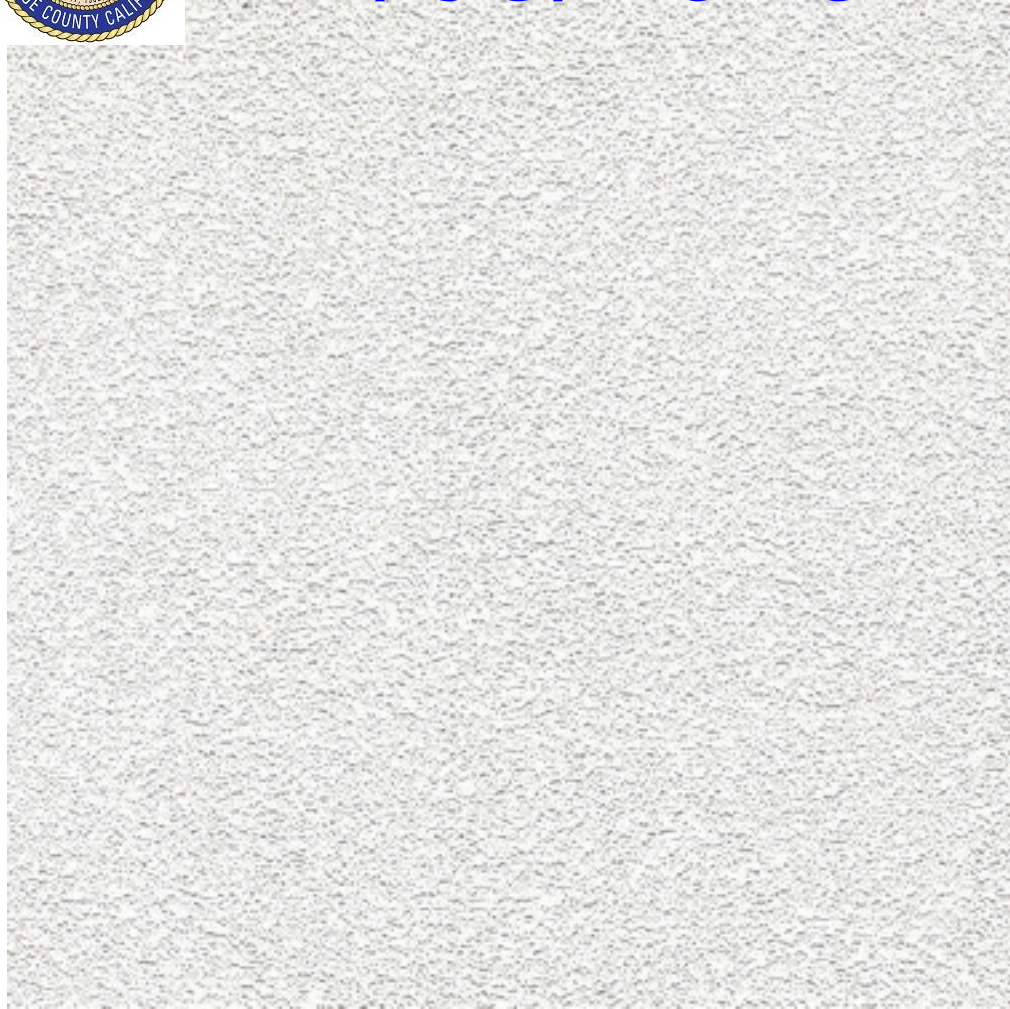




12/05/2025



STUCCO - OMEGA WHITE
OMEGA



NATURAL GRAY CAP
ORCO



PILASTERS VENEER
CRAFT WAREHOUSE BRICK
PEBBLECREEK BY CREATIVE MINES

SHOPOFF

RETAINING WALL MATERIALS BOARD



12/05/2025

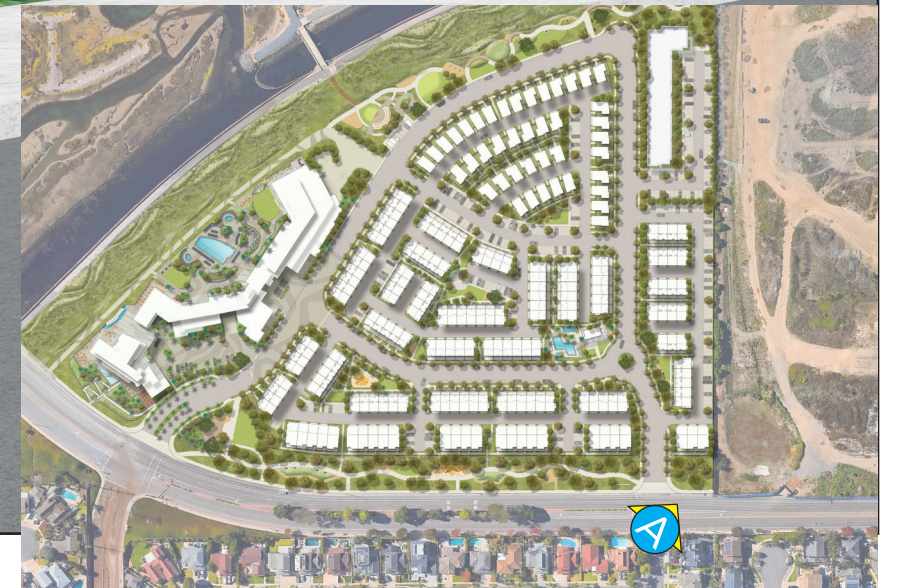
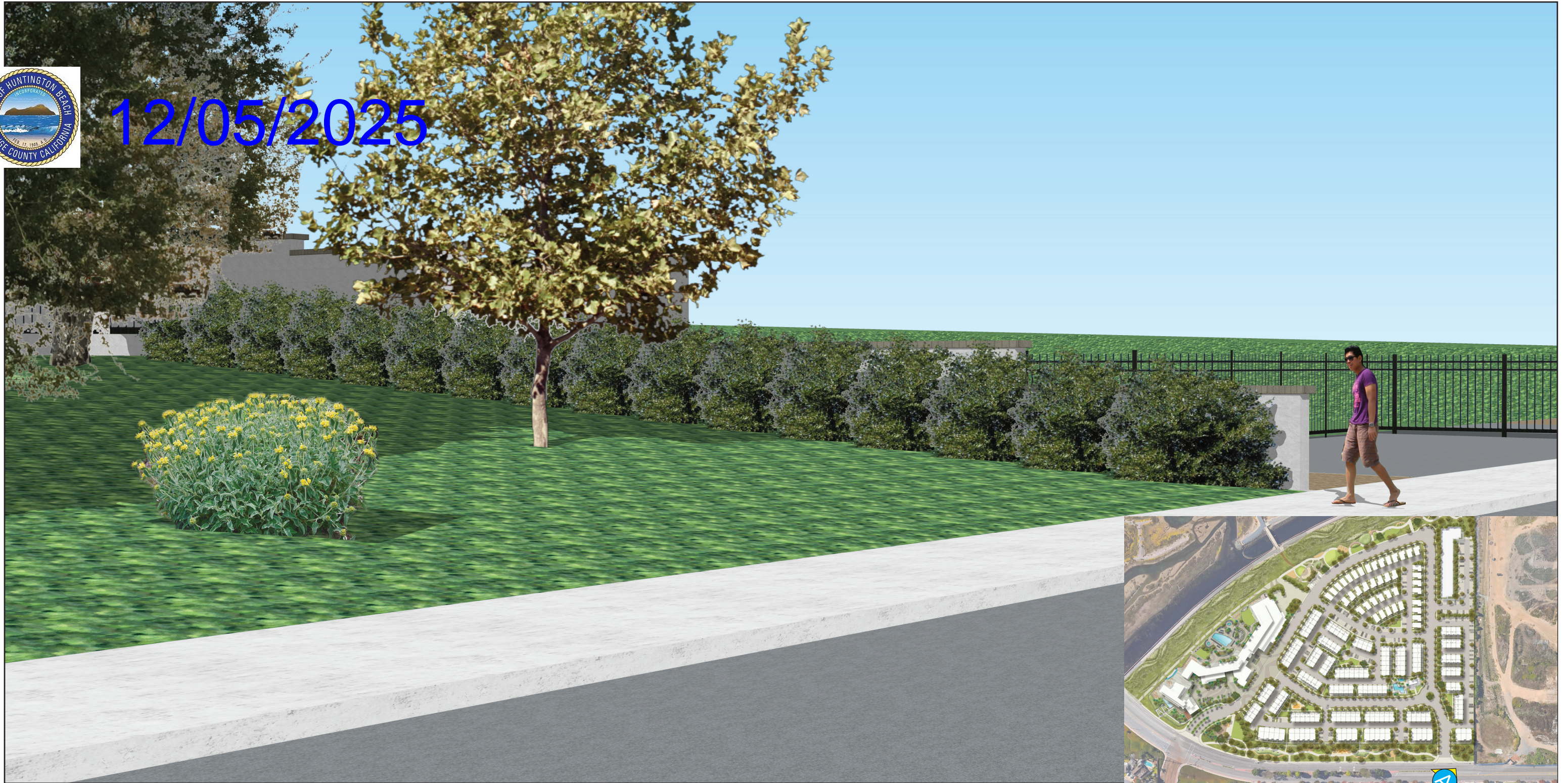


