

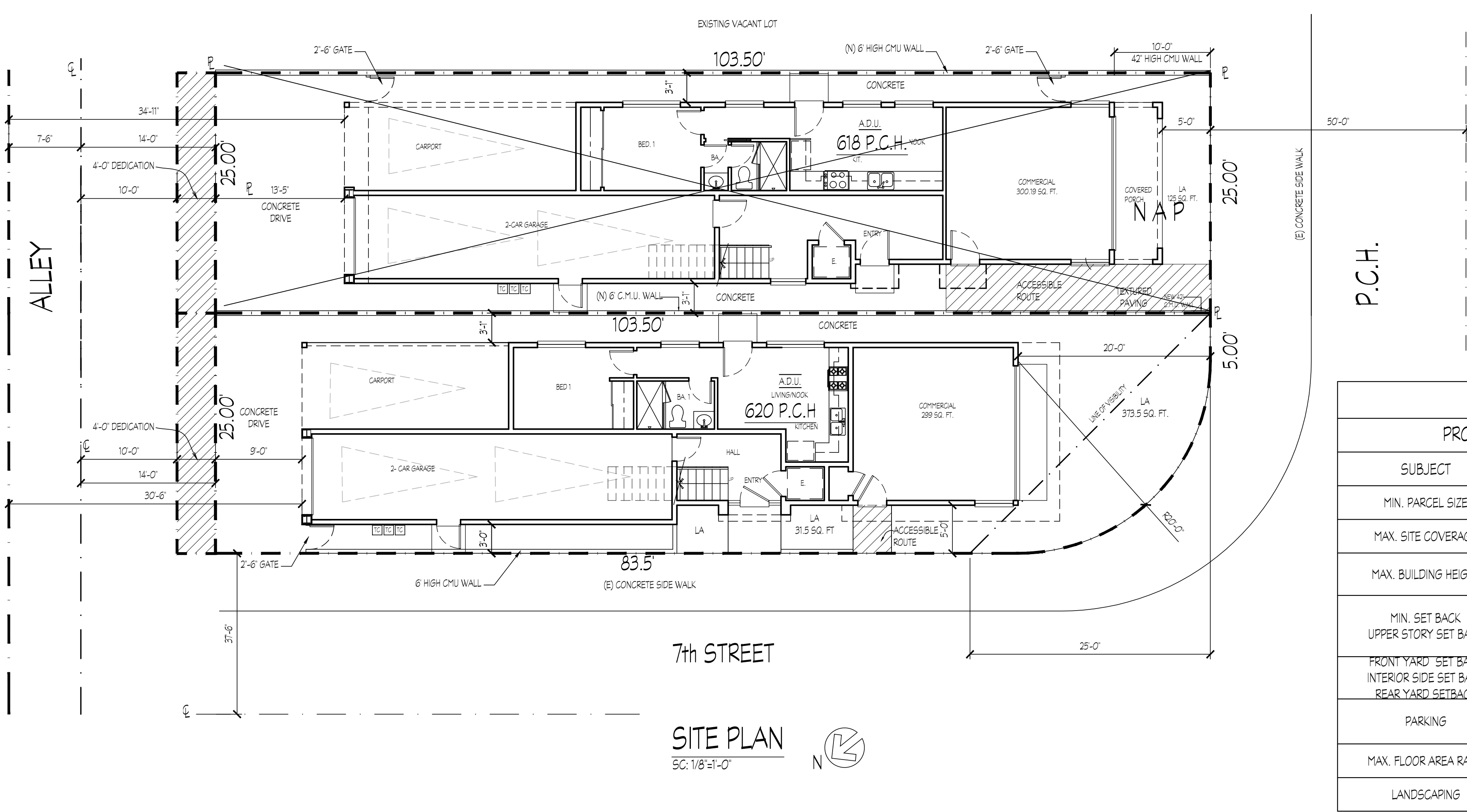
CONSULTANTS

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NOTE:
1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM DWELLING. THE GRADE SHALL BE FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
2. BLOCK WALL FENCINGS AND ALL FENCES/WALLS ARE TO BE PERMITTED SEPARATELY.

ZONING CONFORMANCE MATRIX			
PROPERTY DEVELOPMENT STANDARDS: DISTRICT 1 (LIVE / WORK UNIT)			
SUBJECT	CODE SECTION	REQUIRED	PROPOSED
MIN. PARCEL SIZE	3.3.1.5	25 FT. OF FRONTAGE AND 2,500 SQ. FT. OF NET AREA	25 FT. OF FRONTAGE AND 2,501.65 SQ. FT. OF NET AREA
MAX. SITE COVERAGE	3.3.1.6	NO. MAX. SITE COVERAGE WILL BE REQUIRED	1,187.59 SQ. FT.
MAX. BUILDING HEIGHT	3.3.1.8	< 8,000 SQ. FT. NET SITE AREA: 35 FT. & 3 STORIES	34'-8" ON TOP OF ROOF DECK PARAPET WALL + 5'-6" TO THE TOP OF STAIRS
MIN. SET BACK UPPER STORY SET BACK	3.3.1.9	10 FT. AVERAGE SET BACK FROM THE GROUND FLOOR OF FACADE FOR PORTIONS OF THE FRONT FACADE ON THE THIRD AND FOURTH STORIES	10'-0" / UNIT
FRONT YARD SET BACK	3.3.1.1.10	0 FT. - MAX. 5 FT.	20'-0" / UNIT
INTERIOR SIDE SET BACK	3.3.1.1.11	0 FT.	3'-1" / UNIT
REAR YARD SETBACK	3.3.1.1.13	5 FT.	3'-0" / UNIT
PARKING	231.04 SCHEDULE 'A'	1 BEDROOM RESIDENTIAL UNITS, 1 SPACE PER UNIT COMMERCIAL: 1 SPACE / 500 SQ. FT.	2-CAR GARAGE FOR 3-BDRM / UNIT 1-SPACE / UNIT
MAX. FLOOR AREA RATIO	3.3.1.4	3,000 SQ. FT.	2,991.91 SQ. FT.
LANDSCAPING	3.2.12	125 SQ. FT. REQUIRED	478.5 SQ. FT. SHOWN

SITE PLAN
SC: 1/8" = 1'-0"

SYMBOLS

SYMBOL	DESCRIPTION
[Symbol]	110 VOLT DOUBLE OUTLET
[Symbol]	220 VOLT DOUBLE OUTLET
[Symbol]	110 VOLT DOUBLE OUTLET WEATHER PROOF
[Symbol]	110 VOLT DOUBLE OUTLET DEDICATED
[Symbol]	INCANDESCENT LIGHT FIXTURE
[Symbol]	FLUSH LIGHT FIXTURE
[Symbol]	FLUORESCENT LIGHT FIXTURE
[Symbol]	BRACKET LIGHT FIXTURE
[Symbol]	FLUSH LIGHT FIXTURE WATERPROOF
[Symbol]	HEAT-LIGHT FAN COMBINATION FIXTURE
[Symbol]	ONE AIR CHANGER PER 5 MINUTES
[Symbol]	VENT FAN 500 ONE AIR CHANGE PER 5 MINUTES
[Symbol]	SINGLE POLE SWITCH - SILENT TYPE
[Symbol]	3-WAY POLE SWITCH - SILENT TYPE
[Symbol]	4-WAY POLE SWITCH - SILENT TYPE
[Symbol]	110 VOLT OUTLET (J BOX)
[Symbol]	220 VOLT OUTLET (J BOX)
[Symbol]	DOUBLE EAVES FLOOD LIGHT
[Symbol]	PHONE OUTLET
[Symbol]	INTERCOM SPEAKER
[Symbol]	INTERCOM MASTER PANEL
[Symbol]	CABLE OUTLET
[Symbol]	THERMOSTAT
[Symbol]	FLOOR REGISTER (6" X 14")
[Symbol]	CEILING REGISTER (6" X 14")
[Symbol]	WALL REGISTER H. TYPE (6" X 14")
[Symbol]	FUEL GAS OUTLET
[Symbol]	LOOSE KEY VALVE
[Symbol]	HOSE BIBB
[Symbol]	WATER OUTLET FOR REFRIG. OR ICE MAKER
[Symbol]	ROOF DRAIN w/ OVERFLOW
[Symbol]	FLOOR DRAIN
[Symbol]	TV CABLE
[Symbol]	DOOR BELL
[Symbol]	DOOR BELL CHIME
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	SMOKE DETECTOR
[Symbol]	SPEAKER
[Symbol]	ELECTRIC VEHICLE EQUIPMENT
[Symbol]	CEILING/SURFACE MOUNT COMBINATION FAN/LIGHT FIXTURE WITH HIGH EFFICACY LAMPS
[Symbol]	VACANCY SENSOR
[Symbol]	SHOWER
[Symbol]	BUILDING SECTION
[Symbol]	DETAIL REFERENCE
[Symbol]	PLAN REVISION
[Symbol]	DOOR NUMBER
[Symbol]	WINDOW LETTER

NOTES

1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE ENGINEER BEFORE PROCEEDING WITH WORK.

2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPER'S AND ENGINEER'S ATTENTION IMMEDIATELY.

3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

5. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLABOR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING, OR OTHER ANCIILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1).

6. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)

THESE PLANS SHALL COMPLY WITH 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CBC, 2022 CCB, 2022 CEC, 2022 CPC, 2022 CMC, 2022 CFC, 2022 T24 ENERGY CODE, AND HUNTINGTON BEACH MUNICIPAL CODE 17.05 AND HB250 230.84.

FIRE DEPARTMENT NOTES

A. A 13D RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED FOR BOTH PROPERTIES. A SEPARATE SUBMITTAL FOR FIRE SPRINKLERS (COMPLYING WITH NFPA 13D) IS REQUIRED. TWO SETS OF FIRE SPRINKLER PLANS SHALL BE SUBMITTED TO THE HBFD FOR REVIEW AND APPROVAL.

NOTE: FIRE FLOW INFORMATION FROM THE CITY OF HUNTINGTON BEACH IS REQUIRED TO BE INCLUDED WITH SPRINKLER PLAN SUBMITTALS. TO OBTAIN THE FIRE FLOW INFORMATION, HAVE THE SPRINKLER CONTRACTOR COMPLETE THE "FIRE FLOW INFORMATION FORM" IN WORD FORMAT AVAILABLE AT THE FOLLOWING LINK:

SEND THIS FIRE FLOW INFORMATION REQUEST TO ONCE SUBMITTED, THE HPFD WILL FORWARD TO THE REQUEST TO THE PUBLIC WORKS DEPARTMENT. THE AVERAGE TURNAROUND TIME FOR FIRE FLOW INFORMATION REQUESTS IS 10 BUSINESS DAYS.

