

**Zoning Administrator**  
**Wednesday, July 1, 2026**  
**1:30 PM - Regular Meeting**  
**AGENDA**

**City of Huntington Beach**  
**2000 Main Street**  
**Huntington Beach, CA 92648**  
**Civic Center, Lower Level, Council**  
**Chambers**

Staff Liaisons  
JASON KELLEY, Senior Planner  
MICHELLE LOPEZ, Administrative Assistant



**Zoning Administrator**  
Zoning Administrator  
JOANNA CORTEZ, Principal Planner

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## **CALL TO ORDER**

## **PUBLIC COMMENTS**

Anyone wishing to speak during PUBLIC COMMENTS must fill out and submit a form to speak. The Zoning Administrator can take no action on this date, unless the item is agendized. Anyone wishing to speak on items not on today's agenda, may do so during PUBLIC COMMENTS. Please note comments on closed public hearing items will not be part of the permanent entitlement record. Speakers on items scheduled for PUBLIC HEARING will be invited to speak during the public hearing. (3 MINUTES PER PERSON, NO DONATING OF TIME TO OTHERS) If you are not able to attend in person, public comments may be submitted in writing to <https://arcg.is/O11Ha> by 10:00 AM the day of the meeting.

## **PUBLIC HEARING ITEMS**

**26-536**

### **CONDITIONAL USE PERMIT NO. 25-016 (HB OPTOMETRY PARKING REDUCTION)**

#### **REQUEST:**

**To permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business.**

#### **LOCATION:**

**6012 Edinger Avenue, 92649 (Southeast corner of Edinger Avenue and Springdale Street)**

#### **Recommended Action:**

That the Zoning Administrator take the following actions:

- A) Find the proposed project categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1; and
- B) Approve Conditional Use Permit No. 25-016 with suggested findings and conditions of approval.

**26-558**

**COASTAL DEVELOPMENT PERMIT NO. 26-002/CONDITIONAL USE PERMIT NO. 26-002 (DAO RESIDENCE)**

**REQUEST:**

To demolish a two-story single-family residence and construct a 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at overall height of 34.5 ft.

**LOCATION:**

16661 Carousel Lane, 92649 (Southwest of Carousel Lane and Wanderer Lane - Humboldt Island)

**Recommended Action:**

That the Zoning Administrator take the following actions:

- A) Find the proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, Class 3; and
- B) Approve Coastal Development Permit No. 26-002 and Conditional Use Permit No. 26-002 with findings and conditions of approval.

**ADJOURNMENT**

The next regularly scheduled meeting of the Zoning Administrator is July 15, 2026, at 1:30 P.M. Huntington Beach, California.

**INTERNET ACCESS TO THE ZONING ADMINISTRATOR AGENDA AND STAFF REPORT MATERIAL IS AVAILABLE PRIOR TO ZONING ADMINISTRATOR MEETINGS AT:  
<https://huntingtonbeach.legistar.com/>**

**MEETING ASSISTANCE NOTICE:**

In accordance with the Americans with Disabilities Act, services are available to members of our community who require special assistance to participate in public meetings. If you require special assistance, 48-hour prior notification will enable the City to make reasonable arrangements for an assisted listening device (ALD) for the hearing impaired, American Sign Language interpreters, a reader during the meeting and/or large print agendas. Please contact the Community Development Department at 714-536-5241 for more information, or request assistance from the staff or Sergeant-at-Arms at the meeting.



# City of Huntington Beach

File #: 26-536

MEETING DATE: 7/1/2026

## ZONING ADMINISTRATOR STAFF REPORT

**TO:** Zoning Administrator  
**FROM:** Jason Kelley, Senior Planner

**SUBJECT:**  
**CONDITIONAL USE PERMIT NO. 25-016 (HB OPTOMETRY PARKING REDUCTION)**

**REQUEST:**

To permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business.

