
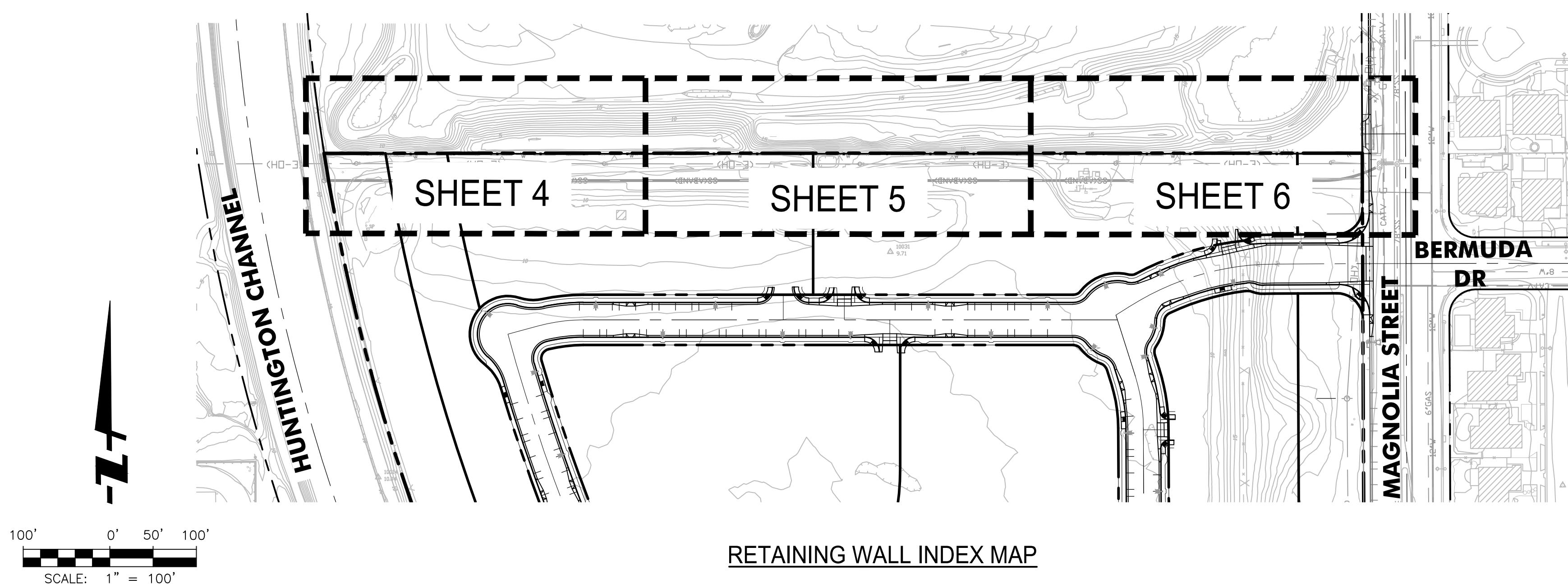
12/05/2024
ESTANNO WALL CONS

12/03/2023 RETAINING WALL CONSTRUCTION NOTES

CN	DESCRIPTION	QTY	UNIT
①	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 3'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	620	SF
②	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 4'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	990	SF
③	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 6'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	4,580	SF
④	CONSTRUCT CONCRETE RETAINING, WALL TYPE "B" W/ 11'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	7,180	SF
⑤	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 8'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	3,830	SF
⑥	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	30,025	SF
⑦	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 10'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	39,980	SF
⑧	INSTALL 4" DIA. PERFORATED PIPE, W/ 1 CF OF 3/4" GRAVEL WRAPPED W/ MIRAFI 140N FILTER FABRIC.	1,200	LF
⑨	INSTALL 4" DIA. PVC DRAIN PIPE.	125	LF
⑩	POINT OF CONNECTION TO AREA DRAIN SYSTEM. SEE FUTURE ONSITE STORM DRAIN PLANS.	2	EA
⑪	CONSTRUCT 18" SQUARE POUR IN PLACE PILASTER WITH RETAINING WALL PER DETAIL ON SECTIONS ON SHEET 3. COLOR & FINISH PER LANDSCAPE PLANS (OMEGA WHITE STUCCO W/ NATURAL GRAY CAP & PILASTER VENEER)	24	EA
⑫	EXISTING POWER POLE TO BE PROTECTED IN PLACE. TO BE COORDINATED WITH SCE.	5	EA