B. MAINTAIN JOBSITE SAFETY DURING CONSTRUCTION AS PER CHAPTER 33 OF 2022 CALIFORNIA FIRE CODE.

C. ADDRESS NUMBERS MUST BE PLACED OVER THE EXTERIOR OF THE MAIN ENTRANCE AS PER CITY SPECIFICATION 4428. ADDRESS NUMBERS SHALL BE A MINIMUM OF 4" HIGH NUMBERS WITH A MINIMUM 1/8" STROKE, AND THEY MUST CONTRAST WITH THE BACKGROUND.

D. DISCOVERY OF SOIL CONTAMINATION/PIPELINES, ETC., MUST BE REPORTED TO THE FIRE DEPARTMENT IMMEDIATELY AND ALL WORK STOPPED UNTIL APPROVAL IS OBTAINED FROM THE FIRE DEPARTMENT.

E. FOR FIRE DEPARTMENT INSPECTIONS, CALL AT LEAST 3 DAYS IN ADVANCE TO SCHEDULE INSPECTIONS.

MISCELLANEOUS NOTES

A. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R109.3.2 CRC)

B. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R109.5 CRC)

C. FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT THE TIME OF FRAMING INSPECTION.

D. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

E. AUTOMATIC GARAGE DOOR OPENER BY "LIFTMASTER" NO. 3585, UL325 LISTED.

F. CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCIILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUB-FLOOR. (R109.1.1.1)

G. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION.

H. FOR 3 STORY HOMES, A WATER DEPARTMENT APPROVED BACKFLOW PREVENTER MUST BE INSTALLED, COORDINATE WITH THE WATER DEPARTMENT PRIOR TO SUBMITTING SPRINKLER PLANS FOR REVIEW.

I. ALL FENCES, WALLS, AND OTHER DETACHED OR ATTACHED STRUCTURES EXCEEDING 36 INCHES IN HEIGHT REQUIRE SEPARATE PERMITS AND REVIEW. THIS INCLUDES PATIO COVERS, SWIMMING POOLS, RETAINING WALLS, AND DEMOLITION.

J. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.

K. EFFECTIVE JAN. 1, 2014, SB407 REQUIRES REPLACEMENT OF ALL NON COMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN. 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

M. ALL DOORS AND WINDOWS SHALL MEET HUNTINGTON BEACH SECURITY ORDINANCE. - SEE A-8 FOR NOTES.

N. MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ARE NOT REVIEWED AND ARE SUBJECT TO FIELD INSPECTION.

STRUCTURAL OBSERVATION

1. ENGINEER OR ARCHITECT OF RECORD SHALL OBSERVE THAT ALL FOUNDATION HARDWARE PER PLAN IS IN PLACE PRIOR TO INSPECTION OTHER THAN HARDWARE THAT IS PLACED DURING POUR UNLESS OTHERWISE NOTED.

2. ENGINEER OF RECORD SHALL OBSERVE THAT ALL SHEAR WALLS AND METAL HARDWARE ARE PER PLAN UNLESS OTHERWISE NOTED.

3. THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR STRUCTURAL DESIGN TO PERFORM STRUCTURAL OBSERVATION PER SEC. 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THE SITE VISITS HAVE BEEN MADE AND IDENTIFIED ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.

LANDSCAPE NOTES

A. CONTROLLERS SHALL BE WEATHER - OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.

B. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S).

C. OUTDOOR WATER USE - AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED SHALL BE AVAILABLE AT THE TIME OF FINAL INSPECTION. (4-304 CGB5C)

MECHANICAL NOTES

A. COVER RETURN AND SUPPLY OPENINGS WITH PLASTIC OR SHEET METAL.

B. WRAP OR PROJECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION.

C. IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.

D. THE MOISTURE CONTENT OF CONSTRUCTION MATERIALS PRIOR TO APPROVAL TO ENCLOSE WALL AND FLOOR CAVITIES WITH DRYWALL OR OTHER SURFACES. (4-505.3 CGB5C).

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY THE PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

1. FIRE SPRINKLER PLANS
2. METHANE PLANS

SCOPE OF WORK

NEW 3-STORY 5FD WITH ATTACHED 2-CAR GARAGE, A.D.U., AND WORK SPACE

PROJECT ANALYSIS

ZONE:	DT5P
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	V-B
LOT SIZE:	2,501.65 SQ. FT.
LOT COVERAGE:	1,187.59 SQ. FT. (47%)
LANDSCAPING REQUIRED:	125 SQ. FT. REQUIRED 478.5 SQ. FT. SHOWN
NEW RESIDENCE:	2,991.91 SQ. FT.
FLOOR BREAKDOWN:	
FIRST FLOOR RESIDENCE:	102.84 SQ. FT.
SECOND FLOOR RESIDENCE:	1,139.05 SQ. FT.
THIRD FLOOR RESIDENCE:	1,018.12 SQ. FT.
FOURTH FLOOR RESIDENCE:	22.50 SQ. FT.
TOTAL RESIDENCE:	2,282.51 SQ. FT.
FIRST FLOOR COMMERCIAL:	310.25 SQ. FT.
FIRST FLOOR A.D.U.	351.32 SQ. FT.
TOTAL:	2,944.08 SQ. FT.
GARAGE:	357.83 SQ. FT.
COVERED DECK:	148.18 SQ. FT.
OPEN DECK:	1,291.5 SQ. FT.
NO. OF BEDROOMS:	3
LEGAL	
LOT:	10
BLOCK:	106
TRACT:	HUNTINGTON BEACH
APN:	024-151-29

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OWNER	
10622 Court Ave. LLC	
5050 W. Mission Boulevard, Ontario, CA 91762 (626) 340-5461	

REVISIONS	BY

ARCHITECTURE

PLANNING

The Louie Group

Phone (714) 374-7034
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PROPOSED NEW RESIDENCE AT 620 PACIFIC COAST HIGHWAY FOR:

10622 Court Ave. LLC
5050 W. Mission Boulevard,
Ontario, CA 91762
(626) 340-5461

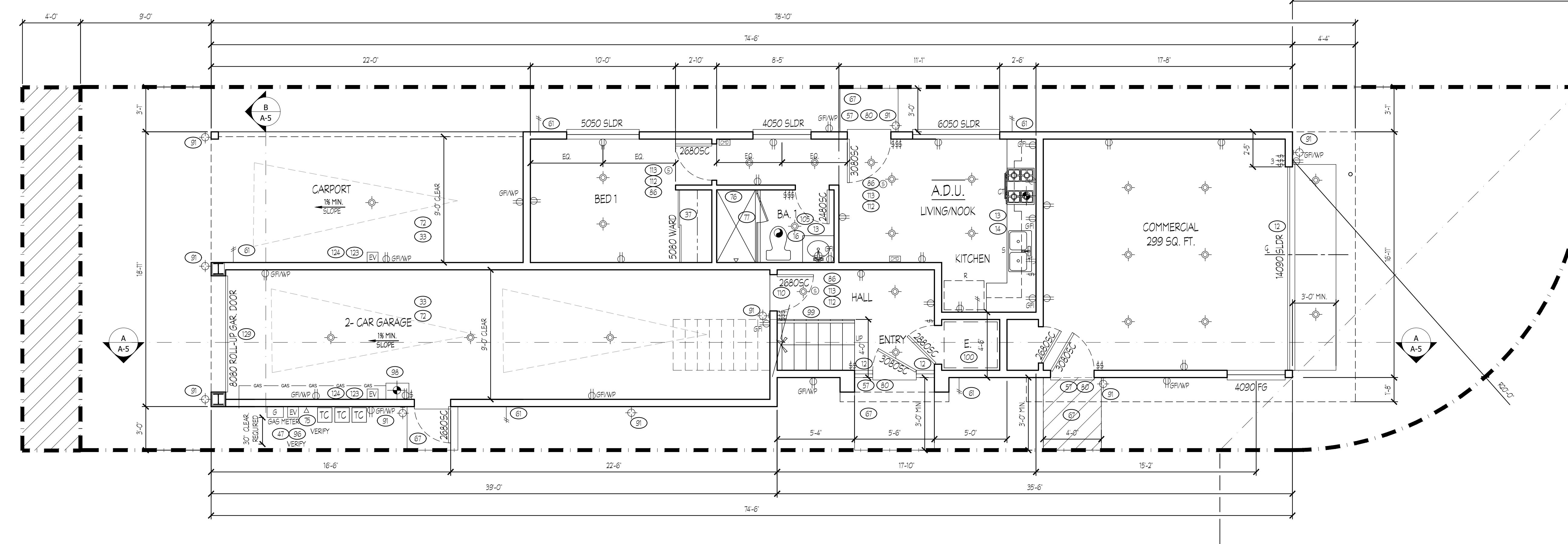
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JOB NO.
SHEET
T-1
OF SHEETS