**LOCATION:**

6012 Edinger Avenue, 92649 (Southeast corner of Edinger Avenue and Springdale Street)

**APPLICANT:**

Jennifer Walton, Symmetry 8 Studios, 4 Executive Circle, Suite 100, Irvine, CA 92614

**PROPERTY OWNER:**

Shilah & Ivan Tsai, 5890 Edinger Avenue, Huntington Beach, CA 92649

**STAFF RECOMMENDATION:**

That the Zoning Administrator take the following actions:

A) Find the proposed project categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1; and

B) Approve Conditional Use Permit No. 25-016 with suggested findings and conditions of approval.

**General Plan:**

CN (Commercial Neighborhood)

**Zone:**

CG (Commercial General)

**Environmental Status:**

The project is Categorical Exempt pursuant to Section 15301 of the CEQA Guidelines because the project consists of the operation and minor alteration of an existing commercial structure involving negligible or no expansion of use beyond that previously existed.

**Coastal Status:**

N/A

**Existing Use:**

Vacant commercial building

**ATTACHMENTS:**

1. Suggested Findings and Conditions of Approval
2. Site and Floor Plans Dated April 28, 2026
3. Parking Analysis Dated April 29, 2026

**ATTACHMENT NO. 1**

**SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL**

**CONDITIONAL USE PERMIT NO. 25-016**

**SUGGESTED FINDINGS FOR PROJECTS EXEMPT FROM CEQA:**

The Zoning Administrator finds that the project will not have any significant effect on the environment and is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines because the project consists of the operation and minor alteration of an existing commercial structure involving negligible or no expansion of use beyond that previously existed.

**SUGGESTED FINDINGS FOR APPROVAL – CONDITIONAL USE PERMIT NO. 25-016:**

1. Conditional Use Permit No. 25-016 to permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood because the optometry business is not anticipated to generate any significant noise, traffic, or other impacts detrimental to surrounding properties. The site provides adequate parking based on a parking study prepared by K2 Traffic Engineering, Inc. received April 29, 2026

The request for reduced parking is a result of an existing vacant retail use being converted to a proposed optometry business. The parking requirement for retail use is one space per 200 square feet versus one space per 175 square feet for medical use. Since the site is deficient in parking spaces a parking analysis was conducted to ensure the adequacy of on-site parking. The parking analysis used two methodologies in conducting their study. One is using the Parking Generation by the Institute of Transportation Engineers (ITE) and the other is the empirical business operation method. Based on the two methodologies, the parking analysis identified the parking calculation per ITE's parking generation to be the most restrictive, requiring 3.2 parking spaces per 1,000 sq. ft. or 11 spaces for the 3,400 sq. ft. building. Since there are 13 spaces onsite, there is a surplus of 2 spaces. As a result, the parking demand analysis supports the proposed reduction in required parking and concludes that adequate on-site parking will be available to accommodate the proposed optometry business.

2. The granting of Conditional Use Permit No. 25-016 to permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business will not adversely affect the General Plan because it is consistent with the Land Use Element designation of CG (Commercial General) on the subject property. In addition, it is consistent with the following goals and policies of the General Plan:

**Land Use Element**

**Goal LU-1:** New commercial, industrial, and residential development is coordinated to ensure that the land use pattern is consistent with the overall goals and needs of the community.

**Policy LU-1 (A):** Ensure that development is consistent with the land use designations presented in the Land Use Map, including density, intensity, and use standards applicable to each land use designation.

Policy LU-1 (C): Support infill development, consolidation of parcels, and adaptive reuse of existing buildings.

Policy LU-13 (A): Encourage expansion of the range of goods and services provided to accommodate the needs of all residents and the market area.

Policy LU-13 (B): Capture emerging industries such as, but not limited to, “knowledge” based industries and research and development firms.

Goal LU-11: Commercial land uses provide goods and services to meet regional and local needs.

Policy LU-11 (A): Encourage a variety of commercial uses that cater to local and regional demand to create an environment that meets resident needs and increases the capture of sales tax revenues.

The proposed project is to permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business. The project site will continue to serve adjacent nearby residential development and future development within the city as a whole. The proposed project is located upon an established commercial property surrounded by other commercial uses. The parking analysis prepared by K2 Traffic Engineering, Inc. prepared April 29, 2026, has determined that there is sufficient parking provided onsite. The request will serve the needs of residents by expanding the range of goods and services provided in the area by providing additional medical uses. Therefore, the proposed project will be consistent with the overall goals and needs of the community, provide goods and services to meet regional and local needs, and renovate and revitalize existing vacant commercial space by ensuring the continued occupancy of the commercial building.