SHOPOFF

RETAINING WALL VIEW SIMS



12/05/2025



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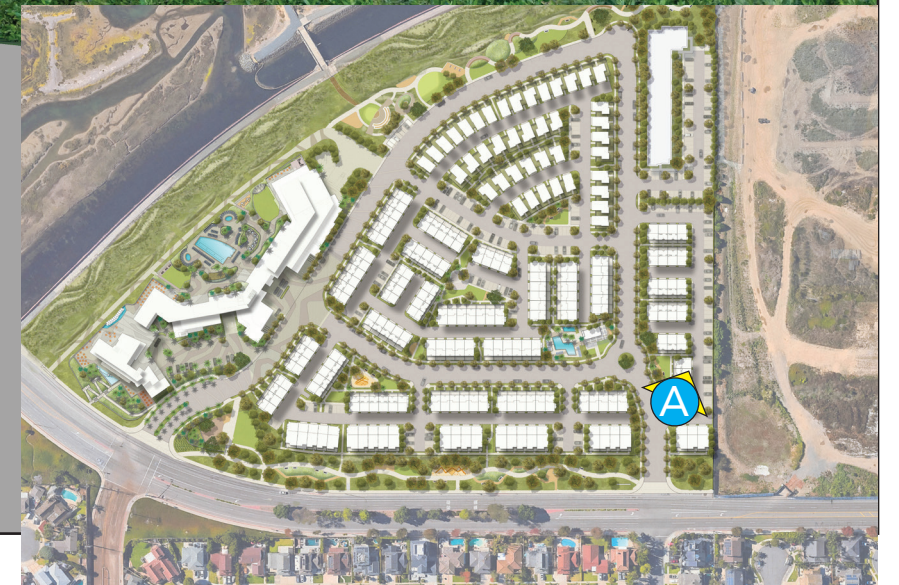
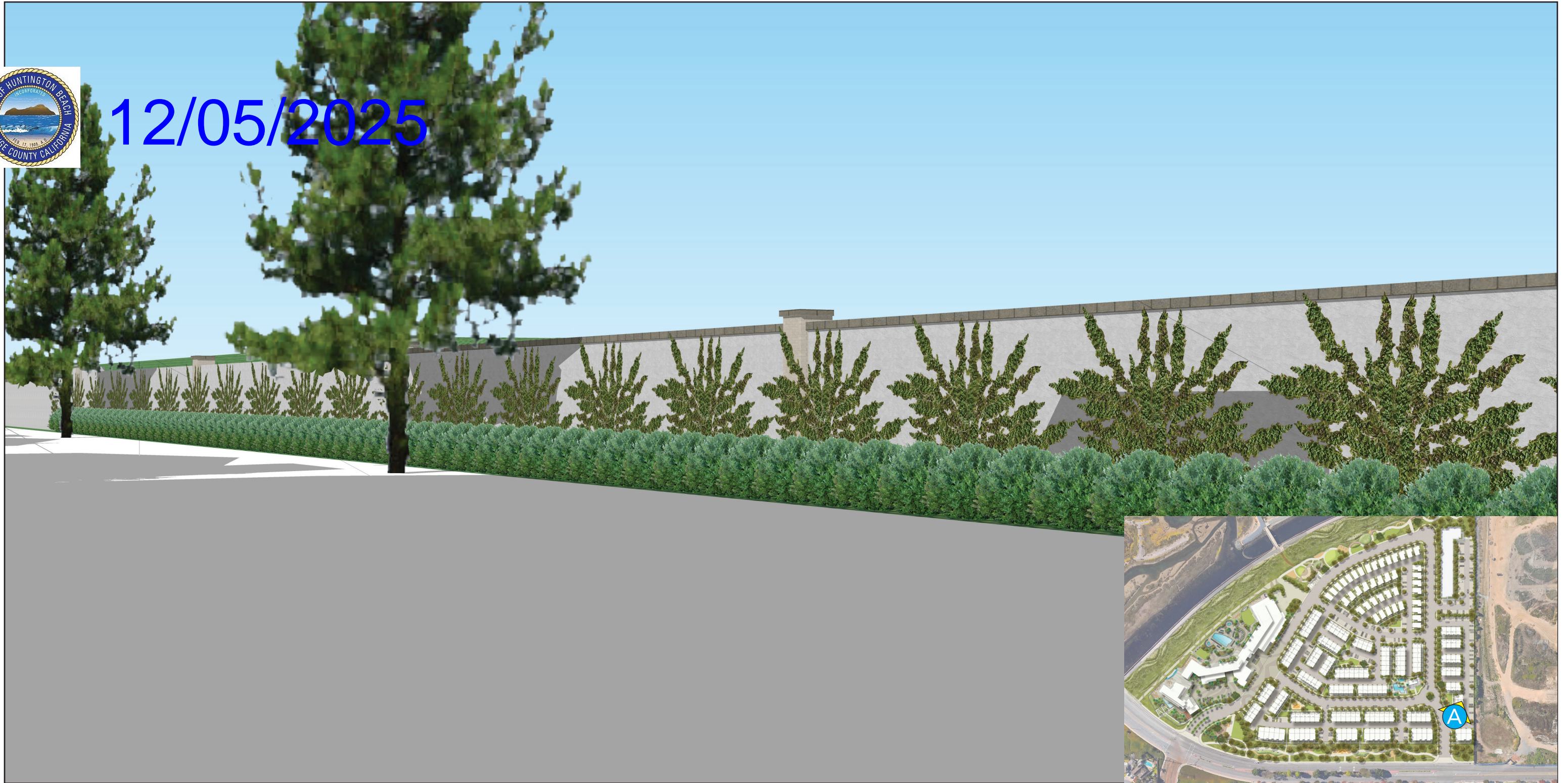
RETAINING WALL VIEW SIMS

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LANDSCAPE ARCHITECTURE
18301 VON KARMAN AVE., SUITE 760
IRVINE, CA 92612
O 949.250.4822 www.landconcern.com

MAGNOLIA COAST
HUNTINGTON BEACH, CA



12/05/2025



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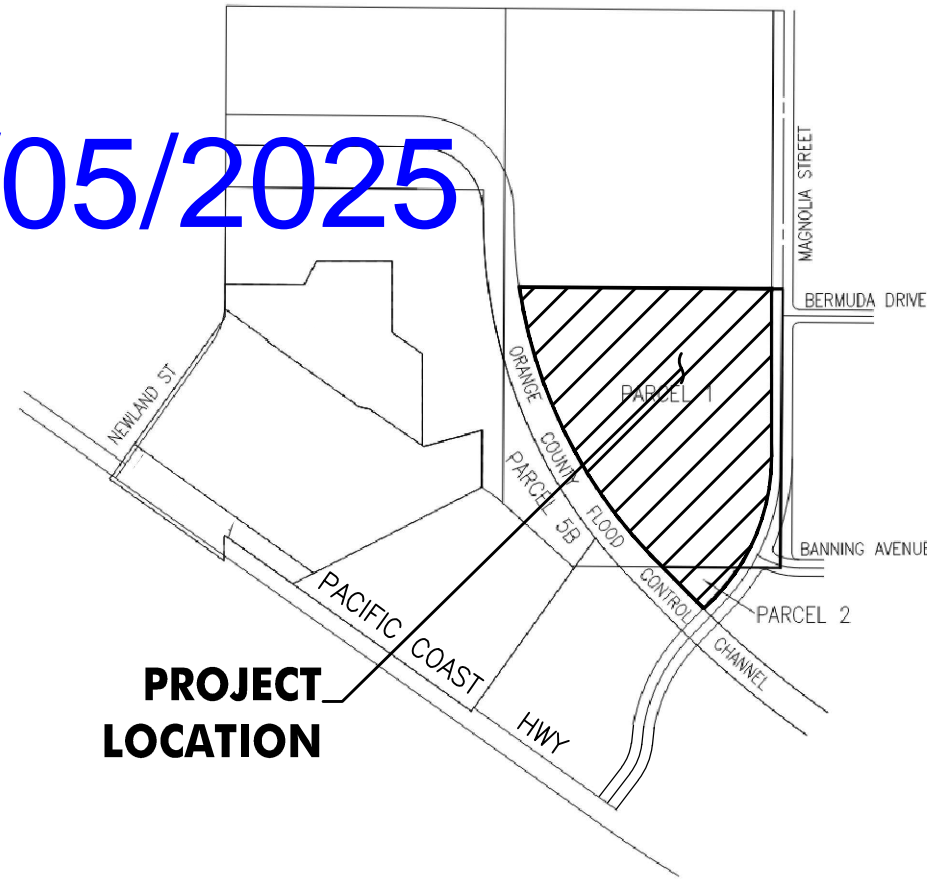
RETAINING WALL VIEW SIMS

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O 949.250.4822 www.landconcern.com

MAGNOLIA COAST
HUNTINGTON BEACH, CA



12/05/2025



VICINITY MAP

GRADING GENERAL NOTES

N.T.S.