FLOOR PLAN NOTES

- 1 BUILT-IN CABINETS (VERIFY W/ OWNER)
- 2 TWO COMPARTMENT SINK (C.I.) W/ GARBAGE DISPOSAL
- 3 DISHWASHER
- 4 48" RANGE
- 5 TRASH COMPACTOR (OPTIONAL)
- 6 WINE REFRIGERATOR
- 7 ALL EXHAUST FANS W/ 5 MIN AIR CHANGES PER HOUR TYP.
- 8 RANGE - VERIFY
- 9 PANTRY W/ BUILT-IN SHELVES
- 10 KITCHEN HOOD EXHAUST FAN DUCTED TO THE OUTSIDE W/ MIN. VENTILATION RATE OF 100cfm. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1
- 11 REFRIGERATOR/FREEZER - VERIFY
- 12 TEMP. = TEMPERED GLASS W/ VISIBLE ETCH TYPE
- 13 TYP 3/8" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- 14 UPPER CABINETS
- 15 ARCH
- 16 WATER CLOSET-30" MIN. WIDTH, 24" CLEAR IN FRONT OF TOILET
- 17 30" HIGH COUNTERTOP W/ SPLASH (OPTIONAL)
- 18 BATHROOM MIRROR
- 19 BUILT-IN MEDICINE CABINET
- 20 SHOWER W/ NON-ABSORBENT WALLS AT 72" MIN. ABOVE DRAIN TYP.
- 21 LINE OF SOFFIT
- 22 VERIFY ALL ELECTRIC LIGHTING LOCATIONS W/ OWNER TYP.
- 23 EDGELESS WINDOW OR DOOR TYP.
- 24 OVERSIZED WHIRLPOOL TUB W/ SPLASH (OPTIONAL WHIRLPOOL)
- 25 LINEN CABINET W/ SHELVES
- 26 WINDOWS AND EXTERIOR DOORS SHALL BE VINYL
- 27 FAU IN ATTIC W/ GAS ELECTRICITY AND LIGHT W/ SWITCH AND MIN 3/8" WIDE PLYWOOD PATH TO FAU W/ 3/8" MIN SPACE IN FRONT OF FAU
- 28 42" HIGH GUARDRAIL (MAX. 3 7/8" OPENING)
- 29 WASHER OVERFLOW PAN W/ DRAIN (OPTIONAL)
- 30 NICHE
- 31 DIRECT VENT SEALED-COMBUSTION GAS APPLIANCE HEAT & GLD COSM042 UL307B. CLOSABLE METAL OR GLASS COVERING OVER THE ENTIRE OPENING OF THE FIRE BOX. COMBUSTION AIR INTAKE FROM OUTSIDE OF BUILDING DIRECTLY INTO FIREBOX OF AT LEAST 6" SQ. AND HAS AN ACCESSIBLE, OPERABLE AND TIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. A FIRE DAMPER WITH A READILY ACCESSIBLE CONTROL.
- 32 CLOTHES DRYER MOISTURE EXHAUST DUCT TO BE MIN. 4" DIA., TO THE OUTSIDE AND EQUIP W/ A BACK-DRAFT DAMPER. EXHAUSTER DUCT LENGTH IS LIMITED TO 14FT. W/ 2 ELBOWS. CMG 304.4.2
- 33 5/8" TYPE 'X' GYP BOARD OR EQUAL (1-HOUR) AT WALLS, CEILINGS, POST & BEAMS TYP.
- 34 SHELF AND POLE (VERIFY DOUBLE SHELF & POLE LOCATIONS W/ OWNER)
- 35 SHOWER SEAT
- 36 ALL BATHROOM WINDOWS SHALL BE TRANSLUCENT OR OBSCURE
- 37 SHELVES
- 38 LINE OF FLOOR ABOVE
- 39 ALL NEW DOORS WINDOW MUST COMPLY W/ BLDG. SEC. EA. 1437 STD ORDNANCE 14-79
- 40 MAXIMUM SILL HEIGHT OF 44"
- 41 DECKING BY POLYCOAT. I.C.T. NO. 2785 BLOCK ALL EDGES OF PLYWOOD (MIN. 1/4"-1/2" SLOPE) ICC-ESR 2785
- 42 PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM. IN EACH CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OK (SEE PLAN)
- 43 STUCCO SOFFIT
- 44 SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DRAWING UNIT IN WHICH THEY ARE LOCATED
- 45 WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH (402, 3 U.P.C.) CONTROL VALVE FOR SHOWER/TUB SHOWER SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE AND NON-SCALDING AND PER CPC
- 46 COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF FIREPLACE OPENING. NO SUCH MATERIAL WITHIN 12" OF FP OPENING SHALL PROJECT MORE THAN 1/8" FROM EACH CLEARANCE FROM SUCH OPENING
- 47 VERIFY ALL UTILITY LOCATIONS W/ OWNER TYP.
- 48 WINDOWS AND DOORS TO BE RECESSED WITHIN 2X8 STUD WALL
- 49 F.P. VENT BLOCK OUT (TYPICAL) VENT TO OUTSIDE OR ABOVE ROOF
- 50 NO SLIP JOINTS ALLOWED FOR TUB DRAIN AND OVERFLOW
- 51 SHOWER, DRAIN W/ OPTIONAL APPROACH INTEGRATED SHOWER PAN
- 52 TUB ACCESS OR SHOWER ACCESS SEE PLAN TYP.
- 53 (1-HOUR) CONSTRUCTION AT ROOF EAVE/OVERHANG LESS THAN 3' FROM PROPERTY LINES TYP.
- 54 THIS ROOM WILL NOT BE USED AS A SLEEPING ROOM
- 55 1" MAX. STEP
- 56 ALL BEDROOM RECEPTACLES TO BE A F.I.C. PROTECTED PER NEC 210-12 OR SEC. 71
- 57 LANDING IN FRONT OF THE DOOR-RECESSED DOOR AS REQUIRED - 3'-0" MIN. DEPTH
- 58 ALL G.F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUIT TYP.
- 59 30' SQ. ATTIC ACCESS. WEATHER STRIP OR SEALED WITH 30" MIN. HEADROOM
- 60 CONC. LANDING OR HARDSCAPE TYP.
- 61 RECESSED H.B. W/ ANTI-SIPHON DEVICE TYP.
- 62 VERIFY ALL LIGHTING LOCATIONS W/ OWNER TYP.
- 63 5/8" TYPE 'X' GB. AT USABLE SPACE UNDER STAIR (1-HOUR) TYP.
- 64 CONT. HANDRAIL
- 65 ALL LIGHTING SHALL BE PER NEC, AND 2022 CEC, AND 2022 ENERGY CODE ARE SUBJECT TO FIELD INSPECTION AND APPROVAL BY FIELD INSPECTOR TYP.
- 66 PROVIDE MIN. OF 40 WATTS OR LUMENS OR GREATER FOR KITCHEN LIGHTING TYP. - SEE T24
- 67 CONC. LANDING OR - HARDSCAPE TYP. SLOPE AWAY FROM BUILDING W/ MIN. 1/4" / 12"
- 68 PROVIDE FOR FUTURE FOUNTAIN: WATER, ELECT. AND DRAIN
- 69 V.T.O. W/ BACK DRAFT DAMPER AT LAUNDRY
- 70 PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING AT QUICK-ACTING VALVES FROM THE WASHER, DISHWASHER ETC. (809, 10 U.P.C. OR 2022 C.P.C.) TYP.
- 71 4" DIA. ST. PIPE CONC. FILLED AND SET IN 1'-0" SQ. CONC. FTG (2'-0") MIN. HGT.
- 72 2-LAYERS AT CEILING 5/8" TYPE 'X' GB. @ WALLS, CLS, POSTS, BEAMS, (1-HOUR) @ TRUSSESS
- 73 SUSPENDED F.A.U. AT CLG PROVIDE ELEC. GAS. MIN. 7'-0" HEAD HGT. UNDER. W/ 32" CLEAR AREA IN FRONT OR SIDE OF FAU (VERIFY)
- 74 ALL G.F.C.I. SHALL BE AN 20 AMP DEDICATED CIRCUIT TYP.
- 75 COLD SHOWER
- 76 CERAMIC TILE O/ CEMENT PLASTER TO 42" ABOVE DRAIN (TYP.), OR EQUAL AND 30" DIA. CLR. MIN. AND 1024 SQ. IN. MIN. TYP.
- 77 TEMP. GLASS ENCLOSURE AND 22" MIN. WIDTH DOOR
- 78 24" CLR. IN FRONT (TYPICAL)
- 79 ALL BORN RECEPTACLES TO BE AFCI PROTECTED PER C.E.C. 2022 AND 2022 ENERGY CODE SEE 210-12
- 80 MAX. 7.75' THRESHOLD AT FRONT DOOR
- 81 4'-24" H. FIREBOX (VERIFY) HDR. AT 49'-6" PROVIDE 3/8" PLYWD OR 5/8" TYPE 'X' GYP BD DRAFT STOP. F.P. FLUEWELL-MAX. 10'-0" OC
- 82 42" H/ GUARDRAIL W/ 3 7/8" MAX. OPENING HANDRAIL SHALL BE CONT.
- 83 42" HIGH SOLID GUARDRAIL
- 84 42" HIGH GUARDRAIL W/ 3 7/8" MAX. OPENINGS 13'-6" H. MIN.
- 85 PROVIDE ELECT. AND CABLE 4'-0" FOR TV (VERIFY W/ OWNER)
- 86 NEW SMOKE DETECTORS SHALL BE (HARDWIRED) 110V AND W/BATTERY POWER TYPICAL
- 87 OBSCURE GLASS
- 88 PROVIDE DECK DRAIN AND OVERFLOW DRAIN, 3" MIN. AND 2" MIN. VERTICAL
- 89 CANT STRIPS TO DECK DRAIN AND OVERFLOW
- 90 ALL NEW LIGHTING FIXTURES AND SWITCHING PER 2022 ENERGY CODE TYP.
- 91 TIME CLOCK OR FLUR. SENSOR TYP.
- 92 PROVIDE D.D. AND O.D. 3" MIN. HORIZ. AND 2" MIN. VERTICAL TYP. (D.D.)-DECK DRAIN, (O.D.)-OVERFLOW DRAIN
- 93 DECK SCUMPER
- 94 CANTS TYP.
- 95 PROVIDE R-19 BAT INSULATION IN RAISED FLOORS TYP.
- 96 ELECTRICAL PANEL 200amp MIN.
- 97 A WARM AIR FURNACE IN AN ATTIC SHALL COMPLY WITH THE FOLLOWING PER CFC 9080
- 98 1. THE FURNACE LOCATED NOT GREATER THAN 20 FEET FROM THE ATTIC ACCESS.
- 99 2. A LEVEL WORKING PLATFORM 30 INCHES IN DEPTH IN FRONT OF THE ENTIRE FIREBOX SIDE
- 100 3. A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHOULD BE PROVIDED AT OR NEAR THE FURNACE
- 101 4. AIR-COOKING COILS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATER-TIGHT PAN INSTALLED BENEATH THEM PER CFC 1106.10 134.5 & 1106.12
- 102 TANKLESS WATER HEATER - V.T.O.
- 103 INTERIOR HANDRAILS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND APPROVED STRUCTURALLY BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF STAIR. BALCONY BALUSTRADES SHALL HAVE A CLEAR SPACING OF 3 7/8" MAXIMUM. EXTEND HANDRAIL 6" BEYOND TOP AND BOTTOM TREAD, MAXIMUM STAIR RISE SHALL BE 7 3/8". MINIMUM STAIR RUN SHALL 10". STAIR HEADROOM SHALL BE MINIMUM 6'-8"
- 104 ELEVATOR INTERIOR WALLS AND CLG. SHALL BE LINED W/ 5/8" TYPE 'X' GYP BRD. (ENTIRE SHaft) (1-HOUR) PER CEC. 2022 IF APPLICABLE
- 105 FIREPLACE LESS THAN 36" FROM PROP. LINE SHALL BE LINED W/ 5/8" TYPE 'X' GYP BRD. (1-HOUR) AT INTERIOR OF FP AND MIN 7/8" THICK EXTERIOR STUCCO AT EXTERIOR
- 106 AIR AND HEAT SUPPLY REGISTER AND LOCATION TYP.
- 107 RETURN AIR
- 108 EAVES OVER REQUIRED WINDOWS FOR 3'-0" SIDE YARD MAY EXTEND 6" INTO SIDE YARD W/ (1-HOUR) PROTECTION AND 30" CLEAR PROP. LINE. EAVES LESS THAN 5'-0" FROM PROP LINE TO BE (1-HOUR)
- 109 FAU PROVIDE ELECTRICAL/GAS PER MANUFACTURER SPECIFICATIONS
- 110 SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- 111 SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK-UP
- 112 42" HIGH SOLID GUARDRAIL
- 113 CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- 114 CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- 115 CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- 116 HIGH EFFICACY LUMINAIRES MUST BE TYPICAL
- 117 ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT SINGLE PHASE, 15 & 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)-REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST OUTLETS
- 118 BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT
- 119 NOTE: WHOLE BUILDING VENTILATION EQUATION: (T59) = 58.55 CFM
- 120 NUTONE GYMNOSOL 80 CFM SIZES O.3 PROVIDE NOTE LABEL # SWITCH THAT READS: KEEP ON EXCEPT WHEN GONE OVER 7 DAYS
- 121 COVERS FOR FAN SHALL HAVE MIN. INSULATION OF R-4.2
- 122 DOORS SHALL HAVE A MINIMUM OPENING OF 100 SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDED IN DOOR
- 123 DRIVEN BRANDING ELECTRODES SHALL BE STAINLESS STEEL, A MINIMUM OF 5/8" DIA. AND A MINIMUM OF 8 DRAIN INTO THE SOIL (H.B.M.C.). THE GROUNDING ELECTRODE CONDUCTOR CONNECTOR TO A DRIVEN ELECTRODE SHALL BE LISTED FOR THIS PURPOSE. (250.70 CEC)
- 124 ALL RECEPTACLES IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN, LAUNDRY, UTILITY, WET BARS SINKS (WITHIN 6' OF EDGE OF SINK) SHALL HAVE GROUND-FULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION (201.8 CEC)
- 125 LOCATION OF FUTURE EV CHARGER AND LISTED RACEWAY PROVIDED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. RACEWAY SHALL BE MINIMUM TRADE SIZE 1 AND SHALL ORIGINATE AT MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET IN CLOSE PROXIMITY TO THE PROPOSED EV CHARGER (250.4.1)
- 126 THE SERVICE PANEL SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS EV CAPABLE. C685 4.106.4.1.1
- 127 ALL 120VOLT 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER - RESISTANT RECEPTACLES PER CEC-406.12
- 128 FOR EXTERIOR LIGHTING, SPECIFY LUMINAIRES TO BE EFFICACY AND SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CEC 150.01(3)
- 129 a. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS b) OR c) BELOW, AND
- 130 b. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS, OR
- 131 c. CONTROLLED BY ONE OF THE FOLLOWINGS:
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM
- 132 PROVIDE A DEDICATED GAS LINE FROM THE GAS METER TO THE WATER HEATER. REFER TO CFC 216.3 OR MANUFACTURER'S INSTALLATION MANUAL FOR A MINIMUM GAS PIPE SIZING
- 133 HSC 19211 ALL NEW WATER HEATER, AND ALL EXISTING RESIDENTIAL WATER HEATERS, SHALL BE BRACED/ANCHORED OR STRAPPED TO RESIST FALLING OR HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. AT A MINIMUM, ANY WATER-HEATER SHALL BE SECURED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, OR MODIFICATIONS MADE THEREBY BY A CITY, COUNTY, OR CITY AND COUNTY PURSUANT TO SECTION 17958.5
- 134 FAU PROVIDE ELECTRICAL/GAS PER MANUFACTURER SPECIFICATIONS
- 135 SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- 136 SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK-UP