3. Conditional Use Permit No. 25-016 to permit a parking reduction based on survey data prepared by a state-registered traffic engineer for a new optometry business will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO) because an optometry business with a reduced parking study is permitted subject to a Conditional Use Permit within the Commercial General (CG) zoning district pursuant to chapter 231.08 B of the Huntington Beach Zoning and Subdivision Ordinance. The proposed use will be located within an existing building, which conforms to applicable site development standards, with the exception of the request for reduced parking. However, the parking demand analysis has determined that there is sufficient parking provided onsite.

**SUGGESTED CONDITIONS OF APPROVAL – CONDITIONAL USE PERMIT NO. 25-016:**

1. The site plan, floor plans, and elevations received April 28, 2026, and the parking demand analysis received and dated April 29, 2026, shall be the conceptually approved design.
2. Prior to submittal of building permits, the following shall be completed: Zoning entitlement conditions of approval shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
3. The structure shall not be occupied, and the final building permit(s) shall not be approved until the following have been completed:
  - a. All improvements must be completed in accordance with the approved plans.
  - b. Compliance with all conditions of approval specified herein shall be verified by the Community Development Department.
  - c. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
4. The applicant and/or applicant’s representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
5. Conditional Use Permit No. 25-016 shall become null and void unless exercised within two years of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Community Development Department a minimum 30 days prior to the expiration date.
6. The Development Services Departments and divisions (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Community Development may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Zoning Administrator’s action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Zoning Administrator may be required pursuant to the provisions of HBZSO Section 241.18.

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

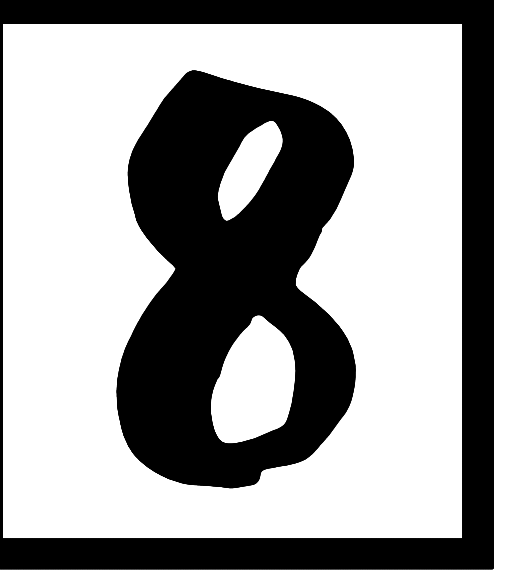
The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney’s fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.