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HUNTINGTON BEACH REQUIREMENTS.
- CITY OF HUNTINGTON BEACH GRADING INSPECTOR IS TO BE NOTIFIED 48 HOURS PRIOR TO ANY GRADING AT THE DEPARTMENT OF PUBLIC WORKS, (714) 536-5431.
- DUST SHALL BE CONTROLLED BY WATERING.
- REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING. INSPECTION IS REQUIRED.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- IMPORT SOIL SHALL BE A GRANULAR MATERIAL WITH LOW EXPANSION POTENTIAL AND SHALL BE COMPACTED TO AT LEAST 90%.
- THE SUBGRADE OF THE DRIVEWAY AND PARKING AREAS SHALL BE SCARIFIED, BROUGHT TO OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90%. CALL FOR CITY INSPECTION PRIOR TO PLACING CLASS 2 AGGREGATE BASE AND CASTING OF CONCRETE GUTTERS.
- A SOIL COMPACTION REPORT SHALL CERTIFY COMPACTION WITHIN BUILDING AND PAVING AREAS.
- A LICENSED ENGINEER, OR A LICENSED LAND SURVEYOR, SHALL CERTIFY LINE AND GRADE OF FINISH FLOOR FORMS.
- THE SOILS ENGINEER SHALL CERTIFY THAT ALL GRADING HAS BEEN COMPLETED PER THE SOILS REPORT PRIOR TO FINAL RELEASE.
- THE ENGINEER OR ARCHITECT OF RECORD SHALL CERTIFY THAT GRADES FOR ALL HARDSCAPE AND DRAINAGE DEVICES HAVE BEEN CONSTRUCTED PER APPROVED GRADING PLAN PRIOR TO FINAL RELEASE.
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH APPROVED SOILS REPORT NOTED HEREIN.
- STANDARD PLAN 100, SHEETS 1, 2, 3 AND 4 ARE INCORPORATED BY REFERENCE.
- THE SOILS ENGINEER AND CIVIL ENGINEER SHALL NOT BE SUBSTITUTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
- A TRAFFIC CONTROL PLAN FOR CONSTRUCTION ACTIVITIES ON THE CITY STREETS AND SIDEWALKS MUST BE PREPARED AND SUBMITTED TO THE CITY OF HUNTINGTON BEACH FOR REVIEW AND APPROVAL. THIS TRAFFIC CONTROL PLAN MUST CONFORM TO THE CITY OF HUNTINGTON BEACH CONSTRUCTION TRAFFIC CONTROL PLAN PREPARATION GUIDELINES, JULY 1998 EDITION. THIS TRAFFIC CONTROL PLAN MUST BE APPROVED BY THE CITY OF HUNTINGTON BEACH PRIOR TO THE ISSUANCE OF AN ENCROACHMENT PERMIT.
- STANDARD PLAN 600 GENERAL NOTES ARE INCORPORATED BY REFERENCE.
- ANY DAMAGE TO THE STREET LIGHT SYSTEM AND/OR TRAFFIC SIGNAL SYSTEM SHALL BE REPAIRED AND CONDUIT AND CONDUCTORS SHALL BE REPLACED PER CURRENT HUNTINGTON BEACH STANDARD PLANS AND STANDARD SPECIAL PROVISIONS FOR THE CONSTRUCTION OF TRAFFIC SIGNALS AND LIGHTING SYSTEMS IN THE CITY OF HUNTINGTON BEACH 2001 EDITION.
- REFER TO LANDSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION AND SLEEVING THAT MAY BE REQUIRED.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES ETC., SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE PUBLIC RECORDS. THOSE SHOWN ON THE RECORDS EXAMINED, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF TUSTIN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF OWNER, ENGINEER, OR THE CITY OF TUSTIN.

THE CONTRACTOR AND ALL ITS SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS".

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND OWNERS OF ANY DISCOVERED UNMAPPED UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

GENERAL NOTES

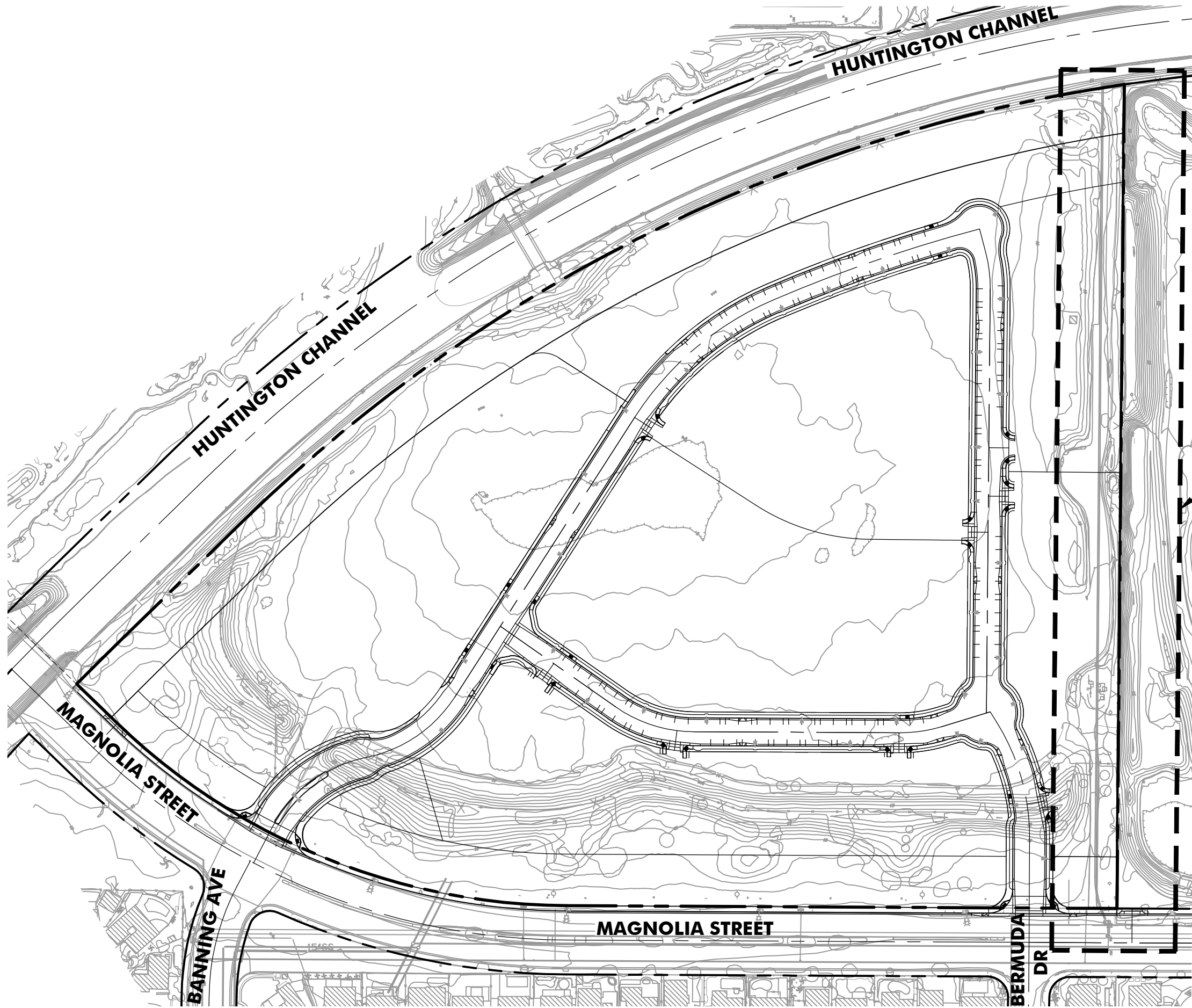
EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID, SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5)

APPLICABLE CODES

HUNTINGTON BEACH MUNICIPAL CODE SECTION 17.05
A CITY OF HUNTINGTON BEACH DEPARTMENT OF PUBLIC WORKS GRADING PLAN AND PERMIT IS REQUIRED FOR (BUT IS NOT LIMITED TO) THE FOLLOWING: GROUND LEVEL ADDITIONS OF 650 SQUARE FEET OR GREATER, EXCAVATIONS EXCEEDING 50 CUBIC YARDS AND PAVEMENT CONSTRUCTION EXCEEDING 3,000 SQUARE FEET. THESE REQUIREMENTS APPLY EVEN IF THESE THRESHOLDS ARE TRIGGERED AS A RESULT OF ADDED SCOPE OF WORK AFTER ORIGINAL BUILDING PERMITS ARE ISSUED. REFER TO THE HUNTINGTON BEACH MUNICIPAL CODE SECTION 17.05 FOR ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS. CONTACT THE PUBLIC WORKS DEPARTMENT AT (714) 536-5431 FOR FURTHER INFORMATION.

HUNTINGTON BEACH ZONING SUBDIVISION ORDINANCE SECTION 230.84
PUBLIC IMPROVEMENTS AND DEDICATIONS MAY BE REQUIRED FOR PROJECTS EXCEEDING A THIRD OF THE VALUE OF THE EXISTING BUILDING, EVEN IF THIS THRESHOLD IS TRIGGERED AS A RESULT OF ADDED SCOPE OF WORK AFTER ORIGINAL BUILDING PERMITS ARE ISSUED. PUBLIC IMPROVEMENTS MAY INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING: REPLACEMENT OR CONSTRUCTION OF CURBS, GUTTERS, SIDEWALKS, ACCESSIBILITY RAMPS, STREET AND/OR ALLEY PAVING, SEWER LATERALS, WATER METERS AND LATERALS, DRIVEWAY APRONS, ETC. REFER TO THE HUNTINGTON BEACH ZONING AND SUBDIVISION ORDINANCE SECTION 230.84 FOR ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS. CONTACT THE PUBLIC WORKS DEPARTMENT AT (714) 536-5431 FOR FURTHER INFORMATION.

CITY OF HUNTINGTON BEACH RETAINING WALL PLANS MAGNOLIA COAST TRACT 19331



LOCATION MAP

N.T.S.

SHEET INDEX

SHEET TITLE	NO.
TITLE SHEET	1
INDEX MAP & CONSTRUCTION NOTES	2
SECTIONS AND DETAILS	3
RETAINING WALL PLAN & PROFILE	4-6

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: (APN: 114-150-36)

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13,TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 51 PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE EASTERLY LINE OF THAT CERTAIN STRIP OF LAND 145.00 FEET WIDE, DESCRIBED AND DESIGNATED AS PARCEL 01-104 IN THE FINAL ORDER OF CONDEMNATION HAD IN CASE NO. 80955 OF THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR THE COUNTY OF ORANGE, A CERTIFIED COPY WHICH WAS RECORDED SEPTEMBER 8, 1961 IN BOOK 5842 PAGE 7 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM: "ALL OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES IN AND UNDER OR WHICH MAY BE PRODUCED FROM THAT CERTAIN PORTION OF THE HEREINABOVE DESCRIBED AS PARCELS 1 AND 2 TOGETHER WITH THE RIGHT TO USE THOSE PORTIONS ONLY OF SAID LANDS WHICH UNDERLIE A PLANE PARALLEL TO AND FIVE HUNDRED (500) FEET BELOW THE PRESENT SURFACE OF SAID LANDS, FOR THE PURPOSE OF PROSPECTING FOR, DEVELOPING AND/OR EXTRACTING SAID OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES FROM SAID LANDS BY MEANS OF WELLS DRILLED INTO SAID SUBSURFACE OF SAID LAND FROM DRILL SITES LOCATED ON OTHER LAND, IT BEING EXPRESSLY UNDERSTOOD AND AGREED THAT SAID GRANTOR, THEIR SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO ENTER UPON THE SURFACE OF SAID LANDS OR TO USE SAID LANDS OR ANY PORTION THEREOF TO SAID DEPTH OF FIVE HUNDRED (500) FEET, FOR ANY PURPOSE WHATSOEVER", AS RESERVED IN THE DEED FROM DOROTHY CONSTANCE SMITH RECORDED JULY 30, 1962 IN BOOK 6194 PAGE 470 OF OFFICIAL RECORDS.

