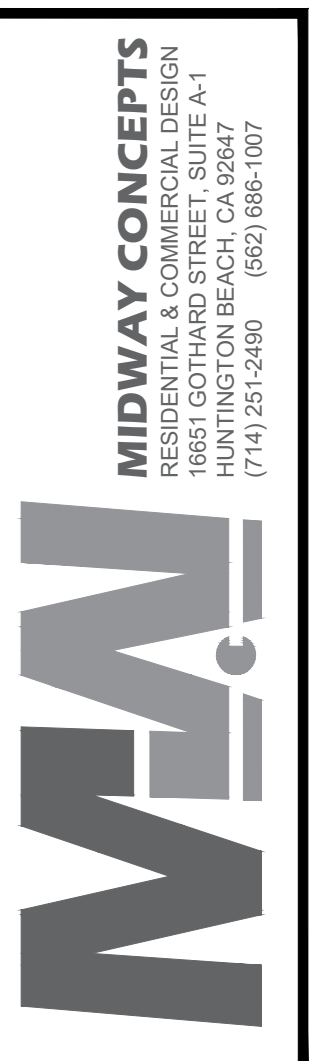


LIBERTY DUPLEX + ADU(S) 7812 LIBERTY DRIVE. HUNTINGTON BEACH, CA. 92647



VICINITY MAP

PROJECT INFO

	THRESHOLD		WHOLE-BUILDING VENTILATION. SWITCH OPERATED. CONTINUOUS FAN FLOW.
	HOSE BIBB		
	KEYNOTE CALLOUTS		
	WINDOW SCHEDULE CALL OUT		SECTION CUT
	DOOR SCHEDULE CALL OUT		
	PROPOSED WALLS		EXHAUST FAN SHALL BE ENERGY STAR RATED. CEILING MOUNTED LIGHT w/ VENT 50 CFM MIN. INTERMITTENT W/ HUMIDITY CONTROL PER CMC 402.5, BETWEEN 50%-80%
	PROPOSED 1HR FIRE RATED WALL		
	EXISTING WALL TO REMAIN		HIGH EFFICIENCY LUMINAIRES L.E.D RECESSED LIGHTS
(E)	EXISTING		
(N)	NEW		
(R)	REMODEL		
	DETAIL CALLOUT		
	WALL MOUNTED LIGHT		
	MOTION SENSOR PHOTOCELL		
	ELECTRICAL LINE		
	12"x48" SURFACE MOUNTED LIGHT DIFFUSER		
	ELECTRICAL SWITCH		
	VACANCY SENSOR SWITCH		
	DIMMER SWITCH		
	ELECTRICAL OUTLET (N) RECEPTACLES TO BE TAMPER PROOF		
	T.V. ANTENNA		
	180 CFM EXHAUST HOOD		
	IAQ FAN. CONTINUOUS FAN FLOW.		
	SMOKE DETECTOR HARDWIRED w/ BATTERY BACK UP AND ALARM INTERCONNECTED		
	"COMBINATION" SD/CM DETECTOR ALARM HARDWIRED w/ BATTERY BACK UP AND ALARM INTERCONNECTED		

1. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL LAWS, STATE STATUTES, LOCAL ORDINANCES, AND THE REGULATIONS OF AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFETY ORDERS AND THE GENERAL INDUSTRIAL SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY, THE REGULATIONS OF THE FEDERAL AND STATE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS, AND SUCH OTHER AGENCIES GOVERNING THE CONTRACTOR'S ACTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND HOLD HARMLESS THE DESIGNER FOR ANY DAMAGES AND / OR PENALTIES RESULTING FROM HIS FAILURE TO COMPLY WITH SAID LAWS, STATUTES, ORDINANCES, AND REGULATIONS.

2. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE DESIGNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE DESIGNER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

CODE: (2022 CBC)
2022 CRC (CALIFORNIA RESIDENTIAL CODE)
2022 CBC (CALIFORNIA BUILDING CODE)
2022 CMC (CALIFORNIA MECHANICAL CODE)
2022 CPC (CALIFORNIA PLUMBING CODE)
2022 CEC (CALIFORNIA ELECTRICAL CODE)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE(CALGREEN) (CGBC),
THE HUNTINGTON BEACH MUNICIPAL CODE (HBMC).

DIG ALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE TWO WORKING DAYS BEFORE YOU DIG

811

CAUTION: REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

TO BE CONTACTED AND THAT COMPLIANCE WITH EXCAVATION SAFETY IN ACCORDANCE WITH GOVERNMENT CODE 4216 WILL BE FOLLOWED PRIOR TO ANY EXCAVATION TAKING PLACE.

"SCOPE OF WORK"

3-STORY DUPLEX
1.) OPEN CONCEPT LIVING ROOM WITH DINING AND KITCHEN, LAUNDRY POWDER ROOM AND ATTACHED GARAGE
2.) 3 BEDROOMS, 3 BATHROOMS AND BALCONY
3.) MASTER BEDROOM SUITE WITH WALK IN CLOSET, MASTER BATHROOM AND BALCONY

REAR 2-STORY DETACHED ADU(S)
1.) LIVING ROOM, KITCHEN, DINING COMMON BATHROOM AND BEDROOM
2.) TWO MASTER BEDROOMS WITH WALK IN CLOSETS AND BATHROOMS

DEMOLISH EXISTING STRUCTURES ON SITE

DEFERRED SUBMITTAL:
- FIRE SPRINKLERS - NFPA 13D
(EACH UNIT TO HAVE OWN SPRINKLER SUBMITTAL)

SCOPE OF WORK	4	SHEET INDEX	1
(N) DUPLEX: (EACH UNIT) 2,597 SQ FT. - LEVEL 1 837 SQFT -- PORCH 33 SQFT -- REAR PATIO 168 SQFT - LEVEL 2 1,222 SQFT -- BALCONY 168 SQFT - LEVEL 3 538 SQFT -- BALCONY 158 SQFT		EXISTING SINGLE FAMILY RESIDENCE WOOD FRAME BUILDING EXISTING ONE STORY CONSTRUCTION TYPE: V-B LOT SIZE: 8,920 SF LOT : 14 ASSESSOR # : 165-312-40 TRACT : TR 411 LOT 14 NW1/4- EX STR ZONING: RM FIRE SPRINKLER SYSTEM: YES , NFPA 13D	
(N) ADU: 1,200 SQ FT. - LEVEL 1 582 SQFT -- PORCH 17 SQFT - LEVEL 2 618 SQFT			
LOT SIZE: 8,920 SQ FT.			
LOT COVERAGE: 2 (837 + 33 + 168 + 388 + 582 + 17) = 4,050 4,050 / 8,920 = 45% LOT COVERAGE			
LEGAL DESCRIPTION		2	
OWNER: NATALIE NGUYEN 714-227-8852 NATNGANN@GMAIL.COM			
DESIGNER: TOBY NGUYEN 714-251-2490 MIDWAY CONCEPTS 16651 GOTHARD ST. SUITE A-1 HUNTINGTON BEACH, CA 92647			

SYMBOLS LEGEND

8

PLAN CHECK NOTES

7

BUILDING CODES

6

PROJECT DATA

5

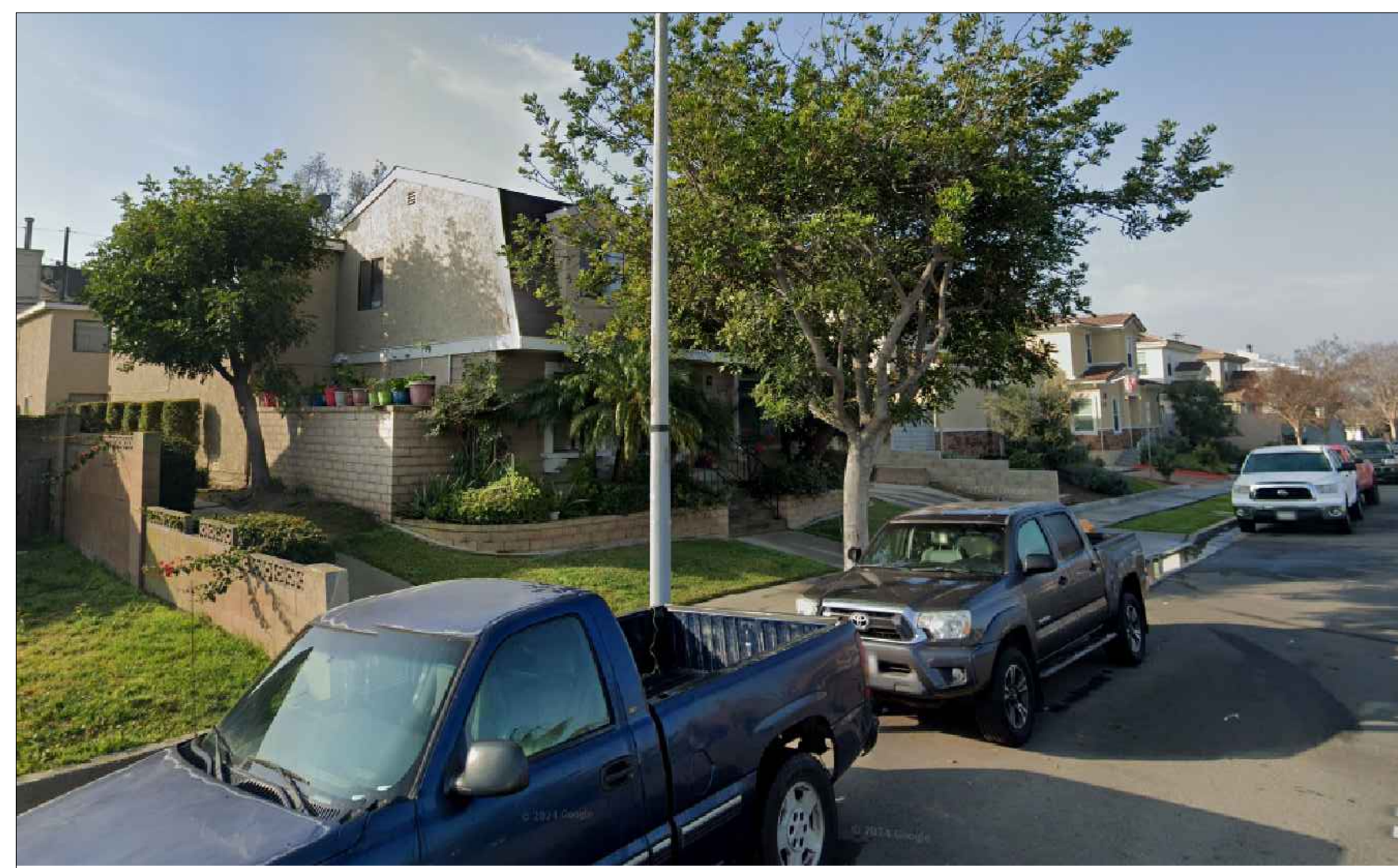
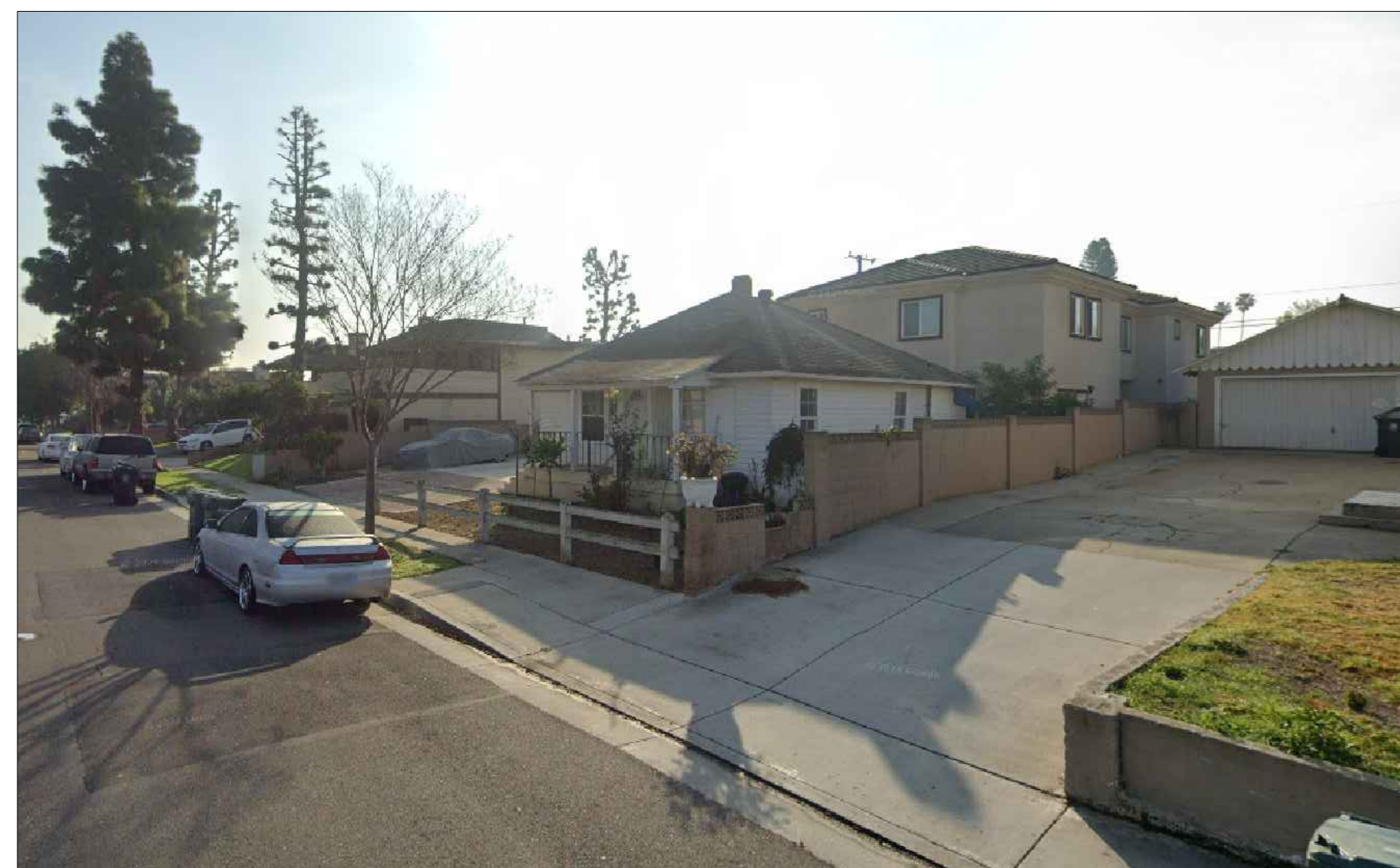
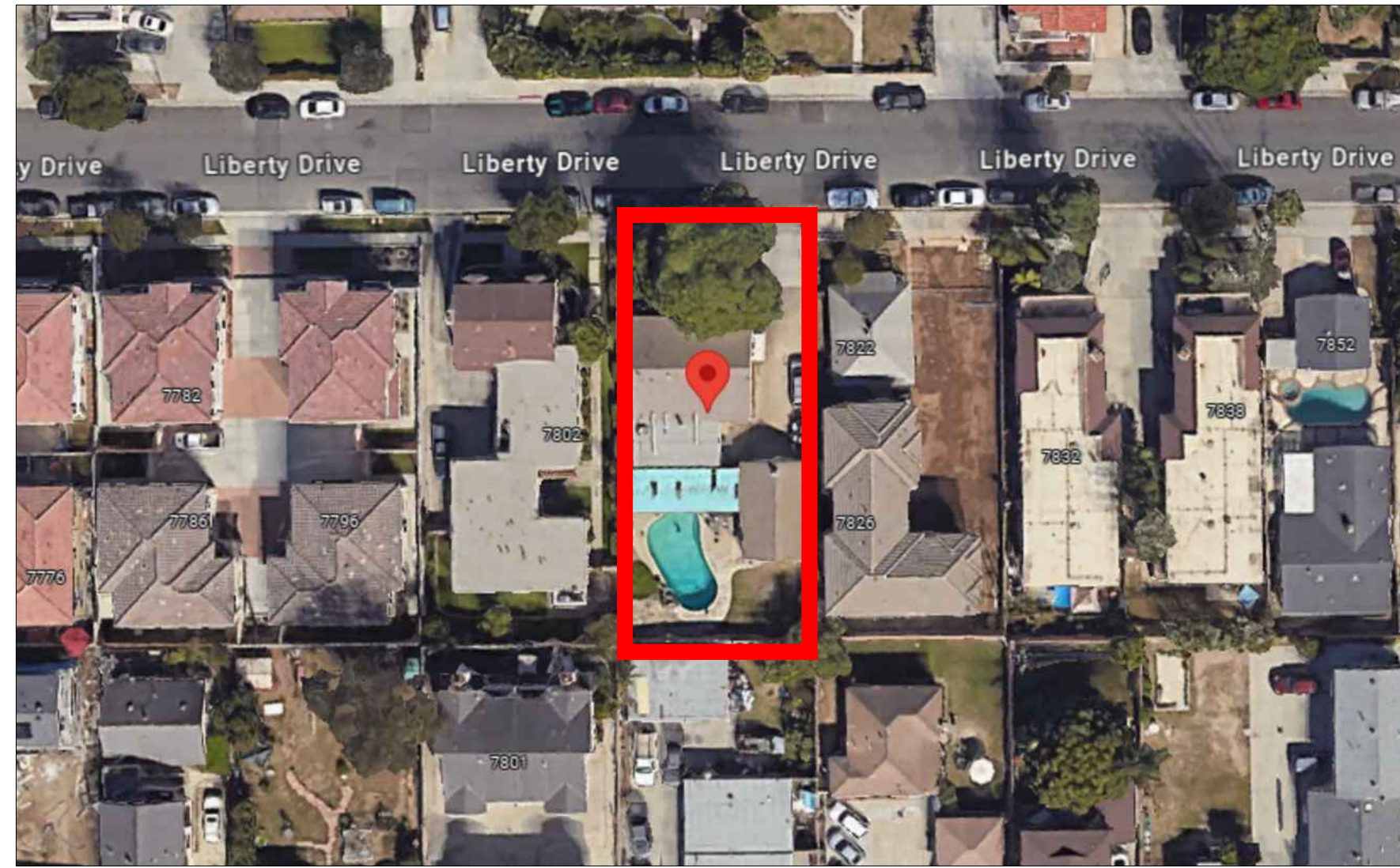
OWNER INFO

3

DATE	10-24-2025
DESCRIPTION	4th Planning review
REV.	A
PROJECT:	LIBERTY DUPLEX AND ADU(S) 7812 LIBERTY DRIVE HUNTINGTON BEACH CA 92683
SHEET TITLE	COVER SHEET

Received
5/5/2026

DESIGNER	
SIGNATURE	
CONSULTANT	
DATE	5-05-2026
JOB NO.	23-62
SHEET	CS
OF	X SHEETS

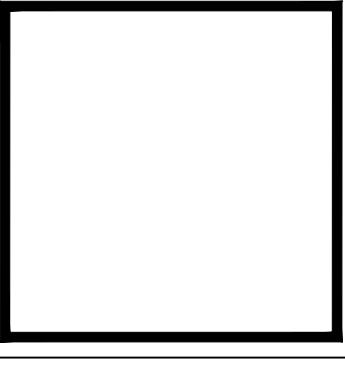


MIDWAY CONCEPTS
RESIDENTIAL & COMMERCIAL DESIGN
11000 WASHINGTON BEACH, CA 92647
(714) 251-2490 (562) 686-1007

REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

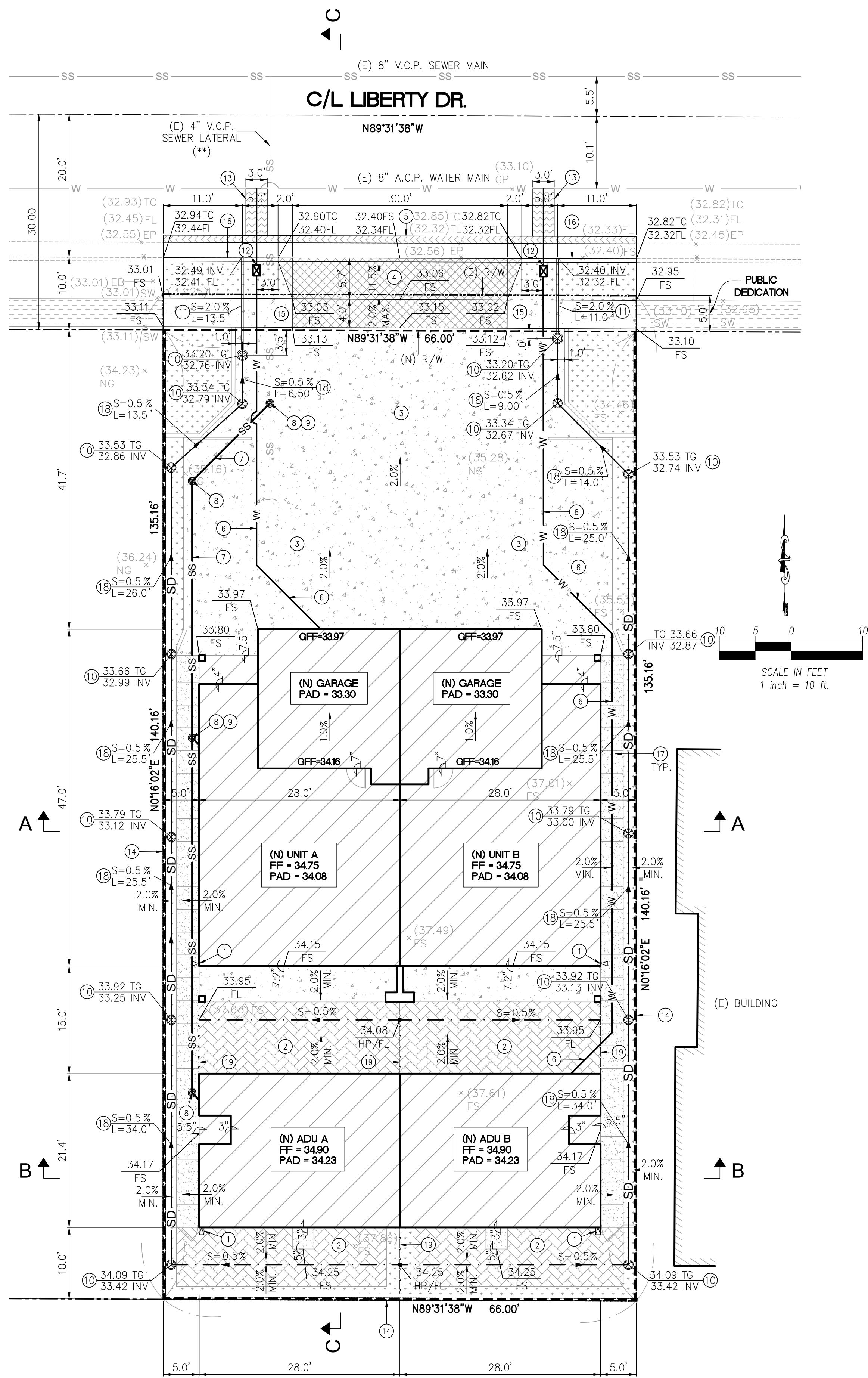
PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE
EXISTING PHOTOS