GENERAL NOTES:

- GLAZING IN WINDOWS AND DOORS SHALL HAVE A U FACTOR OF 0.32 AND SHGC OR 0.25 UNLESS OTHERWISE NOTED.
- ANY EXTERIOR BUILDING CHANGES (DESIGN), MATERIALS, COLORS, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO COMMENCING WORK IN THESE AREAS.
- V5 = VACUANCY SENSOR
- TOTAL LOAD OF NEW SERVICE PANEL IS LESS THAN 200amp. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL. UNLESS AN ENGINEERING ANALYSES AND CONSTRUCTION DETAILS PROVIDED.
- IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCES W/ MOTOR OF 1/4HP OR LARGER SHALL BE ON A SEPARATE 20amp BRANCH CIRCUIT. (ORD 2016-1026, ARTICLE 422.10 CEQ).
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREAS, WET BAR SINKS (WITHIN 6' OF EDGE OF SINK), BOATHOUSES, BATHUB AND SHOWER STALLS (RECEPTACLES WITHIN 6' OF THE OUTSIDE EDGE OF TUBE OR SHOWER STALL) SHALL WE HAVE GROUND-FULT CIRCUIT-INTERRUPTER (GFCI).
- ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (ART. CLE 210.12(1) CEC).
- AS OF JANUARY 1 2017, SENATE BILL 407 REQUIRES ALL NON-COMPLAINT PLUMBING FIXTURES IN SINGLE FAMILY RESIDENTIAL REAL PROPERTY TO BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES, REGARDLESS OF WHETHER PROPERTY UNDERGOES ALTERATIONS OR IMPROVEMENTS. (CIVIL SECTION 101.4, SB407).
- NON-ABESTOS FIBER-CEMENT BACKER BOARDS, NON-ABESTOS FIBER-MAT REINFORCED CEMENTIOUS BACKER UNITS, GLASS MAT GYPSUM BACKING PANELS SHALL BE USED AS A BACKER FOR WALL TILE IN TUBE & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R102.4.2)
- PERMANENT INSTALLED LUMINAIRES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL MANUAL-ON/AUTOMATIC-OFF OCCUPANT SENSORS. ALSO KNOWN AS VACUANCY SENSORS, AUTOMATICALLY TURN LIGHTS OFF IF AN OCCUPANT FORGETS TO TURN THEM OFF WHEN A ROOM IS UNOCCUPIED. ADDITIONALLY, THESE SENSORS ARE REQUIRED TO PROVIDE THE OCCUPANT WITH THE ABILITY TO MANUALLY TURN THE LIGHTS:
 - OFF UPON LEAVING THE ROOM.
 - OFF WHILE STILL OCCUPYING A ROOM.
 - ON UPON ENTERING THE ROOM.
- SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) CLOSETS, NOOK, HALLWAYS, FAMILY ROOM, BEDROOMS, AND SIMILAR ROOMS.
- ALL BRANCH CIRCUIT SUPPLYING RECEPTACLES IN DINING ROOM, LIVING ROOM,
- THE TWO PENDANTS OVER KITCHEN ISLAND SHALL BE INCANDESCENT WITH DIMMER.
- ROOM, GREAT ROOM, HALLS, FAMILY ROOM, BONUS ROOM, AND BEDROOMS, MINIMUM OF ONE SWITCH WITH DIMMER SHALL BE USED IN LIVING ROOM, DINING, LAUNDRY SHALL BE HIGH-EFFICACY OR EQUAL. ALL LIGHTING AT EXTERIOR, KITCHEN, BATHS, CLOSETS, HALLS, GARAGE.
- GLAZING IN WINDOWS AND DOORS SHALL HAVE A U FACTOR OF 0.32 AND SHGC OR 0.25 UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN
S.C. 1/4"=1'-0"

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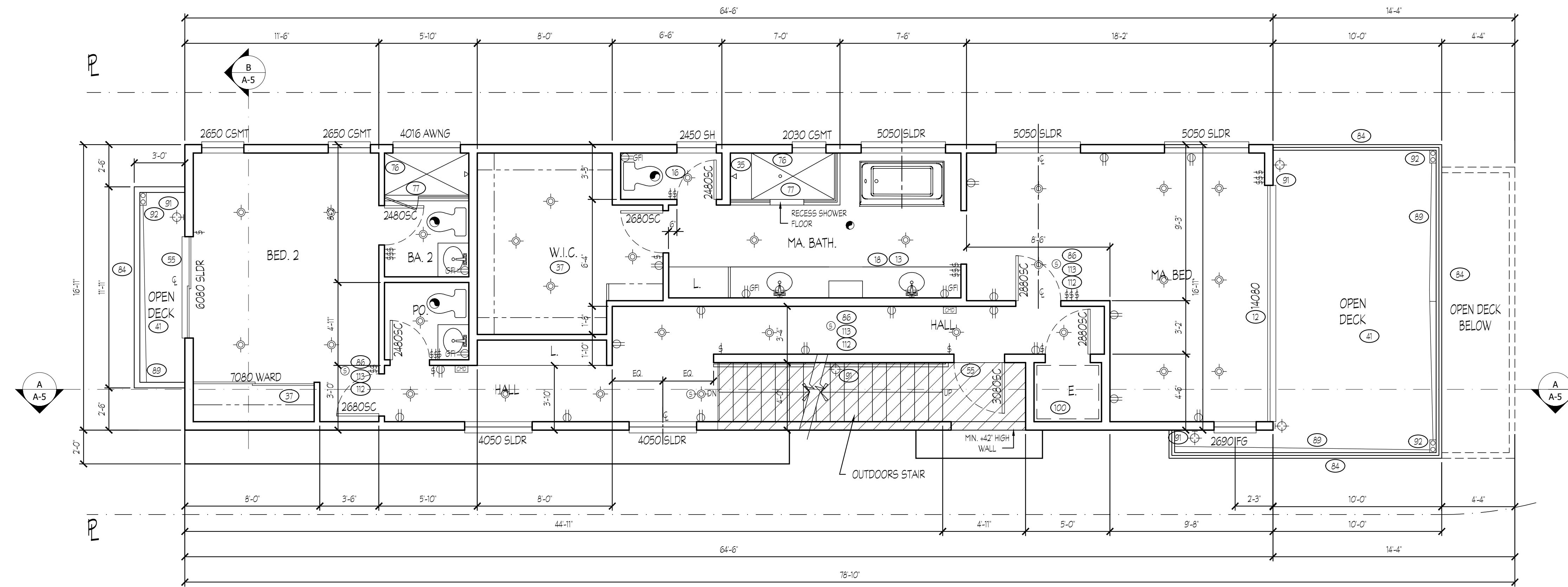
ARCHITECTURE
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PROPOSED NEW RESIDENCE AT 620 PACIFIC COAST HIGHWAY FOR:
10622 Court Ave. LLC
5050 W. Mission Boulevard,
Ontario, CA 91762
(656) 340-5461

