



Appeal of HBCSD Maintenance & Operations Building

CUP No. 23-014

Huntington Beach Planning Commission

July 23, 2024

Project Site



8750 Dorsett Drive

Currently developed as
HBCSD main office

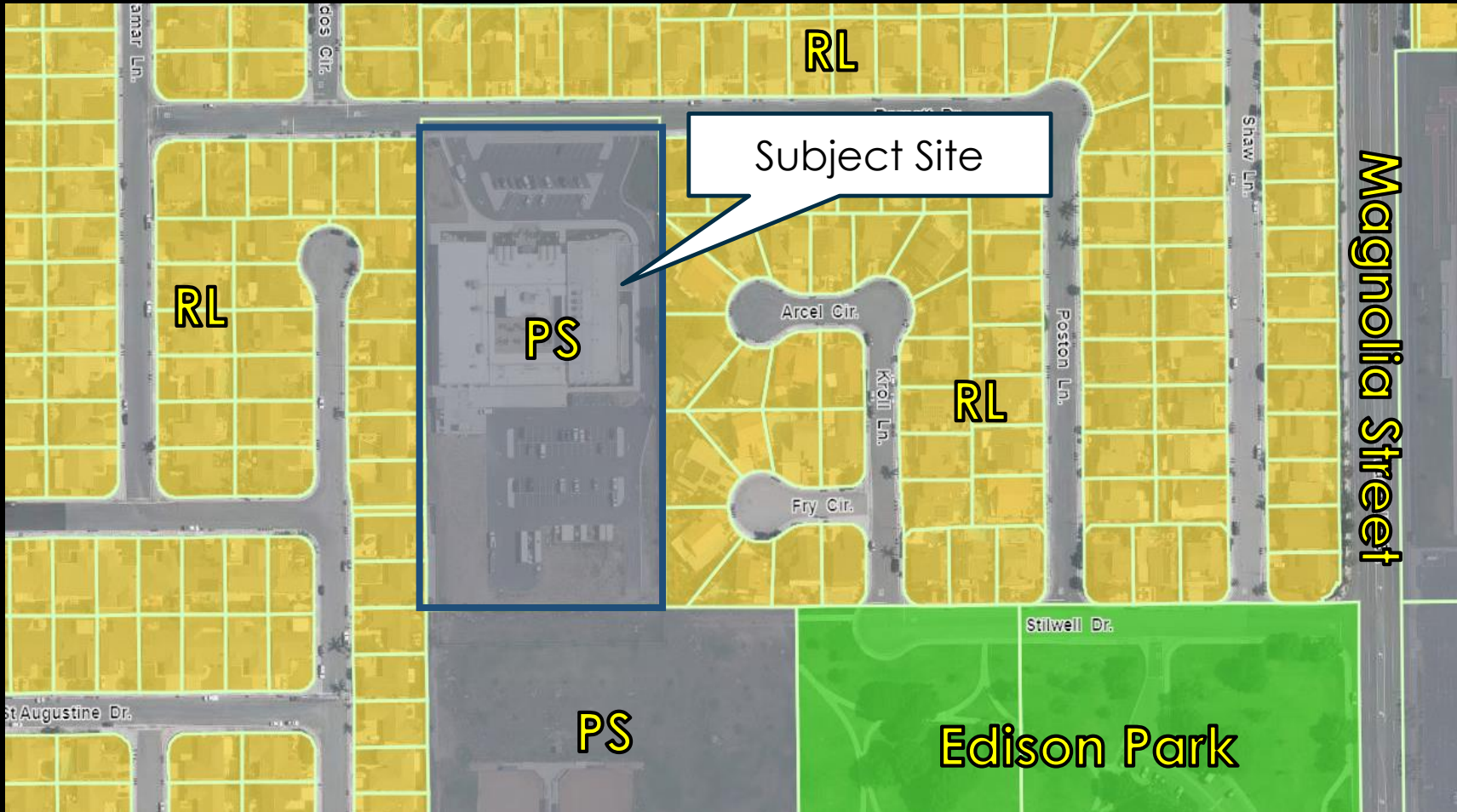
+/- 34,704 sq. ft.
existing building

7,510 sq. ft. proposed
building

119 on-site
parking spaces; 14
additional stalls
proposed



Surrounding Uses



General Plan

PS(RL) – Public Semipublic with an underlying designation of Low Density Residential