DESIGNER
SIGNATURE
CONSULTANT
DATE
5-05-2026
JOB NO.
23-62
SHEET

OF X SHEETS
E



LEGEND

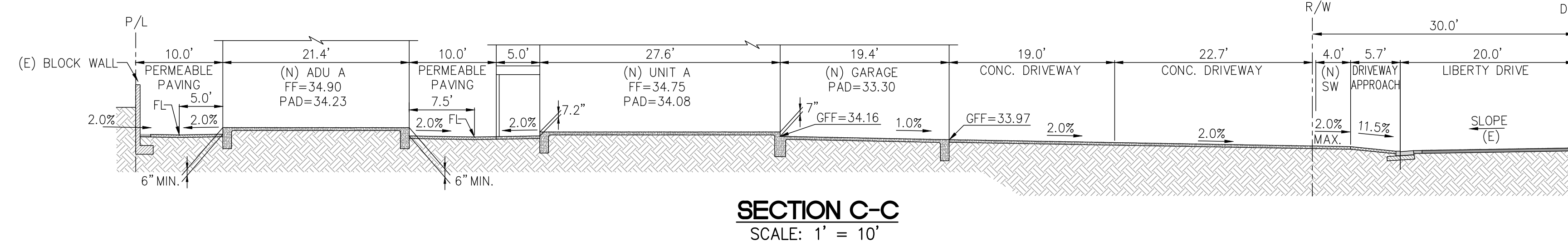
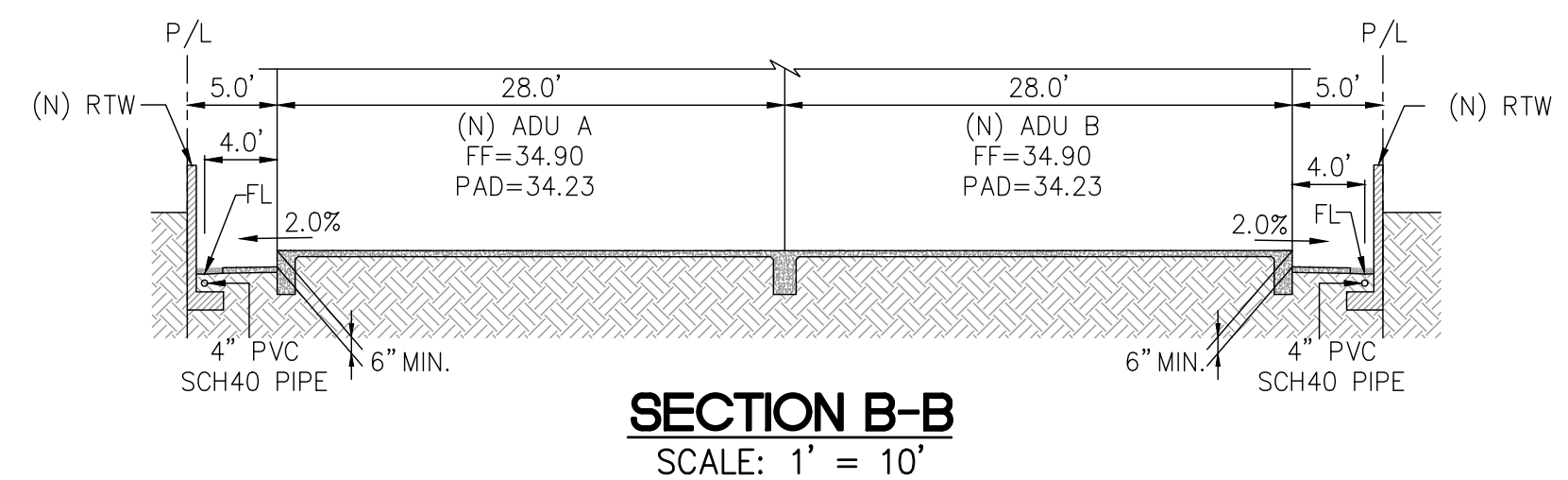
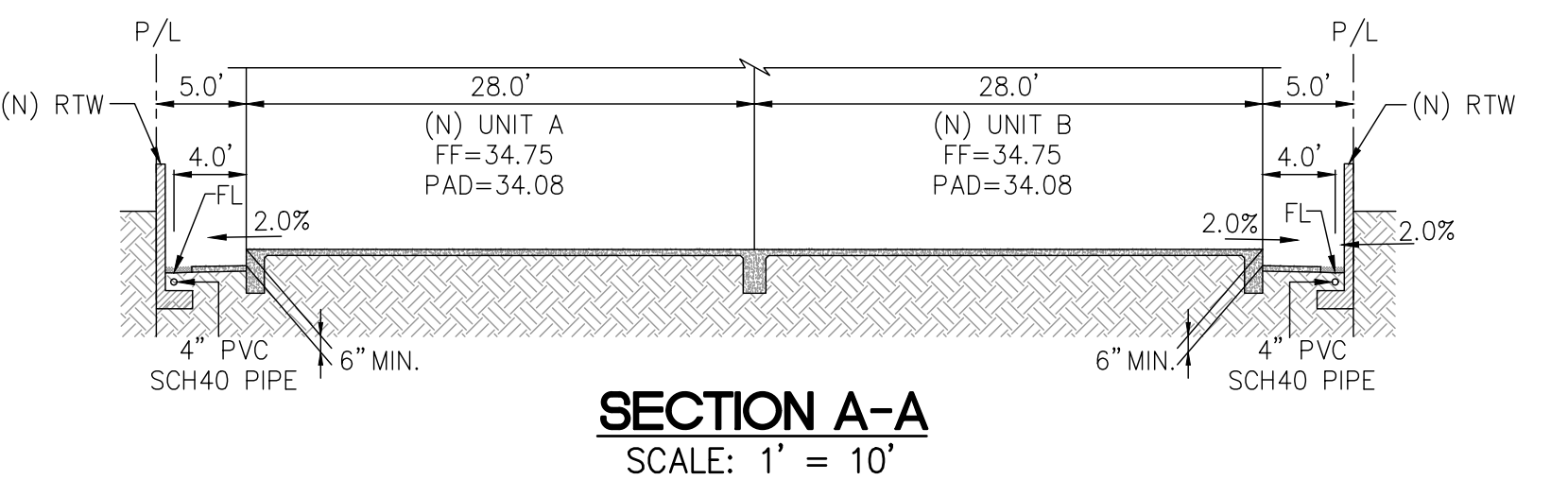
	EXISTING	PROPOSED
BLOCK WALL	---	---
VINYL FENCE	---	---
CURB & GUTTER	---	---
CENTERLINE	---	---
PROPERTY LINE	---	---
SANITARY SEWER MAIN	SS	SS
WATER MAIN	W	W
WATER METER		☒
FLOWLINE	---	---
DRAIN PIPE		SD
DRAIN DIRECTION		→
LANDSCAPE AREA		▨
CONC. PAD		▨
CONC. DRIVEWAY		▨
CONC. DRIVEWAY APPROACH		▨
CONC. SIDEWALK		▨
A.C. PAVEMENT		▨
PERMEABLE PAVING		▨

ABBREVIATIONS

AC	ASPHALT CONCRETE
BCOR	BUILDING CORNER
BX	BOTTOM OF X
CC	CORNER CONCRETE
CP	CONTROL POINT
CONC	CONCRETE
CB	CABLE BOX
EDGBUIL	EDGE BUILDING
EP	EDGE OF PAVEMENT
FD	FOUND
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
FS	FINISH SURFACE
ICV	IRRIGATION CONTROL BOX
IP	IRON PIPE
GSP&W	GEAR SPIKE & WASHER
GUYPOLE	GUYWIRE/POWER POLE SUPPORT
L&T	LEAD & TAG/TACK
LANDNG	LANDING
LS 5411	LAND SURVEYOR NUMBER
NG	NATURAL GROUND
OFF BOX	OFFERING BOX
PNL	PANEL
PLM	PALM
PP	POWER POLE
TELRISE	TELEPHONE RISER
TOPWDFNC	TOP OF WOODEN FENCE
TRFLT	TRAFFIC LIGHT
TSB	TRAFFIC SIGNAL BOX
TX	TOP OF X
WELMON	MONUMENT IN WELL
WM	WATER METER
WV	WATER VALVE

CONSTRUCTION NOTES:

- CONSTRUCT DOWNSPOUT DRAIN.
 - CONSTRUCT PERMEABLE PAVING.
 - CONSTRUCT 6" PCC CONCRETE DRIVEWAY.
 - CONSTRUCT RESIDENTIAL DRIVEWAY APPROACH TYPE I PER CITY STD 209, W=30', X=2'.
 - REMOVE & REPLACE EXISTING PAVEMENT WITH 12" FULL DEPTH OF A.C.
 - CONSTRUCT (ON-SITE) 1" PVC WATER SUPPLY FOR THE UNIT A, UNIT B, ADU A, ADU B PER CALIFORNIA PLUMBING CODE.
 - CONSTRUCT 4" PVC SEWER LINE FOR THE UNIT A, UNIT B, ADU A, ADU B PER CALIFORNIA PLUMBING CODE, S=2.0% MIN.
 - CONSTRUCT SEWER CLEAN-OUT PER CALIFORNIA PLUMBING CODE.
 - VCP PIPE WYE BRANCH FITTING FOR CONNECTION TO EXISTING AND NEW SEWER LATERAL PER CALIFORNIA PLUMBING CODE.
 - INSTALL DRAIN INLET.
 - CONSTRUCT 3" PVC SCH40 RESIDENTIAL LOT DRAIN PER CITY STD 204.
 - CONSTRUCT 1" DOMESTIC WATER SERVICE WITH 1" METER PER CITY STD 601.
 - SAW CUT AND REMOVE EXISTING PAVING. CONSTRUCT TRENCH REMOVAL AND REPLACEMENT PER CITY STD 606.
 - NEW RETAINING WALL PER SEPARATE PERMIT.
 - CONSTRUCT SIDEWALK PER CITY STD 207.
 - CONSTRUCT CURB & GUTTER PER CITY STD 202.
 - CONSTRUCT CONCRETE PAD.
 - INSTALL 4" PVC SCHEDULE 40 PIPE OR EQUAL, S=0.5%.
 - CONSTRUCT 6FT HIGH VINYL FENCE.
- NOTES:**
- (*) ALL CONSTRUCTION WITH THE CITY'S PUBLIC RIGHT-OF-WAY REQUIRES THE CONTRACTOR OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO START OF WORK.
 - (**) POWER WASH EXISTING SEWER LATERAL AND VIDEO FROM THE CLEANOUT TO THE SEWER MAIN. SUBMIT VIDEO TO PUBLIC WORKS DEPARTMENT FOR EVALUATION TO DETERMINE CONDITION. IF PUBLIC WORKS DETERMINES THE CONDITION WARRANTS REPLACEMENT, REPLACEMENT SHALL BE DONE PER CITY STANDARD PLANS AT THE OWNER'S EXPENSE.
 - THE CITY BUILDING DIVISION WILL BE RESPONSIBLE FOR INSPECTION BEYOND THE WATER METER.
 - ON-SITE (PRIVATE) SEWER AND WATER SERVICES PER SEPARATE PLAN AND PERMIT.



ENGINEER'S NOTE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WITHIN THE PERMIT WORK AREA.

Underground Service Alert
 Call: TOLL FREE
 1-800-422-4133
 TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

PREPARED BY
 DONG ENGINEERING, INC.
 ADDRESS: 7661 GARDEN GROVE BLVD., GARDEN GROVE, CA 92841.
 TEL: (714) 204-2874.
 EMAIL: INFO@DONGENGINEERING.COM
 PREPARED UNDER THE SUPERVISION OF:
 TRUONG (TROY) DONG DATE SIGNED: 1/23/25
 R.C.E. NO.: C75466 EXP. DATE: 03-31-2024

REVIEWED BY:

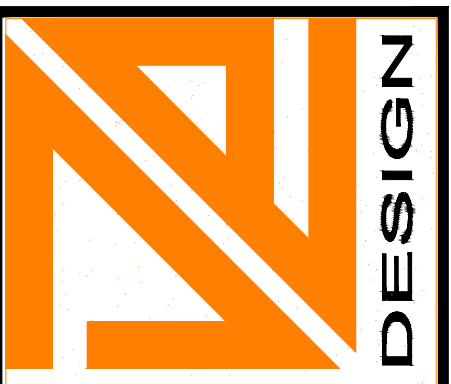
HUNTINGTON BEACH DEPT. OF PUBLIC WORKS

CITY OF HUNTINGTON BEACH
 DEPARTMENT OF PUBLIC WORKS

BLDG#: C2025- L#: PWG#: 2025-

PRELIMINARY GRADING PLAN
 3-STORY DUPLEX, 2-STORY TWO ADU
 7812 LIBERTY DRIVE, HUNTINGTON BEACH, CA 92647

RD
 SHEET NO. 1 OF 1



ENGINEERING

DONG ENGINEERING, INC.
7661 GARDEN GROVE BLVD.,
GARDEN GROVE, CA 92841
TEL - 714-617-5979
INFO@DONGENGINEERING.COM

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REVISIONS		
NO.	DATE	REVISIONS
1.	2025.06.26	1ST PLAN CHECK
2.	2025.10.06	2ND PLAN CHECK

PROJECT OWNER

PROJECT ADDRESS

3-STORY DUPLEX, 2-STORY TWO ADU
7812 LIBERTY DRIVE
HUNTINGTON BEACH, CA 92647

STAMP

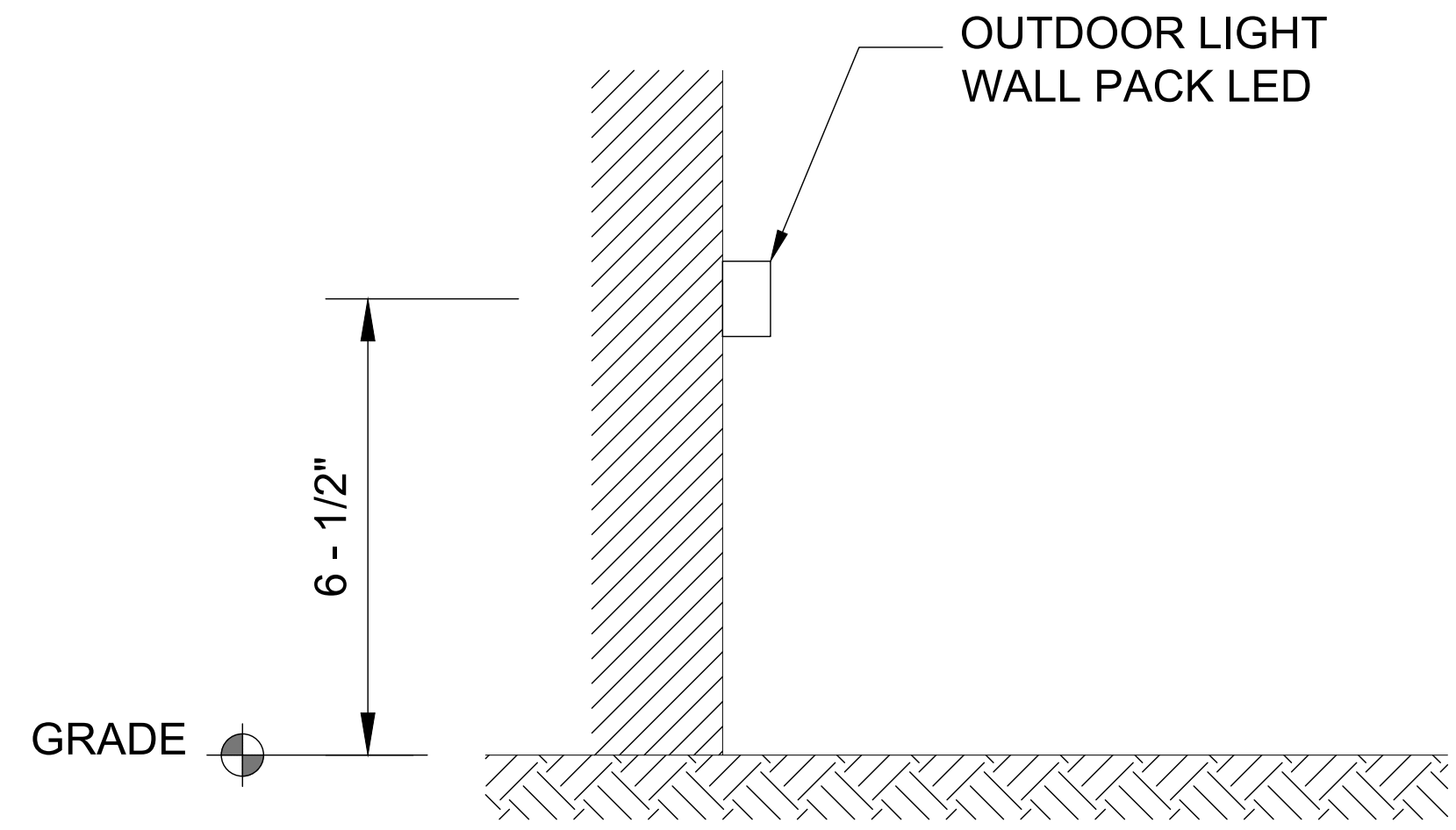
DATE SIGNED: 11/17/25

SHEET DESCRIPTION
SITE LIGHTING PLAN

DE#: 240073

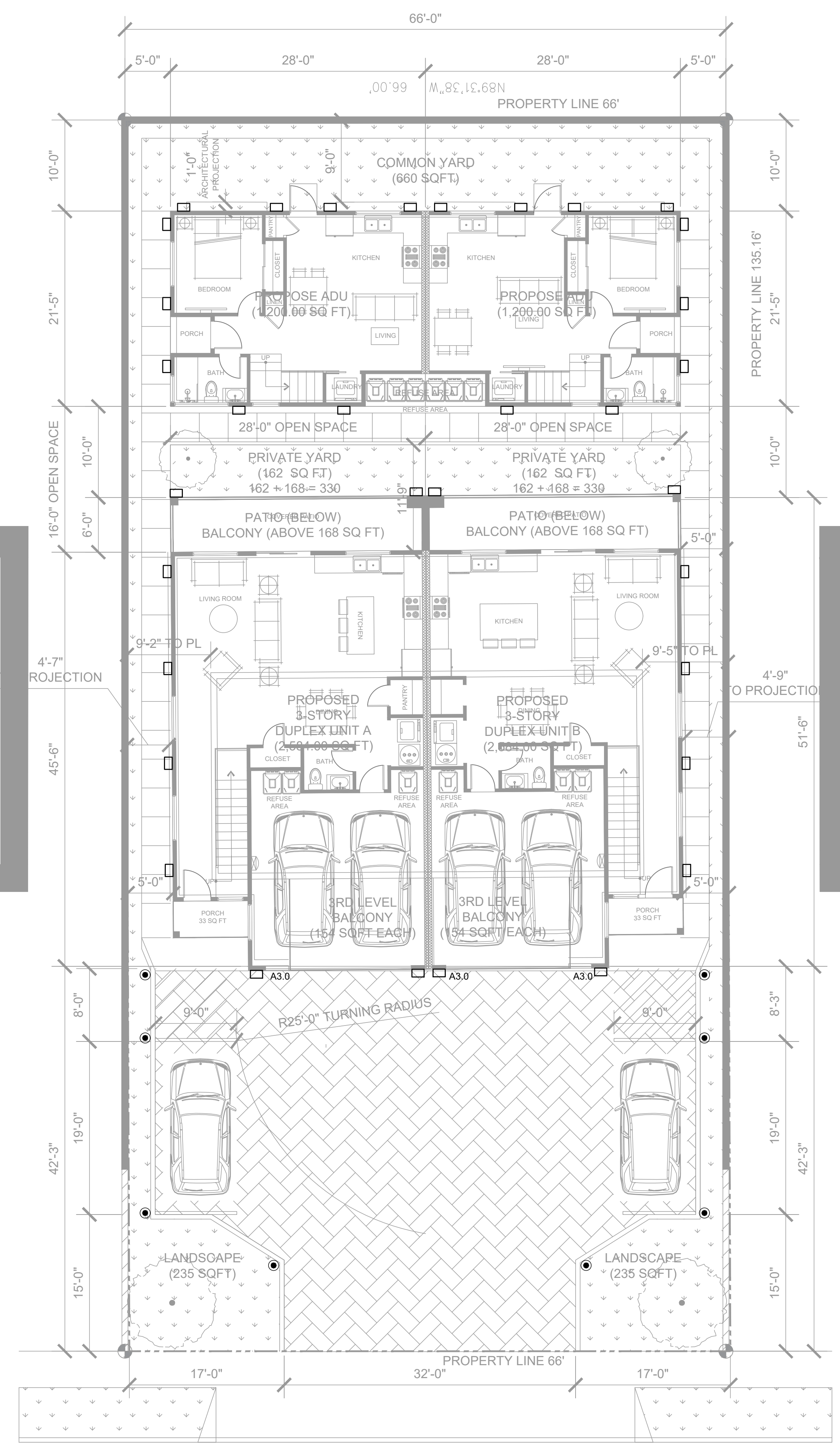
SHEET

E-1



LIGHTING LEGEND:

- WALL PACK LED, SEE SPECIFICATIONS ON SHEET E-2.
- ROUND PEDESTRIAN LED, SEE SPECIFICATIONS ON SHEET E-2.