LEGEND & ABBREVIATIONS

	PROPOSED PROPERTY LINE	(XXX.XX)	EXISTING ELEVATION
	SECTION NAME	[XXX.XX]	FUTURE "ASCON" PROPOSED ELEVATION
		XXX.XX	PROPOSED ELEVATION
		ABAND	ABANDONED
		AC	ASPHALT CONCRETE
		ASPH	ASPHALT
		BF	BOTTOM OF FOOTING
		BK	BOTTOM OF SHEAR KEY
		BOE	BOTTOM OF EXCAVATION
		CF	CUBIC FEET
		CONC	CONCRETE
		DIA	DIAMETER
		EX	EXISTING
		INV	INVERT
		OH	OVERHEAD
		PERF	PERFORATED
		PROP	PROPOSED
		TF	TOP OF FOOTING
		W/	WITH
	SLOPE		
	EXISTING CENTER LINE		
	EXISTING SANITARY SEWER		
	EXISTING WATER		
	EXISTING ELECTRIC OVERHEAD		
	EXISTING ABANDONED SANITARY SEWER		
	EXISTING GAS		
	EXISTING CHAIN LINK FENCE		
	PROPOSED CHAIN LINK FENCE		
	EXISTING POWER POLE		
	EXISTING FIRE HYDRANT		
	EXISTING SIGN		
	EXISTING STREET LIGHT		



TR 19331 | 25-060



lert
fornia
REE

REVISIONS

REFERENCES



15535 Sand Canyon Ave, Suite 100
Irvine, California 92618
949.474.1960 **fuscoe.com**

PREPARED UNDER THE SUPERVISION OF: <u>Debra N Schales</u>	
DEBRA SCHALES, PE	R.C.E. NO.: <u>43101</u> EXP. DATE: <u>03/31/26</u>
REVIEWED BY: <u> </u>	
HUNTINGTON BEACH DEPT. OF PUBLIC WORKS	