Zoning & Surrounding Uses

- North/East/West – RL Residential Low Density
- South – PS Sports fields and OS-PR Edison Park



Project Description

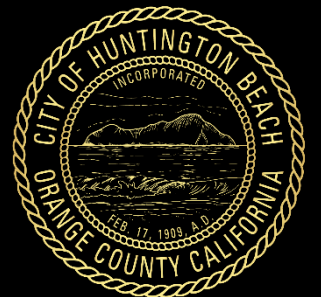
Conditional Use Permit

- To construct an approximately 7,510 sq. ft. maintenance and operations building at an overall height of 17'-6" at an existing school district office site.



Background

- Maintenance & Service facilities are subject to CUP approval from the Zoning Administrator if not city-owned. (HBZSO 214.06).
- The item was heard by the Zoning Administrator on June 19, 2024 and approved with modifications to the conditions of approval.
- The item was appealed on June 25, 2024 to the Planning Commission.



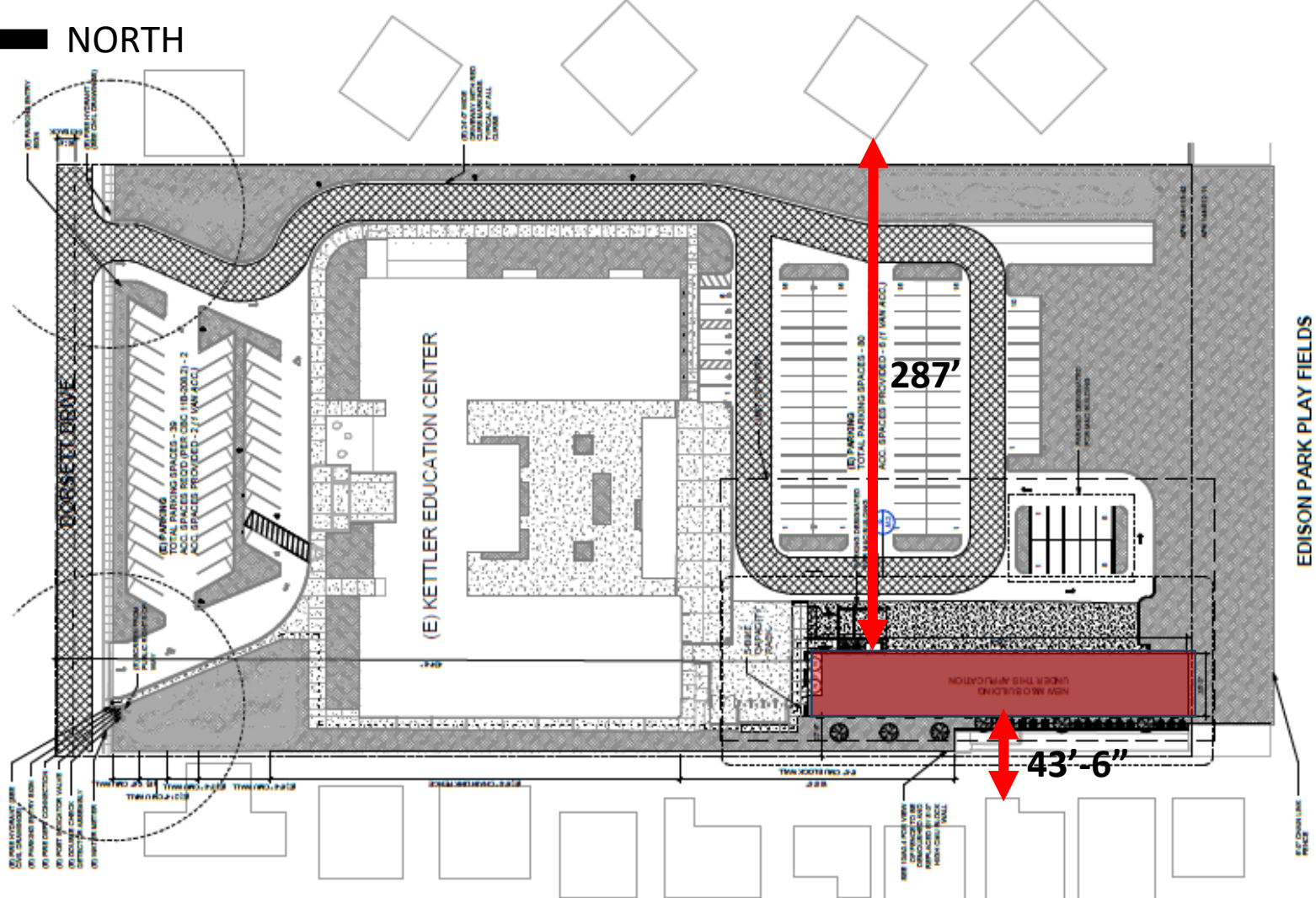
Hours of Operation

- School District Office Building
 - Monday – Friday: 8:00 AM to 4:00 PM
 - 64 Employees
- Proposed Maintenance and Operations Building
 - Monday – Friday: 7:00 AM – 4:00 PM
 - 14 Employees