LIBERTY DRIVE

SITE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

Lighting Ranges by Area Type

Area Type	Recommended Footcandle Range
Pedestrian Walkways and Pathways	1 – 5 FC
Parking Lots	1 – 5 FC
Roadways and Streets	1 – 2 FC
Parks and Recreation Areas	1 – 5 FC
Building Exteriors and Facades	0.5 – 2 FC
Outdoor Security Lighting	5 – 10 FC

Project

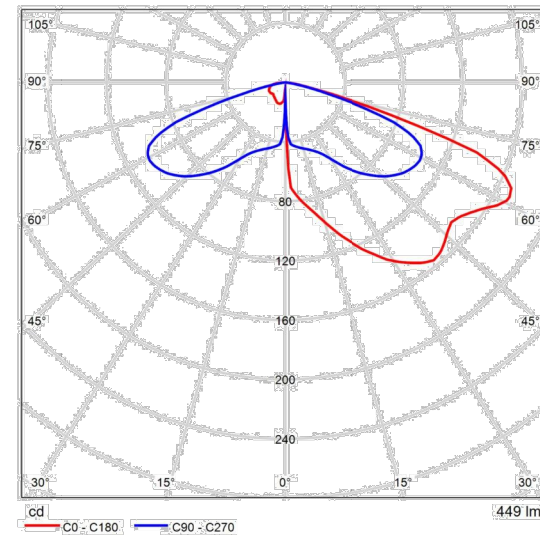
DIALux

Product data sheet

Cooper Lighting - BOLLARD 6INCH ROUND BASE, 500LM, PATH ASYMMETRICAL, BLACK FINISH



Article No.	BRT6-A1-727-U-T3-XX-BK
P	5.4 W
Φ _{Lamp}	-
Φ _{Luminaire}	449 lm
η	-
Luminous efficacy	83.1 lm/W
CCT	3000 K
CRI	100



Polar LDC

1

Project

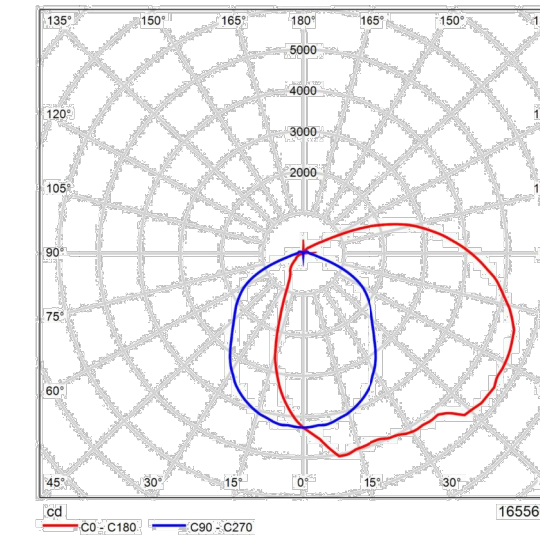
DIALux

Product data sheet

Cooper Lighting - LUMARK WALL PACK LED LARGE 80CRI CCT AND LUMEN SELECTIVE FIXTURE OPERATING @120W-3000K



Article No.	WPLLED38S-120W-3000K
P	118.6 W
Φ _{Lamp}	-
Φ _{Luminaire}	16556 lm
η	-
Luminous efficacy	139.6 lm/W
CCT	3000 K
CRI	100



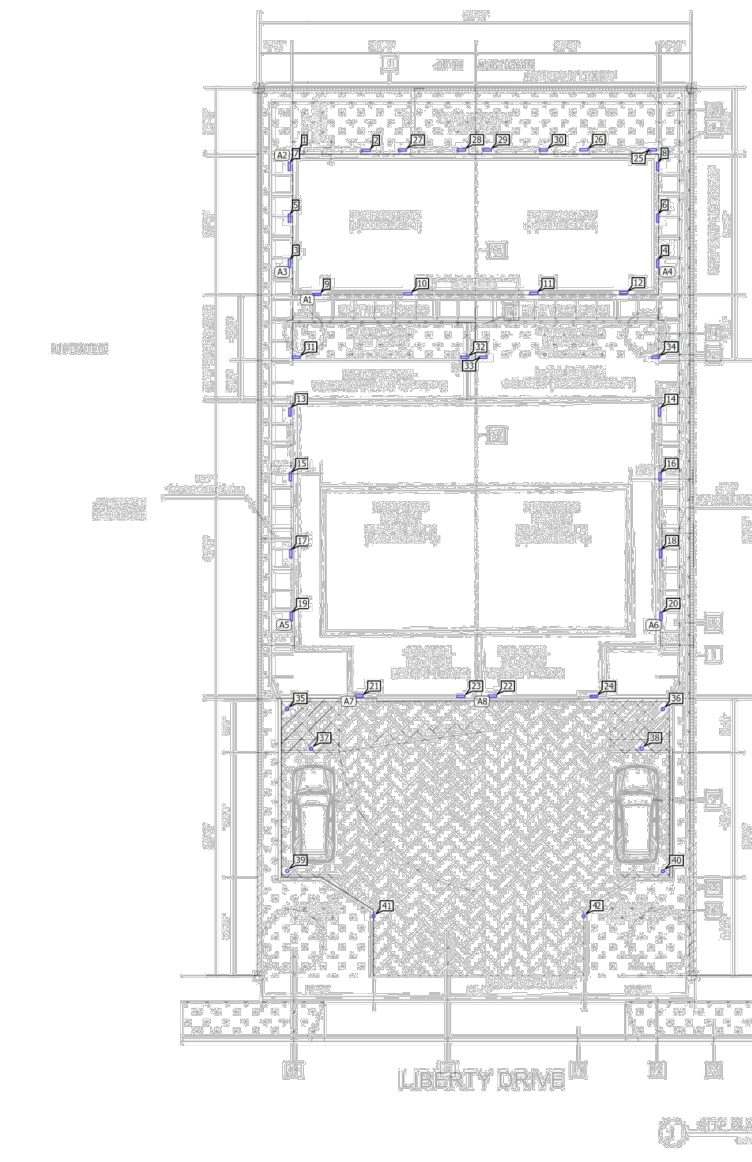
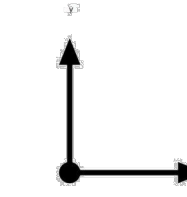
Polar LDC

2

Project

DIALux

Site 1
Luminaire layout plan



3



ENGINEERING

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GARDEN GROVE, CA 92841
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REVISIONS

NO.	DATE	REVISIONS
1.	2025.06.26	1ST PLAN CHECK
2.	2025.10.06	2ND PLAN CHECK

PROJECT OWNER

PROJECT ADDRESS

3-STORY DUPLEX, 2-STORY TWO ADU
7812 LIBERTY DRIVE
HUNTINGTON BEACH, CA 92647

STAMP

DATE SIGNED: 11/17/25

SHEET DESCRIPTION
SITE PHOTOMETRIC

DE#: 240073

SHEET

E-3

Project

DIALux

Site 1
Luminaire list

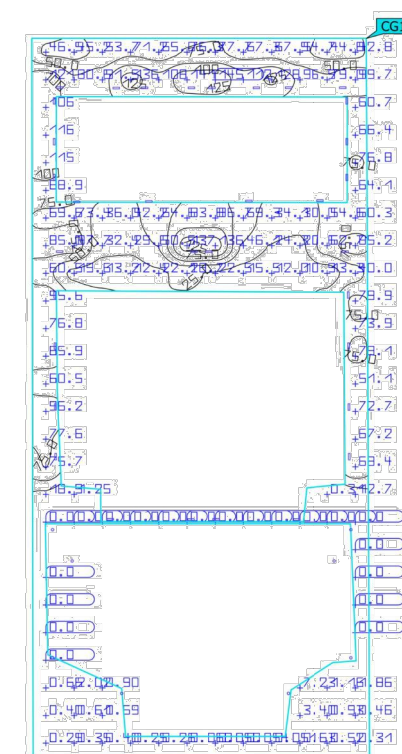
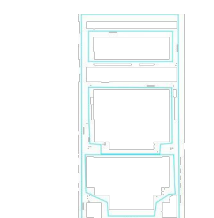
Φ _{Total}	P _{Total}	Luminous efficacy
566496 lm	4075.6 W	139.0 lm/W

pcs.	Manufacturer	Article No.	Article name	P	Φ	Luminous efficacy
34	Cooper Lighting	WPLLED38S-120W-3000K	LUMARK WALL PACK LED LARGE 80CRI CCT AND LUMEN SELECTIVE FIXTURE OPERATING @120W-3000K	118.6 W	16556 lm	139.6 lm/W
8	Cooper Lighting	BRT6-A1-727-U-T3-XX-BK	BOLLARD 6INCH ROUND BASE, 500LM, PATH ASYMMETRICAL, BLACK FINISH	5.4 W	449 lm	83.1 lm/W

Project

DIALux

Site 1 (Light scene 1)
Pedestrian Walking



Properties	E	E _{min}	E _{max}	U _a (g ₁)	g ₂	Index
Pedestrian Walking Perpendicular Illuminance Height: 0.000 ft	43.4 fc	0.00 fc	145 fc	0.00	0.00	CG1

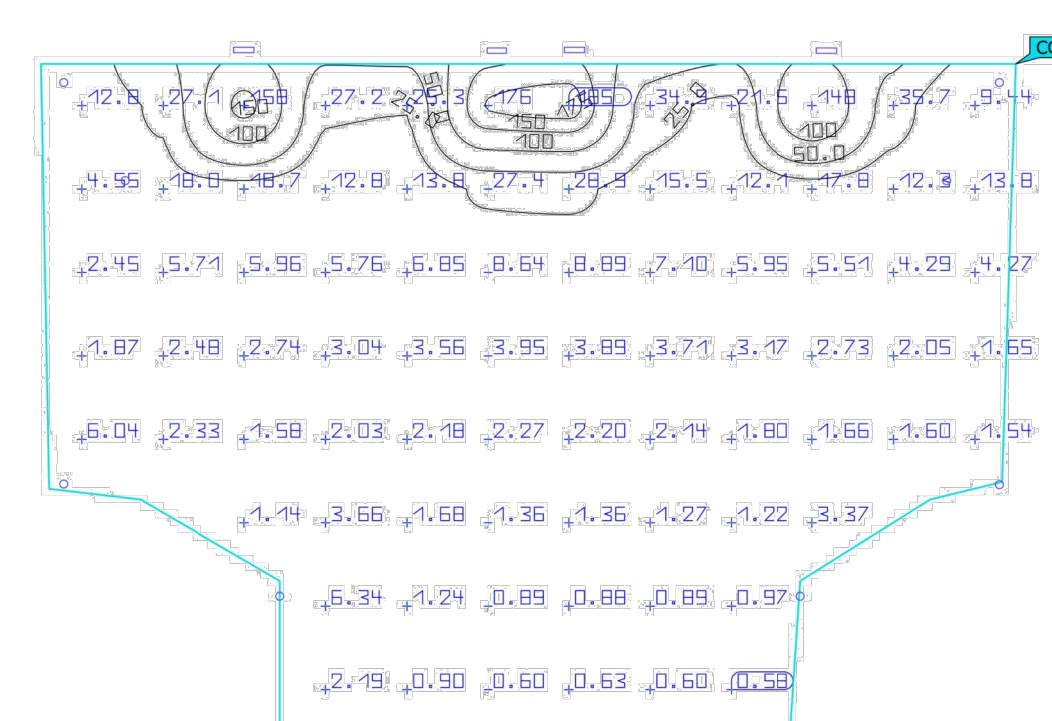
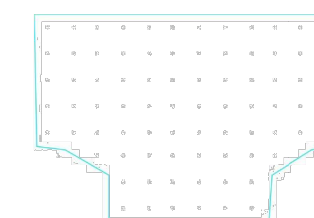
Utilisation profile: DIALux presetting (S.1.4 Standard (outdoor transportation area))

10

Project

DIALux

Site 1 (Light scene 1)
Parking Lot



Properties	E	E _{min}	E _{max}	U _a (g ₁)	g ₂	Index
Parking Lot Perpendicular Illuminance Height: 0.100 ft	15.3 fc	0.58 fc	185 fc	0.038	0.003	CG2

Utilisation profile: DIALux presetting (S.1.4 Standard (outdoor transportation area))

11

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BUILDING AREAS SUMMARY

UNITS	GARAGE	PORCH	1ST STORY	2ND STORY	2ND LVL BALCONY	3RD STORY	3RD LVL BALCONY	LIVING AREA PER UNIT
1	388 SF	33 SF	837 SF	1,222 SF	168 SF	538 SF	158 SF	2,597 SF
2	388 SF	33 SF	837 SF	1,222 SF	168 SF	538 SF	158 SF	2,597 SF
ADU 1	-	17 SF	582 SF	618 SF	-	-	-	1,200 SF
ADU 2	-	17 SF	582 SF	618 SF	-	-	-	1,200 SF

HABITABLE AREA	7,594 SF
GROUND LEVEL BUILDING AREA $2(388+33+837+168) + 2(17+582) = 2,852 + 1,198 = 4,050$	4,050 SF
TOTAL LOT COVERAGE $4,050 \text{ SF} / 8,920 = .45$	45%

OPEN SPACE

UNIT	REAR PATIO	PRIVATE YARD	2ND LVL BALCONY	3RD LVL BALCONY
1	168 SF	162 SF	168 SF	154 SF
2	168 SF	162 SF	168 SF	154 SF
ADU 1	N/A			
ADU 2	N/A			

REQUIRED	25% OF 5,168 SQFT = 1,292 SQFT
TOTAL PROVIDED	$2(168 + 162 + 168 + 154) + 660 = 1,964 \text{ SQFT}$

PARKING

UNIT	# OF BEDROOMS	# OF REQ. PARKING	PROVIDED
1	4	2.5	4
2	4	2.5	4
ADU 1	2	NOT APPLICABLE	-
ADU 2	2	NOT APPLICABLE	-
GUEST		1	2
TOTAL REQ.		6 SPACES	
TOTAL PROVIDED			10 SPACES

FRONT YARD LANDSCAPE

FRONT SETBACK AREA (15 FEET)	990 SQFT
40% MIN REQ. LANDSCAPED	396 SQFT
PAVERS	PERMEABLE PAVED DRIVEWAY 557 SQFT
LANDSCAPE	FRONT YARD PLANTING AREAS 433 SQFT
TOTAL LANDSCAPE	
LOT SIZE	8,920 SQFT
8% MIN OF TOTAL LOT REQ. LANDSCAPED	713 SQFT
TOTAL PROVIDED	1,989 SQFT
FRONT YARD LANDSCAPED	433 SQFT
PRIVATE YARD LANDSCAPED	896 SQFT
COMMON YARD LANDSCAPED	660 SQFT

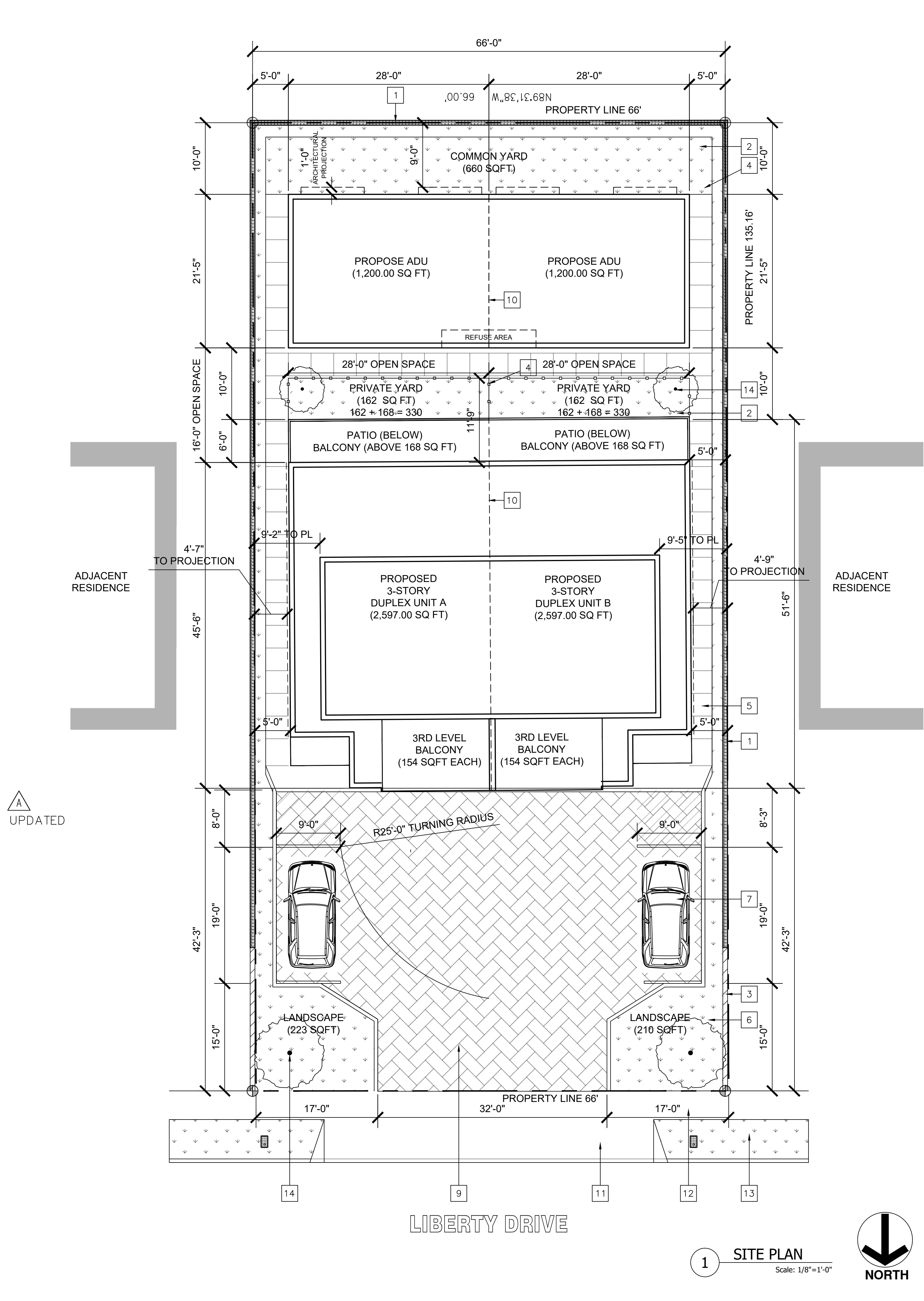
MULTIFAMILY RESIDENTIAL LOTS SHALL HAVE ONE 36-INCH BOX TREE FOR EVERY 45 LINEAL FEET OF STREET FRONTAGE PLANTED WITHIN SETBACK AREAS ADJACENT TO A STREET. IN ADDITION, THERE SHALL BE ONE 36-INCH BOX TREE PLANTED WITHIN THE COMMON OPEN SPACE AREAS FOR EACH GROUND OR FIRST LEVEL UNIT. TOTAL NUMBER OF REQUIRED 36-INCH BOX TREES IS 4.

IMPERVIOUS SURFACE

TOTAL LOT AREA	8,934 SQFT
BUILDING FOOTPRINT (ALL 4 UNITS)	3,768 SQFT
CONCRETE WALKS	508 SQFT
IMPERVIOUS SURFACE TOTAL	4,276 SQFT
DRIVEWAY (PERMEABLE PAVING)	3,099 SQFT (N/A)
PRIVATE YARD (PERMEABLE PAVING)	800 SQFT (N/A)
$4,276 / 8,934 = .47$	47%

PLANNING NOTES

- ALL EXTERIOR LIGHT FIXTURES WILL BE DOWNWARD FACING
- MAXIMUM HEIGHT OF THE WALL WITHIN THE FRONT SETBACK IS 42'



SITE PLAN KEYNOTES

1	(E) 6FT HIGH CMU WALL TO REMAIN
2	(N) PERMEABLE PAVING
3	(N) FRONT YARD LOW CMU PARAMETER WALL, 42 IN MAX HIGH
4	(N) 6ft VINYL FENCE
5	(N) CONCRETE WALK WAY
6	(N) PLANTING AREA
7	(N) PARKING SPACE
8	OPEN SPACE
9	(N) DRIVEWAY
10	(N) FIRE RATED SEPARATION WALL
11	(N) DRIVEWAY APPROACH
12	(E) SIDE WALK
13	(E) PARKWAY
14	(N) 36 INCH BOX TREE TO BE PROVIDED - 2 IN FRONT YARD - 2 IN REAR YARD OPEN SPACE
15	

SYMBOLS LEGEND

	DRAINAGE DIRECTION AND SLOPE
	PROPERTY LINE CORNER POINTS
	KEYNOTE CALLOUTS
	EXISTING WALL TO REMAIN
	WALLS TO BE DEMO

SITE PLAN NOTES

- DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USEABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETE TO BROOM FINISH. EXISTING MATERIALS AND OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC., BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO ARCHITECT AS REQUIRED.
- "PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET"
- "THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM."
- "THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES."
- CONDENSATE WASTE SHALL BE COLLECTED AN DISCHARGED TO AN APPROVED PLUMBING FIXTURE OR DISPOSAL AREA. CONDENSATE OR WASTEWATER SHALL NOT DRAIN OVER A PUBLIC WAY.
- A LIGHTING SYSTEM SHALL BE PROVIDED IN ALL MULTI-FAMILY PROJECTS ALONG ALL VEHICULAR ACCESS WAYS AND MAJOR WALKWAYS. LIGHTING SHALL BE DIRECTED ONTO THE DRIVEWAYS AND WALKWAYS WITHIN THE DEVELOPMENT AND AWAY FROM ADJACENT PROPERTIES. A LIGHTING PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE DIRECTOR.

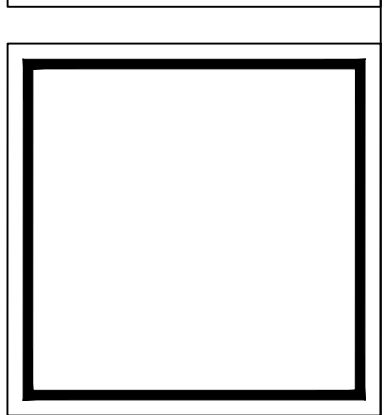
SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. PROPERTY LINES BASED ON PARCEL INFORMATION FROM CITY DATABASE. CONTRACTOR TO VERIFY ON SITE.