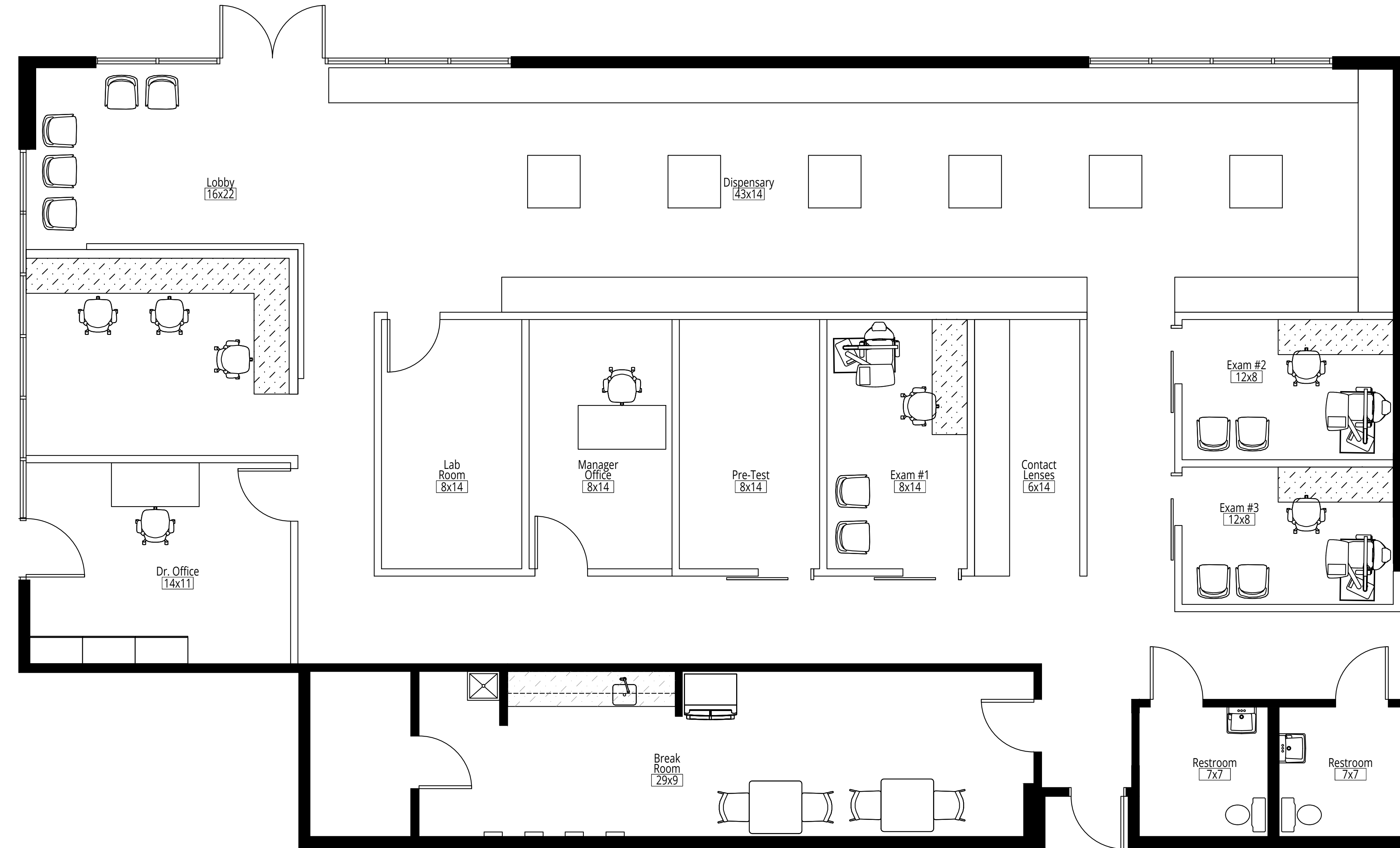
04/28/2026

SYMMETRY



EIGHT  
STUDIO

4 Executive Circle  
Suite 100, Irvine, CA 92614  
www.symmetry8.com  
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Delta	Date	Issued For
-	04/23/25	Space Plan
-	04/28/26	Space Plan

10080.001  
JW/DR  
1/4" = 1'-0"



Huntington Beach  
Optometry

6012 Edinger  
Huntington Beach, CA

Space Plan  
SP.04



April 29, 2026

Shilah Tsai  
Huntington Beach Optometry  
5890 Edinger Ave  
Huntington Beach, CA 92647

**Re: Parking Analysis for Huntington Beach Optometry  
6012 Edinger Ave, Huntington Beach**

Dear Shilah,

Per your request, we have conducted a parking analysis for Huntington Beach Optometry. This letter presents out methodologies and findings for the parking sufficiency of the proposed business operation.

**PROJECT INFORMATION**

Huntington Beach Optometry is an existing optometry of 3,120 square feet located at 5890 Edinger Avenue in the City of Huntington Beach. The company is planning to relocate to 6012 Edinger Avenue. The new location consists of a former 7-Eleven convenience store in the free-standing building of 3,400 square feet. The site provides 13 parking spaces, including one ADA accessible space, as shown in **Exhibit 1**.

Business hours of the subject optometry will remain unchanged after relocation: Monday-Friday from 9 am to 6 pm, Saturday from 9 am to 3 pm, and closed Sunday. The optometry operation is by appointment only, and scheduled on weekdays between 9 am and 5 pm, and on Saturday between 9 am and 2:15 pm. The subject facility employs up to five staff, including one doctor (optometrist) and four (4) administrative personnel. All visits require appointment in advance and each scheduled session is 30 to 45 minutes long. No walk-in doctor visit is allowed. The floor plan is shown in **Exhibit 2**.