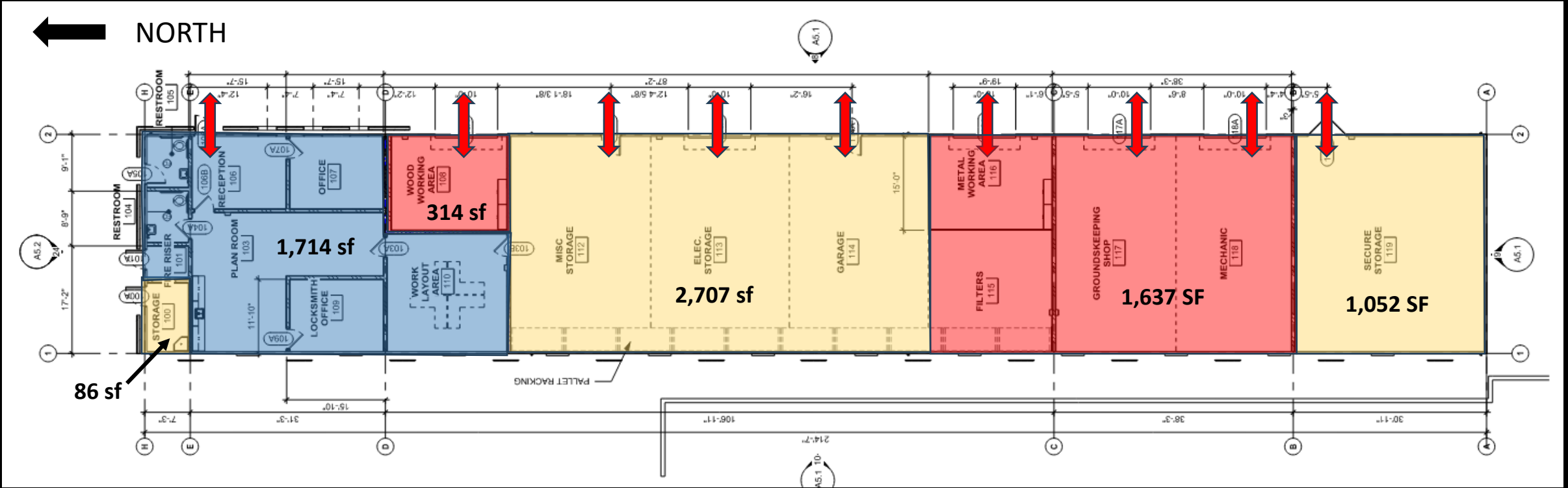


Site Plan

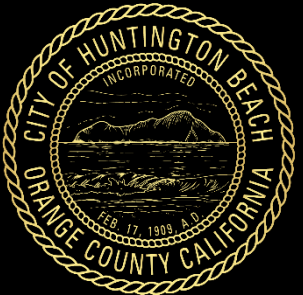
← NORTH



Floor Plan



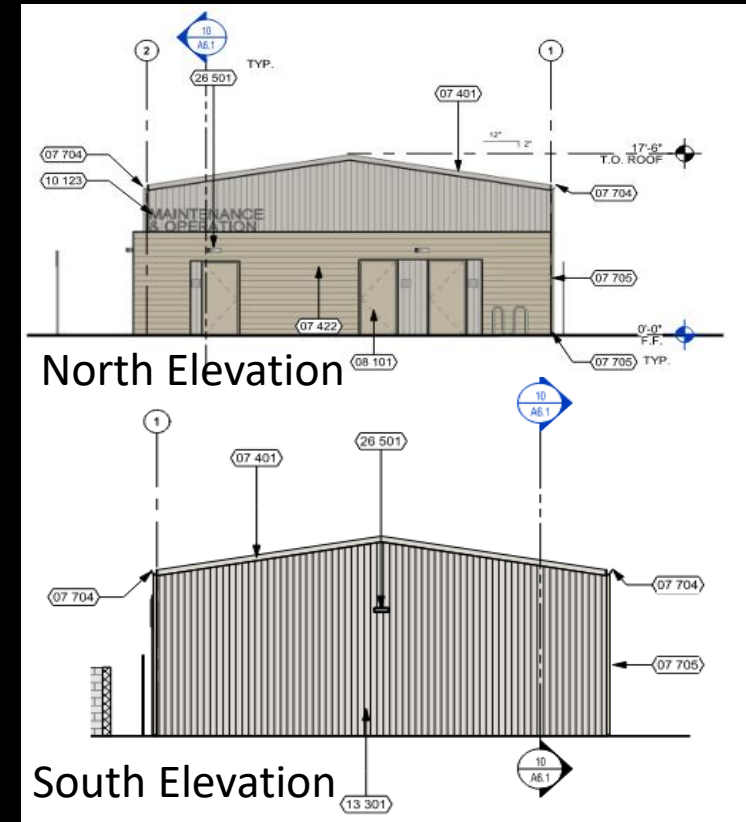
Office – 1,714 sf
Storage – 3,845 sf
Maintenance – 1,951