MIDWAY CONCEPTS
RESIDENTIAL & COMMERCIAL DESIGN
HUNTINGTON BEACH, CA 92647
(714) 251-2490 (562) 686-1007

DATE	10-24-2025
DESCRIPTION	4th Planning review
REV.	A

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE:
SITE AND DEMO PLAN



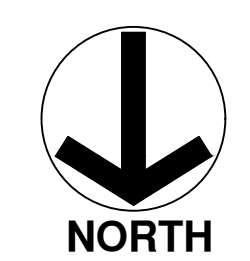
DESIGNER:
SIGNATURE:
CONSULTANT

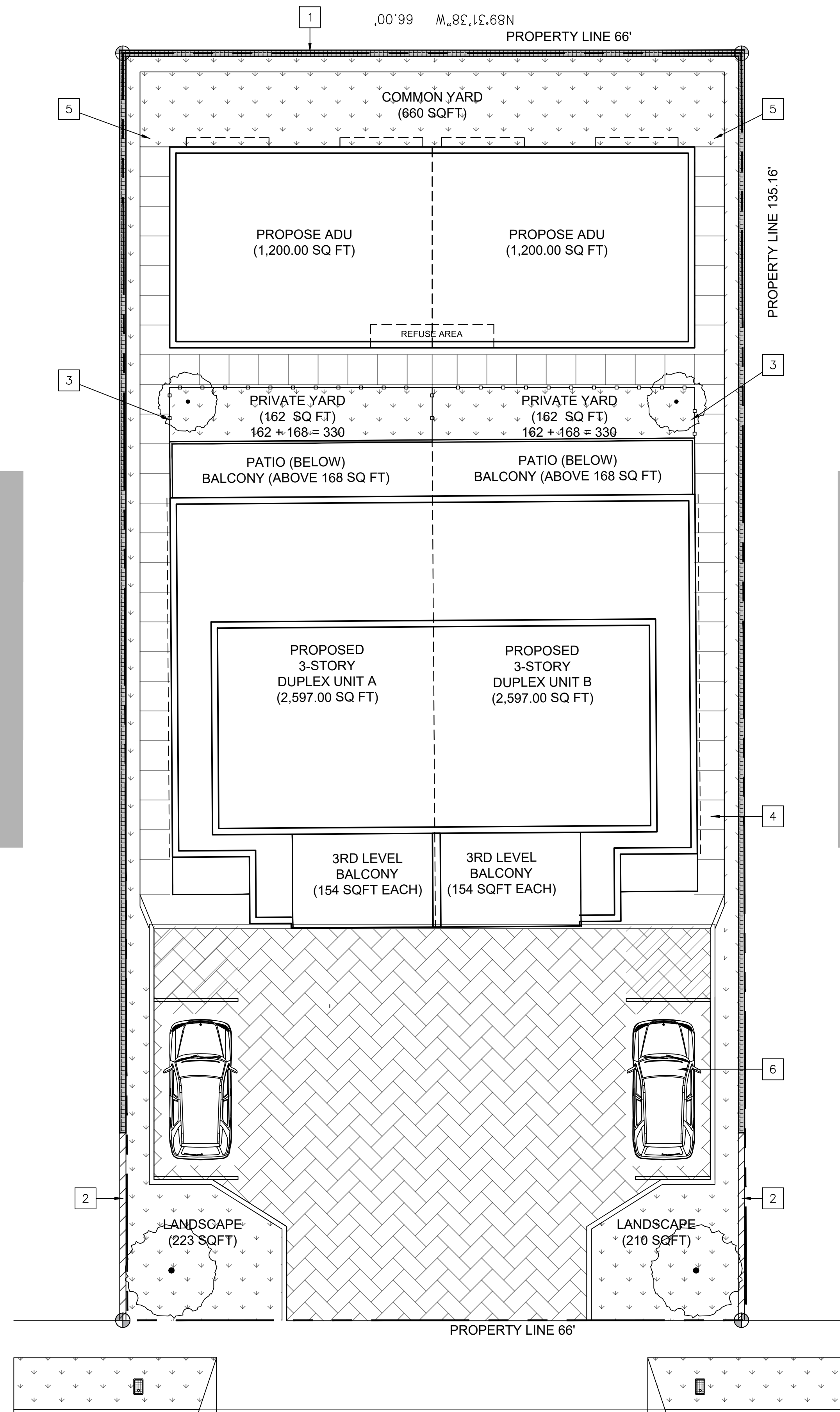
DATE:
5-05-2026
JOB NO.:
23-62
SHEET

A1.0

OF X SHEETS

1 SITE PLAN
Scale: 1/8"=1'-0"





WALL / FENCE PLAN KEYNOTES

1	(E) 6FT CMU WALL TO REAMAIN
2	(E) 3FT CMU WALL TO REAMAIN
3	(N) 6ft VINYL FENCE
4	(N) CONCRETE WALK WAY
5	(N) ACCESS GATE
6	(N) PARKING SPACE
7	

SYMBOLS LEGEND

← 2%	DRAINAGE DIRECTION AND SLOPE
⊕	PROPERTY LINE CORNER POINTS
#	KEYNOTE CALLOUTS
—	EXISTING WALL TO REMAIN
—○—	6FT VINYL FENCE
▨	6FT PERIMETER CMU WALL
▧	3FT LOW FRONT WALL

SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. PROPERTY LINES BASED ON PARCEL INFORMATION FROM CITY DATABASE. CONTRACTOR TO VERIFY ON SITE.

1 WALL / FENCE PLAN
Scale: 1/8"=1'-0"



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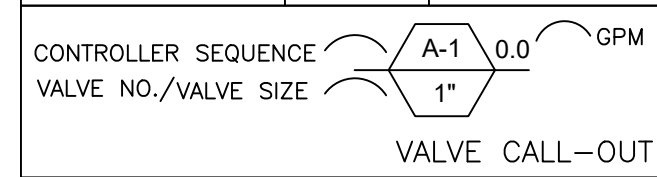


DESIGNER
SIGNATURE
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SHEET A1.1
OF X SHEETS

IRRIGATION HEAD LEGEND												
HEAD SYMBOL		MANUFACTURER/MODEL NUMBER-DESCRIPTION	NOZZLE	ARC/ADJUST	FLOW RATE IN GPM				PSI	RADIUS	DETAIL	SHEET
F	H				Q	V	F	H				
		RAIN BIRD 1806-SAM-PRS-6" POP-UP TURF/SHRUB SPRAY	5" MPR	360°,180°,90°	0.40	0.20	0.10	30	5'	B	L3	
		RAIN BIRD 1806-SAM-PRS-6" POP-UP TURF/SHRUB SPRAY	8" MPR	360°,180°,90°,120°	1.05	0.52	0.26	1.19	30	8'	B	L3
		RAIN BIRD 1806-SAM-PRS-6" POP-UP TURF/SHRUB SPRAY	10" MPR	360°,180°,90°,120°	1.58	0.79	0.39	1.45	30	10'	B	L3
		RAIN BIRD 1806-SAM-PRS-6" POP-UP TURF/SHRUB SPRAY	12" MPR	360°,180°,90°,120°	2.60	1.30	0.65	1.30	30	12'	B	L3
		TORO 5702-PRX-COM-6P-6" POP-UP SHRUB/TREE BUBBLER	SB-360-PC2	360°	0.75				30	1.5'	B	L3

NOTE:
 1. CONTRACTOR SHALL ADJUST SPRAY NOZZLES TO MINIMIZE OVERSPRAY WHEREVER SPRAY HEAD RADII EXCEEDS THE PLANTING&TURF AREA DIMENSIONS.
 2. CONTRACTOR SHALL INSTALL APPROVED "INLINE" OR "AT HEAD" CHECK VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.

IRRIGATION EQUIPMENT LEGEND				
SYMBOL	LEGEND	MANUF.	MODEL NUMBER / DESCRIPTION	DETAIL SHEET
	RAINBIRD	REMOTE CONTROL VALVE MODEL EFB-CP-PRS-D, BRASS REMOTE CONTROL VALVE WITH PRESSURE REGULATING MODULE. SIZE VALVE PER PLAN. INSTALL WITHIN A POLYMER CONCRETE VALVE BOX. REFER TO DETAILS.		C/D L3
	RAINBIRD	REMOTE CONTROL VALVE MODEL PESB-R-PRS-D, PLASTIC REMOTE CONTROL VALVE WITH PRESSURE REGULATING MODULE. SIZE VALVE PER PLAN. INSTALL WITHIN A POLYMER CONCRETE VALVE BOX. REFER TO DETAILS.		C/D L3
	CHAMPION	HOSE BIB MODEL B-401, BENT NOSE BRASS GARDEN VALVE.		D/E L3
	HAMMOND	GATE VALVE, MAINLINE SIZES 1" TO 3. MODEL IB-645 CLASS 125 BRONZE BODY GATE VALVE.		D/F L3
	RAIN BIRD	1806-SAM-PRS-6" POP-UP SHRUB BUBBLER	5"-B +PCS-060	360° 0.60 30 2'-3" B X.X
	APPROVED	MAINLINE PIPE, SIZE MAINLINES PER PLAN. * WHITE PVC SCH 40 IPS FOR MAINLINES SIZES 1" TO 1 1/2" * WHITE PVC CLASS 315 IPS FOR MAINLINES SIZES 2" AND LARGER.		G/H L3
	APPROVED	LATERAL PIPE, MINIMUM PIPE SIZE SHALL BE 3/4", SIZE LATERALS PER PLAN. * WHITE PVC SCH 40 IPS FOR LATERAL SIZES 3/4" TO 1 1/2" * WHITE PVC CLASS 315 IPS FOR LATERAL SIZES 2" AND LARGER.		G/H L3
	NETAFIM	DRIP SHRUB TUBING, TECHLINE SERIES, MODEL TL-CV-06-12, DRIPLINE WITH 0.6gph, PRESSURE COMPENSATING EMITTERS. INSTALL DRIPLINE TUBING WITH TL SERIES BARBED FITTINGS AND SOIL STAPLES MODEL TL-S6. INSTALL SOIL STAPLES AT 2' O.C., AT ALL TEES, ELBOWS, CROSS AND CHANGES IN DIRECTION. INSTALL DRIPLINE TUBING AT 18" ROW SPACING OR AS SHOWN ON THE IRRIGATION PLAN. REFER TO NOTES AND DETAILS. MAINTAIN A TRIANGULAR EMITTER LAYOUT. INSTALL KBI PVC SCH 40 SWING / SPRING CHECK VALVES, MODEL K5C/KC2, AS INDICATED PER THE IRRIGATION DETAILS AND AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.		J L3
	APPROVED	PVC SCHEDULE 40 SLEEVES SHALL BE (2) TIMES THE MAINLINE OR LATERAL LINE SIZE.		H L3
	RAIN BIRD	ESP-TM2 INDOOR/OUTDOOR WALL MOUNTED CONTROLLER BY RAIN BIRD CORPORATION. REFER TO IRRIGATION CONTROLLER NOTE, THIS SHEET, FOR ADDITIONAL INFORMATION. CONTRACTOR TO INITIATE ET MANAGER SERVICE AT COMPLETION OF IRRIGATION INSTALLATION AND ENSURE FULL AND PROPER OPERATION OF THE SYSTEM FOR THE ENTIRE 120 DAY ESTABLISHMENT / MAINTENANCE PERIOD.		A L3
	---	MAINLINE PIPING STUB-OUT WITH PVC SCH 80 CAP INSIDE AN 8" ROUND POLYMER CONCRETE VALVE BOX FOR FUTURE CONNECTION.		--- L3
	---	IRRIGATION POINT OF CONNECTION "POC" LOCATION TO BE PROVIDED BY OWNER. VERIFY LOCATION PRIOR TO BID. INCLUDE ALL NECESSARY MATERIALS REQUIRED FOR CONNECTING NEW MAINLINE PIPE TO EXISTING "POC".		--- L3
	---	CONTRACTOR TO VERIFY THE LOCATION OF EXISTING ELECTRICAL SOURCE WITH OWNER. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO THIS LOCATION FOR IRRIGATION CONTROLLER. BID TO INCLUDE ALL NECESSARY LABOR AND MATERIALS FOR BRINGING POWER TO CONTROLLER PEDESTAL LOCATION. VERIFY LENGTH PRIOR TO BID.		--- L3
	NOT SHOWN	CHRISTY'S VALVE ID TAGS MODEL T-CHRISTY ID-STD-12 YELLOW ID TAG PER REMOTE CONTROL VALVE, GATE VALVE AND QUICK COUPLER VALVE.		--- L3



CONTROLLER NOTES
 CONTROLLER MANUFACTURER: ETWATER
 CONTROLLER ASSEMBLED BY: IMPERIAL TECHNICAL SERVICES
 CONTROLLER #A SPECIFICATION:
 ICA15-RB2-48 / SPT ETMAX / RSE / 2RRC / RMPM-UA
 *** CONTRACTOR TO RETURN CONTROLLER HAND HELD UNIT DEVICE (INCLUDED WITH CONTROLLER A SPECIFICATION) TO OWNER AFTER COMPLETION OF TURN OVER WALK.
 ***FOR ADDITIONAL CONTROLLER ASSEMBLY INFORMATION, PURCHASING AND ORDERING, CONTACT IMPERIAL TECHNICAL SERVICES AT 1-949-584-7311.

VALVE LOCATION NOTE
 THE CONTRACTOR SHALL STAKE OUT EACH BACKFLOW PREVENTER, BALL VALVE, PRESSURE REGULATOR, QUICK COUPLER VALVE AND REMOTE CONTROL VALVE LOCATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH RELOCATING VALVES IF FAILURE TO OBTAIN OWNER'S REPRESENTATIVE APPROVAL.

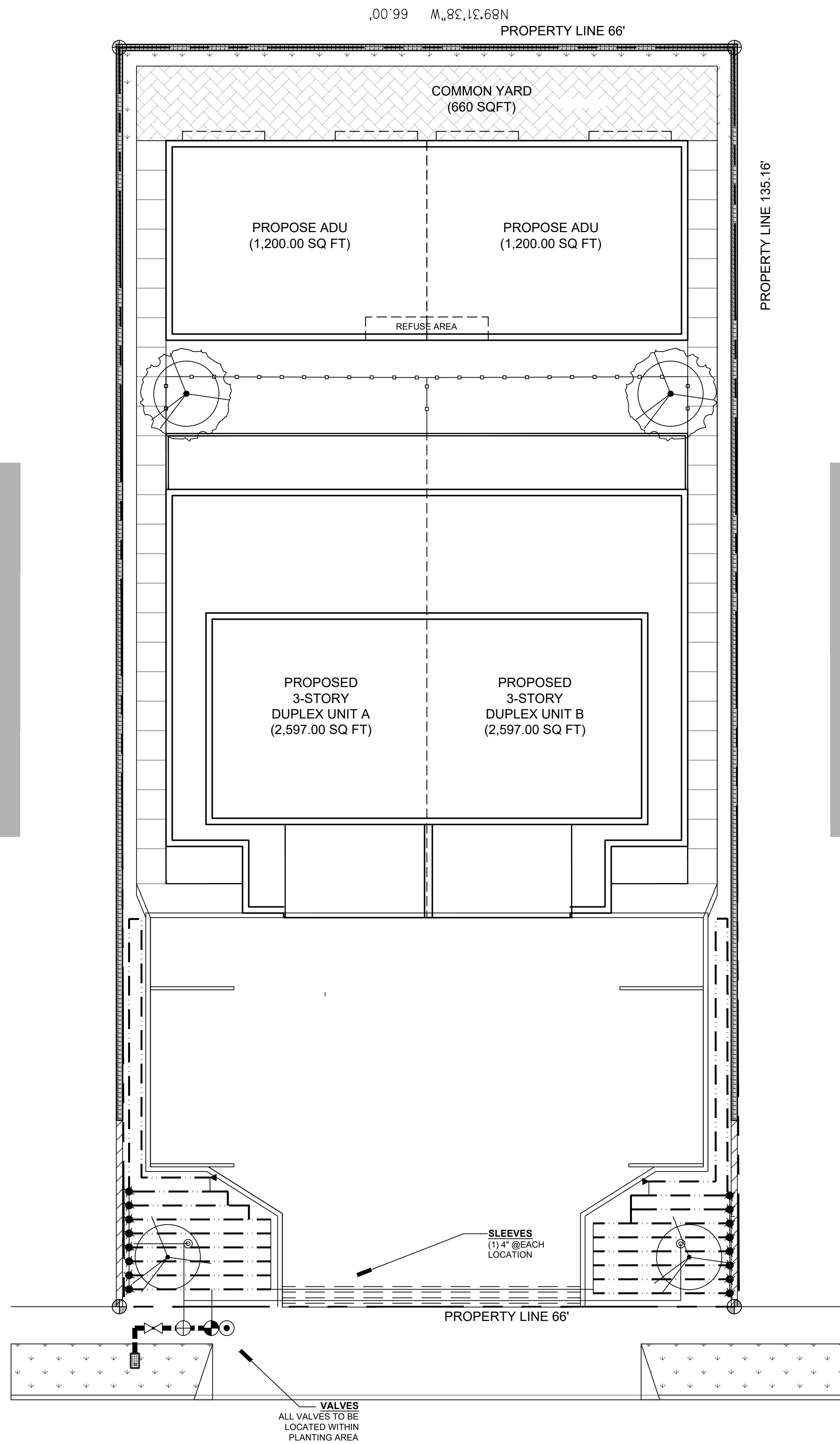
IRRIGATION CONTROLLER NOTE (HO/PRK)
 • CONTRACTOR SHALL VERIFY ELECTRICAL POWER CONNECTION FOR IRRIGATION CONTROLLER PRIOR TO INSTALLATION.
 • IRRIGATION CONTROLLER AND RAIN SENSOR ARE SHOWN DIAGRAMMATIC, FOR CLARITY PURPOSE ONLY. CONTRACTOR SHALL VERIFY FINAL CONTROLLER AND RAIN SENSOR LOCATION, WITH OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION. REFER TO IRRIGATION DETAILS. (TYPICAL)

ADDITIONAL IRRIGATION NOTES
 • CONTRACTOR SHALL ALLOW FOR ON-SITE MODIFICATION OF IRRIGATION LAYOUT AND ALLOW IN THE BID PRICE FOR ADJUSTMENTS.
 • CONTRACTOR SHALL REVIEW VALVE SEQUENCING WITH THE OWNER'S REPRESENTATIVE AND OBTAIN APPROVAL OF SEQUENCING PLAN PRIOR TO INSTALLATION.
 • THE DESIGN IS DIAGRAMMATIC, ALL IRRIGATION EQUIPMENT, PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED PRECISELY WITHIN PLANTING AREAS. LOCATE ALL VALVES IN SHRUB AREAS ONLY. NO ADDITIONAL COMPENSATION ALLOWED.
 • REPAIR SHRUBS DAMAGED DURING THE INSTALLATION OF THE IRRIGATION SYSTEM OR ACCESS, AS NECESSARY.
 • PROVIDE SLEEVING WHERE IRRIGATION SYSTEM PASSES THROUGH OR BELOW ANY HARDSCAPE ITEMS SUCH AS MASONRY WALLS, FOOTINGS, ETC.

ADDITIONAL CONTROLLER NOTES
 CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS ON IRRIGATION CONTROLLER #A...
 ESTABLISH CONNECTION AND VERIFY THAT THERE IS COMMUNICATION BETWEEN IRRIGATION CONTROLLER AND ET MANAGER CARTRIDGE AT COMPLETION OF IRRIGATION INSTALLATION.
 INPUT ALL NECESSARY IRRIGATION (SPRINKLER TYPE, RCV FLOW, ETC.), PLANT (CROP COEFFICIENT, TYPE OF PLANT, SOIL TYPE, ETC.) AND CLIMATE (TEMPERATURE, SUN EXPOSURE, ETC.) INFORMATION, FOR CURRENT SITE CONDITIONS, INTO IRRIGATION CONTROLLER FOR PROPER SCHEDULING OF THE IRRIGATION SYSTEM.
 VERIFY THAT THERE IS COMMUNICATION BETWEEN RAIN SENSOR DEVICE AND IRRIGATION CONTROLLER.
 MAINTAIN, MANAGE AND ADJUST CONTROLLER WATERING SCHEDULES AS NECESSARY DURING THE INSTALLATION AND ENTIRE 120 DAY MAINTENANCE / ESTABLISHMENT PERIOD FOR PROJECT, TO PROVIDE OPTIMUM IRRIGATION RUN TIMES FOR PLANT OPTIMUM GROWTH.
 CONTRACTOR TO DEMONSTRATE / INSTRUCT OWNERS MAINTENANCE STAFF, PRIOR TO START OF MAINTENANCE / ESTABLISHMENT PERIOD, ON OPERATING CONTROLLER / IRRIGATION SYSTEM.

TREE IRRIGATION NOTES
 TREE BUBBLER LOCATION SHOWN ON PLAN IS FOR REFERENCE ONLY. VERIFY FINAL TREE LOCATION PRIOR TO BUBBLER INSTALLATION.
 REFER TO IRRIGATION DETAILS.

IRRIGATION CONTROLLER NOTE (HO/PRK)
 • CONTRACTOR SHALL VERIFY ELECTRICAL POWER CONNECTION FOR IRRIGATION CONTROLLER PRIOR TO INSTALLATION.
 • IRRIGATION CONTROLLER AND RAIN SENSOR ARE SHOWN DIAGRAMMATIC, FOR CLARITY PURPOSE ONLY. CONTRACTOR SHALL VERIFY FINAL CONTROLLER AND RAIN SENSOR LOCATION, WITH OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION. REFER TO IRRIGATION DETAILS. (TYPICAL)



GENERAL IRRIGATION NOTES

- THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED SURFACES IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN PLANTING AREAS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS. NO ADDITIONAL COMPENSATION ALLOWED.
- ALL MAINLINE PIPING, LATERAL PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE AND LATERAL PIPING SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROLLER WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING SURFACES. SLEEVES SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- INSTALL BACKFLOW PREVENTION DEVICE(S) AND ALL MAINLINE PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER PER LOCAL CODES, HEALTH DEPARTMENT AND IRRIGATION LEGEND, NOTES & DETAILS. FINAL LOCATION OF THE BACKFLOW PREVENTER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- 110 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY THE CONTRACTOR UNLESS INDICATED OTHERWISE ON THE IRRIGATION PLAN. THE CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE IRRIGATION CONTROLLER. FINAL LOCATION OF IRRIGATION CONTROLLER SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, CURBS, ETC., AND AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES, UTILITIES, ETC. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY THEIR WORK. THEY SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE AND A MAXIMUM FLOW DEMAND INDICATED ON THE IRRIGATION PLANS. THE IRRIGATION CONTRACTOR SHALL VERIFY EXISTING WATER PRESSURE. FOR EACH POINT OF CONNECTION, PRIOR TO THE INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEMS, REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE, PRIOR TO START OF WORK.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTION, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL MAKE ALL THE NECESSARY REVISIONS AT CONTRACTOR'S OWN EXPENSE.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL KBI SERIES ANTI-DRAIN VALVES (OR APPROVED EQUAL) ON ALL HEADS IN AREAS WHERE FINISH GRADE EXCEEDS 4:1. WHERE POST VALVE SHUT-OFF DRAINING OF THE IRRIGATION HEAD OCCURS OR AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE PRESSURE COMPENSATING SCREENS (PCS) AS NEEDED TO REDUCE OR ELIMINATE OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. OR OTHER AREAS AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL REMOTE CONTROL VALVES, PRESSURE REGULATORS, REMOTE CONTROL VALVES, GATE VALVES CONTROL WIRE / MAINLINE STUB-OUTS SHALL BE INSTALLED COMPLETE IN SUITABLE VALVE / PULL BOXES COMPLETE WITH LOCKING COVERS, GRAVEL, ROCK, ETC., AND AS SHOWN ON THE IRRIGATION DETAILS. THEY SHALL BE CARSON, NDS OR APPROVED EQUAL AND SHALL BE MARKED INDICATING CONTROLLER AND STATION NUMBER AND / OR AS INDICATED ON THE IRRIGATION DETAILS. LOCATE ALL VALVE BOXES IN SHRUB AREAS ONLY.
- ALL CONTROL AND COMMON WIRES SHALL BE MINIMUM 14 GAUGE. COMMON WIRE SHALL BE WHITE WITH DIFFERENT COLORED STRIPES FOR EACH CONTROLLER. CONTROL WIRES SHALL BE DIFFERENT COLORS FOR EACH CONTROLLER WHEN MULTIPLE CONTROLLERS ARE UTILIZED.

SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. PROPERTY LINES BASED ON PARCEL INFORMATION FROM CITY DATABASE. CONTRACTOR TO VERIFY ON SITE.