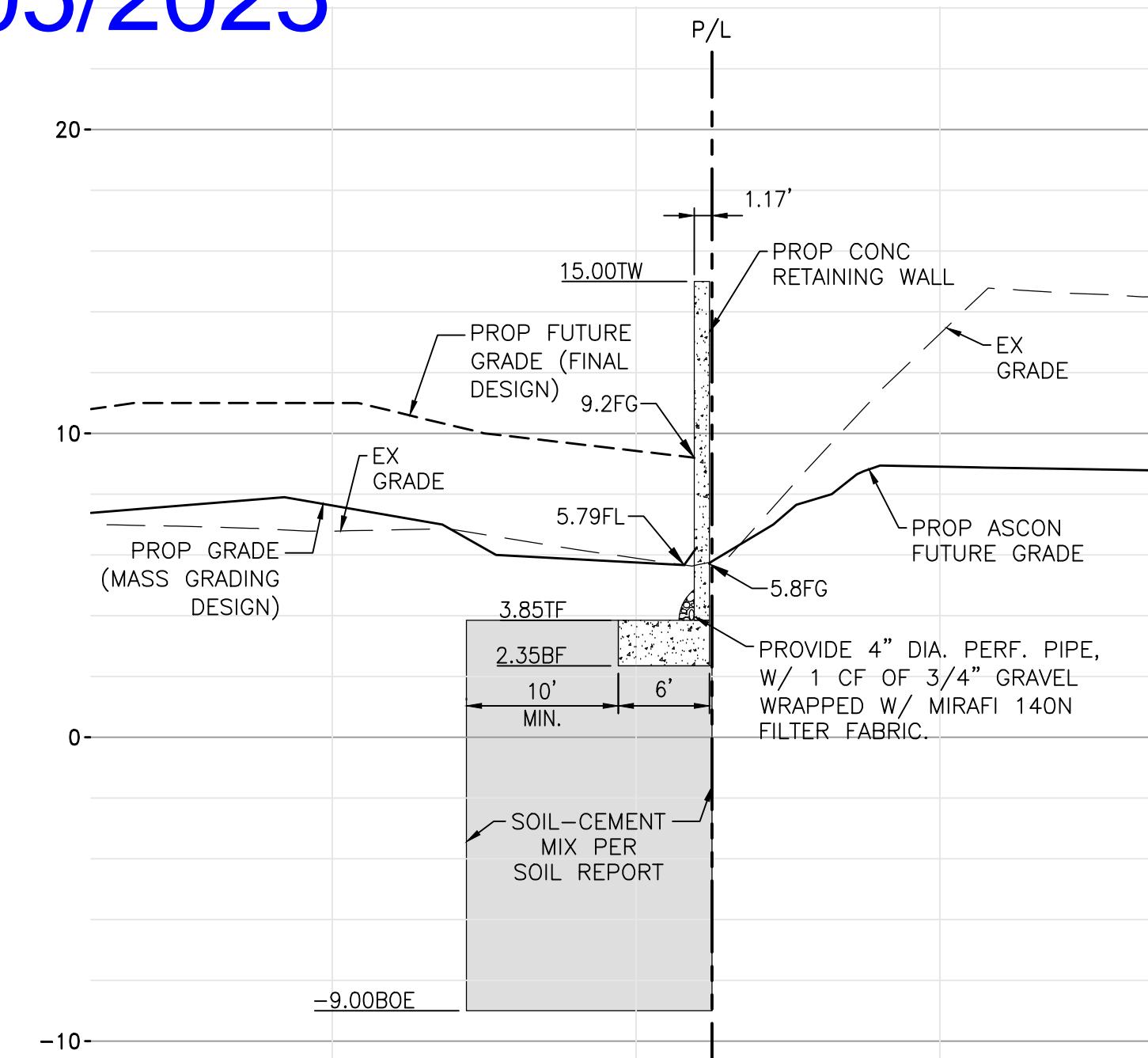


RETAINING WALL PLANS
INDEX MAP AND CONSTRUCTION NOTES
MAGNOLIA COAST
TRACT 19331

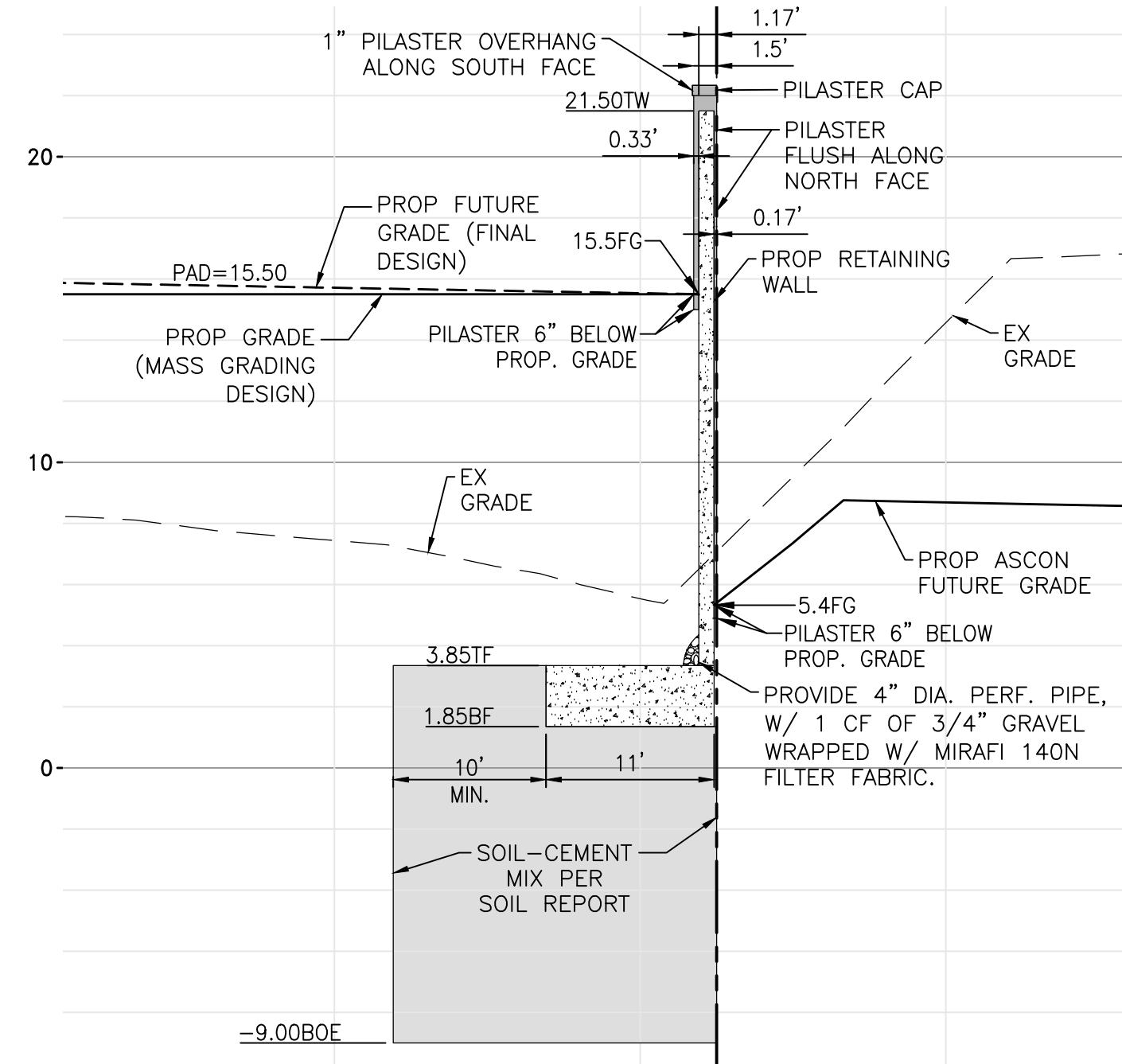
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