Elevations

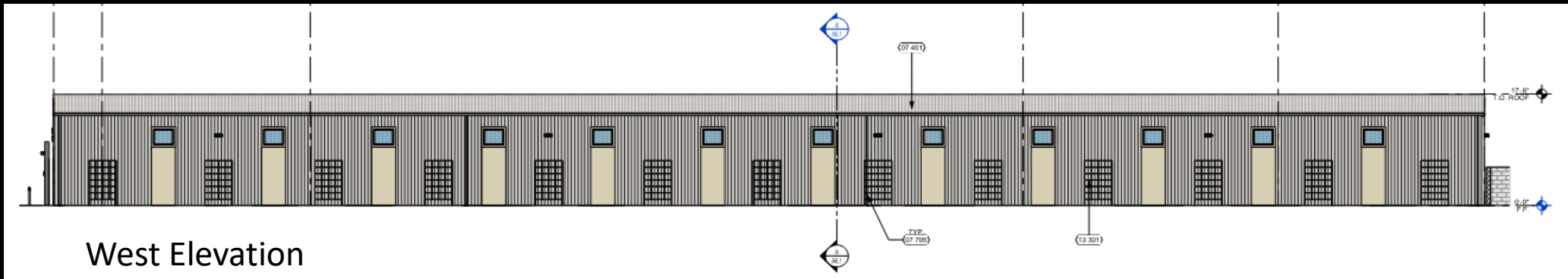


East Elevation



North Elevation

South Elevation

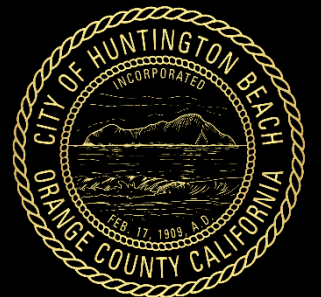


West Elevation



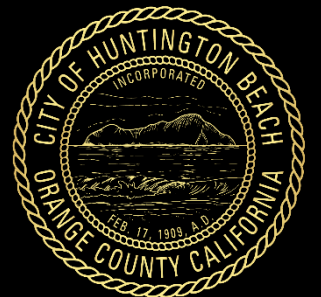
Design Review Board

- Presented to the DRB at special meeting on May 23, 2024. Public comments were received at the meeting regarding opposition to the proposed use as well as the project's location on the site.
- Recommended Conditions of Approval to the Zoning Administrator:
 - a. Move the location of the proposed building 20 feet east.
 - b. The proposed block wall along the western property line shall be added along the entire length of the property line at 8 feet in height instead of the proposed 6 feet.
 - c. The proposed block wall along the western property line shall be either decorative block wall, a graffiti resistant material, or landscaped, subject to Planning staff approval.
 - d. Lighting shall be added along the walkway at the southwest corner of the lot that is used for accessing the park.
 - e. The landscaping between the proposed building and the adjacent residential properties shall be mature at time of installation.
 - f. The material on the western elevation of the building shall be changed from the proposed metal to a residential type material subject to Planning staff approval.



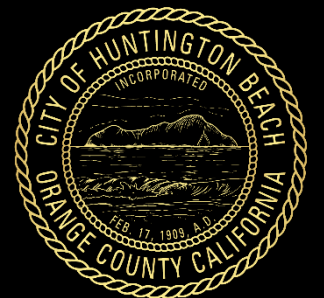
Zoning Administrator

- Presented to the ZA on June 19, 2024 in which residents attended and expressed concerns with the proposed project.
- The residents' concerns were primarily regarding:
 - Proposed block wall along western property line height of 8 feet
 - Location of the building
 - Notice of Exemption document
 - Potential noise impacts
 - Significant grade differential due to adding dirt to the site



Resident Concerns

- 1. Proposed block wall along western property line height of 8 feet**
 - The ZA considered the concern and limited the block wall height to six feet.
- 2. Location of the building**
 - Elements were incorporated to soften the west façade and enhance its visual appearance. The building height is also limited to a maximum of 18 feet.
- 3. Notice of Exemption document**