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***K2 Traffic Engineering, Inc.***

1442 Irvine Blvd, Suite 235, Tustin, CA 92780 T.714-832-2116 F.949-266-5875 Email: kay@k2traffic.com

**MUNICIPAL CODE**

Huntington Beach Municipal Code (HBMC) requires one parking space per 175 square feet for medical office use. Based on the code requirement, the subject building of 3,400 square feet is required to provide 20 spaces, as shown in **Table 1**.

**Table 1. Parking Calculation per HBMC**

Parking Use	Parking Ratio	Quantity	Parking Demand
Medical Office	1 space per 175 sq. ft.	3,400 sq. ft.	20
Parking Provided			13
Parking Deficit (per HBMC)			-7

**PARKING GENERATION - ITE**

According to “Parking Generation, 4<sup>th</sup> Edition” published by Institute of Transportation Engineers (ITE), the average peak period parking demand for medical office building is 3.20 vehicles per 1,000 square feet gross floor area (GFA). For the subject building of 3,400 square feet, the peak parking demand is calculated to be 11 spaces. The project is expected to have a parking surplus of two (2) spaces per ITE’s Parking Generation, as shown in **Table 2**.

**Table 2. Parking Calculation per ITE’s Parking Generation**

Parking Use	Peak Parking Ratio	Quantity	Parking Demand
Medical Office	3.20 vehicles per 1,000 sq. ft.	3,400 sq. ft.	11
Parking Provided			13
<b>Parking Surplus (per ITE’s Parking Generation)</b>			<b>+2</b>

**EMPIRICAL BUSINESS OPERATION**

Huntington Beach Optometry is an established business at 5890 Edinger Avenue for 15 years, within a short walking distance from the building at 6012 Edinger Avenue. Based on the past experience, about 70 patients are scheduled in a week, including an average of 12 patients per day and 8 to 10 patients on Saturday. All patient visits are appointment based and walk-ins are not allowed.

As a conservative approach, the study applied empirical parking demand of four (4) spaces to account for all patients in the premise, including one patient in doctor’s session, one post-exam patient cared by staff, one waiting patient, and one follow-up patient picking up prescription lenses and/or contacts. After apply a redundancy factor of ten percent (10%), the subject facility is expected to utilize no more than 10 parking spaces at any time. The project is expected to have an empirical parking surplus of three (3) spaces, as shown in **Table 3**.

**Table 3. Parking Calculation per Empirical Operation**

Category	Parking Ratio	Quantity	Parking Demand
Staff Parking	1 space per staff in the maximum shift	4 staff	4
Doctor Parking	1 spaces per doctor	1 doctor	1
Patient Parking	4 spaces per doctor	1 doctor	4
Redundancy (10%)			1
Empirical Parking Demand			10
Parking Supply			13
<b>Empirical Parking Surplus</b>			<b>+3</b>

## **COMPARIABLE OPTOMETRY PRACTICES**

In addition to its own experiences of Huntington Beach Optometry, the study conducted a brief analysis at the following comparable optometry practices:

1. Bender Eye Optometry at 13972 Laurinda Way, North Tustin
2. Jon Yamane Optometry at 1545 Nutmeg Place, Costa Mesa

**Bender Eye Optometry** is similar optometry facility situated in a stand-alone building of 2,400 square feet with three exam rooms at 13972 Laurinda Way, North Tustin. The site provides 12 parking spaces. Business hours are Monday through Friday from 9 AM to 6 PM, and closed Saturday and Sunday. This location generally features one doctor and four to five staff members at any given time. All schedules are strictly appointment based and walk-ins are not allowed. According to the office manager, the peak parking demand normally occurs between 3 PM and 4 PM when up to four appointments are scheduled within the hour. Our field visits observed peak parking of nine cars between 3 PM and 4 PM on Thursday, April 24, 2026.