1 IRRIGATION PLAN
 Scale: 1/8"=1'-0"



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 SIGNATURE:
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A1.2
 OF X SHEETS

SHRUB AND GROUNDCOVER LEGEND

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS	REMARKS
⊙	38	1 GAL	BULBINE FRUTISCENS	ORANGE STALKED BULBINE	1'-6" O.C.	LOW	SEE DETAIL A
⊗	43	5 GAL	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	2'-0" O.C.	LOW	SEE DETAIL B
⊕	29	5 GAL	ROSMARINUS OFFICINALIS 'ROMAN BEAUTY'	ROMAN BEAUTY ROSEMARY	2'-0" O.C.	LOW	SEE DETAIL B

REFER TO THE PLANTING NOTES AND DETAILS ON THE PLANTING DETAILS SHEET AND THE PLANTING SPECIFICATIONS SHEET.

TREE LEGEND

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS	REMARKS
⊙	4	36" BOX	CALLISTEMON CITRINUS	LEMON BOTTLEBRUSH	LOW	SEE DETAIL C

REFER TO THE PLANTING NOTES AND DETAILS ON THE PLANTING DETAILS SHEET AND THE PLANTING SPECIFICATIONS SHEET.

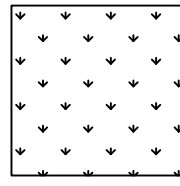
TOTAL LANDSCAPE AREA
860 SQFT.

TOTAL LOT AREA
8,920 SQFT.

PERCENTAGE CALCULATION
 $860 / 8,920 = 0.09 = 9\%$

SODDED TURF LEGEND & NOTES

SYMBOL



SODDED TURF TO MATCH EXISTING SOD ADJACENT. CONTRACTOR TO CONFIRM WITH OWNER'S REPRESENTATIVE FOR THE TYPE OF TURF REQUIRED.

SOIL AMENDMENTS

FOR SODDED AREA TO BE LANDSCAPED, THE FOLLOWING AMENDMENTS SHALL BE UNIFORMLY BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER OR EQUAL TO A DEPTH NO LESS THAN 8 INCHES.

AMOUNT PER 1,000 SQUARE FEET

FOR BIDDING PURPOSES:

3 CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT DERIVED FROM ORGANIC HUMUS WITH A MINIMUM 70% FULLY COMPOSTED FIR OR REDWOOD SHAVINGS CONTENT. GENERAL PURPOSE MULCH AVAILABLE FROM AQUINAGA FERTILIZER COMPANY PHONE: (714) 786-9558, OR APPROVED EQUAL.

15 LBS. SOIL SULFUR
15 LBS. 12-12-12 FERTILIZER
100 LBS. AGRICULTURAL GYPSUM

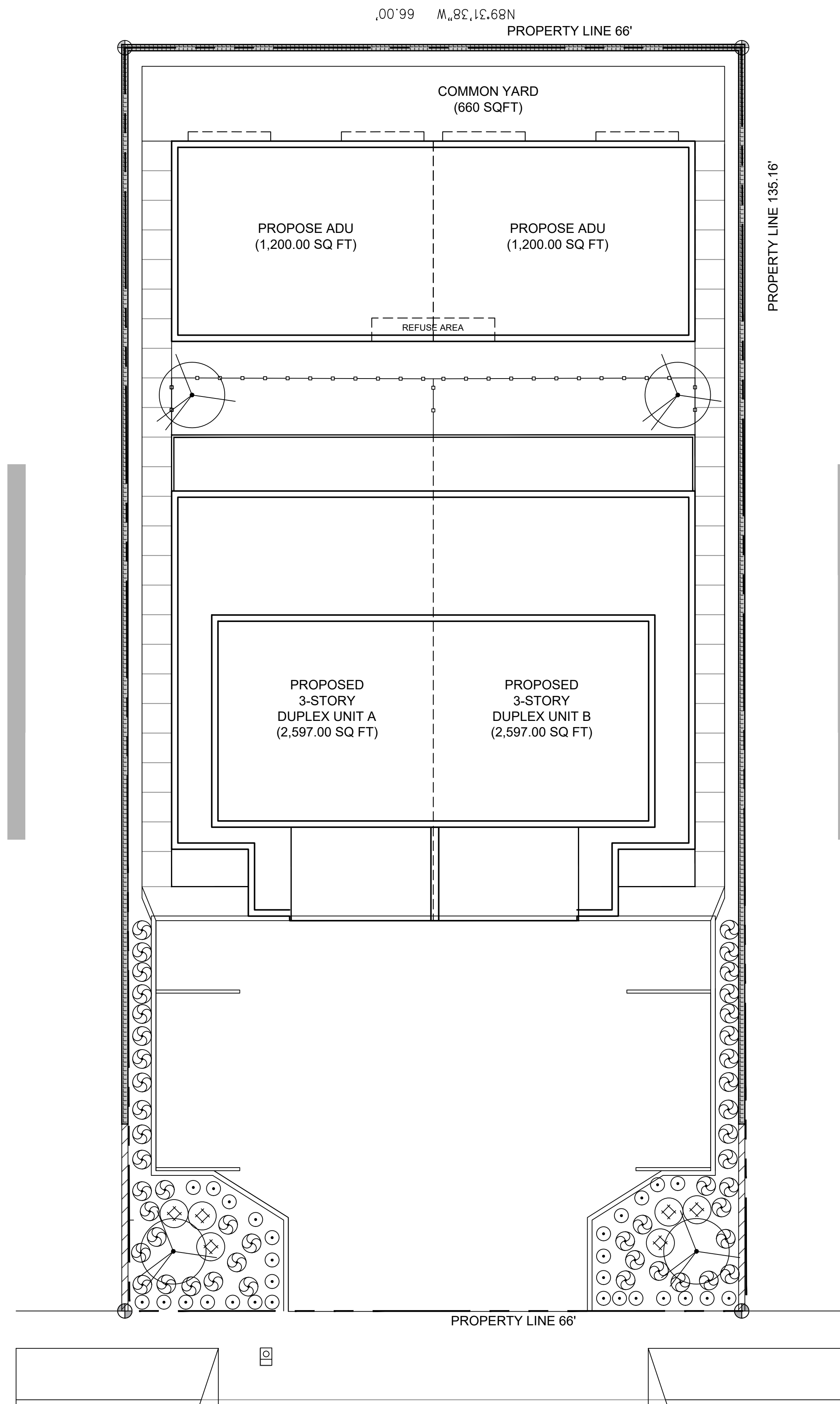
CONTRACTOR SHALL OBTAIN AGRONOMIC TESTING OF SOIL AFTER ROUGH GRADING IS COMPLETE AND MODIFY AMENDMENT SCHEDULE ACCORDINGLY.

TURF AREA FINISH GRADING

SOD CAN BE PLACED AFTER ALL TURF AREAS HAVE BEEN PROPERLY AMENDED, ROTOTILLED AND/OR CROSSRIPPED AND UNIFORMLY COMPACTED AND SMOOTHED OUT TO MEET A UNIFORM CONSISTENT APPEARANCE. THERE SHALL BE NO SOIL DEPRESSIONS OR SURFACE IRREGULARITIES AND GRADING MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT. SOIL SHALL BE FRIABLE AND MOIST PRIOR TO LAYING OF TURF.

SODDED TURF INSTALLATION PROCEDURE

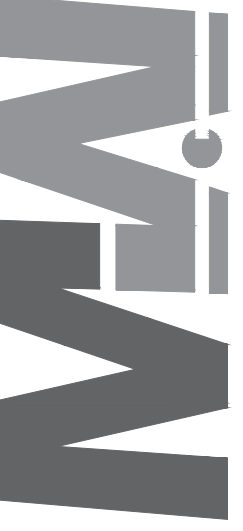
- LAY FIRST STRIP OF SOD SLABS ALONG A STRAIGHT LINE, BUTT JOINTS TIGHTLY; DO NOT OVERLAP EDGES. ON SECOND STRIP, STAGGER JOINTS JUST AS IN LAYING MASONRY. USE A SHARP KNIFE TO CUT SOD TO FIT CURVES, EDGES, SPRINKLER HEADS, ETC. LAY SOD IN ONE DIRECTION ONLY.
- DO NOT LAY ENTIRE LAWN BEFORE WATERING. WHEN A CONVENIENTLY LARGE AREA HAS BEEN SODDED, WATER LIGHTLY TO PREVENT DRYING. CONTINUE TO LAY SOD AND WATER REPEATEDLY UNTIL INSTALLATION IS COMPLETE.
- AFTER LAYING SOD, ROLL LIGHTLY TO ELIMINATE IRREGULARITIES AND TO FORM GOOD CONTACT BETWEEN SOD AND SOIL. AVOID HEAVY ROLLER OR EXCESSIVE INITIAL WATERING WHICH MAY CAUSE ROLLER MARKS.
- WATER THOROUGHLY THE COMPLETED LAWN SURFACE. SOIL SHOULD BE MOISTENED AT LEAST 8 INCHES DEEP. REPEAT WATERING AT REGULAR INTERVALS TO KEEP SOD MOIST AT ALL TIMES UNTIL ROOTED. AFTER SOD IS ESTABLISHED, DECREASE FREQUENCY AND INCREASE AMOUNT OF WATER PER APPLICATION AS NECESSARY.
- ALL UNSUCCESSFULLY ESTABLISHED SOD SHALL BE REMOVED AND NEW SOD LAID TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.



1 PLANTING PLAN Scale: 1/8"=1'-0"



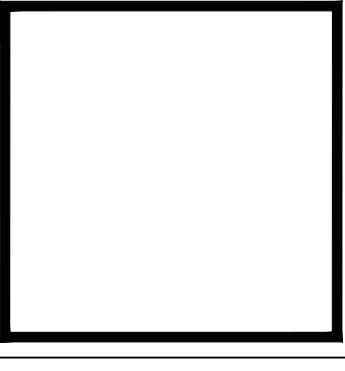
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11000 HUNTINGTON BEACH, CA 92647
(714) 251-2490 (562) 686-1007



REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

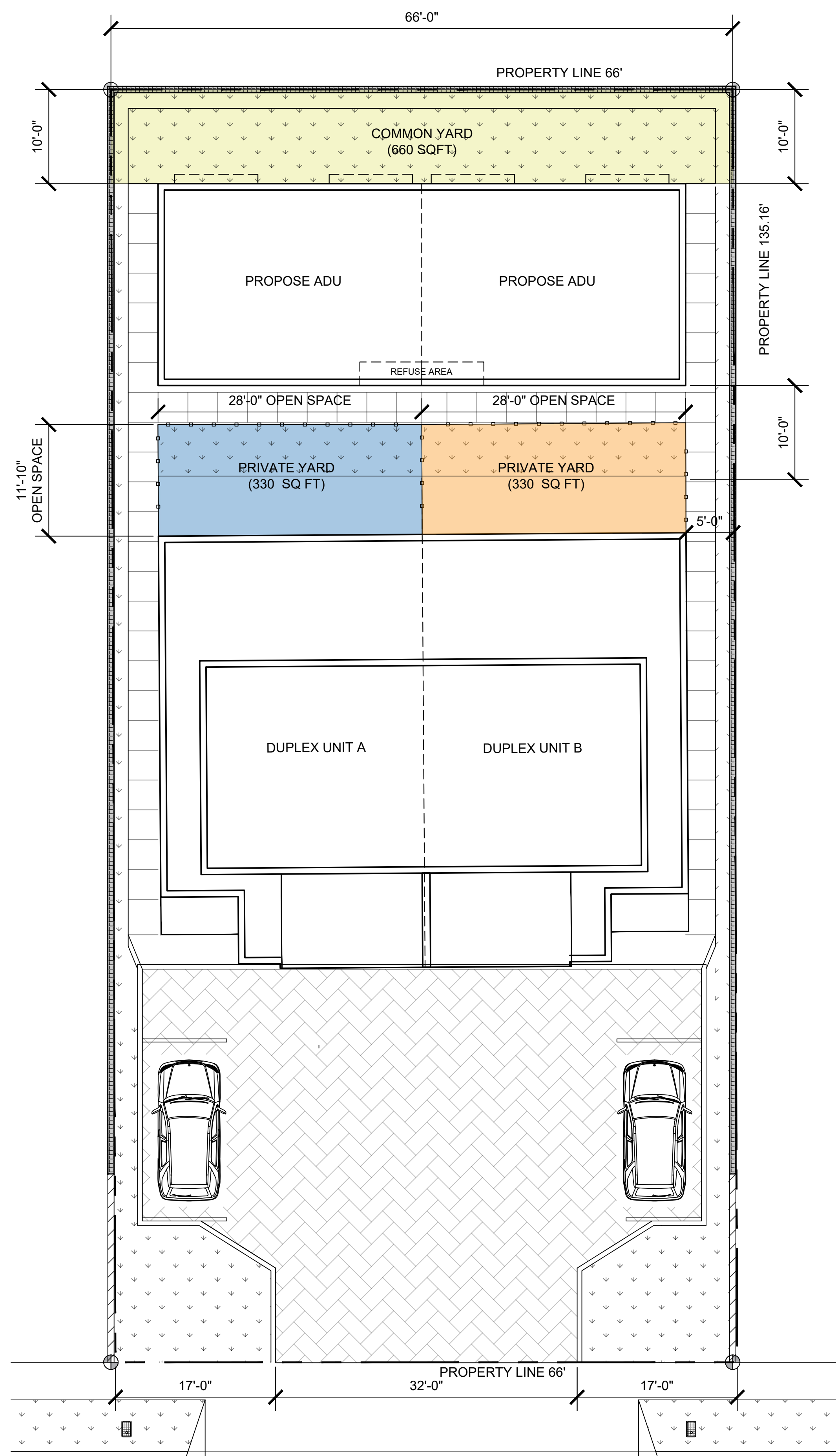
PROJECT: LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE: PLANTING PLAN

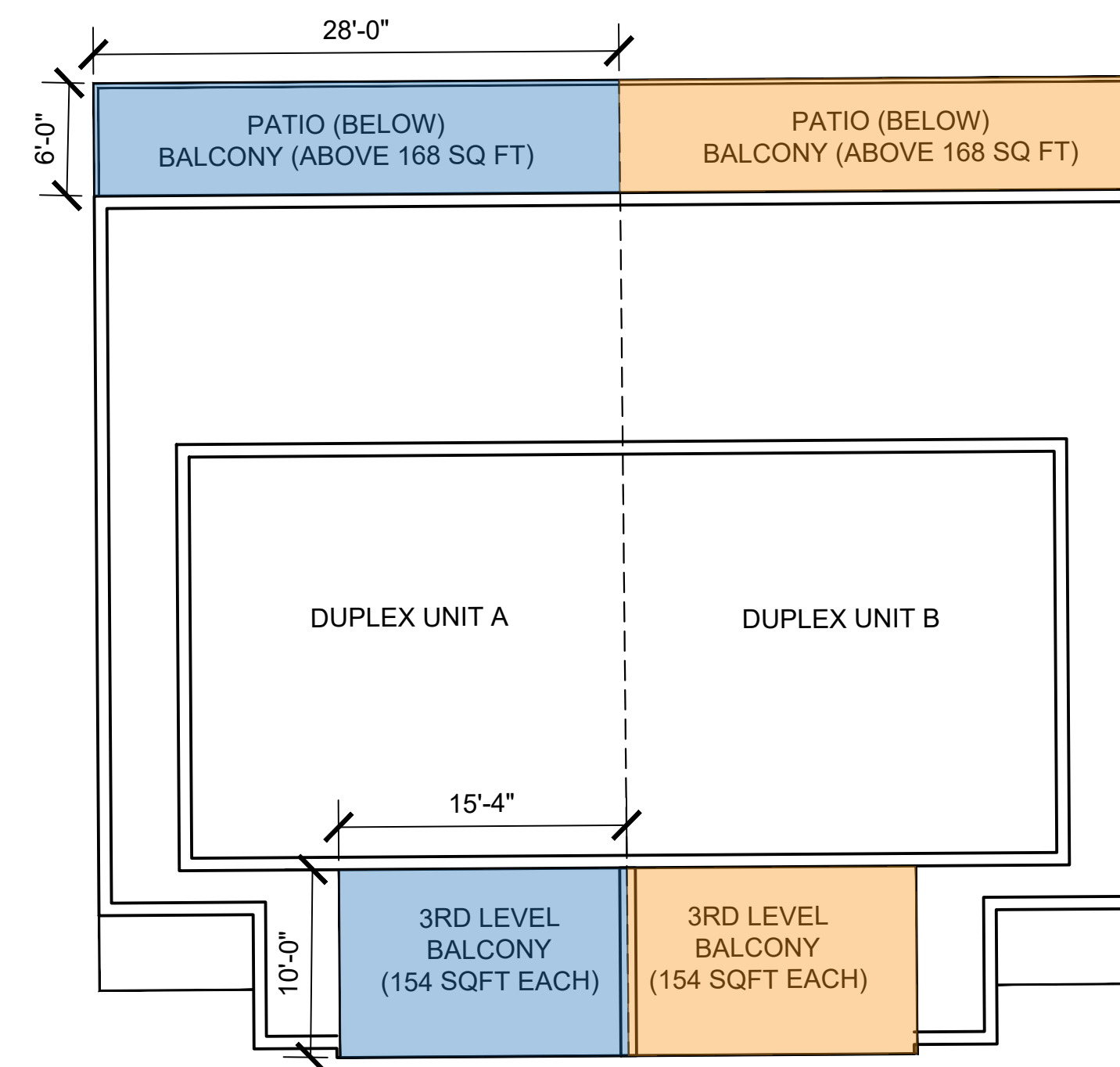


DESIGNER
SIGNATURE
CONSULTANT
DATE: 5-05-2026
JOB NO.: 23-62
SHEET

A1.3 OF X SHEETS



1 GROUND LEVEL
Scale: 1/8"=1'-0"



2 2ND & 3RD LEVEL
Scale: 1/8"=1'-0"

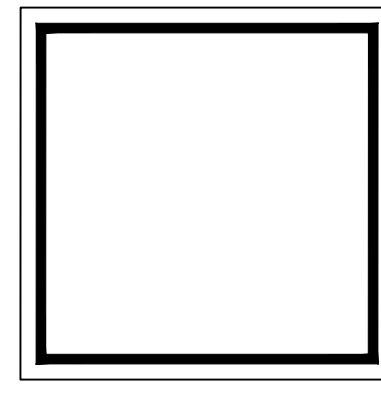
OPEN SPACE				
UNIT	REAR PATIO	PRIVATE YARD	2ND LVL BALCONY	3RD LVL BALCONY
1	168 SF	162 SF	168 SF	154 SF
2	168 SF	162 SF	168 SF	154 SF
ADU 1	N/A			
ADU 2	N/A			
REQUIRED		25% OF 5,194 SQFT = 1,298 SQFT		
TOTAL PROVIDED		2(168 + 162 + 168 + 154) + 660 = 1,964 SQFT		

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REV.	DESCRIPTION	DATE
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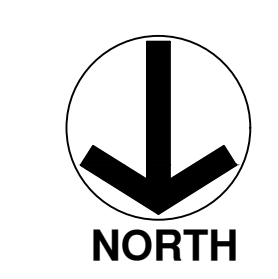
PROJECT: LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

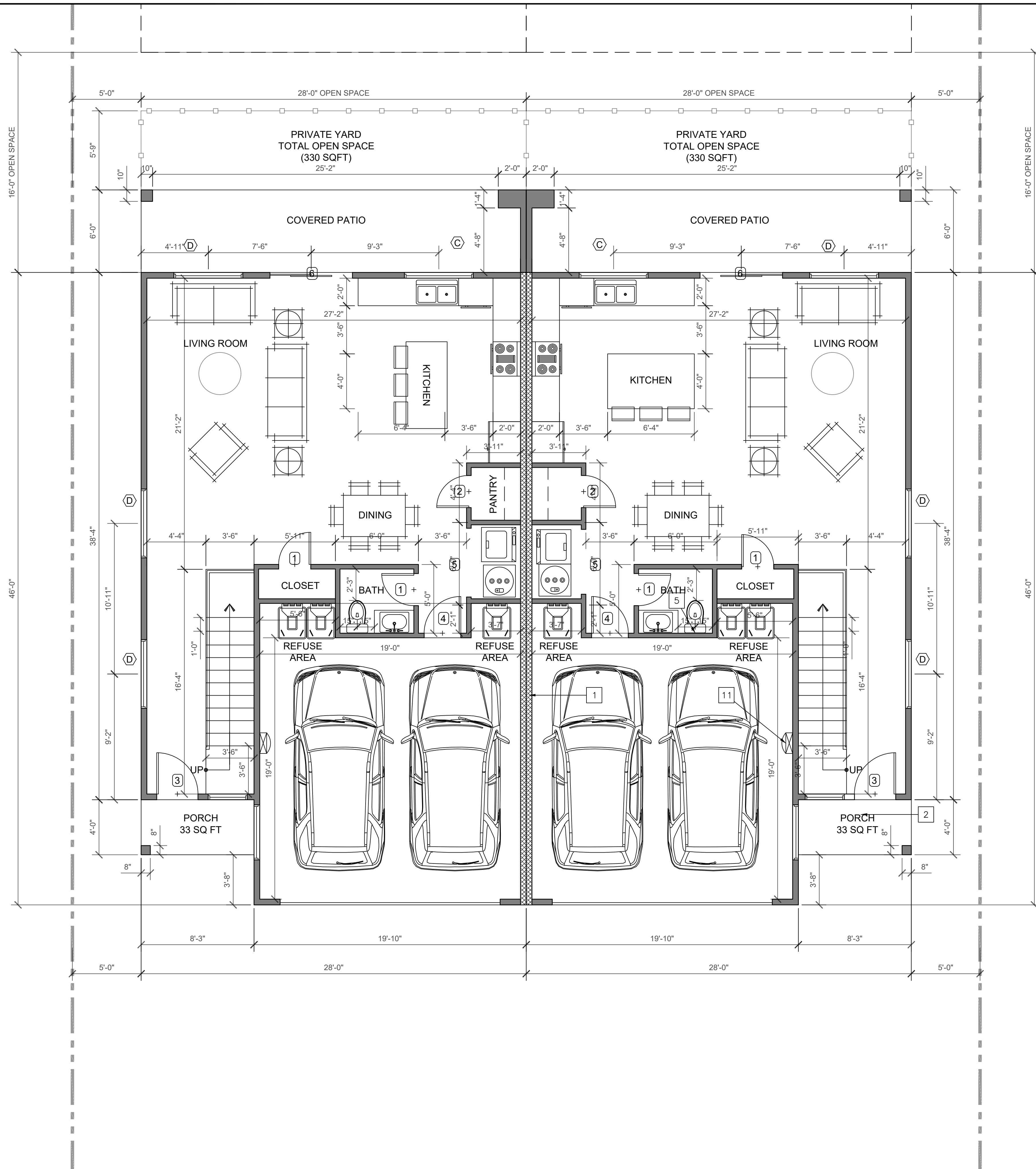
SHEET TITLE: OPEN SPACE DIAGRAMS



DESIGNER
SIGNATURE
CONSULTANT
DATE: 5-05-2026
JOB NO.: 23-62
SHEET

A1.4
OF X SHEETS





1 (N) LEVEL 1 FLOOR PLAN
Scale: 1/4"=1'-0"