 - The site was already operating with a maintenance use within the parking lot at the rear of the site. The construction of a maintenance and operations building would bring the site further into compliance by conducting the maintenance use entirely within the building rather than operating outdoors.



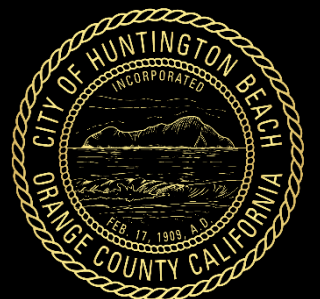
Resident Concerns

4. Potential noise impacts

- Condition of approval that all work be conducted entirely within the building was added to the project to mitigate any potential noise impacts.
- The site is required to adhere to the Huntington Beach Noise Ordinance (Chapter 8.40 of the Municipal Code).
- The air-conditioning equipment is located on the eastern side of the building.

5. Significant grade differential due to adding dirt to the site

- The code permits a grade differential maximum of two feet measured from the highest top of curb to top of slab. Therefore, at the time of grading submittal, the grade differential would be reviewed for compliance with this requirement.



Parking

- Parking required:
 - 103 spaces for the district office
 - 16 spaces for the maintenance and operations building
 - Total of 119 spaces

- Parking provided:
 - 119 existing available on-site parking spaces
 - 14 proposed additional on-site parking spaces
 - Total of 133 spaces provided; surplus of 14 spaces



Analysis

- Use required to comply with operational conditions of approval
- Operations shall be conducted entirely within the interior of the building
- Site is not anticipated to generate noise, safety, or compatibility issues
- Request consistent with scope and intent of Public Semipublic designation
- Request supported by goals and policies of General Plan



Summary

The Planning Commission may either uphold the Zoning Administrator decision (with or without modification) or take an alternative action. The Planning Commission may approve the proposed project based on the following:

- Consistent with the PS (Public Semipublic) Land Use Designation of the General Plan and zoning designation;
- Compatible with the surrounding land uses with conditions imposed upon the proposed development and its operations;
- In compliance with the HBZSO and applicable provisions of the Municipal Code and will not result in significant impacts to the site and surrounding area.



Questions?