**Jon Yamane Optometry** is another similar optometry facility situated in a stand-alone building of 2,400 square feet with three exam rooms at 1545 Nutmeg Place, Costa Mesa. The site provides 11 parking spaces. Business hours are Monday through Friday from 9 AM to 5 PM, two Saturdays per month from 9 AM to 3 PM, and closed on Sunday. This location generally features one doctor and three to four staff members at any given time. All schedules are strictly appointment based and walk-ins are not allowed. According to the office manager, peak parking demand normally occurs between 2 PM and 4 PM when up to four appointments are scheduled within the hour. Our field visits observed peak parking of only five cars parked on site at 3:30 PM on Friday, April 25, 2026.

The proposed facility of **Huntington Beach Optometry** at 6012 Edinger Avenue consists of approximately 3,400 square feet with three exam rooms. The additional floor area, relative to typical optometry practices, is primarily allocated to ancillary functions such as an expanded display area, manager's office, and employee break

room, rather than increased patient-serving capacity. Operationally, this proposed facility is designed for one doctor and approximately four staff members, accommodating up to four patients at any given time, fully comparable with other optometry practices listed above. Therefore, parking demand is expected to be consistent with comparable optometry practices of smaller size.

The applicable parking ratio is *5 spaces per doctor plus 1 space per staff in the maximum shift*. After apply a redundancy factor of ten percent (10%), the projected peak parking demand of 10 spaces, as calculated in **Table 3**, is reasonable and consistent with comparable optometry practices.

### SUMMARY

As a conservative approach, the project's parking capacity of 13 spaces exceeds the parking demand of 11 parking spaces according to ITE's Trip Generation for medical office of 3,400 square feet. With consideration of the number of employees and patients, the site is expected to only utilize nine parking spaces. A review of similar optometry practices has confirmed that peak demand of nine parking spaces is reasonable and consistent with comparable practices.

After applying a redundancy factor of ten percent (10%), the subject facility is expected to utilize no more than 10 parking spaces at any time. The project is expected to have an empirical parking surplus of three (3) spaces. The parking capacity can sufficiently accommodate the subject optometry practices. The project is not expected to result in parking overflow onto public streets.