WINDOW SCHEDULE

SYM.	SIZE	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(A)	36"W X 24"H	0.3	.23	VINYL/TEMP.	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(B)	48"W X 48"H	0.3	.23	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(C)	60"W X 48"H	0.3	.23	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(D)	60"W X 60"H	0.3	.32	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE

ALL NEW WINDOWS IN NEW BEDROOMS SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS (2019 CBC)
a.) MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
b.) MINIMUM NET CLEAR OPENING WIDTH OF 20" AND CLEAR OPENING HEIGHT OF 24"
c.) WINDOW CLEAR OPENING OF NOT LESS THAN 42" OR NO MORE THAN 44" ABOVE THE FLOOR

DOOR SCHEDULE

SYM.	SIZE	GLAZING	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(1)	2'-6" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
(2)	2'-4" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	PANTRY DOOR SELECTED BY OWNERS
(3)	3'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
(4)	2'-8" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	20 MIN. SELF LATCHING CLOSING DOOR. 1-HR FIRE RATED w/ SECURITY LOCK SELECTED BY OWNERS
(5)	5'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SLIDING	LOUVER DOOR PROVIDING MIN. 100 SQ INCH OF MAKE UP AIR
(6)	6'-0" X 8'-0" X 1 3/8"	N/A	-	-	VINYL	SLIDING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS

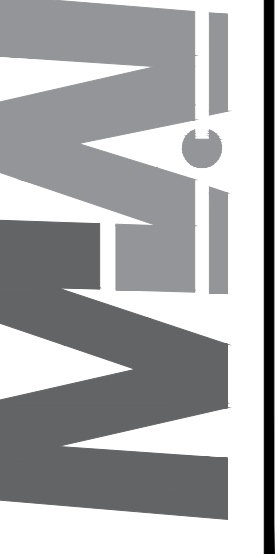
FLOOR PLAN KEYNOTES

- 1 (N) 1-HR FIRE RATED WALL REFER TO DETAIL 12 SHEET A7.
- 2 (N) LANDING. 1 1/2" BELOW THE THRESHOLD. MINIMUM 36" IN DEPTH- SHALL NOT EXCEED 1/4" INCH PER FOOT
- 3 10"X10" VENT THROUGH ATTIC TO T-TOP VENT OR SIMILAR FOR MAKE UP AIR
- 4 **SHOWER REQUIREMENTS**
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6FT ABOVE FLOOR. R307.2
- REINFORCEMENT 2X8 BLOCKING FROM 32" TO 39.25" ABOVE FINISHED FLOOR AND ADDITIONAL LOW BLOCKING WITHIN 6" OF BATHTUB RIM. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED R327.1.1
- NET AREA OF SHOWER RECEPTOR SHALL NOT BE LESS THAN 1,024 SQ IN. OF FLOOR AREA AND ENCOMPASS 30 IN. DIAMETER CIRCLE [CRC R307.1 AND CPC 408.6]
- 5 **WATER CLOSET**
REINFORCEMENT 2X8 BLOCKING FROM 32" TO 39.25" ABOVE FINISHED FLOOR ON BOTH SIDES OF WATER CLOSET, OR ONE SIDE OF WATER CLOSET AND BACK WALL. R327.1.1
- 6 1/2" TYPE X GYP. BOARD
- 7 STAIRS REFER TO DETAIL 3/A4
- 8 HANDRAIL REFER TO DETAIL 3/A4
- 9 GUARDRAIL REFER TO DETAIL 6/A4
- 10 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON ENCLOSED SIDE WITH A 1/2" INCH GYPSUM BOARD.
- 11 ELECTRICAL SUB PANEL. ONE IN EACH UNIT

SYMBOLS LEGEND

- THRESHOLD
- HOSE BIBB
- KEYNOTE CALLOUTS
- WINDOW SCHEDULE CALL OUT
- DOOR SCHEDULE CALL OUT
- PROPOSED WALLS
- PROPOSED 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- (E) EXISTING
- (N) NEW
- (R) REMODEL
- DETAIL CALLOUT
- SECTION CUT

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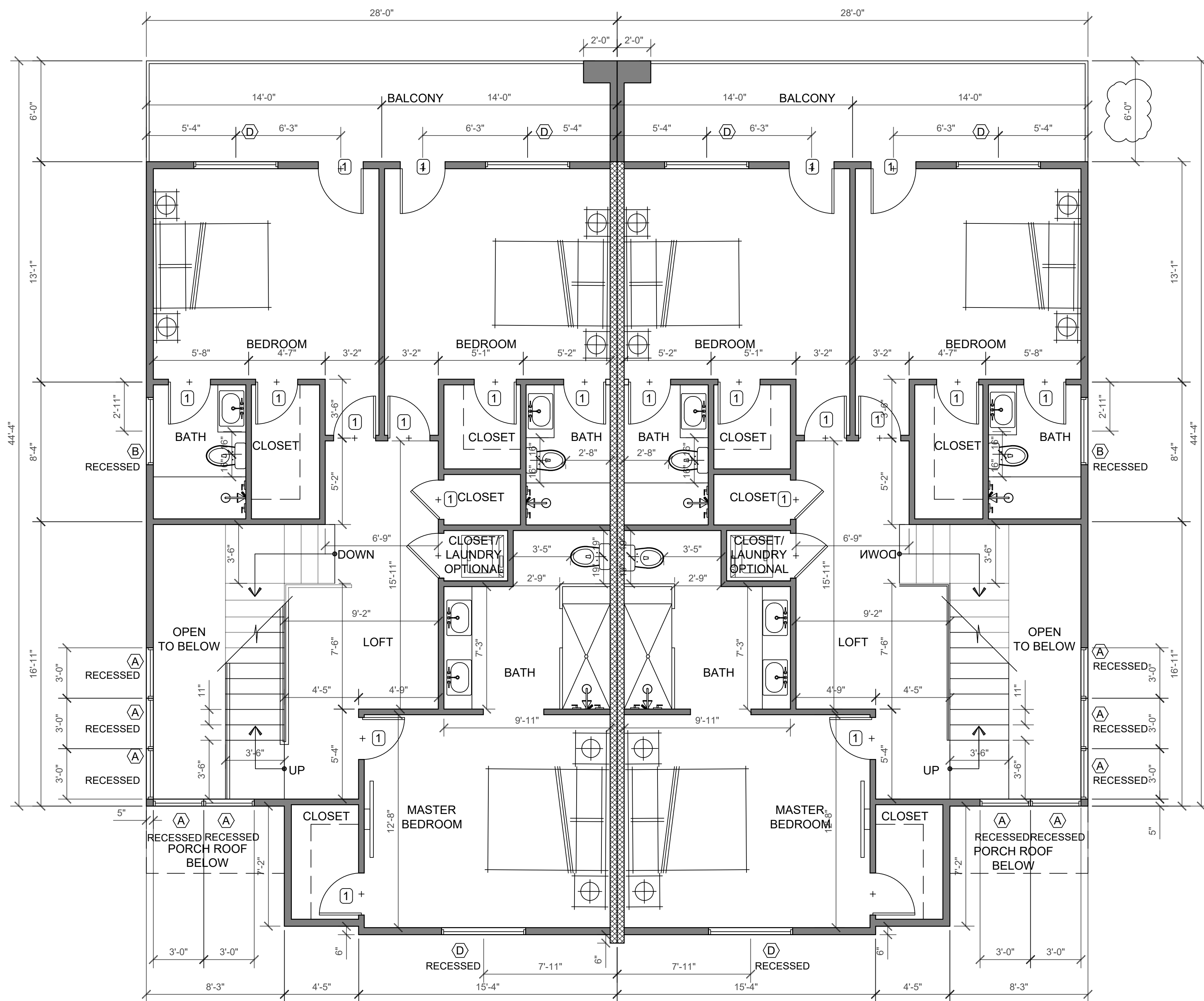
REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE:
PROPOSED
LEVEL 1
FLOOR PLAN

DESIGNER:
SIGNATURE:
CONSULTANT:
DATE: 5-05-2026
JOB NO.: 23-62
SHEET

A2.0
OF X SHEETS



1 (N) LEVEL 2 FLOOR PLAN
Scale: 1/4"=1'-0"



WINDOW SCHEDULE

SYM.	SIZE	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(A)	36"W X 24"H	0.3	.23	VINYL/TEMP.	FIXED	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(B)	48"W X 24"H	0.3	.23	VINYL/TEMP.	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(C)	60"W X 48"H	0.3	.23	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(D)	60"W X 60"H	0.3	.32	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE

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DOOR SCHEDULE

SYM.	SIZE	GLAZING	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
1	2'-6" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
2	2'-4" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	PANTRY DOOR SELECTED BY OWNERS
3	3'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
4	2'-8" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	20 MIN. SELF LATCHING/CLOSING DOOR. 1-HR FIRE RATED w/ SECURITY LOCK SELECTED BY OWNERS
5	5'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SLIDING	LOUVER DOOR PROVIDING MIN. 100 SQ INCH OF MAKE UP AIR
6	6'-0" X 8'-0" X 1 3/8"	N/A	-	-	VINYL	SLIDING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS

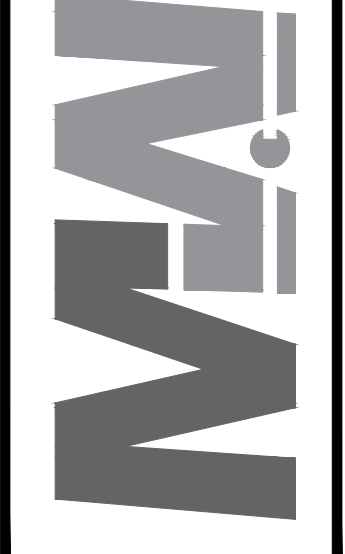
FLOOR PLAN KEYNOTES

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SYMBOLS LEGEND

- THRESHOLD
- HOSE BIBB
- KEYNOTE CALLOUTS
- WINDOW SCHEDULE CALL OUT
- DOOR SCHEDULE CALL OUT
- PROPOSED WALLS
- PROPOSED 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- (E) EXISTING
- (N) NEW
- (R) REMODEL
- DETAIL CALLOUT
- SECTION CUT

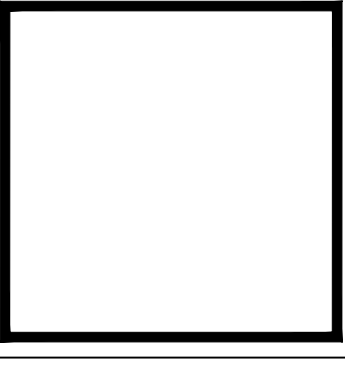
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REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

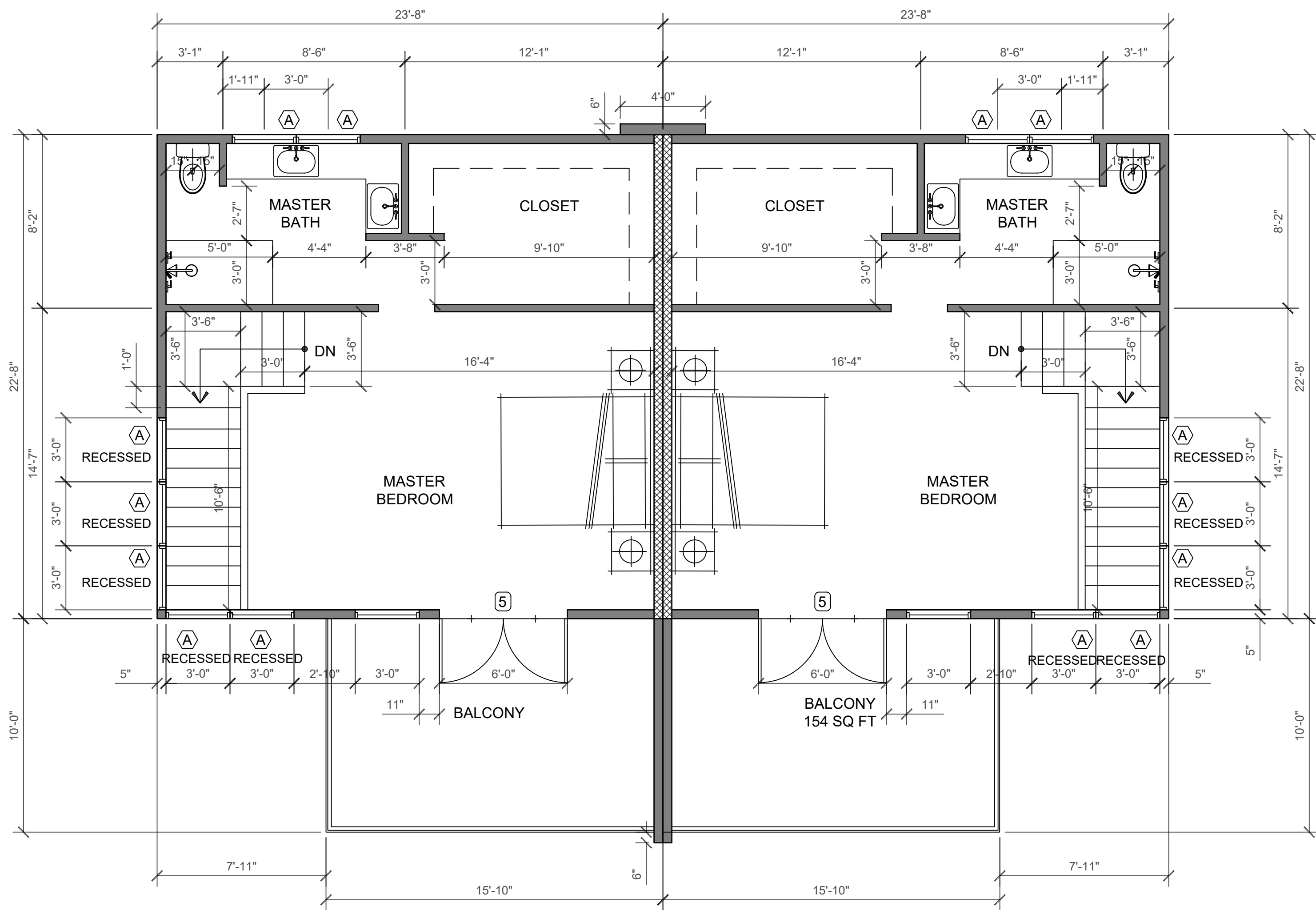
PROJECT:
 LIBERTY DUPLEX AND ADU(S)
 7812 LIBERTY DRIVE
 HUNTINGTON BEACH CA 92683

SHEET TITLE:
 PROPOSED
 LEVEL 2
 FLOOR PLAN



DESIGNER:
 SIGNATURE
 CONSULTANT
 DATE: 5-05-2026
 JOB NO.: 23-62
 SHEET

A2.1
 OF X SHEETS



1 (N) LVL 3 FLOOR PLAN
Scale: 1/4"=1'-0"



WINDOW SCHEDULE

SYM.	SIZE	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(A)	36"W X 24"H	0.3	.23	VINYL/TEMP.	FIXED	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(B)	48"W X 24"H	0.3	.23	VINYL/TEMP.	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(C)	60"W X 48"H	0.3	.23	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(D)	60"W X 60"H	0.3	.32	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE

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DOOR SCHEDULE

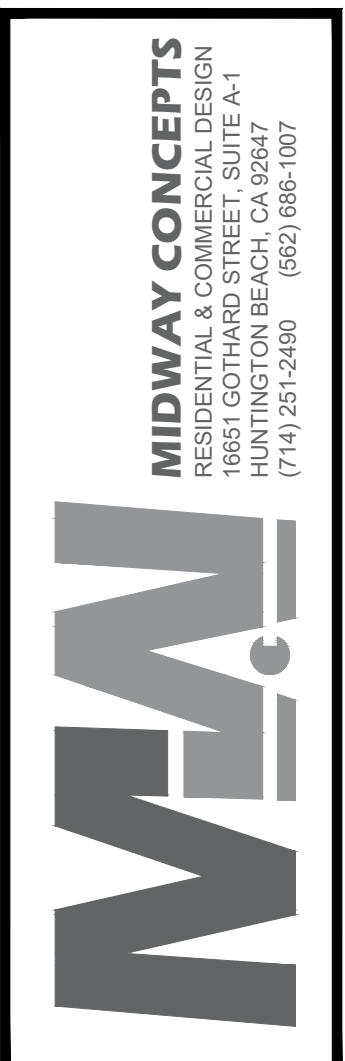
SYM.	SIZE	GLAZING	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
1	2'-6" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
2	2'-4" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	PANTRY DOOR SELECTED BY OWNERS
3	3'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
4	2'-8" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	20 MIN. SELF LATCHING/CLOSING DOOR. 1-HR FIRE RATED w/ SECURITY LOCK SELECTED BY OWNERS
5	5'-0" X 8'-0" X 1 3/8"	N/A	-	-	VINYL	DBL SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
6	6'-0" X 8'-0" X 1 3/8"	N/A	-	-	VINYL	SLIDING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS

FLOOR PLAN KEYNOTES

- 1 (N) 1-HR FIRE RATED WALL REFER TO DETAIL 12 SHEET A7.
- 2 (N) LANDING. 1 1/2" BELOW THE THRESHOLD. MINIMUM 36" IN DEPTH- SHALL NOT EXCEED 1/4" INCH PER FOOT
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SYMBOLS LEGEND

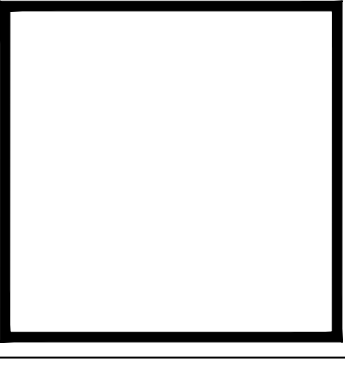
- THRESHOLD
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- KEYNOTE CALLOUTS
- WINDOW SCHEDULE CALL OUT
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- PROPOSED 1HR FIRE RATED WALL
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- (E) EXISTING
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- (R) REMODEL
- DETAIL CALLOUT
- SECTION CUT



REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
 LIBERTY DUPLEX AND ADU(S)
 7812 LIBERTY DRIVE
 HUNTINGTON BEACH CA 92683

SHEET TITLE:
 PROPOSED
 LEVEL 3
 FLOOR PLAN

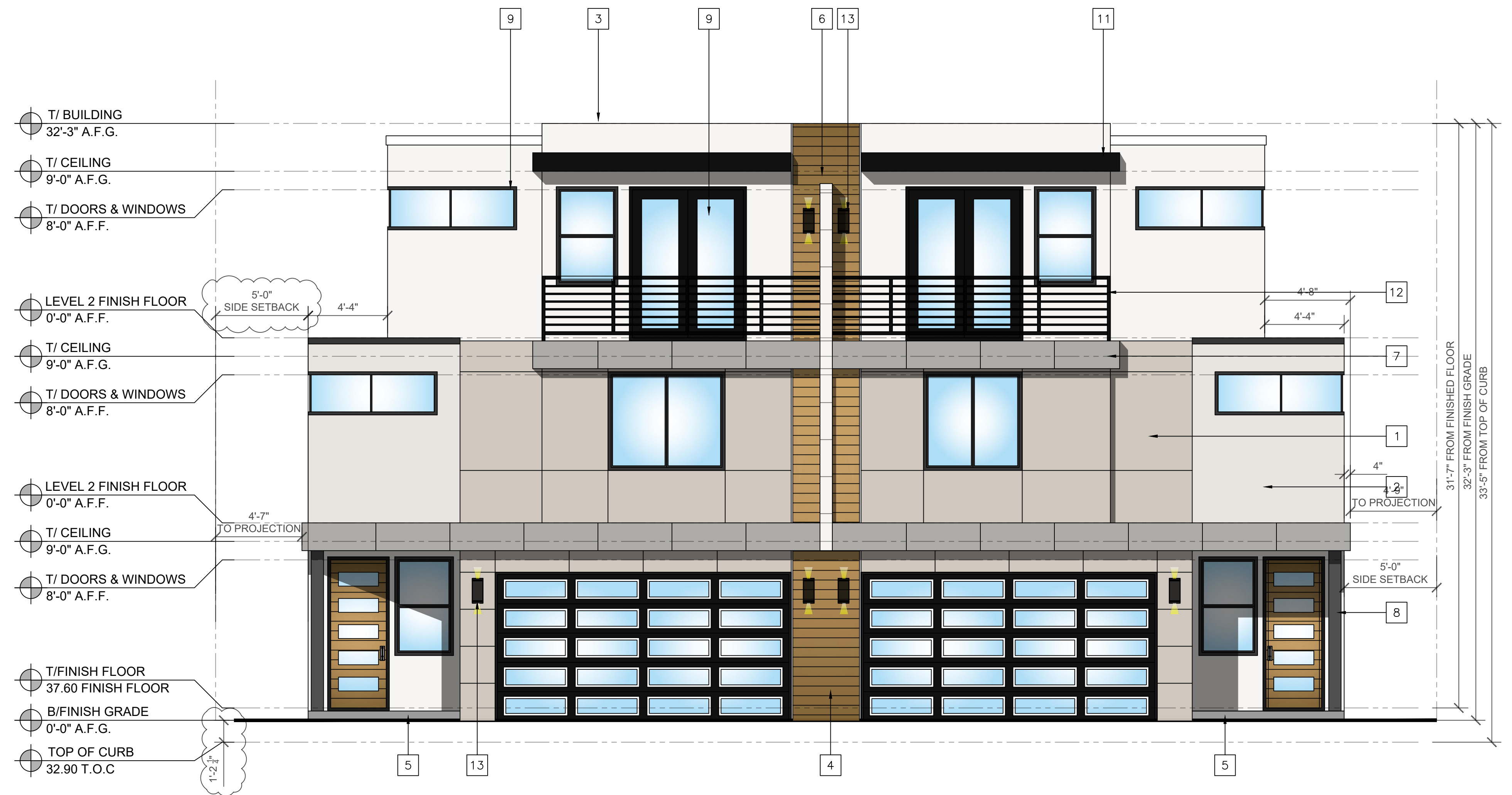


DESIGNER
SIGNATURE
CONSULTANT
DATE
JOB NO.
23-62
SHEET
A2.2
OF X SHEETS

ELEVATION KEYNOTES

1	(N) MAIN COLOR STUCCO
2	(N) ACCENT COLOR STUCCO
3	(N) BATTEN BOARD SIDING
4	(N) BATTEN BOARD WOOD SIDING ACCENT COLOR
5	(N) CONCRETE LANDING AND STEPS
6	(N) DECORATIVE PROJECTION
7	(N) DECORATIVE BAND
8	(N) POST
9	(N) VINYL MOLDING FOR ALL WINDOWS
10	AGE IN PLACE- DOORBELL BUTTONS- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY * DOORBELL BUTTON: WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES (1219.2 MM) MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES (1219.2) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL (CRC R327.1.4)
11	(N) ALUMINUM CANOPY
12	(N) GUARDRAIL
13	(N) LIGHT FIXTURE

NOTE:
- SPECIFICATION #428, PREMISE IDENTIFICATION. NUMBER SETS ARE REQUIRED ON FRONT OF THE STRUCTURE IN A CONTRASTING COLOR WITH THE BACKGROUND AND SHALL BE A MINIMUM OF FOUR INCHES (4") HIGH WITH ONE AND ONE HALF INCH (1/2") BRUSH STROKE. FOR FIRE DEPARTMENT APPROVAL, REFERENCE COMPLIANCE WITH CITY SPECIFICATION #428, PREMISE IDENTIFICATION IN THE PLAN NOTES AND PORTRAY THE ADDRESS LOCATION ON THE BUILDING.