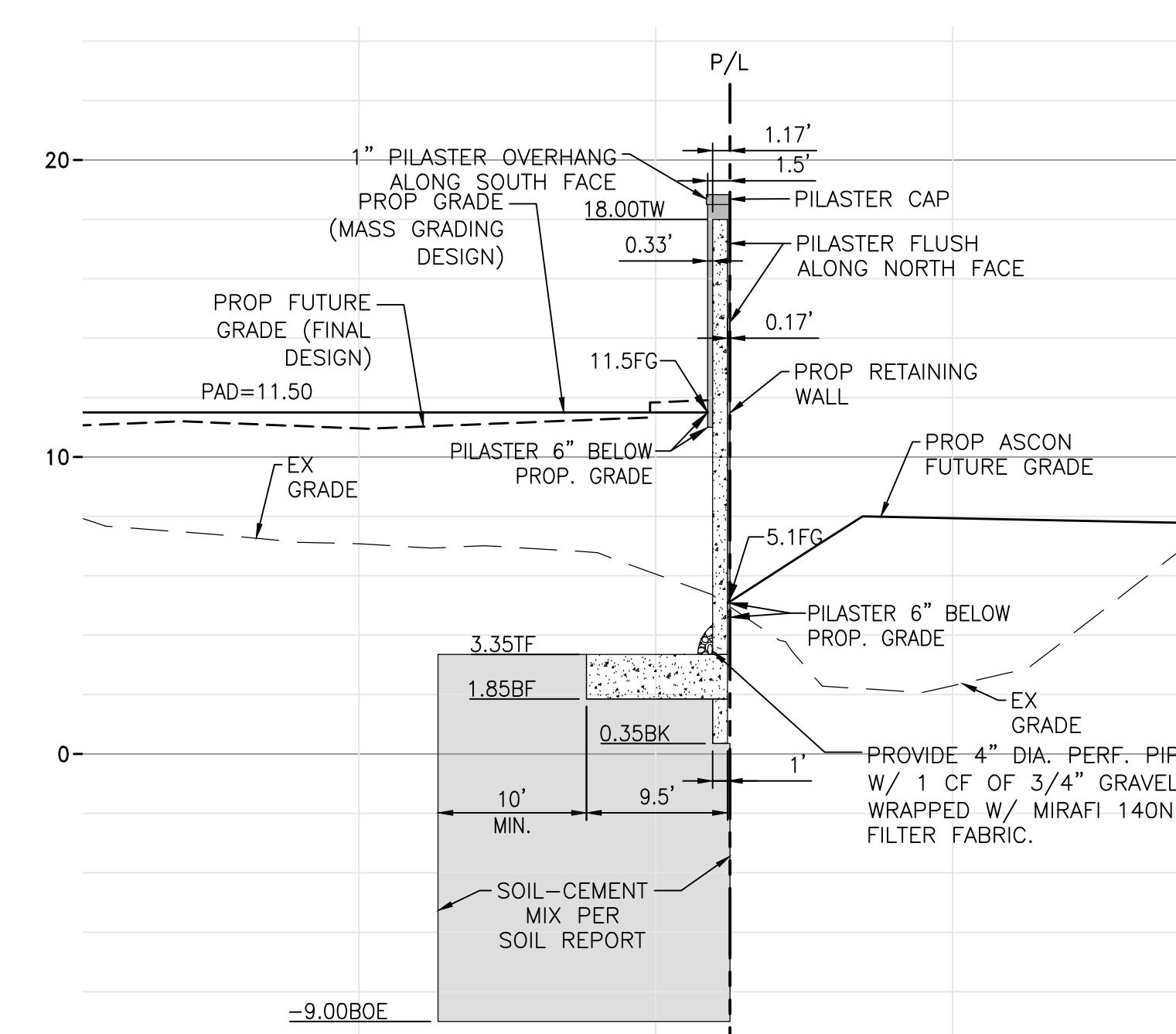
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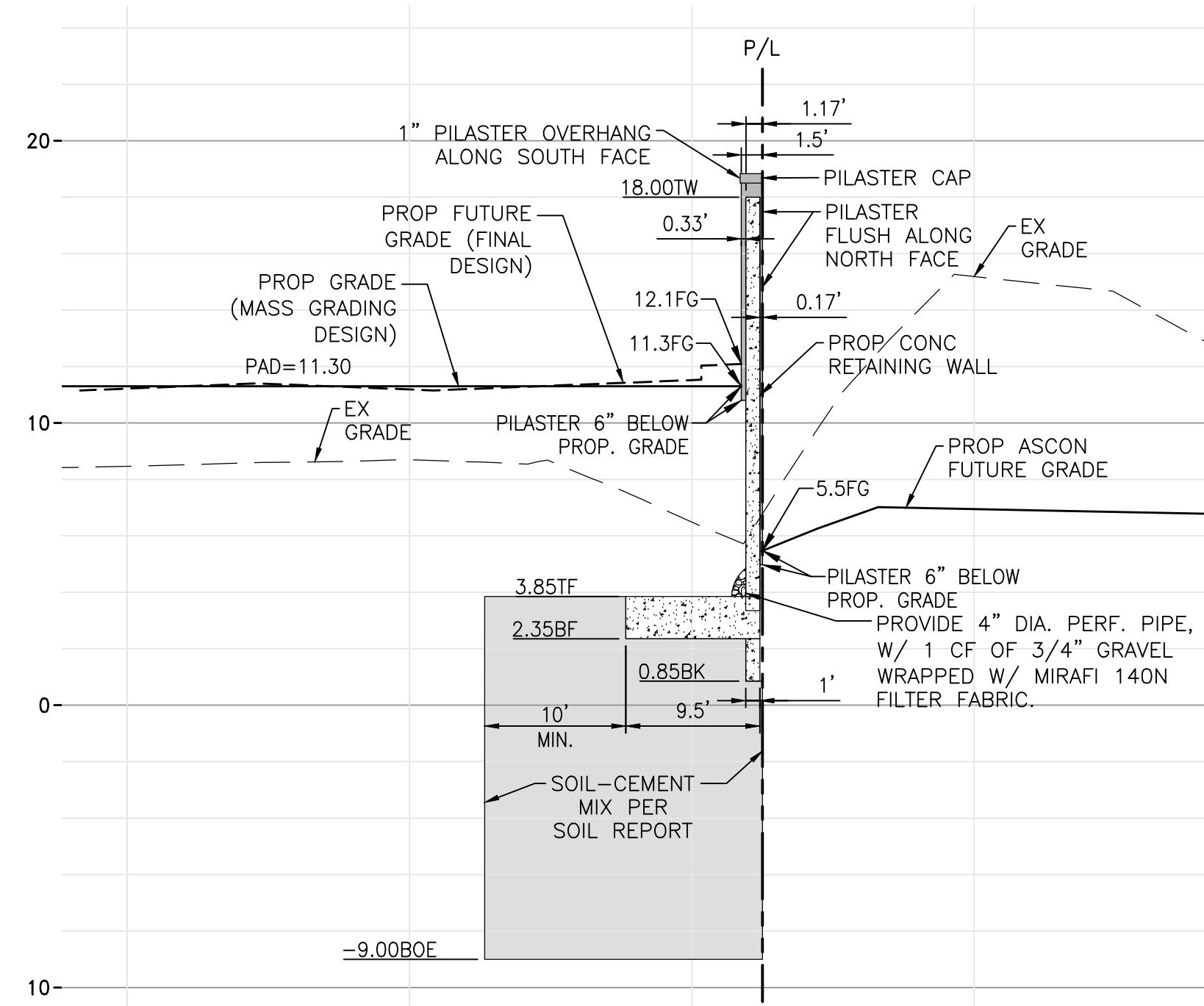
NORTHERN PROPERTY LINE
AT STA. 10+25.00 SCALE HORIZ: 1'=10' 3
VERT: 1'= 5'