PARCEL 2: (APN: 114-481-32)

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13,TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 51 PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE EASTERLY LINE OF THAT CERTAIN STRIP OF LAND 145.00 FEET WIDE, DESCRIBED AND DESIGNATED AS PARCEL 01-104 IN THE FINAL ORDER OF CONDEMNATION HAD IN CASE NO. 80955 OF THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR THE COUNTY OF ORANGE, A CERTIFIED COPY WHICH WAS RECORDED SEPTEMBER 8, 1961 IN BOOK 5842 PAGE 7 OF OFFICIAL RECORDS.

EXCEPT THEREFROM THE "SEVERED PROPERTY" AS DESCRIBED IN PART B OF THE GRANT DEED FROM THE SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, RECORDED AUGUST 4, 2003 AS INSTRUMENT NO. 2003000931976 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM: "ALL OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES IN AND UNDER OR WHICH MAY BE PRODUCED FROM THAT CERTAIN PORTION OF THE HEREINABOVE DESCRIBED AS PARCELS 1 AND 2 TOGETHER WITH THE RIGHT TO USE THOSE PORTIONS ONLY OF SAID LANDS WHICH UNDERLIE A PLANE PARALLEL TO AND FIVE HUNDRED (500) FEET BELOW THE PRESENT SURFACE OF SAID LANDS, FOR THE PURPOSE OF PROSPECTING FOR, DEVELOPING AND/OR EXTRACTING SAID OIL, GAS, PETROLEUM AND OTHER MINERAL OR HYDROCARBON SUBSTANCES FROM SAID LANDS BY MEANS OF WELLS DRILLED INTO SAID SUBSURFACE OF SAID LAND FROM DRILL SITES LOCATED ON OTHER LAND, IT BEING EXPRESSLY UNDERSTOOD AND AGREED THAT SAID GRANTOR, THEIR SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO ENTER UPON THE SURFACE OF SAID LANDS OR TO USE SAID LANDS OR ANY PORTION THEREOF TO SAID DEPTH OF FIVE HUNDRED (500) FEET, FOR ANY PURPOSE WHATSOEVER", AS RESERVED IN THE DEED FROM DOROTHY CONSTANCE SMITH RECORDED JULY 30, 1962 IN BOOK 6194 PAGE 470 OF OFFICIAL RECORDS.

THAT PORTION OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 24, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 51 PAGE 14, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF SAID FRACTIONAL SECTION 24 WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT'S "HUNTINGTON BEACH CHANNEL" AS DESCRIBED IN THE FINAL ORDER OF CONDEMNATION RECORDED IN BOOK 5591 PAGE 500,LET SEQ. OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE NORTH 89° 32' 40" EAST ALONG SAID NORTHERLY LINE OF FRACTIONAL SECTION 24 A DISTANCE OF 360.17 FEET TO THE SOUTHWESTERLY CORNER OF THAT CERTAIN REAL PROPERTY DESCRIBED AND DESIGNATED AS "PARCEL TWO" IN THAT CERTAIN ROAD EASEMENT TO THE CITY OF HUNTINGTON BEACH RECORDED OCTOBER 13, 1967 IN BOOK 8418 PAGE 439 OF SAID OFFICIAL RECORDS, SAID SOUTHWESTERLY CORNER BEING ALSO A POINT IN A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 950.00 FEET FROM WHICH POINT A RADIAL LINE OF SAID CURVE BEARS NORTH 57° 33' 35" WEST; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 10° 37' 14" AN ARC DISTANCE OF 176.10 FEET; THENCE TANGENT TO SAID LAST MENTIONED CURVE 80.37 FEET TO A POINT IN A CURVE IN SAID NORTHEASTERLY RIGHT OF WAY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT'S "HUNTINGTON BEACH CHANNEL", SAID LAST MENTIONED CURVE BEING CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 4,717.50 FEET FROM WHICH POINT A RADIAL LINE OF SAID CURVE BEARS NORTH 43° 40' 03" EAST; THENCE NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE, THROUGH A CENTRAL ANGLE OF 1° 10' 00" AN ARC DISTANCE OF 96.06 FEET; THENCE TANGENT TO SAID CURVE NORTH 45° 09' 57" WEST 181.36 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THE "SEVERED PROPERTY" AS DESCRIBED IN PART B OF THE GRANT DEED FROM THE SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, RECORDED AUGUST 4, 2003 AS INSTRUMENT NO. 2003000931976 OF OFFICIAL RECORDS.

FLOOD ZONE

THE SUBJECT PROPERTY LIES WITHIN "ZONE X" BASED ON THE FLOOD ELEVATIONS DETERMINED AS SHOWN ON THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NUMBER 06059C0263J - MAP REVISED DECEMBER 3, 2009 - AND REVISED BY LETTER OF MEASUREMENT REVISION DECEMBER 15, 2009 AS PER THE CITY OF HUNTINGTON BEACH WEBSITE (NO. - 065034-0263-J). ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK

BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF MAGNOLIA STREET BEING NORTH 00°17'10" WEST AS SHOWN ON RECORD OF SURVEY 2005-1075 FILED IN BOOK 232 PAGES 1-10, OF RECORDS OF SURVEY, RECORDS OF ORANGE COUNTY, CALIFORNIA

BASIS OF BEARINGS

DESIGNATION: 16-150-74; ELEVATION: 13.553 FT (NAVD86)

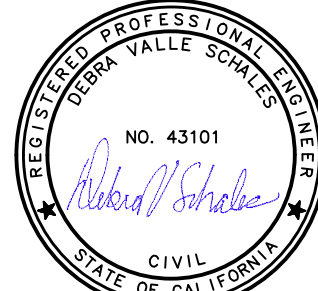
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PROJECT ADDRESS

21845 MAGNOLIA ST, HUNTINGTON BEACH, CALIFORNIA 92646

ASSESSOR'S PARCEL NUMBER

114-152-09; 114-481-32



WDID NO.

xxxxxxxxxxxxxxxxxxxxxx

TR 19331

L25-060

RETAINING WALL PLANS

TITLE SHEET

MAGNOLIA COAST
TRACT 19331

PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001

SHEET NO.

1

TOTAL

SHEETS

6



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REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

REFERENCES



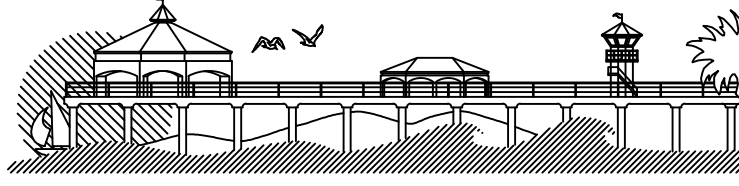
DRAWN BY:	MLL	12/02/2025
DESIGNED BY:	MLL	12/02/2025
CHECKED BY:	DVS	12/02/2025

PREPARED UNDER THE SUPERVISION OF:

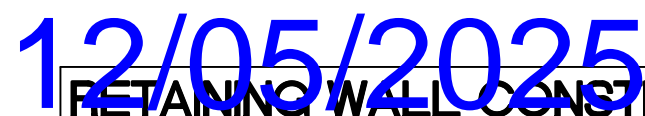
DEBRA SCHALES, PE
R.C.E. NO.: 43101 EXP. DATE: 03/31/26

REVIEWED BY:

HUNTINGTON BEACH DEPT. OF PUBLIC WORKS

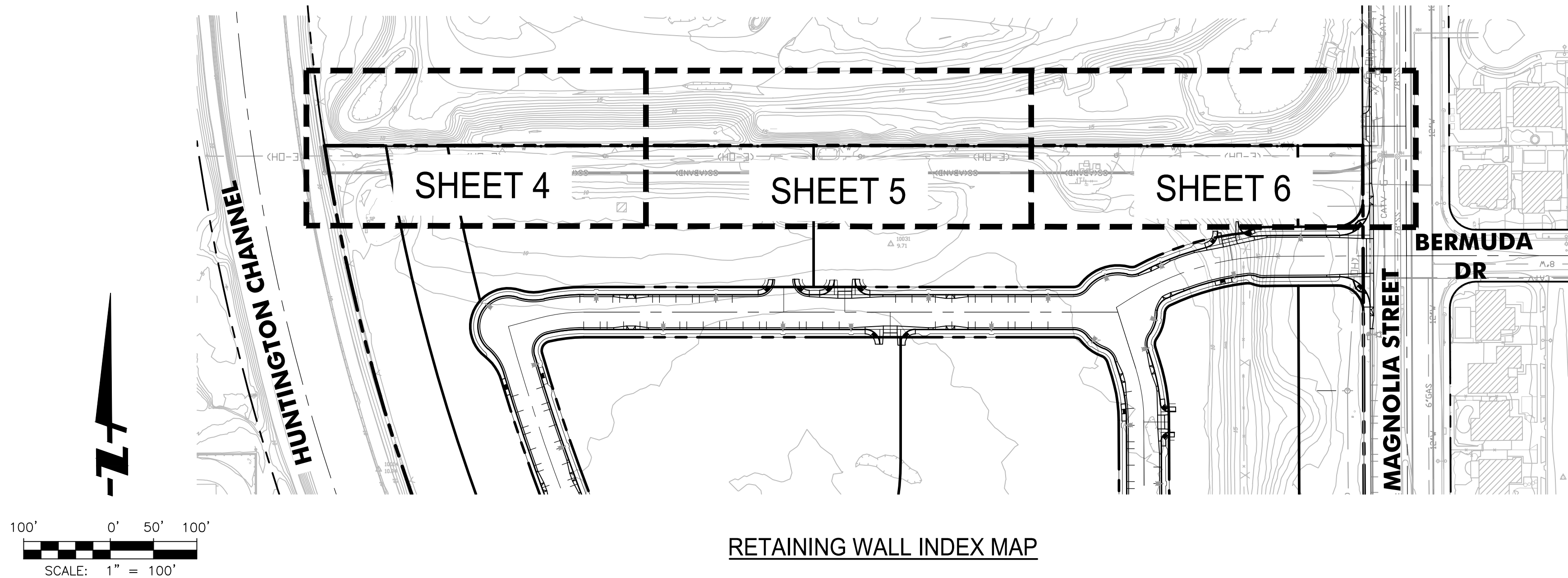
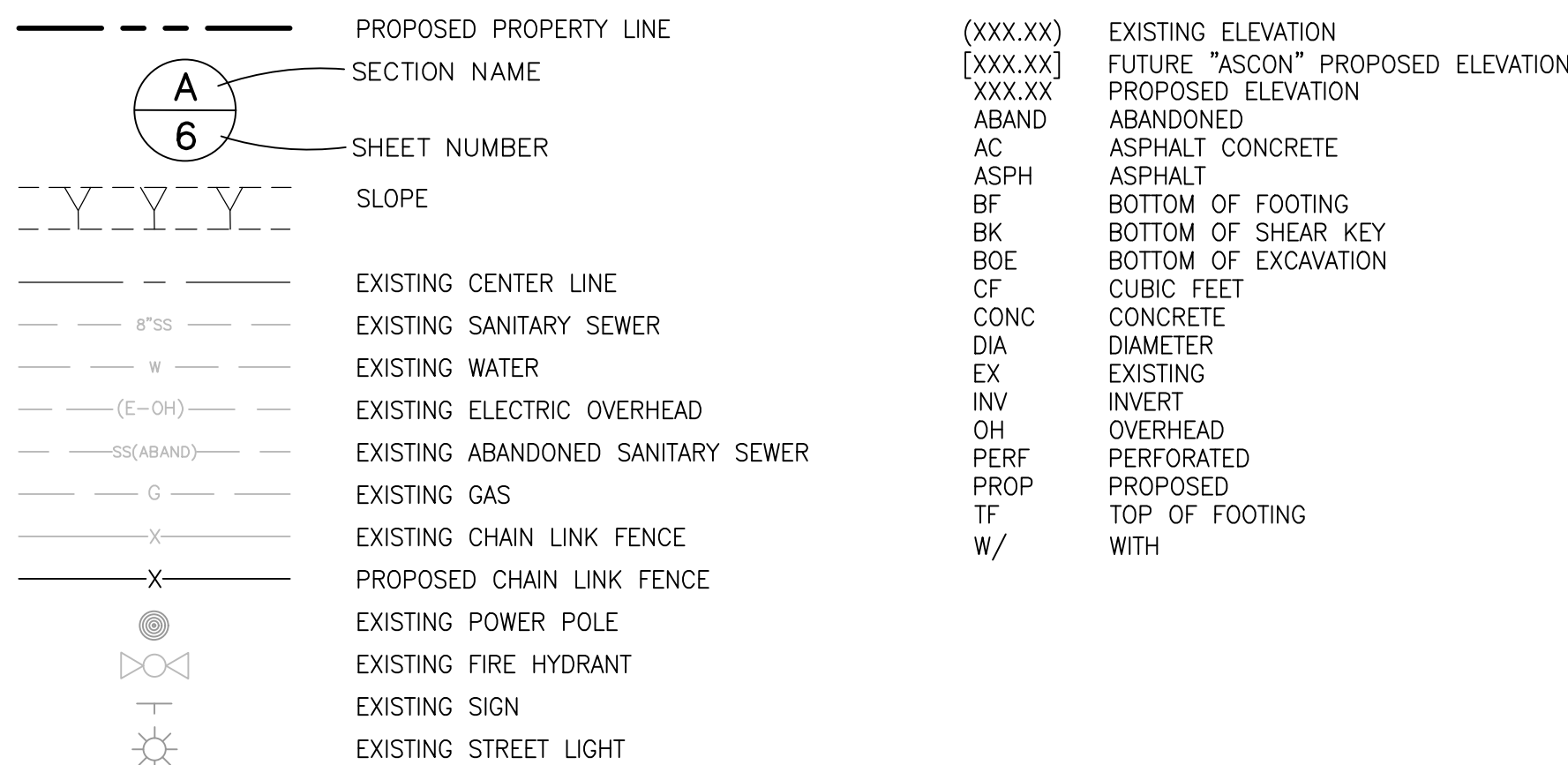


CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS



CN	DESCRIPTION	QTY	UNIT
①	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 3'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	620	SF
②	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 4'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	990	SF
③	CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 6'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	4,580	SF
④	CONSTRUCT CONCRETE RETAINING, WALL TYPE "B" W/ 11'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	7,180	SF
⑤	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 8'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	3,830	SF
⑥	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	30,025	SF
⑦	CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 10'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.	39,980	SF
⑧	INSTALL 4" DIA. PERFORATED PIPE, W/ 1 CF OF 3/4" GRAVEL WRAPPED W/ MIRAFI 140N FILTER FABRIC.	1,200	LF
⑨	INSTALL 4" DIA. PVC DRAIN PIPE.	125	LF
⑩	POINT OF CONNECTION TO AREA DRAIN SYSTEM. SEE FUTURE ONSITE STORM DRAIN PLANS.	2	EA
⑪	CONSTRUCT 18" SQUARE POUR IN PLACE PILASTER WITH RETAINING WALL PER DETAIL ON SECTIONS ON SHEET 3. COLOR & FINISH PER LANDSCAPE PLANS (OMEGA WHITE STUCCO W/ NATURAL GRAY CAP & PILASTER VENEER)	24	EA
⑫	EXISTING POWER POLE TO BE PROTECTED IN PLACE. TO BE COORDINATED WITH SCE.	5	EA

LEGEND & ABBREVIATIONS



TR 19331	L25-060
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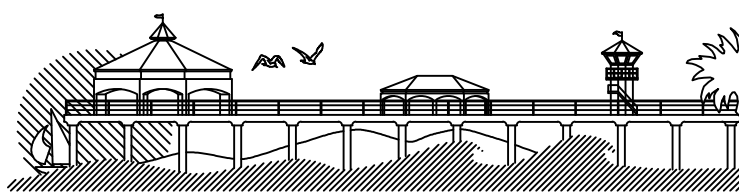


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DRAWN BY:	MLL	12/02/2025
DESIGNED BY:	MLL	12/02/2025
CHECKED BY:	DVS	12/02/2025

PREPARED UNDER THE SUPERVISION OF:
Debra Schales
 DEBRA SCHALES, PE
 R.C.E. NO.: 43101 EXP. DATE: 03/31/26
 REVIEWED BY:



CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS

RETAINING WALL PLANS

INDEX MAP AND CONSTRUCTION NOTES

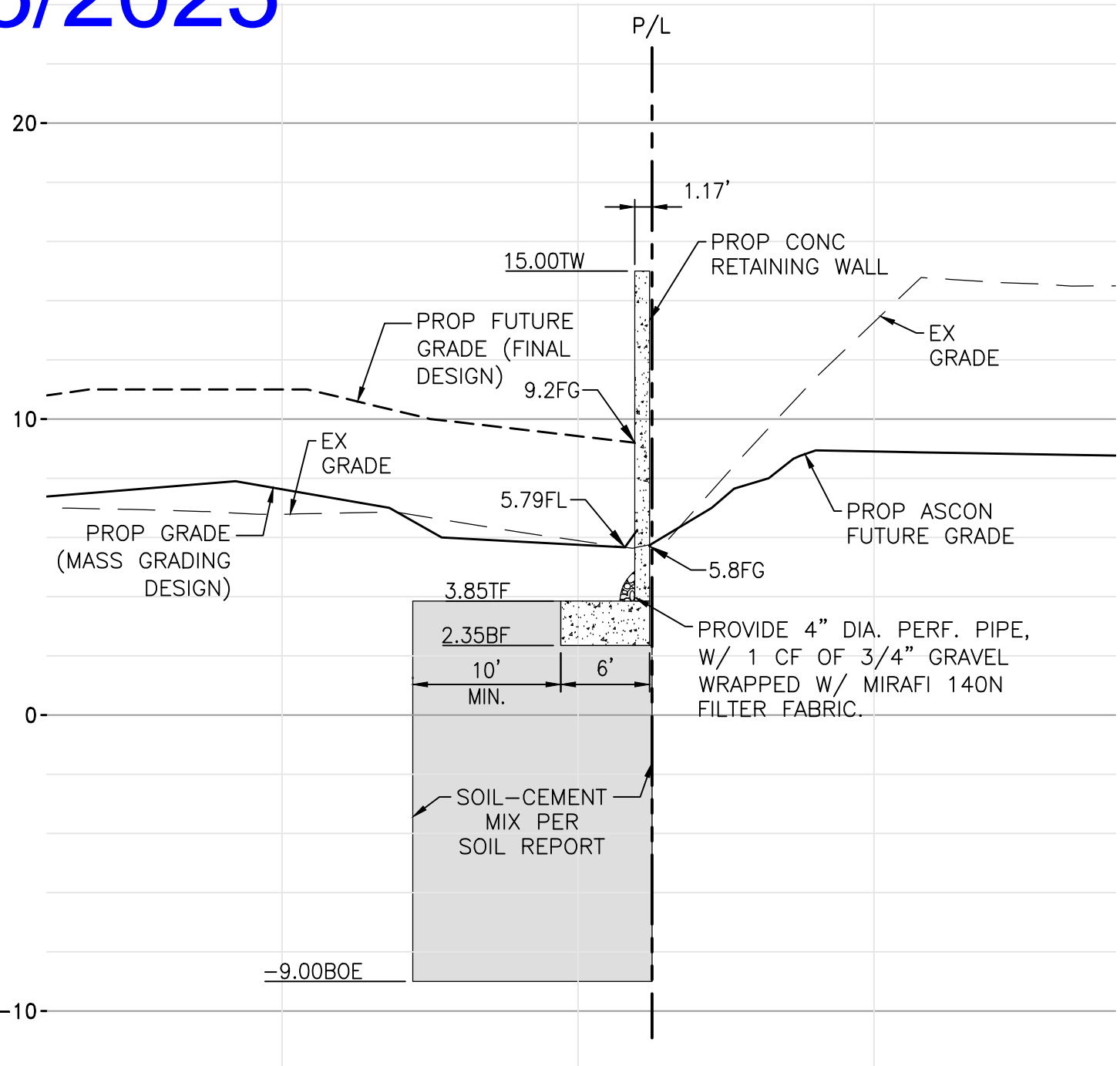
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TRACT 19331

PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001

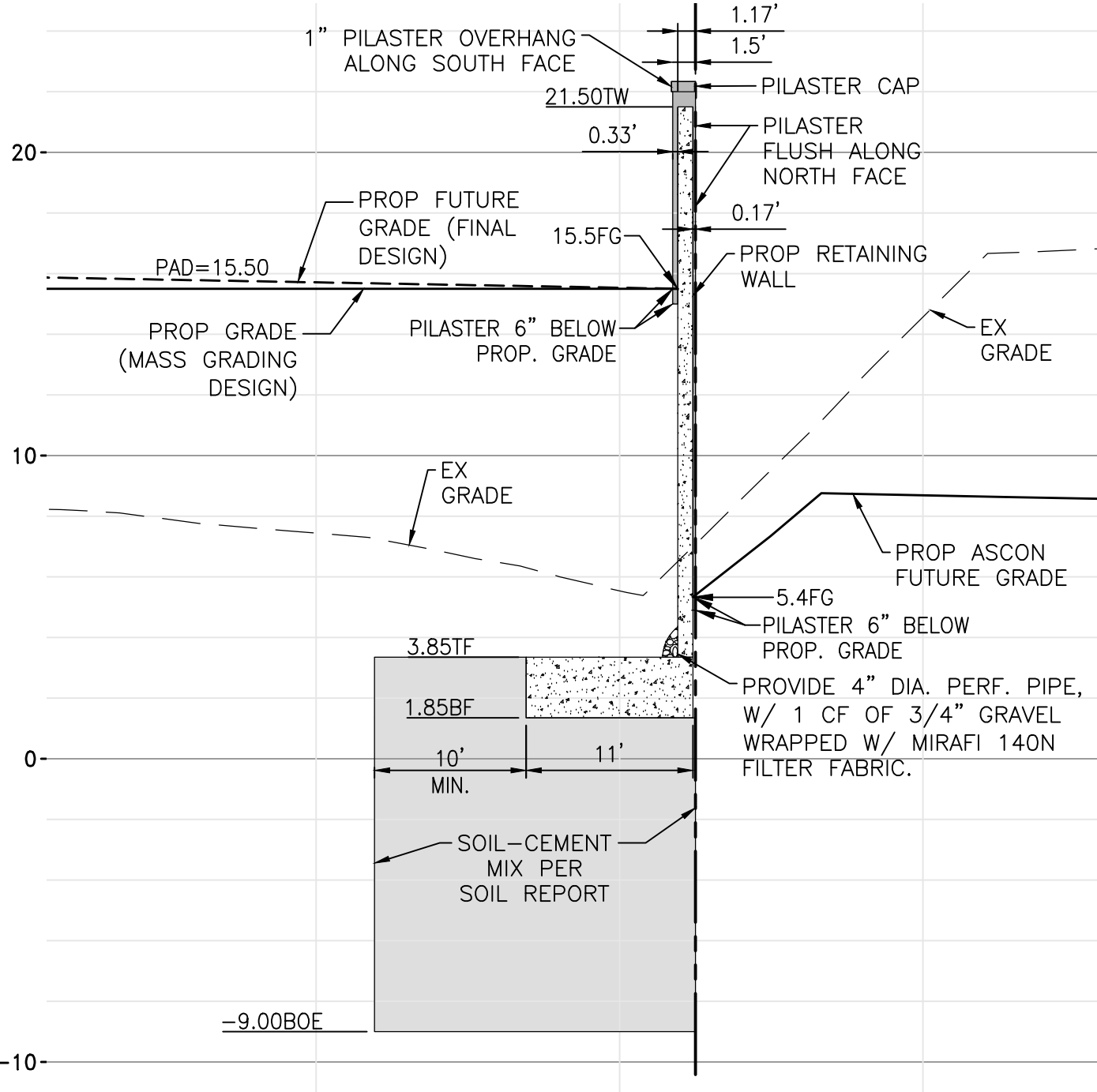
SHEET NO.
2
TOTAL
SHEETS
6



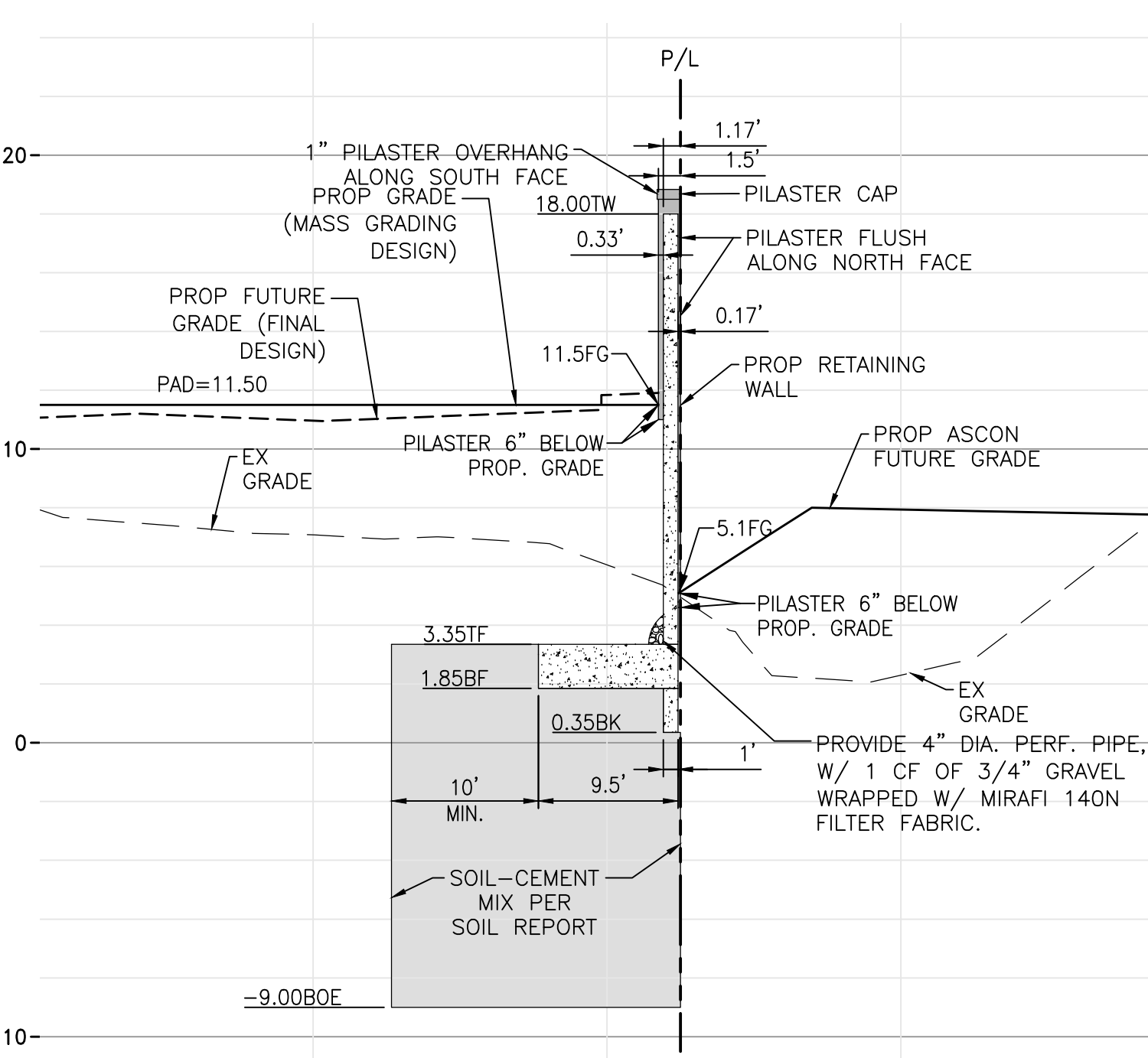
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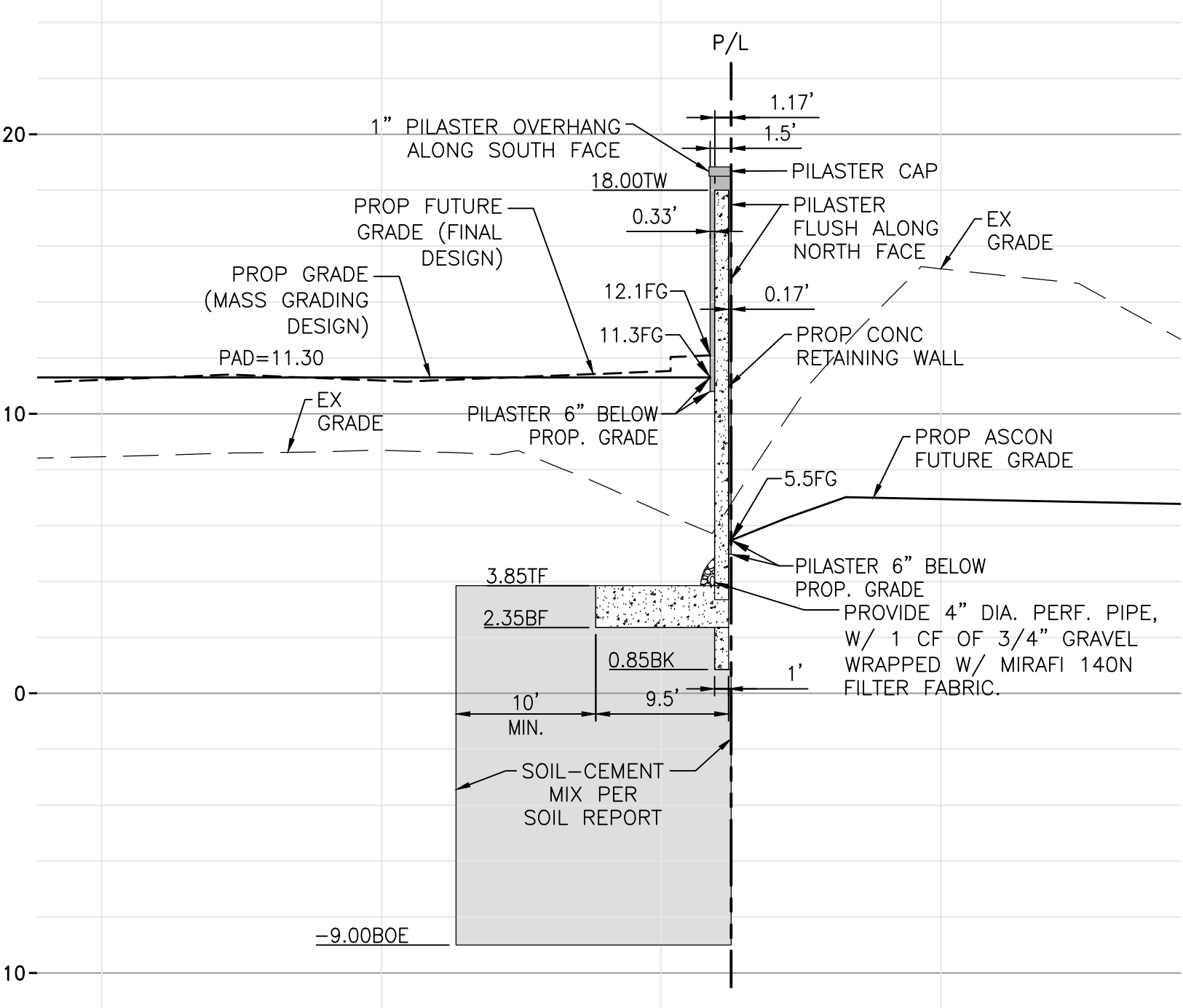
NORTHERN PROPERTY LINE
AT STA. 10+25.00 SCALE HORIZ: 1"=10'
VERT: 1"= 5'