Regards,

**K2 Traffic Engineering, Inc.**

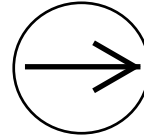


Jende Kay Hsu, P.E., T.E.  
California License # TR2285

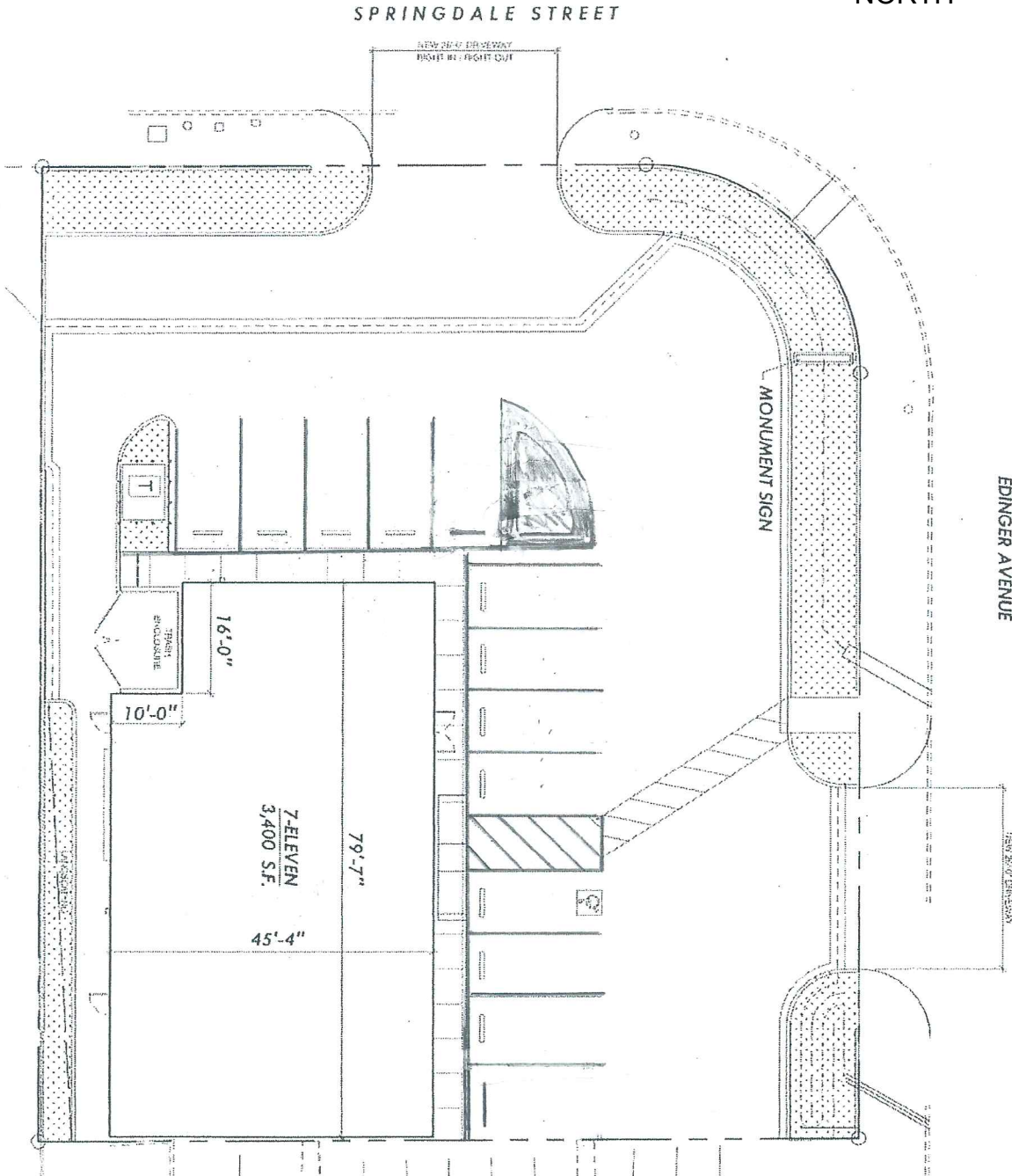


**K2 Traffic Engineering, Inc.**

**EXHIBIT B-1  
SITE PLAN**

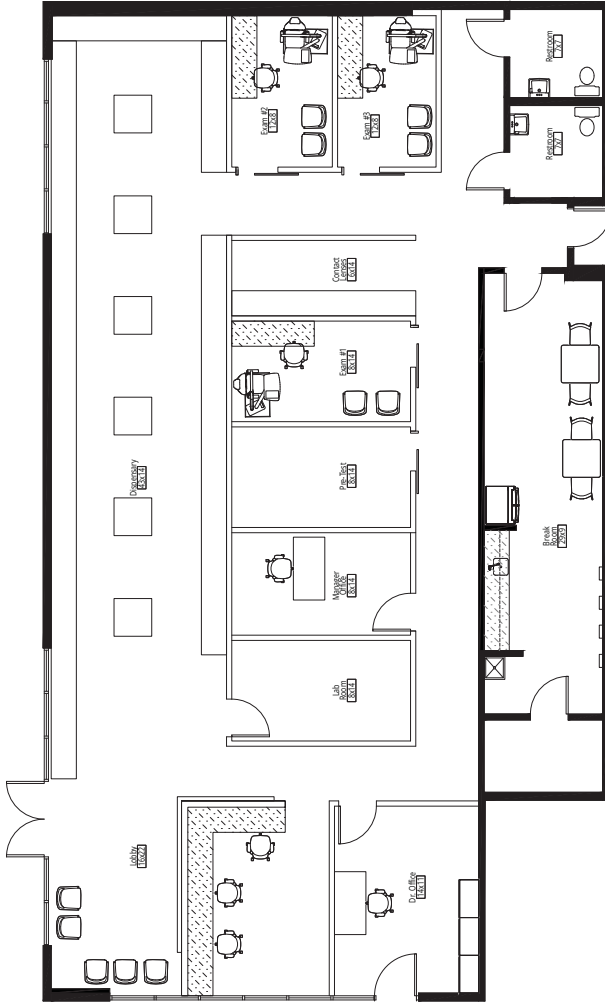


**NORTH**



6012 Edinger Ave, Huntington Beach, CA 92647

**EXHIBIT 1. SITE PLAN**



**EXHIBIT 2. FLOOR PLAN**



# City of Huntington Beach

File #: 26-558

MEETING DATE: 7/1/2026

## ZONING ADMINISTRATOR STAFF REPORT

**TO:** Zoning Administrator  
**FROM:** Marco Cuevas Jr., Associate Planner

**SUBJECT:**  
**COASTAL DEVELOPMENT PERMIT NO. 26-002/CONDITIONAL USE PERMIT NO. 26-002 (DAO RESIDENCE)**

**REQUEST:**  
To demolish a two-story single-family residence and construct a 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at overall height of 34.5 ft.

**LOCATION:**  
16661 Carousel Lane, 92649 (Southwest of Carousel Lane and Wanderer Lane - Humboldt Island)

**APPLICANT:**  
Jing Liu, 15922 Plymouth Lane, Huntington Beach, CA 92647

**PROPERTY OWNER:**  
Michael Dao, 16661 Carousel Lane, Huntington Beach, CA 92649

**STAFF RECOMMENDATION:**  
That the Zoning Administrator take the following actions:

- A) Find the proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, Class 3; and
- B) Approve Coastal Development Permit No. 26-002 and Conditional Use Permit No. 26-002 with findings and conditions of approval.

**General Plan:**  
RL (Residential Low Density)

**Zone:**  
RL (Residential Low Density)

**Environmental Status:**

The project is Categorically Exempt pursuant to Section 15303, Class 3 of the California Environmental Quality Act.

**Coastal Status:**

Appealable

**Existing Use:**

Single-Family Residence

**ATTACHMENTS:**

1. Suggested Findings and Conditions of Approval
2. Conceptual Plans Received and Dated June 22, 2026
3. Narrative
4. Site Photos

**ATTACHMENT NO. 1**

**SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL**

**COASTAL DEVELOPMENT PERMIT NO. 26-002**

**CONDITIONAL USE PERMIT NO. 26-002**

**SUGGESTED FINDINGS FOR PROJECTS EXEMPT FROM CEQA:**

The Zoning Administrator finds that the project will not have any significant effect on the environment and is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines because the project would involve the addition and remodel of an existing single-family residence within an existing urbanized residential zone.