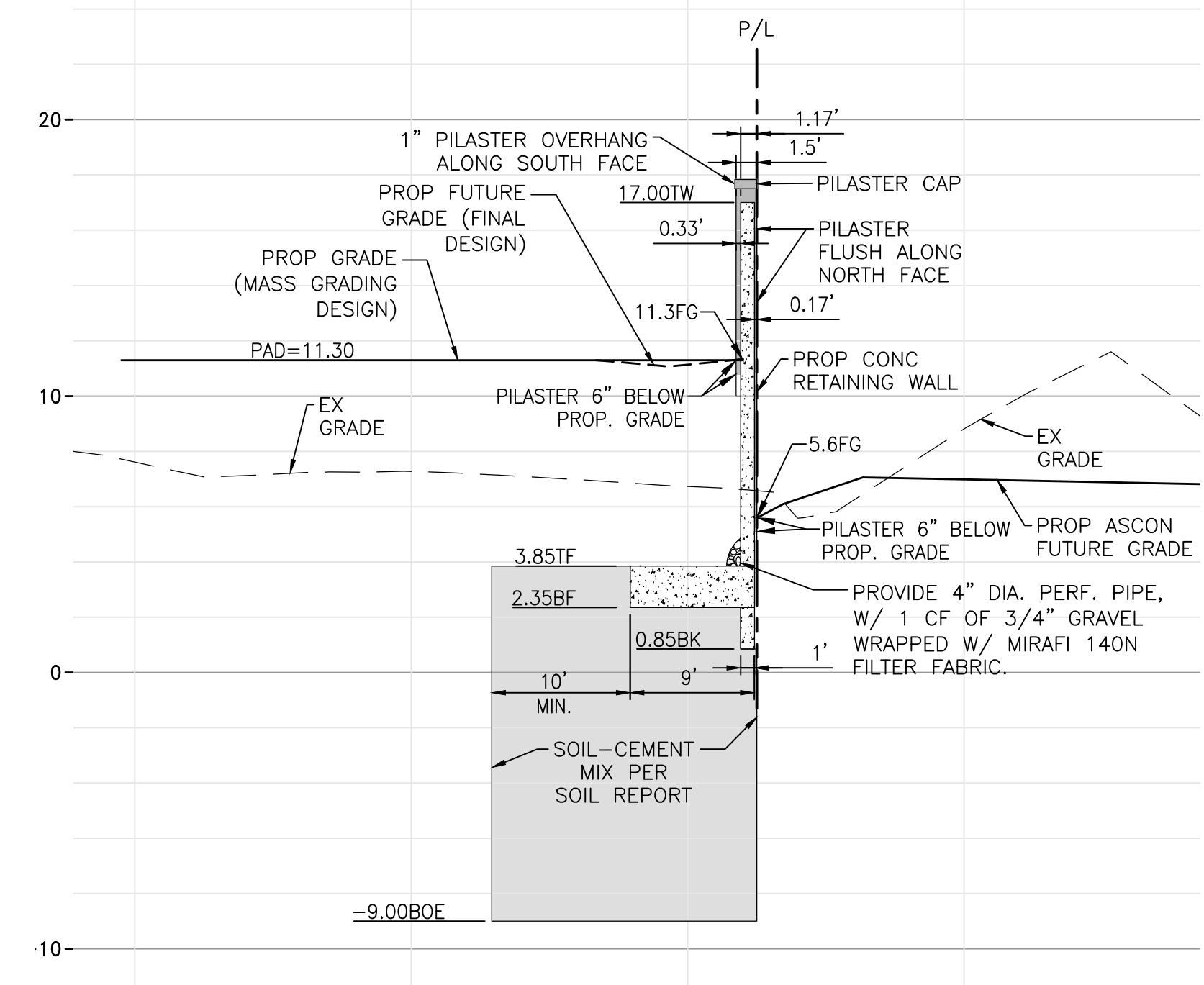
NORTHERN PROPERTY LINE
AT STA. 11+00.00 SCALE HORIZ: 1'=10' 3
VERT: 1'= 5'