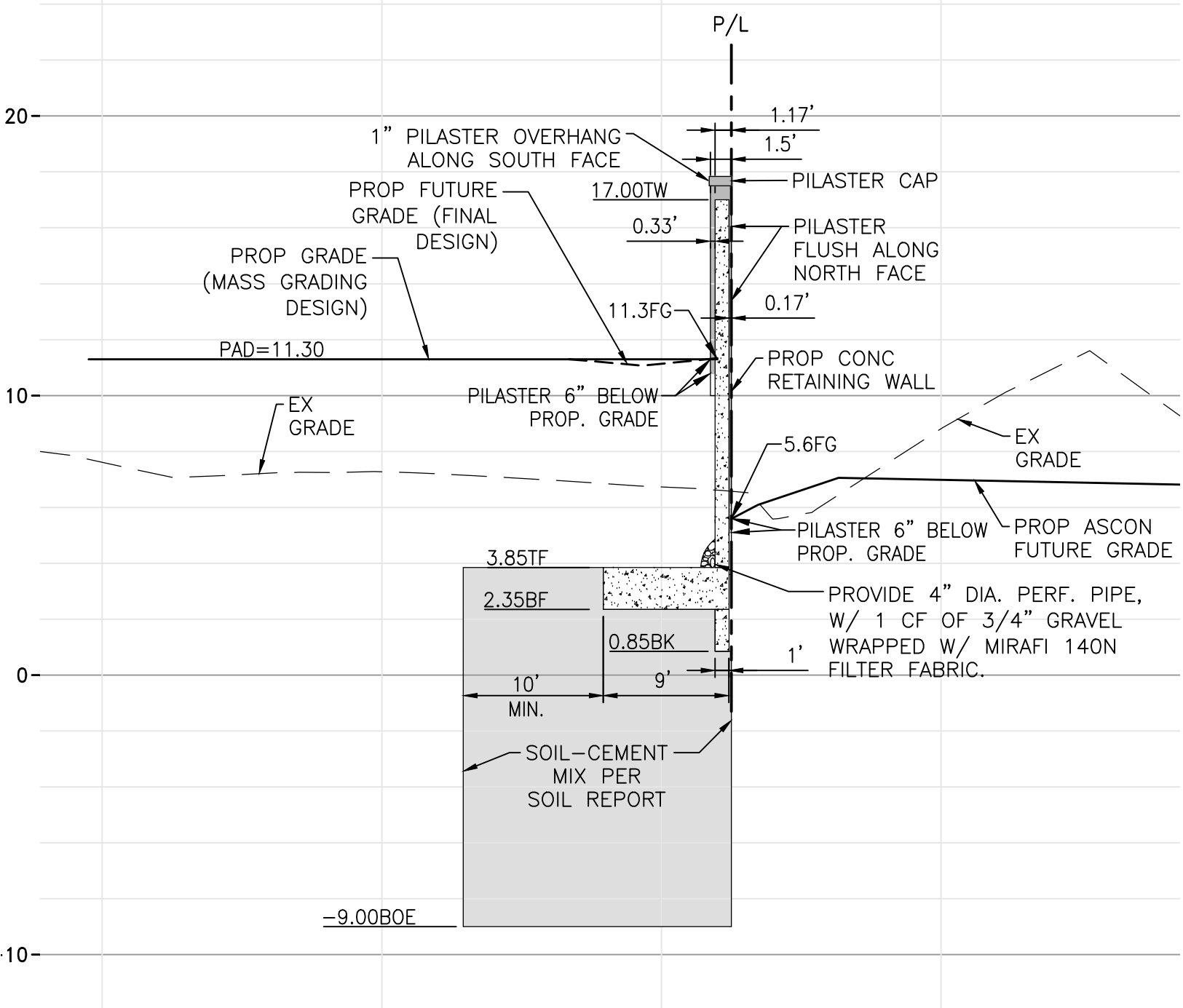
NORTHERN PROPERTY LINE
AT STA. 11+00.00 SCALE HORIZ: 1"=10'
VERT: 1"= 5'



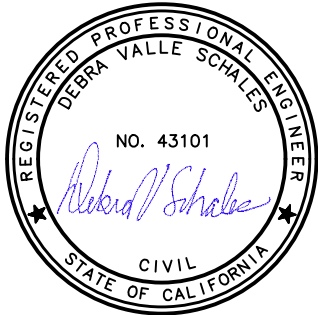
NORTHERN PROPERTY LINE
AT STA. 14+00.00 SCALE HORIZ: 1"=10'
VERT: 1"= 5'



NORTHERN PROPERTY LINE
AT STA. 18+00.00 SCALE HORIZ: 1"=10'
VERT: 1"= 5'



NORTHERN PROPERTY LINE
AT STA. 21+00.00 SCALE HORIZ: 1"=10'
VERT: 1"= 5'



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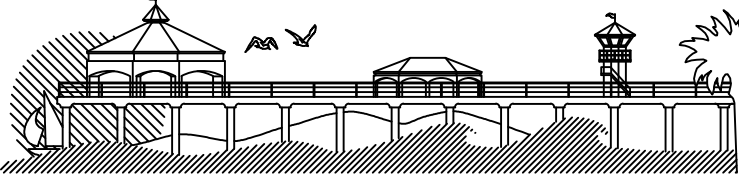
REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

REFERENCES		



DRAWN BY: MLL 12/02/2025
DESIGNED BY: MLL 12/02/2025
CHECKED BY: DVS 12/02/2025

PREPARED UNDER THE SUPERVISION OF:
DEBRA SCHALES, PE
R.C.E. NO.: 43101 EXP. DATE: 03/31/26
REVIEWED BY:
HUNTINGTON BEACH DEPT. OF PUBLIC WORKS



CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS

RETAINING WALL PLANS SECTIONS AND DETAILS	SHEET NO.
	3
	TOTAL SHEETS
	6

MAGNOLIA COAST TRACT 19331 8-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001