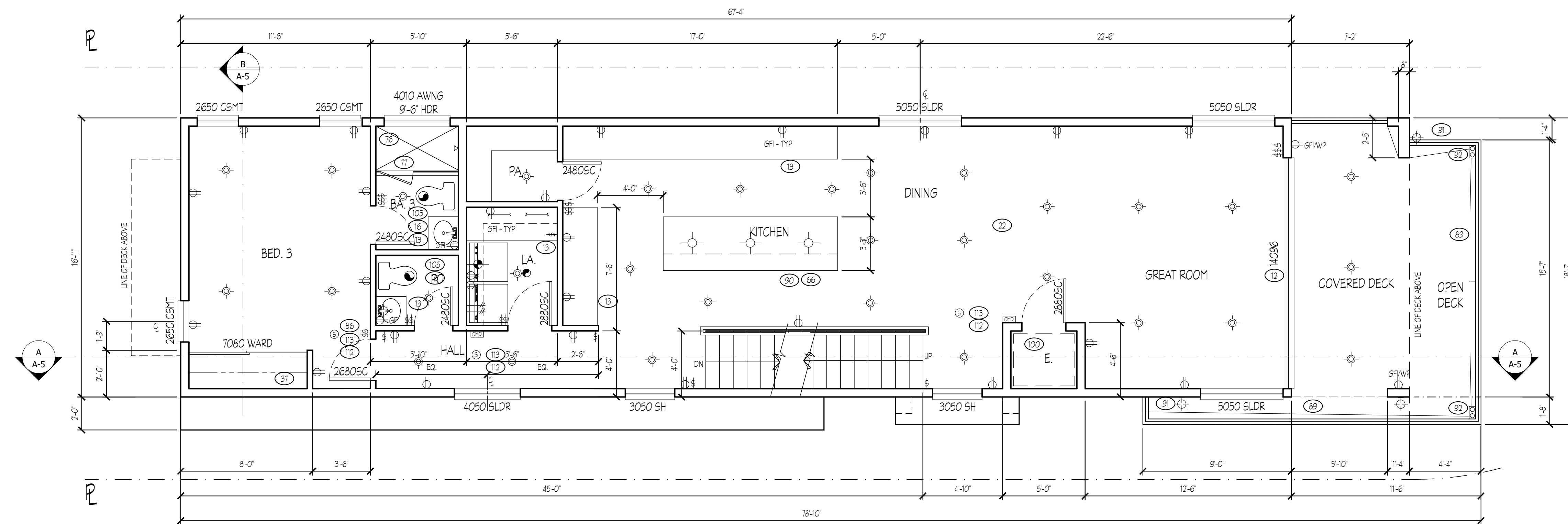
Phone (714) 374-7034
19092 Callaway Circle • Huntington Beach, CA 92648
E-mail: hougroupplan.com

DRAWN
CHECKED
DATE
SCALE 1/4"=1'-0"
JOB NO.
SHEET
A-1
OF SHEETS

NOTE:
 SEE SHEET A-1 FOR TYPICAL NOTES.
 SEE SHEET T-1 FOR ELECTRICAL SYMBOLS.

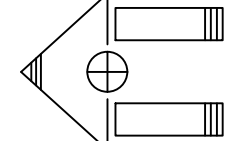


THIRD FLOOR PLAN
 SC: 1/8"=1'-0"



SECOND FLOOR PLAN
 SC: 1/8"=1'-0"

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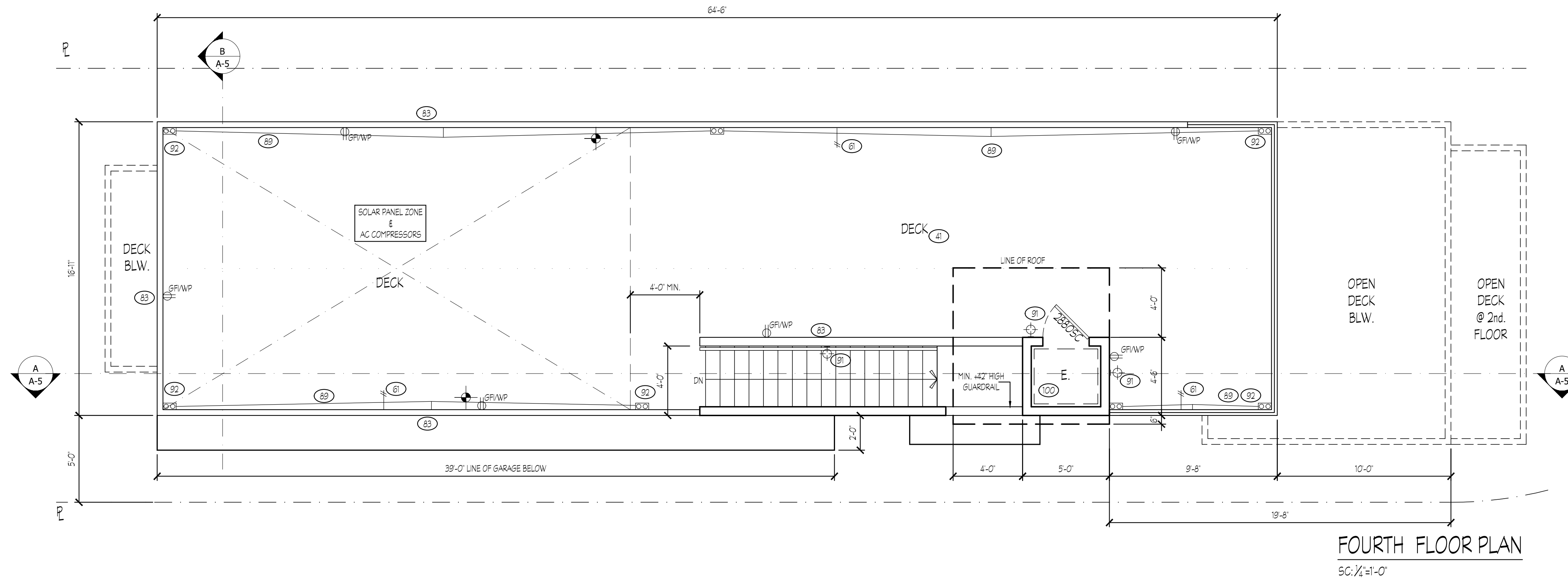
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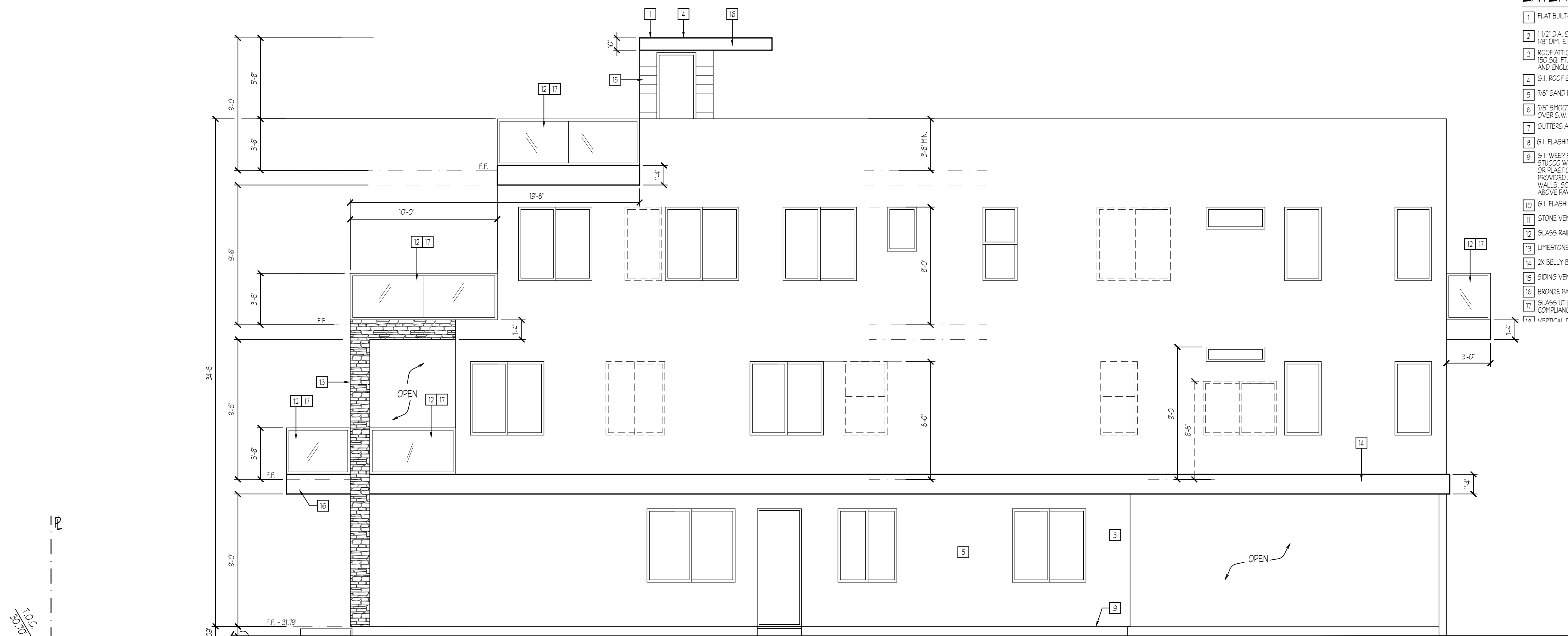
NOTE:
 SEE SHEET A-1 FOR TYPICAL NOTES.
 SEE SHEET T-1 FOR ELECTRICAL SYMBOLS.



FOURTH FLOOR PLAN
 SC: 1/4"=1'-0"

EXTERIOR ELEVATION NOTES

- 1 FLAT BUILT-UP ROOFING
- 2 1 1/2" DIA. SCREENED VENT HOLES W/ CORR. RESISTANT MTL MESH 1/8" DIM. E.W. TYP. @ VAULTED CLG. AREAS (VERIFY).
- 3 ROOF ATTIC DORMER VENTS - TYP. 1 SQ. FT. VENT FOR EVERY 150 SQ. FT. OF ATTIC AREA REQUIRED FOR ANY ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED.
- 4 ROOF EDGE - TYP.
- 5 7/8" SAND FINISH STUCCO
- 6 7/8" SMOOTH STUCCO O/ MIN. CLASS "D" PAPER - USE 2- LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- 7 GUTTERS AND DOWNSPOUTS.
- 8 G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 9 G.I. WEEP SCREED - TYP. STUCCO WEEP SCREED: A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 10 G.I. FLASHING - TYP.
- 11 STONE VENEER
- 12 GLASS RAILING.
- 13 LIMESTONE VENEER
- 14 2X BELLY BAND
- 15 SIDING VENEER
- 16 BRONZE PANELS
- 17 GLASS UTILIZED AS PART OF THE PROJECT WILL BE BIRD SAFE FOR COMPLIANCE WITH COASTAL COMMISSION REQUIREMENTS.
- 18 VERTICAL PERFORATIVE ENCL.