1 NORTH ELEVATION (FRONT)
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION (REAR)
Scale: 1/4" = 1'-0"

REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE:
PROPOSED
DUPLEX
ELEVATIONS

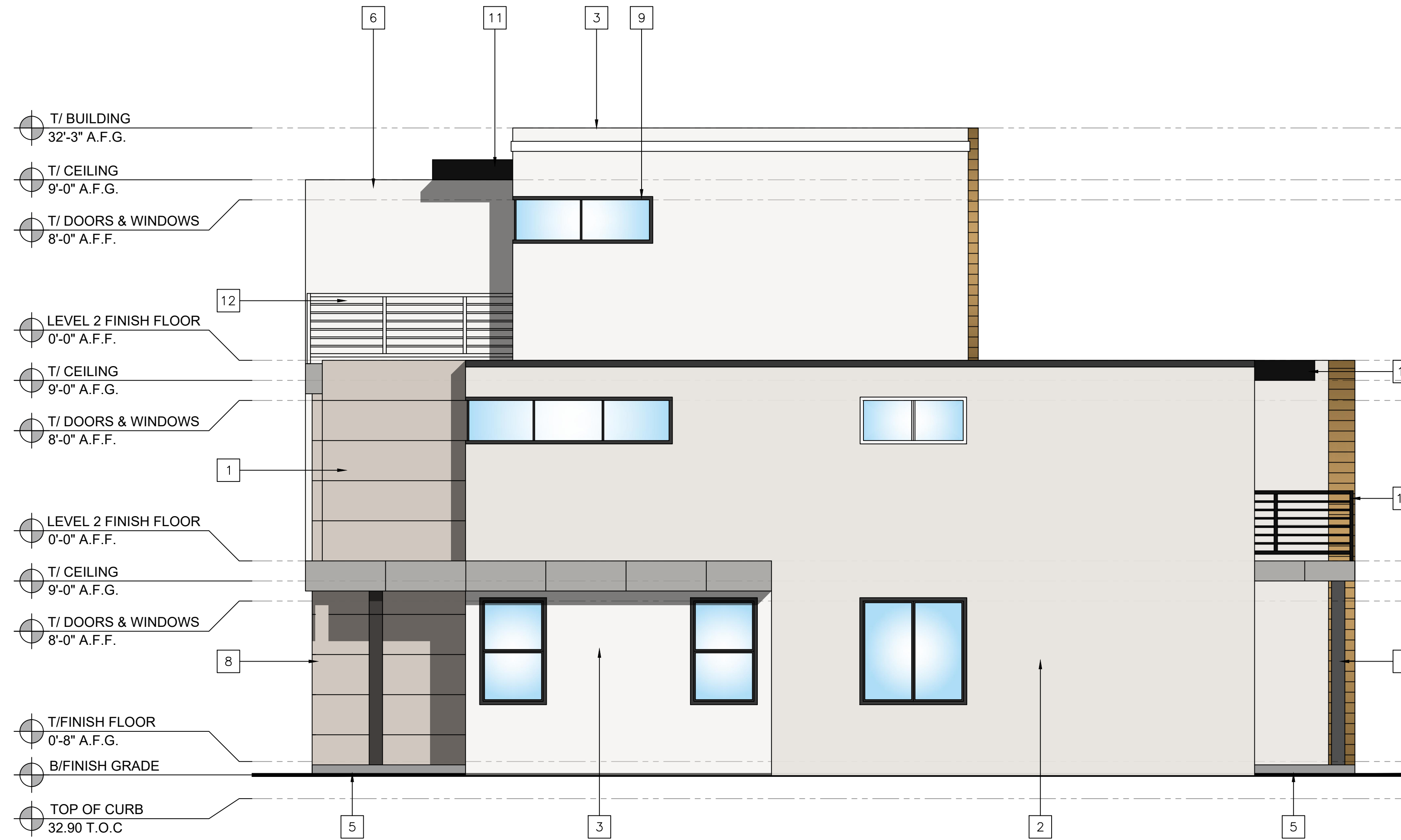
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5-05-2026
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23-62
SHEET

ELEVATION KEYNOTES

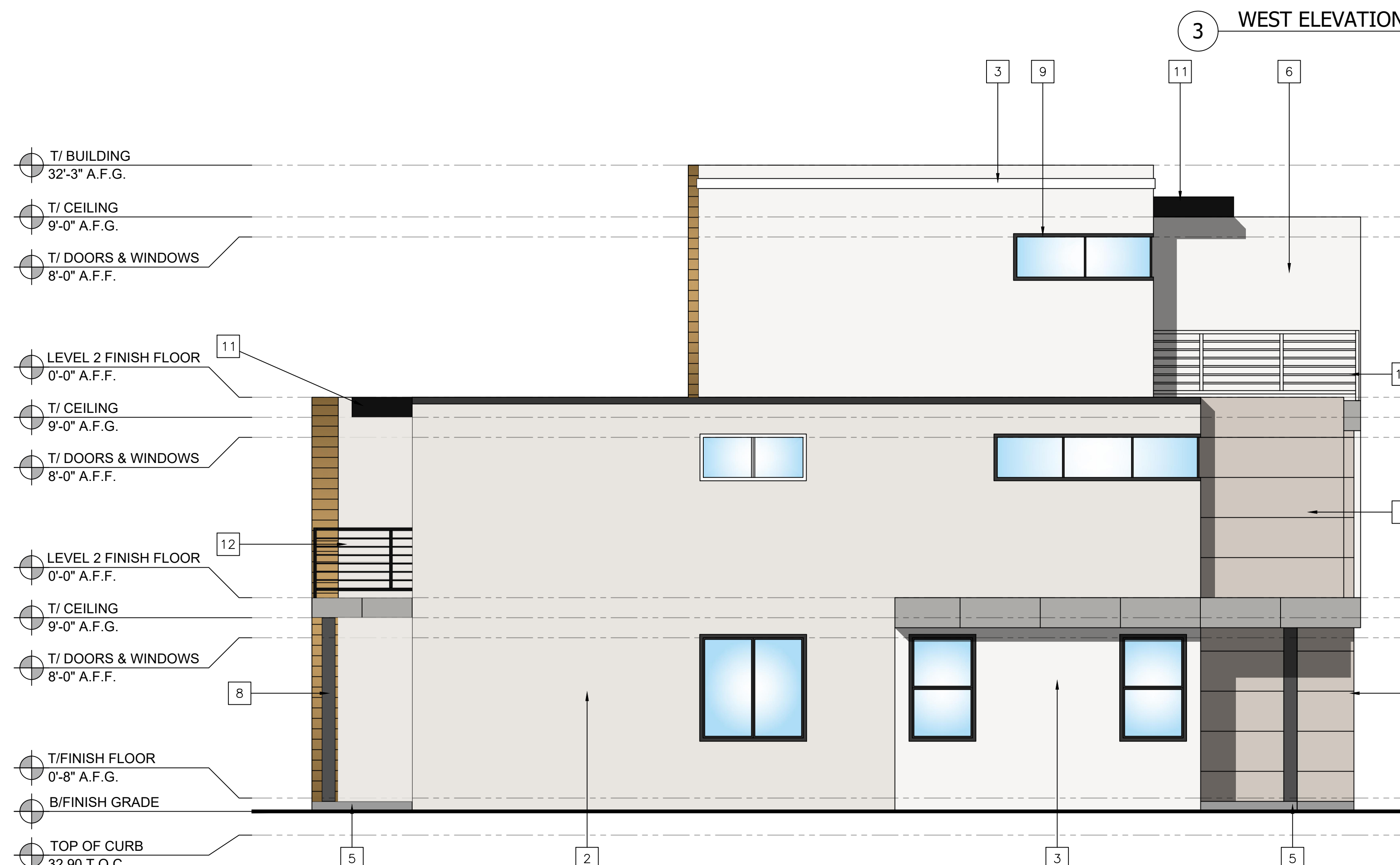
1	(N) MAIN COLOR STUCCO
2	(N) ACCENT COLOR STUCCO
3	(N) BATTEN BOARD SIDING
4	(N) BATTEN BOARD WOOD SIDING ACCENT COLOR
5	(N) CONCRETE LANDING AND STEPS
6	(N) DECORATIVE PROJECTION
7	(N) DECORATIVE BAND
8	(N) POST
9	(N) VINYL MOLDING FOR ALL WINDOWS
10	<p>AGE IN PLACE- DOORBELL BUTTONS- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY</p> <p>* DOORBELL BUTTON: WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES (1219.2 MM) MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES (1219.2) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL (CRC R327.1.4)</p>
11	(N) ALUMINUM CANOPY
12	(N) GUARDRAIL
13	(N) LIGHT FIXTURE

NOTE:

- SPECIFICATION #428, PREMISE IDENTIFICATION. NUMBER SETS ARE REQUIRED ON FRONT OF THE STRUCTURE IN A CONTRASTING COLOR WITH THE BACKGROUND AND SHALL BE A MINIMUM OF FOUR INCHES (4") HIGH WITH ONE AND ONE HALF INCH (1/2") BRUSH STROKE. FOR FIRE DEPARTMENT APPROVAL, REFERENCE COMPLIANCE WITH CITY SPECIFICATION #428, PREMISE IDENTIFICATION IN THE PLAN NOTES AND PORTRAY THE ADDRESS LOCATION ON THE BUILDING.



3 WEST ELEVATION (SIDE)
Scale: 1/4" - 1'-0"



4 EAST ELEVATION (SIDE)
Scale: 1/4" - 1'-0"

MIDWAY CONCEPTS
RESIDENTIAL & COMMERCIAL DESIGN
1100 W. HUNTINGTON BEACH, CA 92647
(714) 251-2490 (952) 886-1007

REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE:
PROPOSED
DUPLEX
ELEVATIONS

DESIGNER
SIGNATURE
CONSULTANT

DATE
5-05-2026
JOB NO.
23-62
SHEET

A3.1
OF X SHEETS

ROOF PLAN NOTES

1	MEMBRANE ROOFING SHALL BE CLASS A MINIMUM CARLISLE SYNTEC, INC. - SURE WELD TPO ROOFING SYS.
2	PARAPET EXCEPTION - PER CBC R302.2.2: MINIMUM CLASS A ROOF COVERING AND ON LAYER OF $\frac{5}{8}$ " TYPE X GYPSUM BOARD INSTALLED DIRECTLY BENEATH THE ROOD DECKING OR SHEATHING, SUPPORTED BY A MINIMUM OR NOMINAL 2 INCH LEDGERS ATTACHED TO THE SIDES OF THE ROOF FRAMING MEMBER FOR A MINIMUM DISTANCE OF 4FT ON EACH SIDE OF THE 1-HOUR PARTY WALL UP TO THE UNDERSIDE OF ROOF SHEATHING.
3	CRICKETS SHALL BE FORMED WITH $\frac{1}{2}$ " PLYWOOD SHEATHING ON FURRING NAILERS
4	3" DOWN SPOUT, DRAIN AND OVERFLOW SCUPPER TYP.
5	DRAIN PIPE
6	ROOF VENT EXHAUST 12" DIA.
7	BALCONY

NEW AREA ATTIC VENTILATION:

ATTIC AREA VENT AREA	535.00 S.F.
CALCULATION	$535.00/150 = 3.56$ S.F.

PROVIDED:

6 EAVE VENTS 15"X5"	= .52EA.	3.12 S.F.
1 GABLE VENTS 24"X18"	= 3.0EA.	3.00 S.F.
X DORMER VENTS 24"X12"	= 2.0EA.	X.XX S.F.
TOTAL		6.12 S.F.

PROVIDE ATTIC VENTILATION W/ CORROSION RESISTANT WIRE MESH W/ OPENINGS OF $\frac{1}{4}$ " IN DIMENSION.

NEW AREA ATTIC VENTILATION: VAULTED AREA

ATTIC AREA VENT AREA	380.00 S.F.
CALCULATION	$915.00/150 = 2.5$ S.F.

PROVIDED:

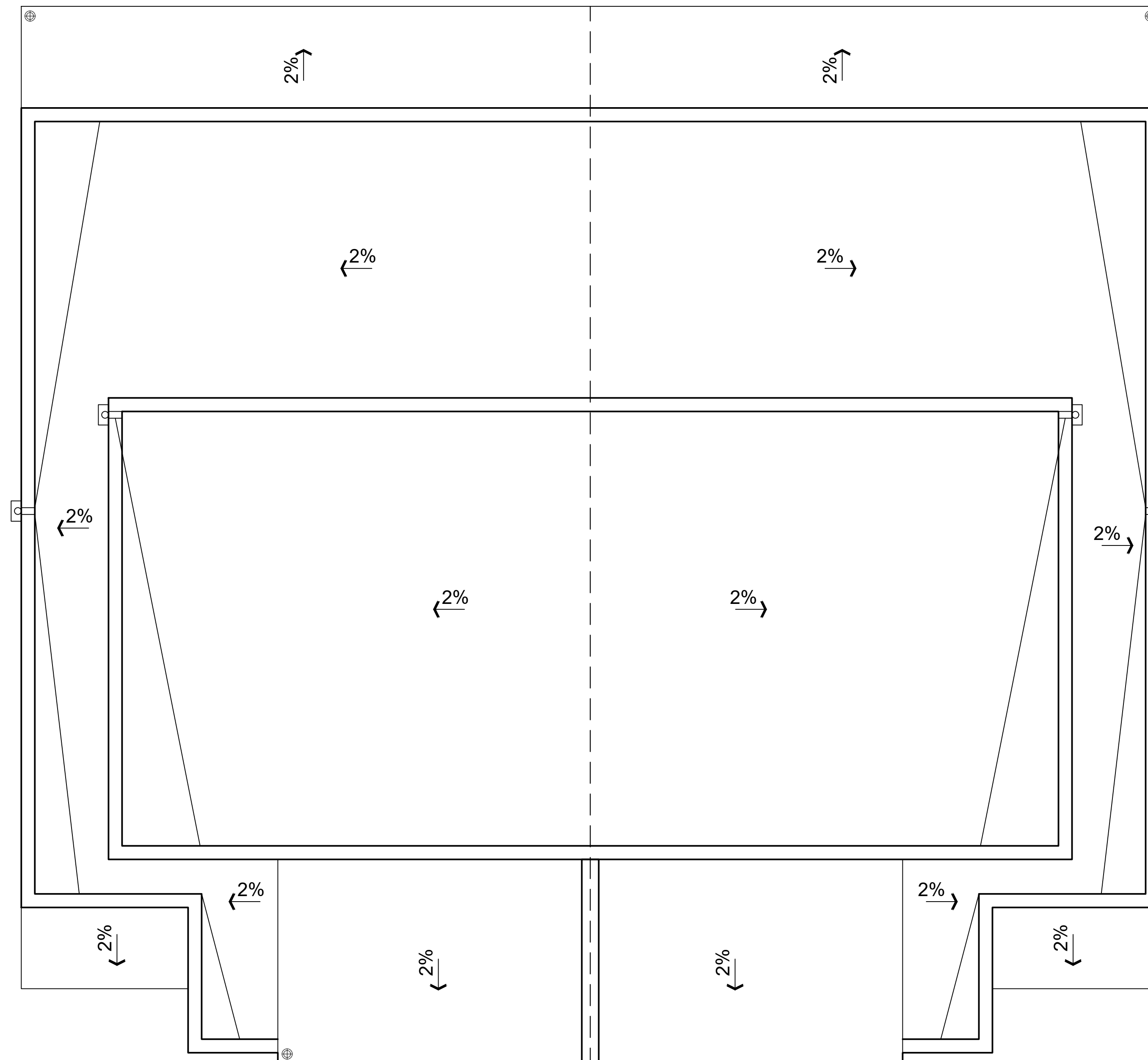
16 EAVE VENTS 15"X5"	= .52EA.	8.32 S.F.
X GABLE VENTS 24"X18"	= 3.0EA.	0.00 S.F.
X DORMER VENTS 24"X12"	= 2.0EA.	0.00 S.F.
TOTAL		8.32 S.F.

PROVIDE ATTIC VENTILATION W/ CORROSION RESISTANT WIRE MESH W/ OPENINGS OF $\frac{1}{4}$ " IN DIMENSION.

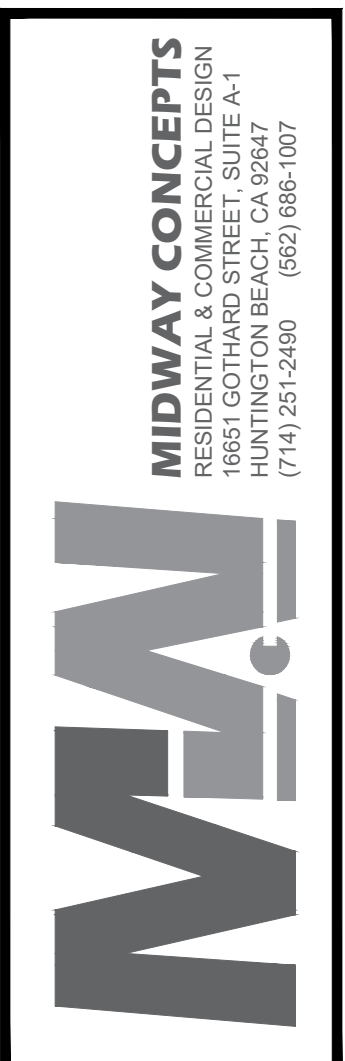
ATTIC VENT NOTE:

- A. OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE.
- B. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN $\frac{1}{150}$ OF THE ATTIC AREA.
- C. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH $\frac{1}{16}$ " MINIMUM AND $\frac{1}{4}$ " MAXIMUM OPENING.
- D. 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.
- E. WHERE THE RATIO OF 1/300 IS USED TO VENT THE ATTICS, NOT LESS THAN 40% BUT NOT MORE THAN 50% OF THE VENTS SHALL BE LOCATED NOT MORE THAN 3FT. BELOW THE RIDGE.

VENT AREA CALCULATION



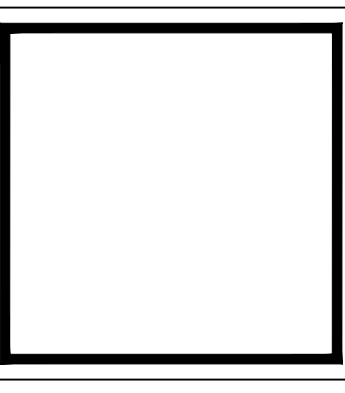
1 ROOF PLAN
Scale: 1/4" = 1'-0"



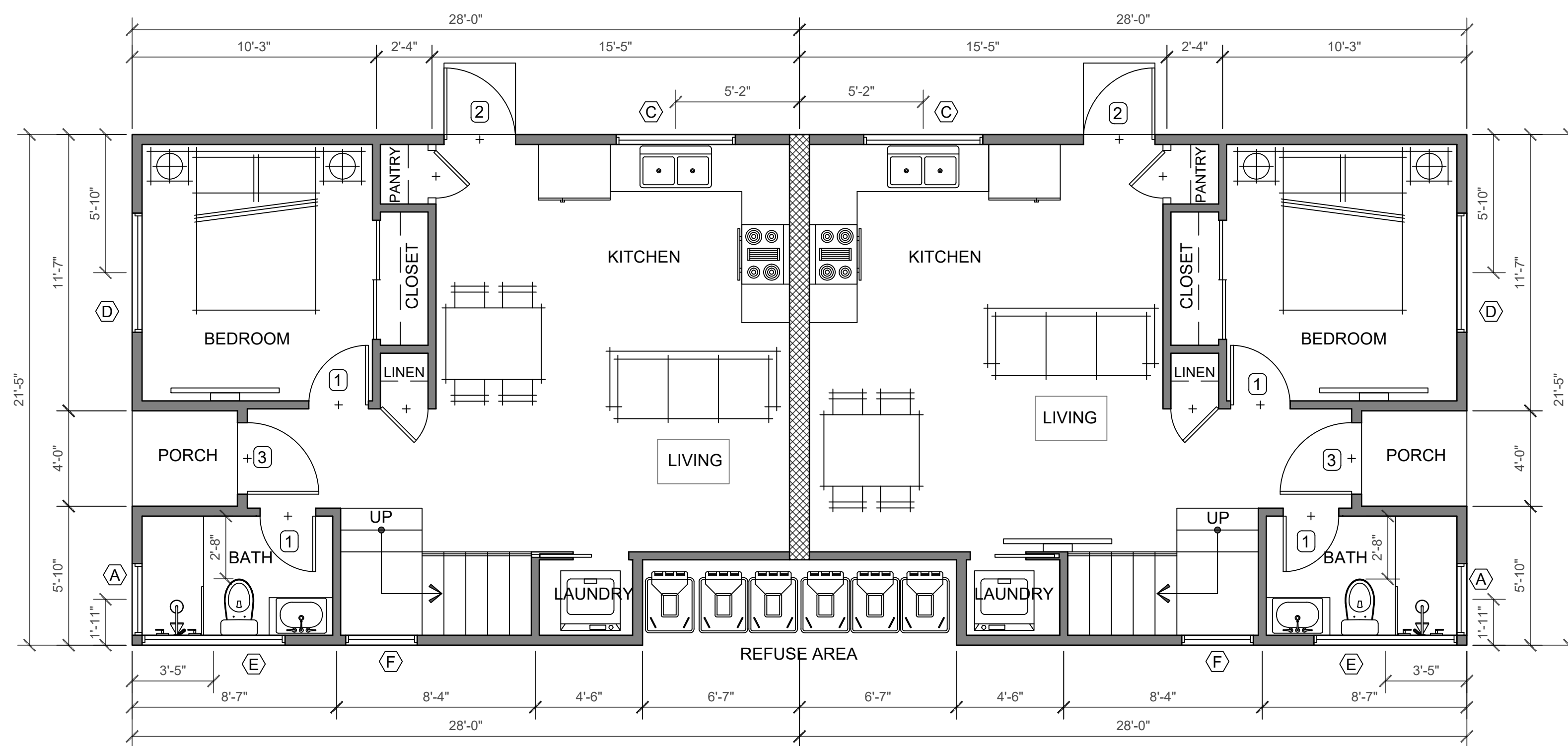
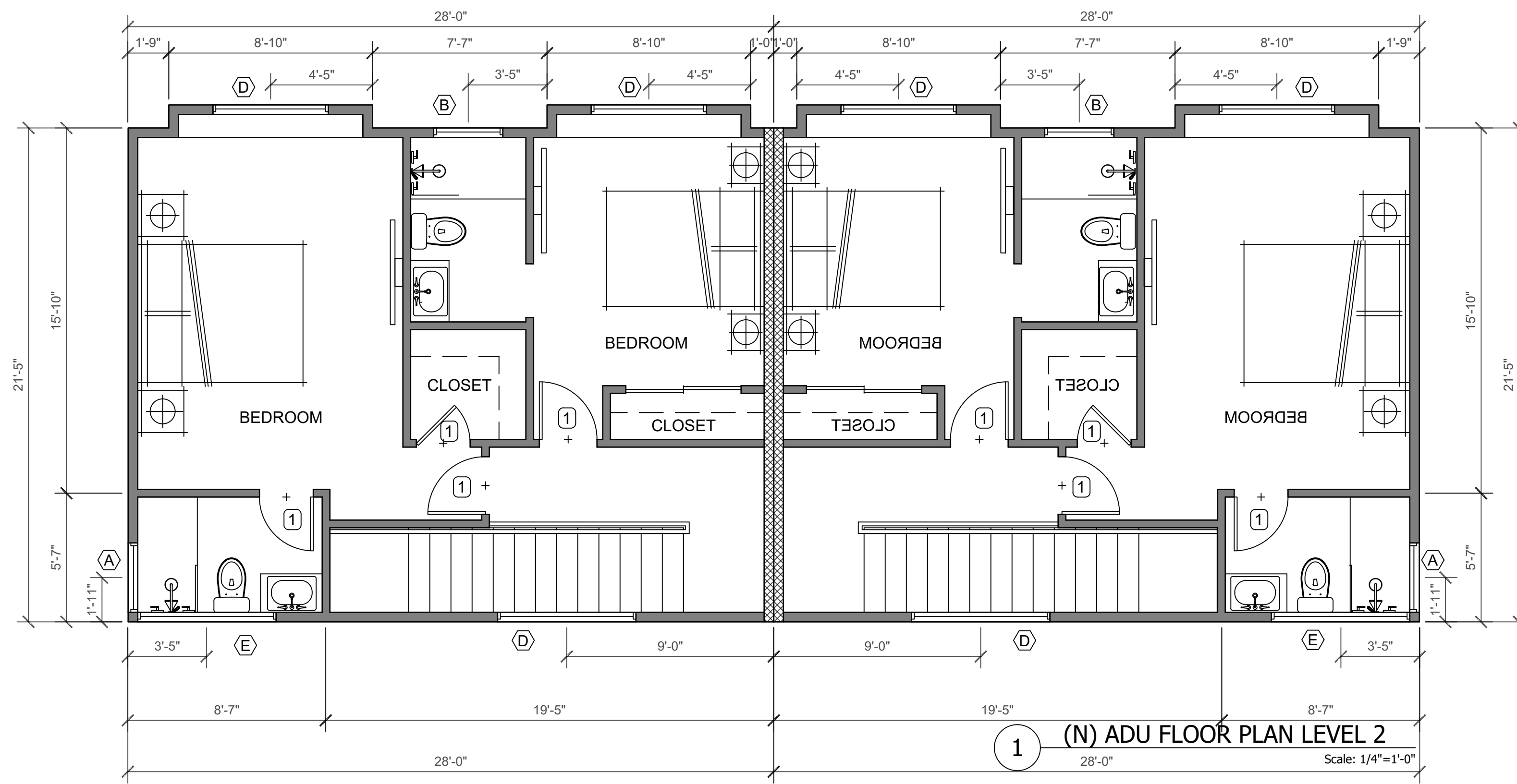
REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