12/05/2025

20

10

0

-10

20

10

0

-10

10+00

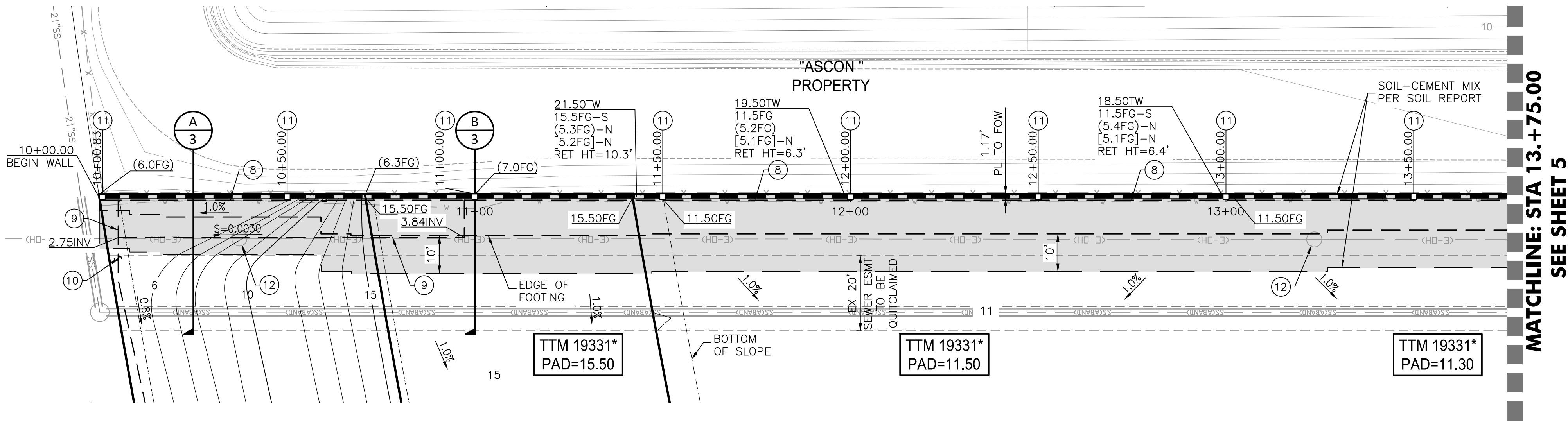
11+00

12+00

13+00

MATCHLINE: STA 13.+75.00
SEE SHEET 5

PROFILE
HORIZ 1"=20'
VERT 1"=4'



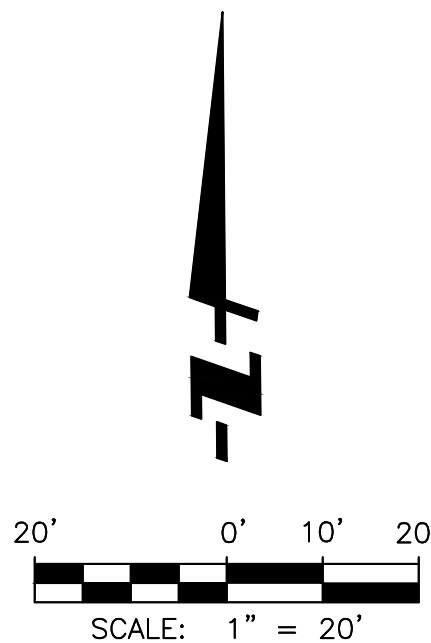
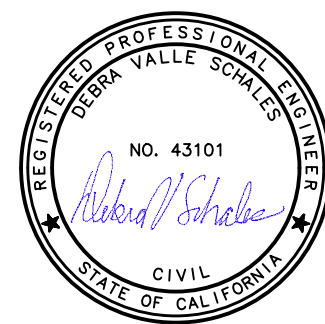
MATCHLINE: STA 13.+75.00
SEE SHEET 5

RETAINING WALL CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 3'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
2. CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 4'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
3. CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 6'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
4. CONSTRUCT CONCRETE RETAINING, WALL TYPE "B" W/ 11'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
5. CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
6. CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 10'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
7. CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 10'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
8. INSTALL 4" DIA. PERFORATED PIPE, W/ 1 CF OF 3/4" GRAVEL WRAPPED W/ MIRAFI 140N FILTER FABRIC.
9. INSTALL 4" DIA. PVC DRAIN PIPE.
10. POINT OF CONNECTION TO AREA DRAIN SYSTEM. SEE FUTURE ONSITE STORM DRAIN PLANS.
11. CONSTRUCT 18" SQUARE POUR IN PLACE PLASTER WITH RETAINING WALL PER DETAIL ON SECTIONS ON SHEET 3. COLOR & FINISH PER LANDSCAPE PLANS (OMEGA WHITE STUCCO W/ NATURAL GRAY CAP & PLASTER VENEER)
12. EXISTING POWER POLE TO BE PROTECTED IN PLACE. TO BE COORDINATED WITH SCE.

NOTE

(*) TTM PAD SHOWN FOR REFERENCE ONLY



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REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

REFERENCES

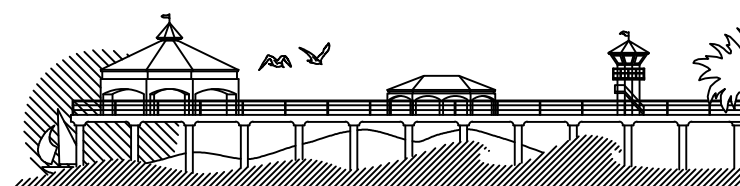


DRAWN BY: MLL
DESIGNED BY: MLL
CHECKED BY: DYS

12/02/2025
12/02/2025
12/02/2025

PREPARED UNDER THE SUPERVISION OF:
DEBRA SCHALES, PE
R.C.E. NO.: 43101
EXP. DATE: 03/31/26
REVIEWED BY:

HUNTINGTON BEACH DEPT. OF PUBLIC WORKS



CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS

RETAINING WALL PLANS RETAINING WALL PLAN & PROFILE

MAGNOLIA COAST
TRACT 19331

PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001

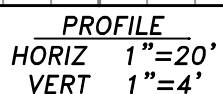
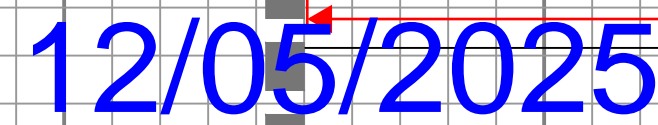
SHEET NO.
4
TOTAL
SHEETS
6

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2ND SUBMITTAL

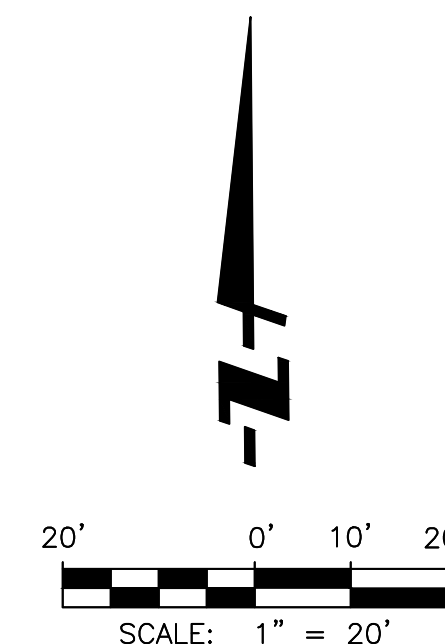
MAGNOLIA COAST
RETAINING WALL PLANS

12/02/2025



- ⑥ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ⑦ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 10'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
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- ⑨ INSTALL 4" DIA. PVC DRAIN PIPE.
- ⑩ CONSTRUCT 18" SQUARE POUR IN PLACE PILASTER WITH RETAINING WALL PER DETAIL ON SECTIONS ON SHEET 3. COLOR & FINISH PER LANDSCAPE PLANS (OMEGA WHITE STUCCO W/ NATURAL GRAY CAP & PILASTER VENEER)
- ⑪ EXISTING POWER POLE TO BE PROTECTED IN PLACE. TO BE COORDINATED WITH SCE.

(*) TTM PAD SHOWN FOR REFERENCE ONLY



TR 19331	L25-060
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DRAWN BY:	MLL	12/02/2025
DESIGNED BY:	MLL	12/02/2025
CHECKED BY:	DVS	12/02/2025

PREPARED UNDER THE SUPERVISION OF:
Debra Schales
DEBRA SCHALES, PE
R.C.E. NO.: 43101 EXP. DATE: 03/31/20
REVIEWED BY:



CITY OF HUNTINGTON BEACH
DEPARTMENT OF PUBLIC WORKS

RETAINING WALL PLANS

RETAINING WALL PLAN & PROFILE

MAGNOLIA COAST
TRACT 19331

PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-00

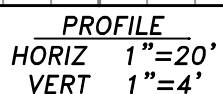
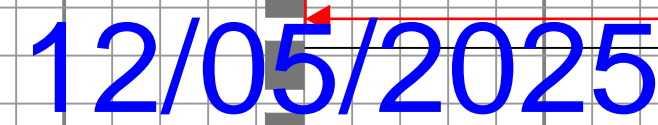
SHEET NO.	5
TOTAL SHEETS	6



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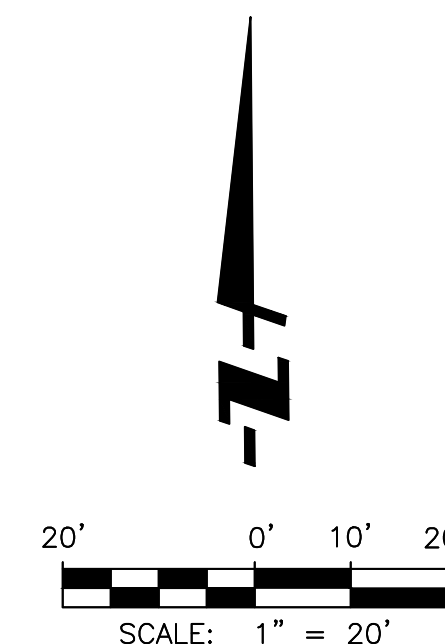
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- ② CONSTRUCT CONCRETE RETAINING, WALL TYPE "A" W/ 4'-6" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
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- ⑤ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 8'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
- ⑥ CONSTRUCT CONCRETE RETAINING, WALL TYPE "C" W/ 9'-0" MAX RETAINING PER STRUCTURAL DETAILS. OMEGA WHITE STUCCO FINISH W/ NATURAL GRAY CAP.
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- ⑫ EXISTING POWER POLE TO BE PROTECTED IN PLACE. TO BE COORDINATED WITH SCE.

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TR 19331	L25-060
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RETAINING WALL PLANS

RETAINING WALL PLAN & PROFILE

MAGNOLIA COAST
TRACT 19331

SHEET NO.	6
TOTAL SHEETS	6

PA-2025-0021, DRB-2025-010, CUP-2025-004, CDP-2025-003, TTM-2025-001



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TWO WORKING DAYS BEFORE YOU DIG

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