PROPOSED SIDE ELEVATION - 620 PCH
 SC: 1/4"=1'-0"

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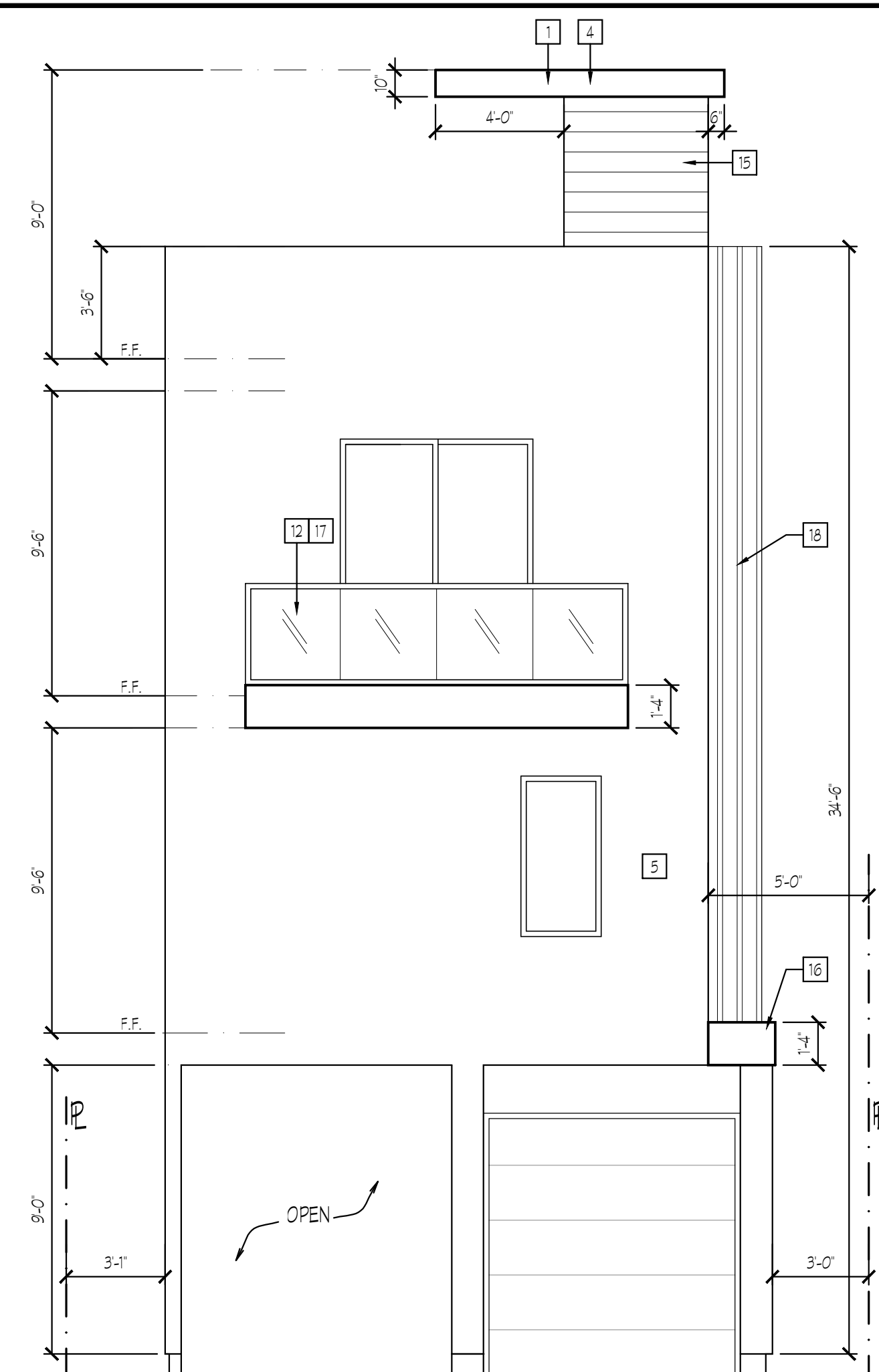
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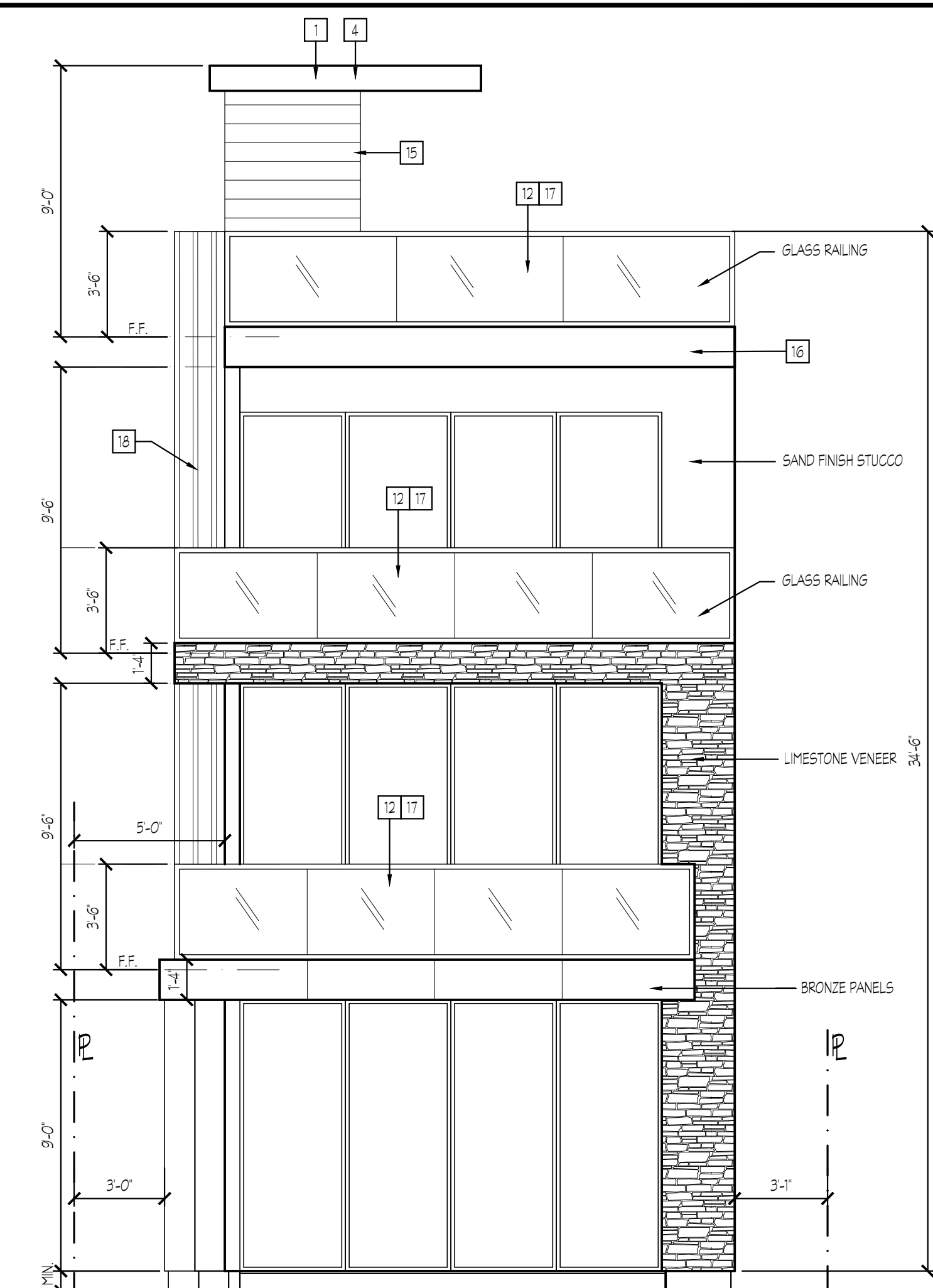
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OF SHEETS

EXTERIOR ELEVATION NOTES

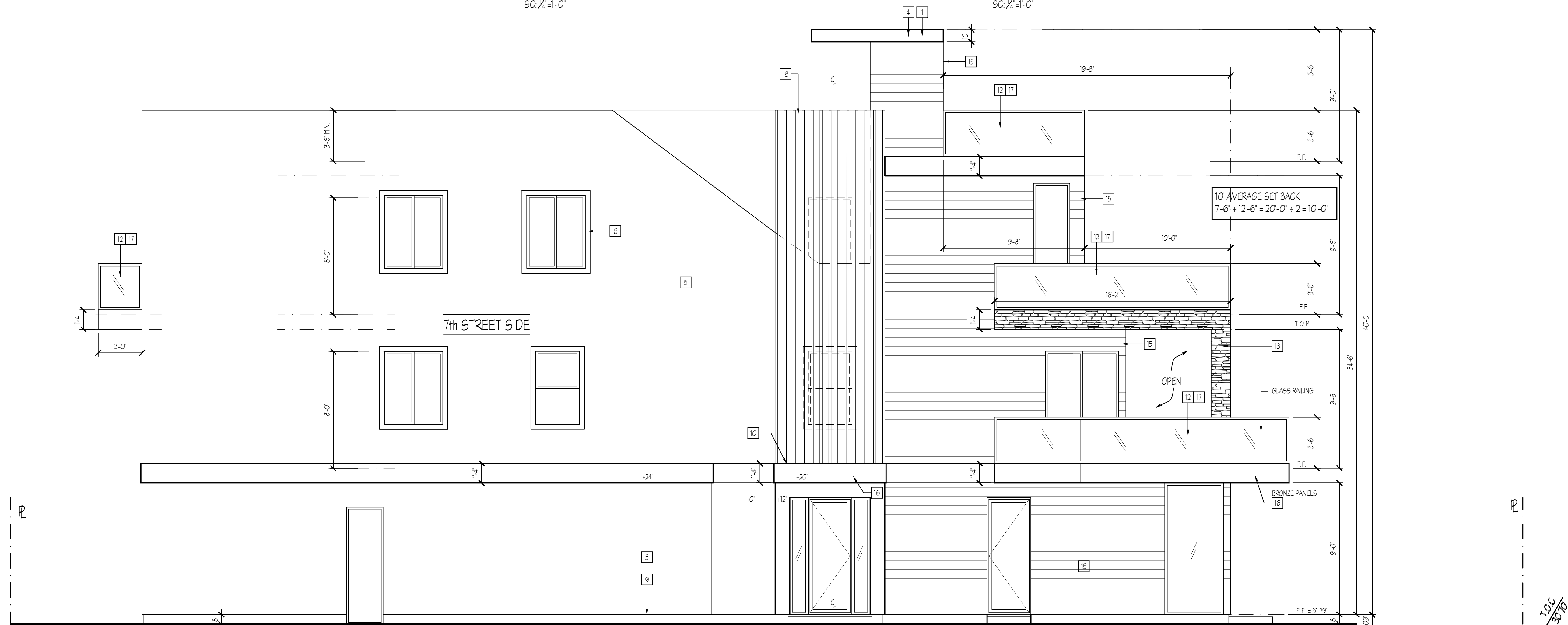
- 1 FLAT BUILT-UP ROOFING
- 2 1 1/2" DIA. SCREENED VENT HOLES W/ CORR. RESISTANT MTL MESH 1/8" DIA. E.W. TYP. @ VAULTED GLG. AREAS (V.E.R.P.Y.)
- 3 ROOF ATTIC DORMER VENTS - TYP. 1 SQ. FT. VENT FOR EVERY 150 SQ. FT. OF ATTIC AREA REQUIRED FOR ANY ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED.
- 4 G.I. ROOF EDGE - TYP.
- 5 7/8" SAND FINISH STUCCO
- 6 7/8" SMOOTH STUCCO Q/ MIN. CLASS "D" PAPER - USE 2 - LAYERS OVER S.W. - TYP. VERIFY LOCATION.
- 7 GUTTERS AND DOWNSPOUTS.
- 8 G.I. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 9 G.I. WEEP SCREEN - TYP. STUCCO WEEP SCREEN; A MINIMUM 26GA. CORROSION-RESISTANT OR PLASTIC W/ MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREEN SHALL BE A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS.
- 10 G.I. FLASHING - TYP.
- 11 STONE VENEER
- 12 GLASS RAILING
- 13 LIMESTONE VENEER
- 14 2X BELLY BAND
- 15 SIDING VENEER
- 16 BRONZE PANELS
- 17 GLASS UTILIZED AS PART OF THE PROJECT WILL BE BIRD SAFE FOR COMPLIANCE WITH COASTAL COMMISSION REQUIREMENTS.
- 18 VERTICAL DECORATIVE FINS