PROPOSED ROOF PLAN



DESIGNER
SIGNATURE
CONSULTANT
DATE
5-05-2026
JOB NO.
23-62
SHEET
A4.0
OF X SHEETS



WINDOW SCHEDULE

SYM.	SIZE	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(A)	36"W X 24"H	0.3	.23	VINYL/TEMP.	FIXED	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(B)	48"W X 24"H	0.3	.23	VINYL/TEMP.	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(C)	60"W X 48"H	0.3	.23	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(D)	60"W X 60"H	0.3	.32	VINYL	SLIDING	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(E)	72"W X 24"H	0.3	.32	VINYL/TEMP.	CLERESTORY	(N) WINDOW - CONTRACTOR TO VERIFY SIZE
(F)	36"W X 60"H	0.3	.32	VINYL	SINGLE HUNG	(N) WINDOW - CONTRACTOR TO VERIFY SIZE

ALL NEW WINDOWS IN NEW BEDROOMS SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS (2019 CBC)
 a.) MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 b.) MINIMUM NET CLEAR OPENING WIDTH OF 20" AND CLEAR OPENING HEIGHT OF 24"
 c.) WINDOW CLEAR OPENING OF NOT LESS THAN 42" OR NO MORE THAN 44" ABOVE THE FLOOR

DOOR SCHEDULE

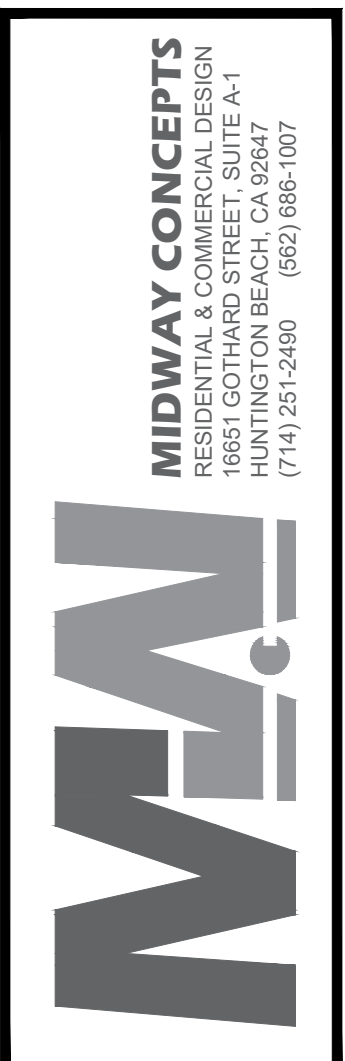
SYM.	SIZE	GLAZING	U-FACTOR	SHGC	MATERIAL	TYPE	REMARKS
(1)	2'-6" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
(2)	2'-8" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	PANTRY DOOR SELECTED BY OWNERS
(3)	3'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS
(4)	2'-8" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SWING	20 MIN. SELF LATCHING/CLOSING DOOR. 1-HR FIRE RATED w/ SECURITY LOCK SELECTED BY OWNERS
(5)	5'-0" X 8'-0" X 1 3/8"	N/A	-	-	WOOD	SLIDING	LOUVER DOOR PROVIDING MIN. 100 SQ INCH OF MAKE UP AIR
(6)	6'-0" X 8'-0" X 1 3/8"	N/A	-	-	VINYL	SLIDING	DOOR w/ SECURITY LOCK SELECTED BY OWNERS

FLOOR PLAN KEYNOTES

- 1 (N) 1-HR FIRE RATED WALL REFER TO DETAIL 12 SHEET A7.
- 2 (N) LANDING. 1 1/2" BELOW THE THRESHOLD. MINIMUM 36" IN DEPTH- SHALL NOT EXCEED 1/4" INCH PER FOOT
- 3 10"X10" VENT THROUGH ATTIC TO T-TOP VENT OR SIMILAR FOR MAKE UP AIR
- 4 **SHOWER REQUIREMENTS**
 - SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6FT ABOVE FLOOR. R307.2
 - REINFORCEMENT 2X8 BLOCKING FROM 32" TO 39.25" ABOVE FINISHED FLOOR AND ADDITIONAL LOW BLOCKING WITHIN 6" OF BATHTUB RIM. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED R327.1.1
 - NET AREA OF SHOWER RECEPTOR SHALL NOT BE LESS THAN 1,024 SQ IN. OF FLOOR AREA AND ENCOMPASS 30 IN. DIAMETER CIRCLE [CRC R307.1 AND CPC 408.6]
- 5 **WATER CLOSET**
 REINFORCEMENT 2X8 BLOCKING FROM 32" TO 39.25" ABOVE FINISHED FLOOR ON BOTH SIDES OF WATER CLOSET, OR ONE SIDE OF WATER CLOSET AND BACK WALL. R327.1.1
- 6 1/2" TYPE X GYP. BOARD
- 7 STAIRS REFER TO DETAIL 3/A4
- 8 HANDRAIL REFER TO DETAIL 3/A4
- 9 GUARDRAIL REFER TO DETAIL 6/A4
- 10 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON ENCLOSED SIDE WITH A 1/2" INCH GYPSUM BOARD.

SYMBOLS LEGEND

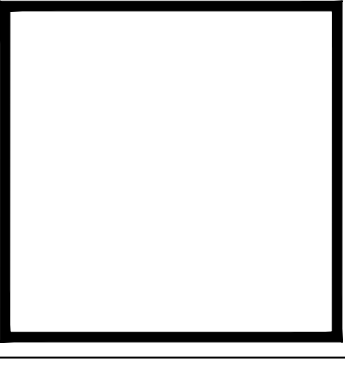
- THRESHOLD
- HOSE BIBB
- KEYNOTE CALLOUTS
- WINDOW SCHEDULE CALL OUT
- DOOR SCHEDULE CALL OUT
- PROPOSED WALLS
- PROPOSED 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- (E) EXISTING
- (N) NEW
- (R) REMODEL
- (A/A1) DETAIL CALLOUT
- X A.X SECTION CUT



REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT: LIBERTY DUPLEX AND ADU(S)
 7812 LIBERTY DRIVE
 HUNTINGTON BEACH CA 92683

SHEET TITLE: PROPOSED ADU FLOOR PLAN



DESIGNER: [Signature]
 CONSULTANT: [Signature]
 DATE: 5-05-2026
 JOB NO.: 23-62
 SHEET: A5.0

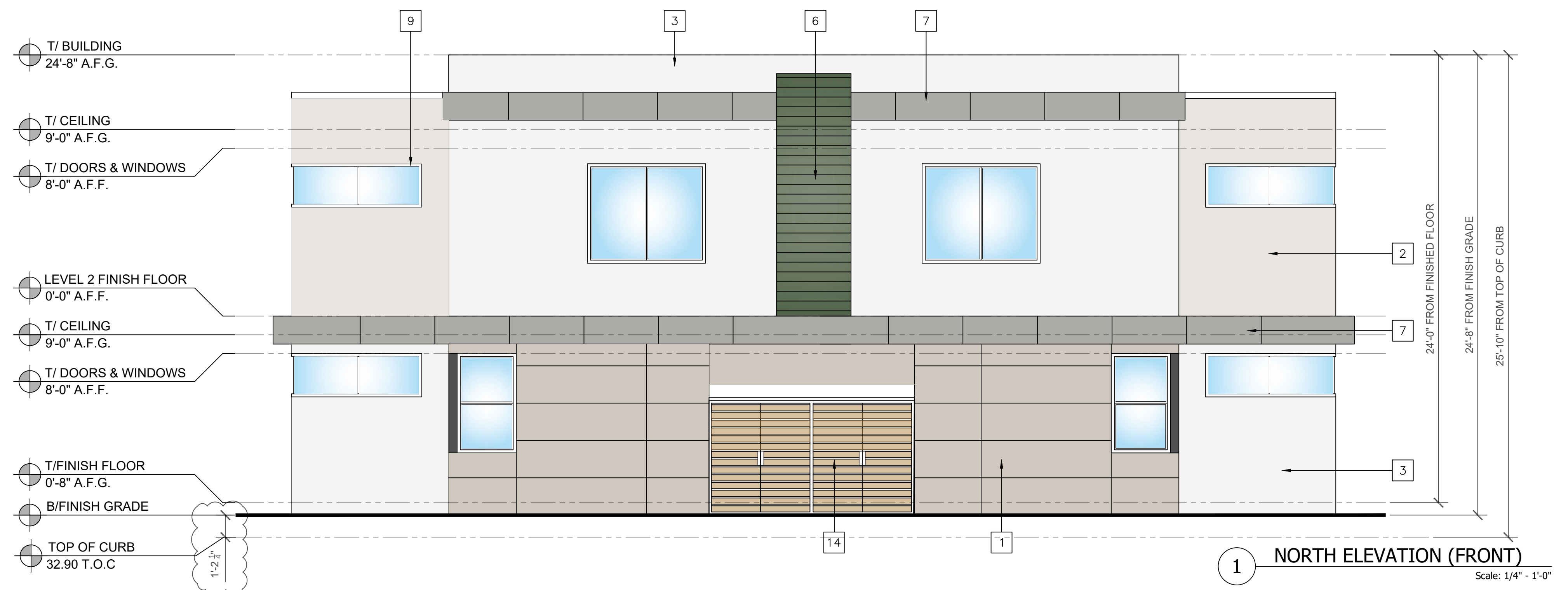


ELEVATION KEYNOTES

1	(N) MAIN COLOR STUCCO
2	(N) ACCENT COLOR STUCCO
3	(N) BATTEN BOARD SIDING
4	(N) BATTEN BOARD WOOD SIDING ACCENT COLOR
5	(N) CONCRETE LANDING
6	(N) DECORATIVE PROJECTION
7	(N) DECORATIVE BAND
8	(N) POST
9	(N) VINYL MOLDING FOR ALL WINDOWS
10	AGE IN PLACE- DOORBELL BUTTONS- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY * DOORBELL BUTTON: WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES (1219.2 MM) MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES (1219.2) ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL (CRC R327.1.4)
11	(N) ALUMINUM CANOPY
12	(N) GUARDRAIL
13	(N) LIGHT FIXTURE
14	(N) WOOD SIDING FENCE FOR TRASH ENCLOSURE

NOTE:

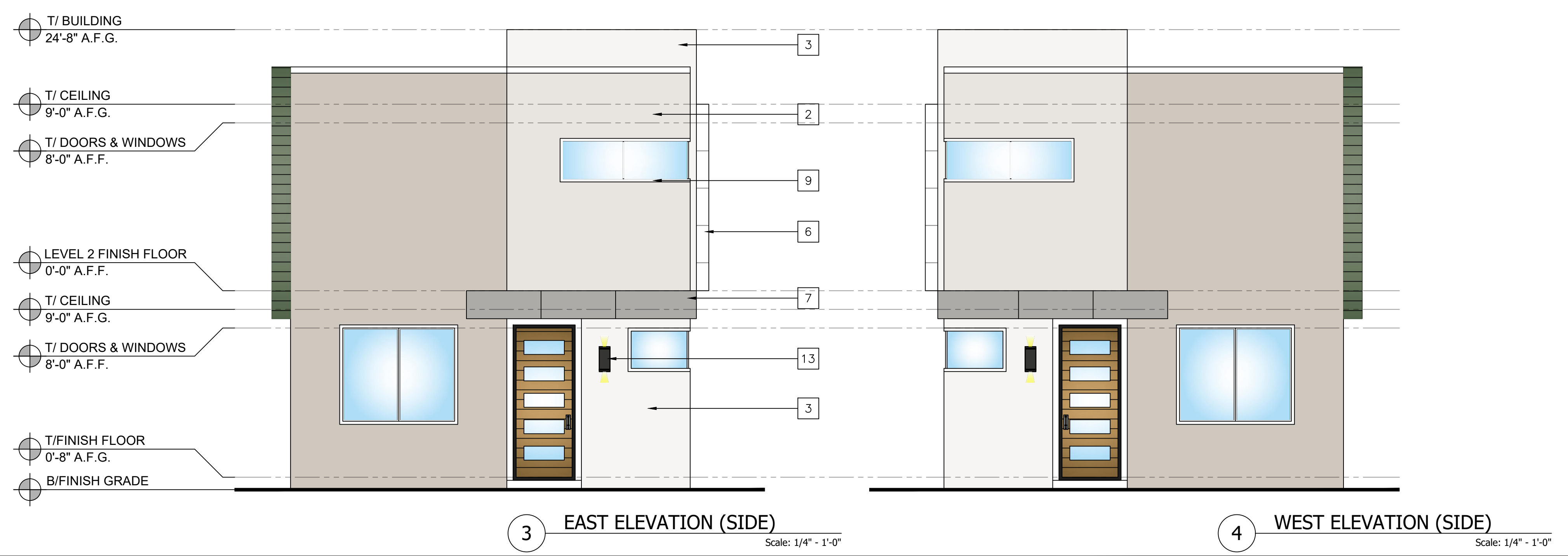
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1 NORTH ELEVATION (FRONT)
Scale: 1/4" - 1'-0"

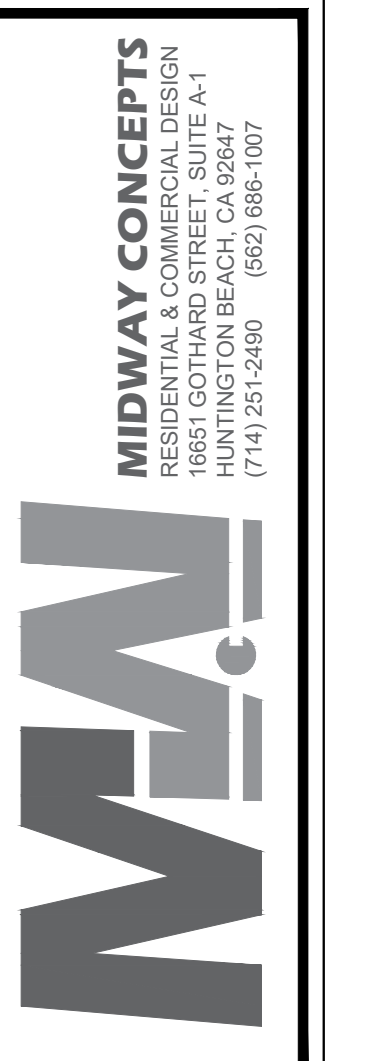


2 SOUTH ELEVATION (REAR)
Scale: 1/4" - 1'-0"



3 EAST ELEVATION (SIDE)
Scale: 1/4" - 1'-0"

4 WEST ELEVATION (SIDE)
Scale: 1/4" - 1'-0"



REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT: LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE: PROPOSED DUPLEX ELEVATIONS

DESIGNER
SIGNATURE
CONSULTANT
DATE: 5-05-2026
JOB NO.: 23-62
SHEET
A6.0
OF X SHEETS

ROOF PLAN NOTES

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ATTIC AREA VENT AREA	535.00 S.F.
CALCULATION	$535.00/150 = 3.56$ S.F.

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PROVIDE ATTIC VENTILATION W/ CORROSION RESISTANT WIRE MESH W/ OPENINGS OF $\frac{1}{4}$ " IN DIMENSION.

NEW AREA ATTIC VENTILATION: VAULTED AREA

ATTIC AREA VENT AREA	380.00 S.F.
CALCULATION	$915.00/150 = 2.5$ S.F.

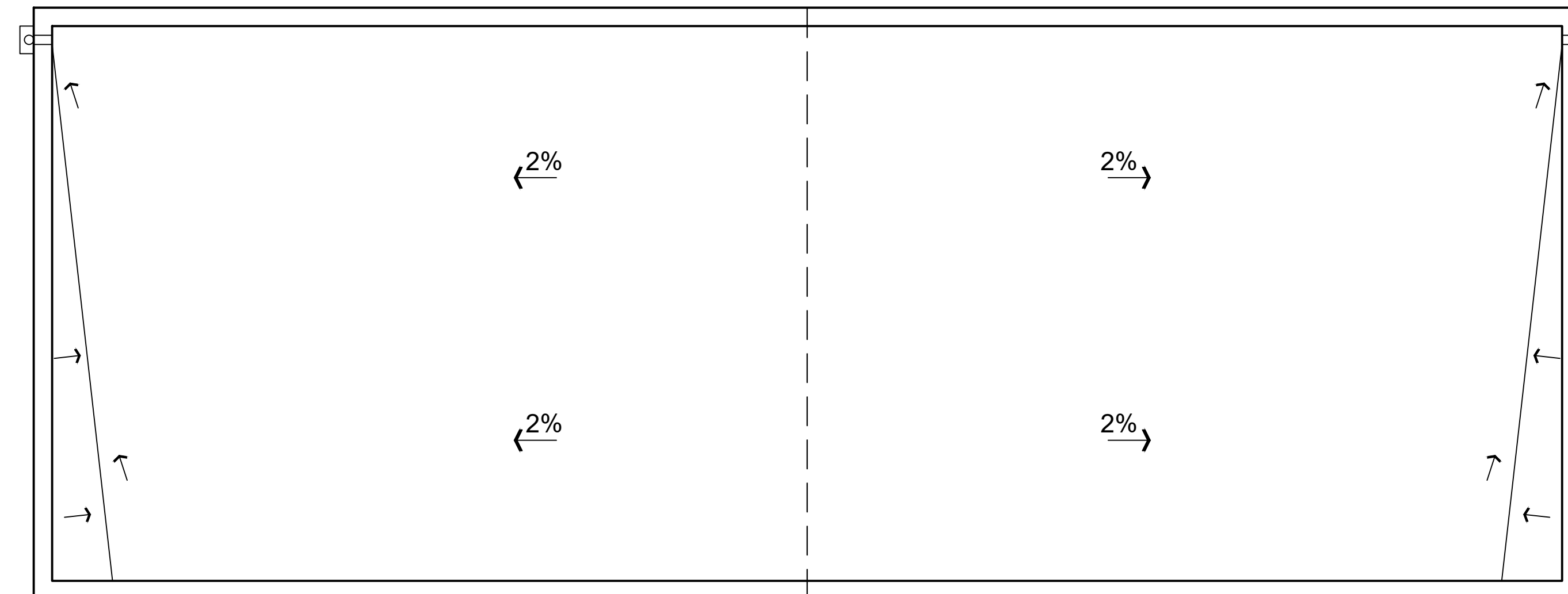
PROVIDED:		
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X GABLE VENTS 24"X18"	= 3.0EA.	0.00 S.F.
X DORMER VENTS 24"X12"	= 2.0EA.	0.00 S.F.
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VENT AREA CALCULATION



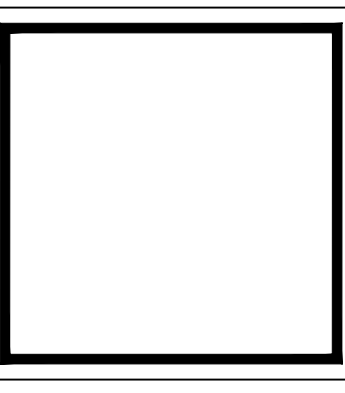
1 ADU ROOF PLAN
Scale: 1/4" = 1'-0"



REV.	DESCRIPTION	DATE
A	4th Planning review	10-24-2025

PROJECT:
LIBERTY DUPLEX AND ADU(S)
7812 LIBERTY DRIVE
HUNTINGTON BEACH CA 92683

SHEET TITLE
PROPOSED ADU
ROOF PLAN



DESIGNER
SIGNATURE
CONSULTANT
DATE
5-05-2026
JOB NO.
23-62
SHEET
A7.0
OF X SHEETS