NORTHERN PROPERTY LINE
AT STA. 14+00.00 SCALE HORIZ: 1'=10' 3
VERT: 1'= 5'



NORTHERN PROPERTY LINE
AT STA. 18+00.00 SCALE HORIZ: 1'=10' 3
VERT: 1'= 5'



NORTHERN PROPERTY LINE
AT STA. 21+00.00 SCALE HORIZ: 1'=10' 3
VERT: 1'= 5'



PREPARED UNDER THE SUPERVISION OF:
Debra Schales, PE
R.C.E. NO.: 43101
EXP. DATE: 03/31/26
REVIEWED BY:
DRAWN BY: MLL 12/02/2025
DESIGNED BY: MLL 12/02/2025
CHECKED BY: DVS 12/02/2025



RETAINING WALL PLANS
SECTIONS AND DETAILS
MAGNOLIA COAST
TRACT 19331
PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001

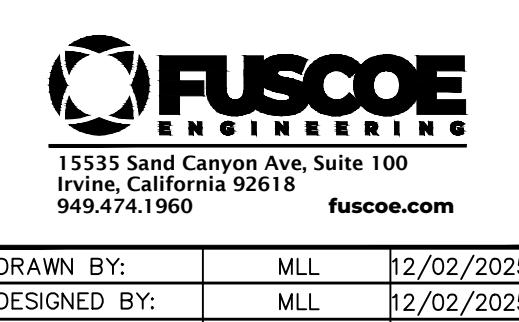
TR 19331 L25-060
SHEET NO. 3
TOTAL SHEETS 6



REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

REFERENCES



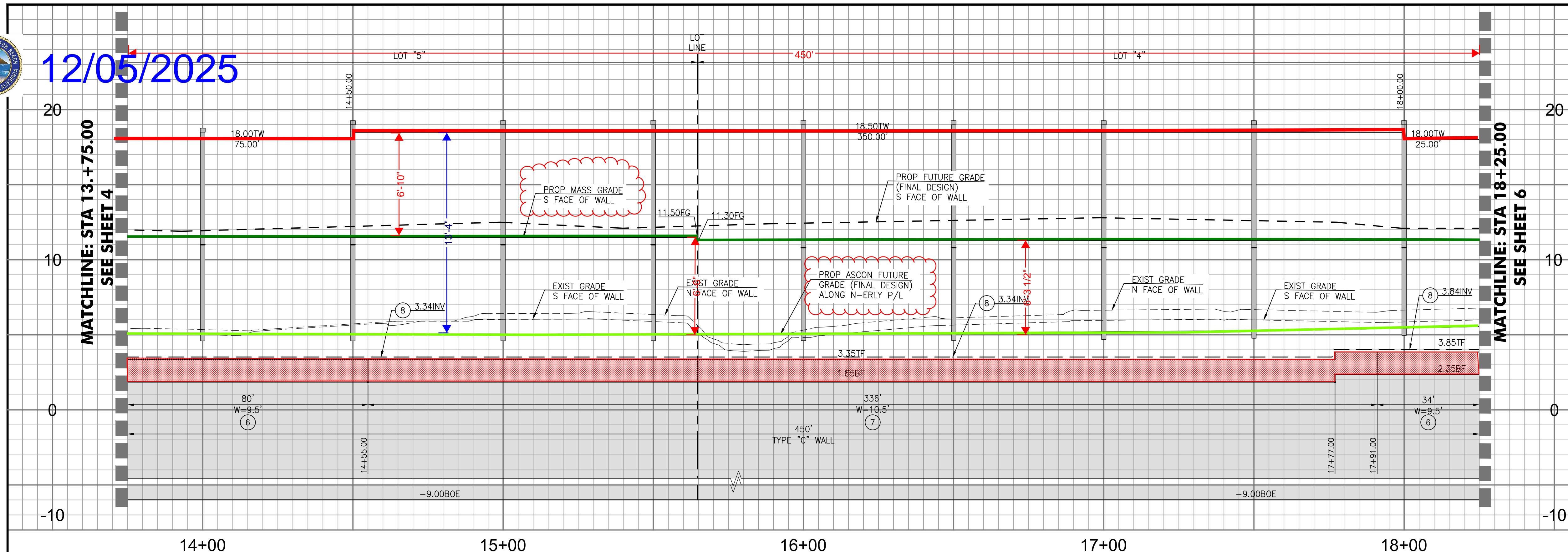
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Irvine, California 92618
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CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS



12/05/2025



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MATCHLINE: STA 13+75.00

SEE SHEET 4

MATCHLINE: STA 18+25.00

SEE SHEET 6

NOTE

(*) TTM PAD SHOWN FOR REFERENCE ONLY



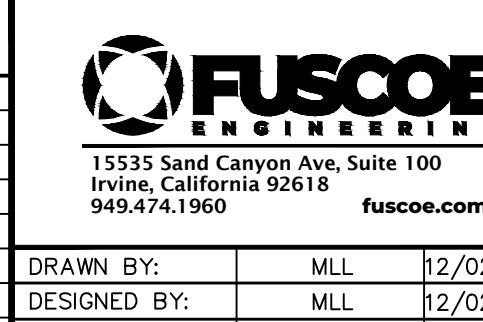
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TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

REFERENCES



PREPARED UNDER THE SUPERVISION OF:
 DEBRA SCHALES, PE
 R.C.E. NO. 43101 EXP. DATE: 03/31/26
 REVIEWED BY:
 HUNTINGTON BEACH DEPT. OF PUBLIC WORKS