PROPOSED REAR ELEVATION - 620 PCH
 SC: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION - 620 PCH
 SC: 1/8" = 1'-0"



PROPOSED SIDE ELEVATION - 620 PCH
 @ 7th STREET SIDE

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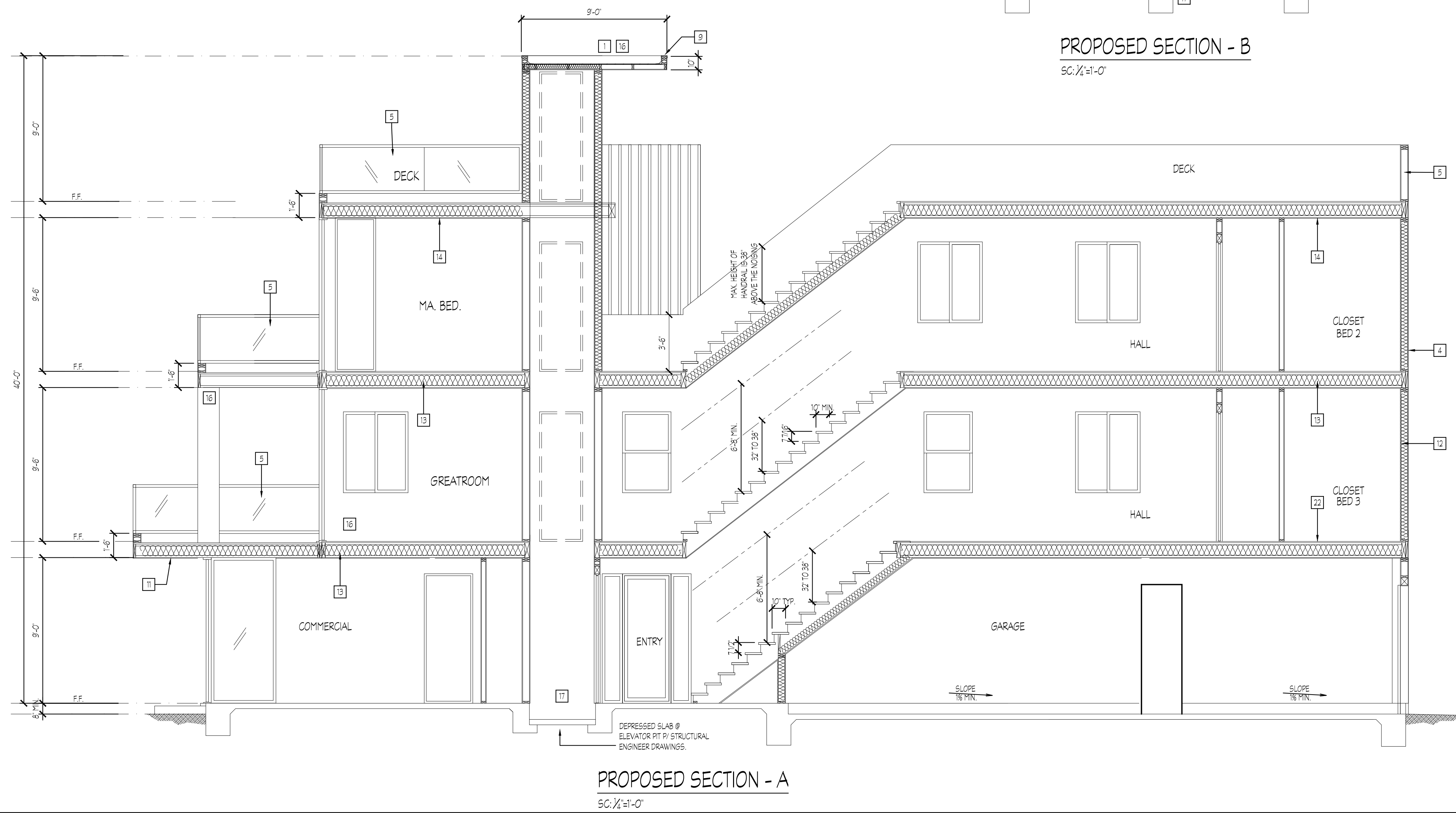
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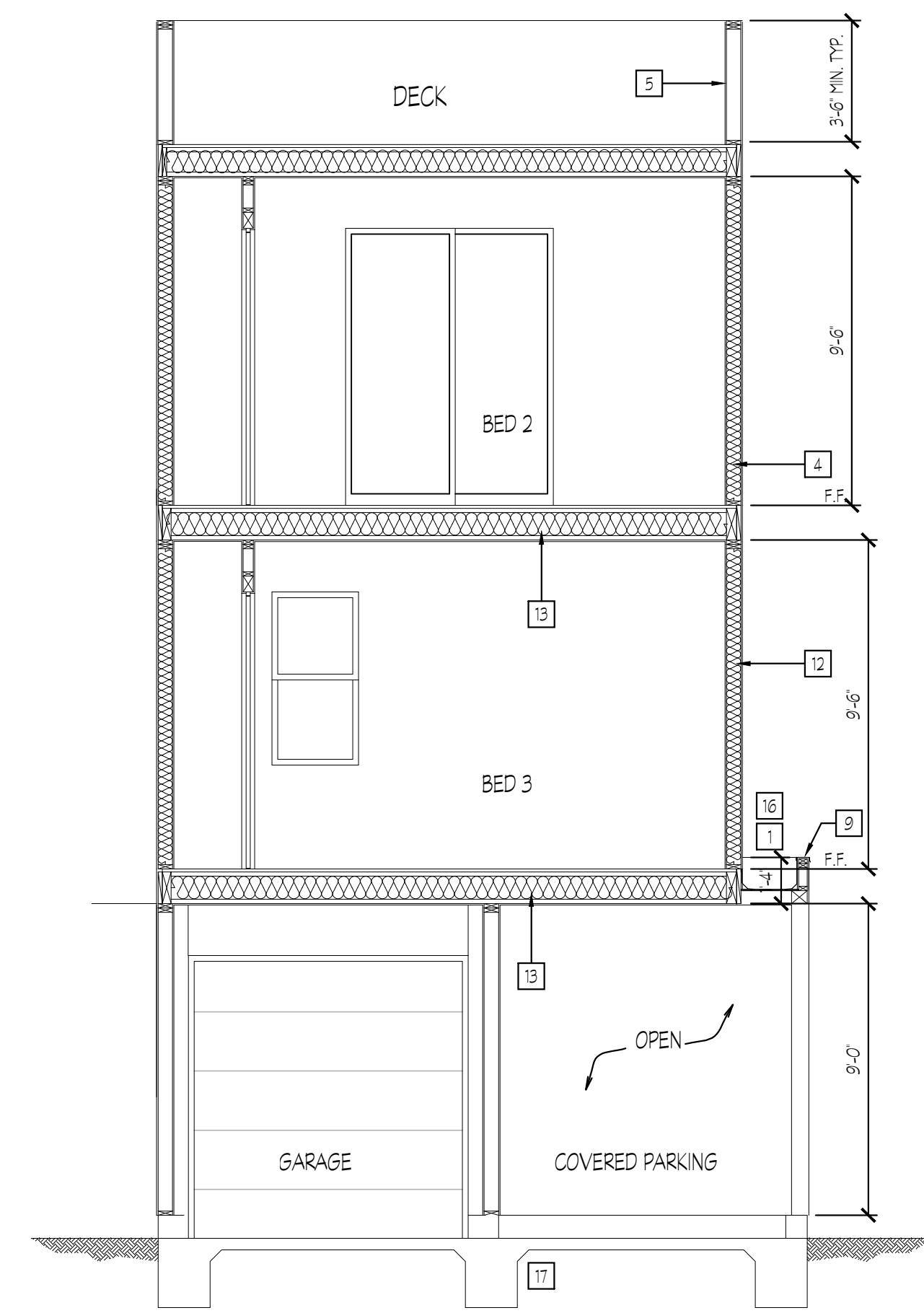
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PROPOSED SECTION - A
SC: 1/4"=1'-0"

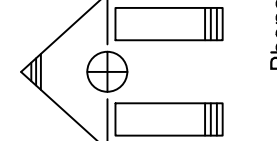


PROPOSED SECTION - B
SC: 1/4"=1'-0"

SECTIONS NOTES:

- 1 FLAT BUILT-UP ROOFING
- 2 ROOF ATTIC DORMER VENTS - TYP. 1 SQ. FT. FOR EVERY 50 SQ. FT. OF ATTIC AREA REQUIRED FOR AREAS WITH 30" HEAD CLEARANCE.
- 3 6:1. ROOF EDGE - TYP.
- 4 7/8" STUCCO O/ MIN. CLASS 'D' PAPER - USE 2 - LAYERS OVER S.W. - TYP.
- 5 42" HIGH RAILING WITH MAX. 3 7/8" OPENINGS. - TYP.
- 6 6:1. FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 7 6:1. WEEP SCREED 26 GA. MIN. - TYP.
- 8 6:1. FLASHING.
- 9 6:1. ROOF PARAPET CAP - TYP.
- 10 GUTTERS AND DOWNSPOUTS.
- 11 STUCCO SOFFIT.
- 12 R-21 INSULATION
- 13 R-19 INSULATION
- 14 R-38 INSULATION
- 15 RADIANT BARRIER PLYWOOD ROOF SHEATHING (MIN. 1/2").
- 16 FRAMING - SEE STRUCTURAL.
- 17 FOUNDATION - SEE STRUCTURAL.
- 18 1/2" GYP. BRD.
- 19 5/8" GYP. BRD. (1-HOUR)
- 20 SIDING BY "HARDIE" CGC-ESR-1844 OR 2290 O/ MIN. CLASS 'D' PAPER - USE 2-LAYERS AT SHEAR WALLS - TYP.
- 21 RADIANT BARRIER PLYWOOD MUST BE USED AS PART OF ROOF SHEATHING.
- 22 1 1/8" PLYWOOD SHEATHING.

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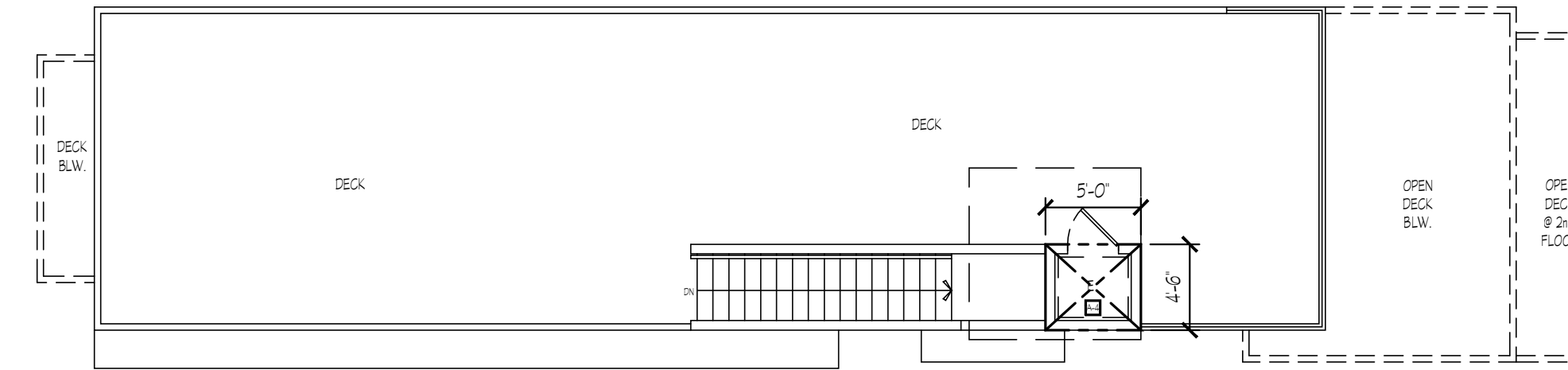
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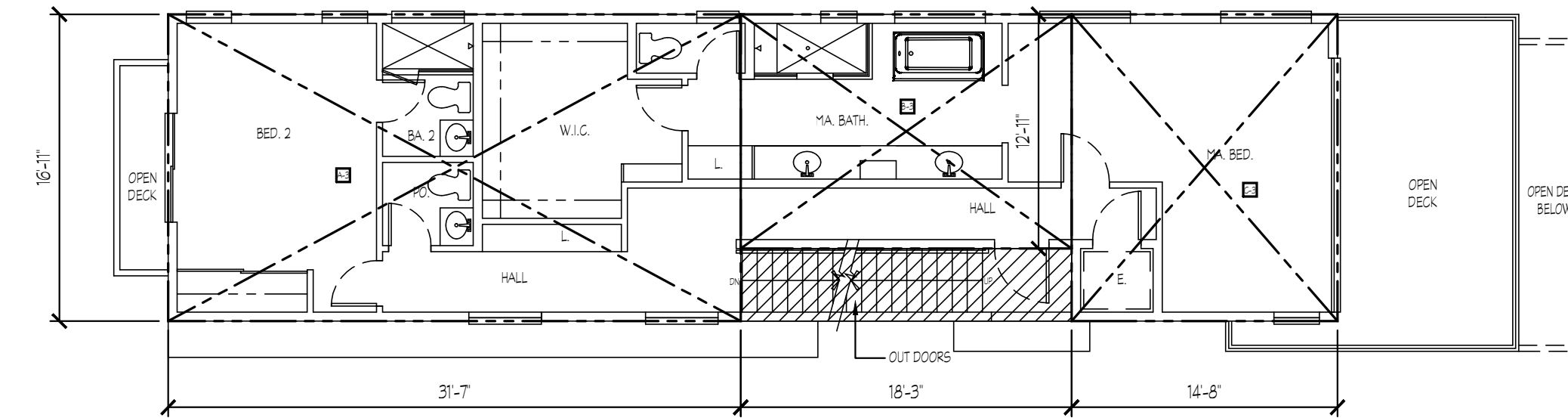
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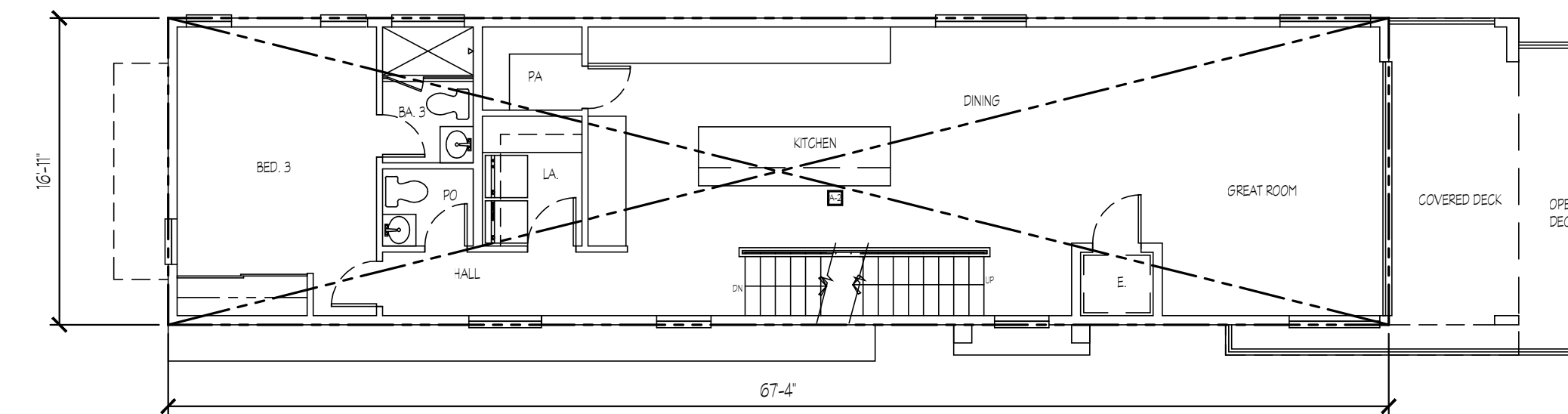
FOURTH FLOOR PLAN
SC: 1/8"=1'-0"

FOURTH FLOOR AREAS CALCULATIONS		
A-4	5'-0" x 4'-6"	22.50 SQ. FT.
TOTAL LIVING		22.50 SQ. FT.



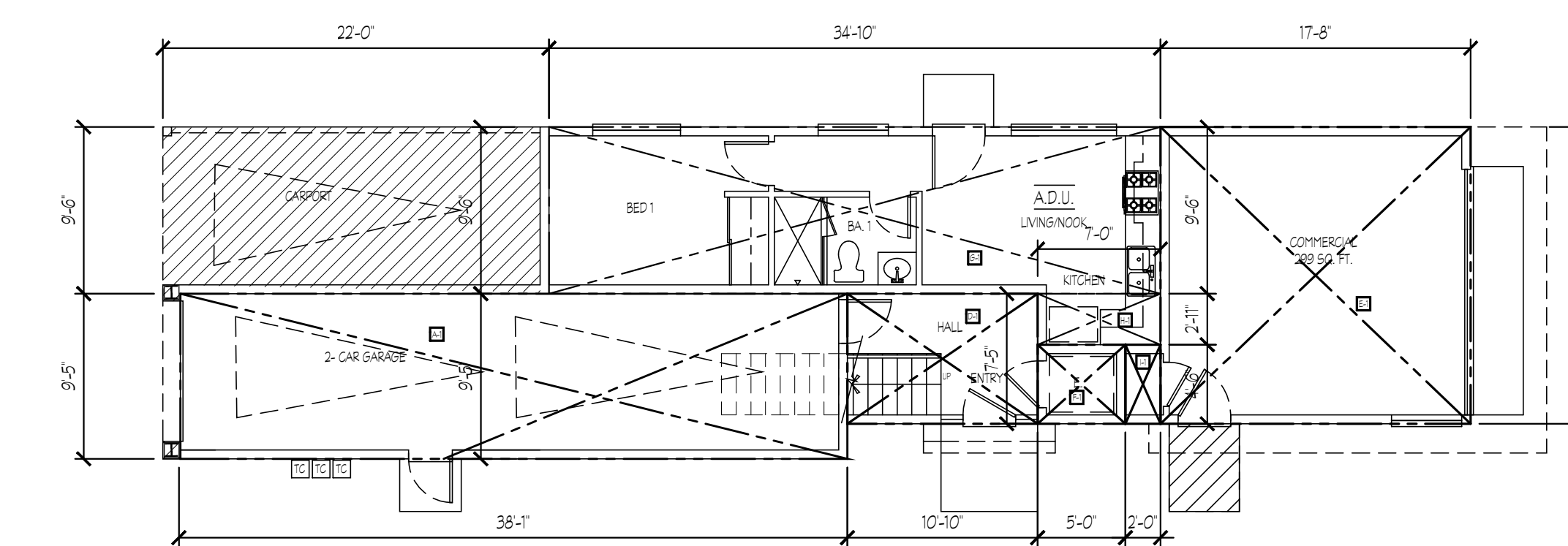
THIRD FLOOR PLAN
SC: 1/8"=1'-0"

THIRD FLOOR AREAS CALCULATIONS		
A-5	37'-7" x 16'-11"	534.28 SQ. FT.
A-6	18'-3" x 12'-11"	235.72 SQ. FT.
A-7	14'-8" x 16'-11"	248.11 SQ. FT.
TOTAL LIVING		1018.12 SQ. FT.



SECOND FLOOR PLAN
SC: 1/8"=1'-0"

SECOND FLOOR AREAS CALCULATIONS		
A-2	67'-4" x 16'-11"	1139.05 SQ. FT.
TOTAL LIVING		1139.05 SQ. FT.



FIRST FLOOR PLAN
SC: 1/8"=1'-0"

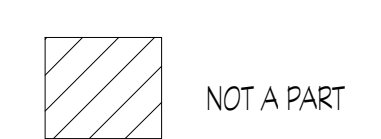
GARAGE AREAS CALCULATIONS		
A-1	38'-1" x 9'-5"	357.83 SQ. FT.
TOTAL GARAGE		357.83 SQ. FT.

A.D.U. AREA CALCULATION		
E-1	34'-10" x 9'-6"	330.91 SQ. FT.
F-1	7'-0" x 2'-11"	20.41 SQ. FT.
TOTAL LIVING		351.32 SQ. FT.

FIRST FLOOR AREAS CALCULATIONS		
E-2	10'-10" x 7'-5"	80.34 SQ. FT.
F-2	5'-0" x 4'-6"	22.50 SQ. FT.
TOTAL LIVING		102.84 SQ. FT.

FIRST FLOOR COMMERCIAL AREAS CALCULATIONS		
E-3	17'-6" x 16'-11"	299 SQ. FT.
F-3	2'-6" x 4'-6"	11.25 SQ. FT.
TOTAL COMMERCIAL		310.25 SQ. FT.

LEGEND:



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The Louie Group

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19092 Callaway Circle • Huntington Beach, CA 92648
E-mail: louiegroup@aol.com

PROPOSED NEW RESIDENCE AT 620 PACIFIC COAST HIGHWAY FOR:

10622 Court Ave. LLC
5050 W. Mission Boulevard,
Ontario, CA 91762
(656) 340-5461

DRAWN
CHECKED
DATE
SCALE 1/8" = 1'-0"
JOB NO.
SHEET
A-6
OF
SHEETS