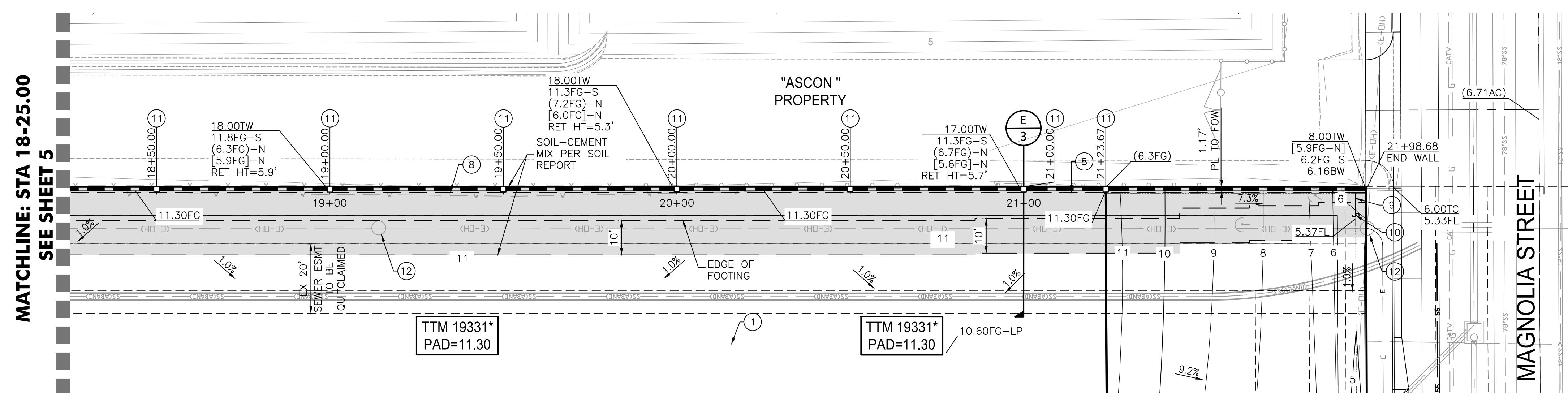
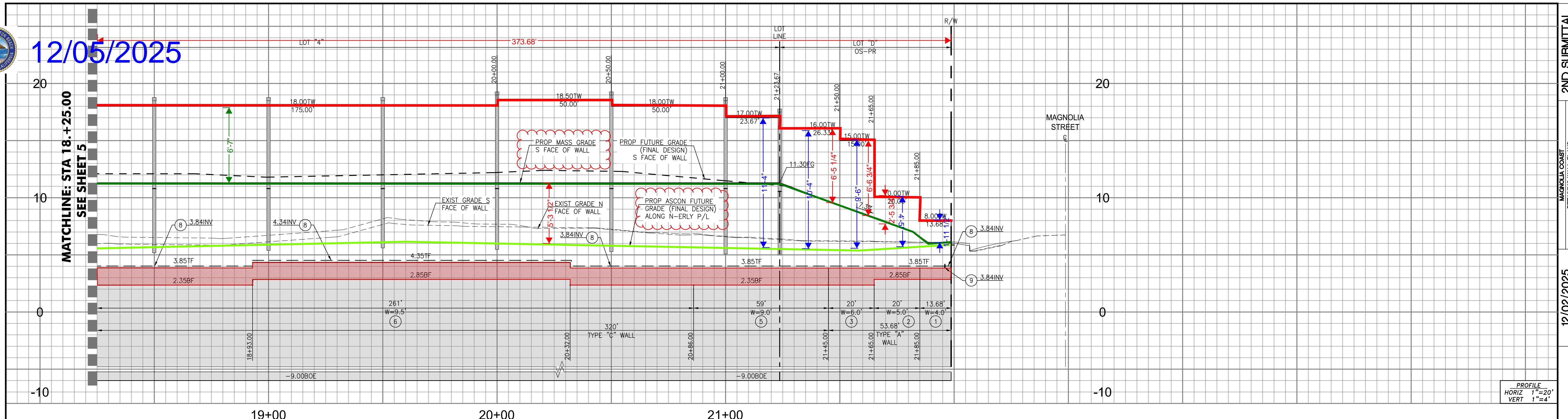


RETAINING WALL PLANS
 RETAINING WALL PLAN & PROFILE
 MAGNOLIA COAST
 TRACT 19331
 PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001

TR 19331 L25-060
 SHEET NO. 5
 TOTAL SHEETS 6



12/05/2025



RETAINING WALL CONSTRUCTION NOTES

- ① CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 3'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ② CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 4'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ③ CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 6'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ⑤ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 8'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ⑥ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ⑧ INSTALL 4" DIA. PERFORATED PIPE, W/ 1 CF OF 3/4" GRAVEL WRAPPED W/ MIRAFI 140N FILTER FABRIC.
- ⑨ INSTALL 4" DIA. PVC DRAIN PIPE.
- ⑩ POINT OF CONNECTION TO AREA DRAIN SYSTEM. SEE FUTURE ONSITE STORM DRAIN PLANS.
- ⑪ CONSTRUCT 18" SQUARE POUR IN PLACE PILASTER WITH RETAINING WALL PER DETAIL ON SECTIONS ON SHEET 3. COLOR & FINISH PER LANDSCAPE PLANS (OMEGA WHITE STUCCO W/ NATURAL GRAY CAP & PILASTER VENEER)
- ⑫ EXISTING POWER POLE TO BE PROTECTED IN PLACE TO BE COORDINATED WITH SCE

NOTE

(*) TTM PAD SHOWN FOR REFERENCE ONLY



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REFERENCES



PREPARED UNDER THE SUPERVISION OF:	
<u>Debra N. Schales</u>	
DEBRA SCHALES, PE	
R.C.E. NO.: <u>43101</u>	EXP. DATE: <u>03/31/20</u>
REVIEWED BY:	
<u> </u>	
HUNTINGTON BEACH DEPT. OF PUBLIC WORK	



RETAINING WALL PLANS

RETAINING WALL PLAN & PROFILE

TR 19331 | 25-060

FILE SHEET N
6
TOTAL SHEETS