**SUGGESTED FINDINGS FOR APPROVAL - COASTAL DEVELOPMENT PERMIT NO. 26-002:**

1. Coastal Development Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in., conforms with the General Plan, including the Local Coastal Program because the project is consistent with the Coastal Element Land use Policy C 1.1.1 to encourage new development to locate within, contiguous to or in close proximity to existing developed areas able to accommodate it. The proposed development will occur entirely on a developed site, contiguous to properties developed with existing single-family residential uses.
2. Coastal Development Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in., is consistent with the requirements of the CZ Overlay District, the base zoning district, as well as other applicable provisions of the Municipal Code because the project will comply with all applicable development regulations, including maximum building height, minimum yard setbacks, lot coverage, and privacy design standards.
3. At the time of occupancy, the proposed development can be provided with infrastructure in a manner that is consistent with the Local Coastal Program because Coastal Development Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in. is located in an urbanized area with all necessary services and infrastructure available, including water, sewer, and roadways.
4. Coastal Development Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in., conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act in that the project will not impede public access, recreation, or views to coastal resources.

## **SUGGESTED FINDINGS FOR APPROVAL- CONDITIONAL USE PERMIT NO. 26-002:**

1. Conditional Use Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in. will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood because the third-floor roof top deck will be centrally located, will be oriented toward the public right-of-way, and is setback a minimum of five feet from the building exterior, which will maintain privacy for the abutting residence.
2. Conditional Use Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in. will not adversely affect the General Plan because it is consistent with the Land Use Element designation of RL (Residential Low Density) on the subject property and with the following goals and policies of the General Plan:

- a. *Land Use Element*

*Goal LU-1:* New commercial, industrial, and residential development is coordinated to ensure that the land use pattern is consistent with the overall goals and needs of the community.

*Policy LU-1(A):* Ensure that development is consistent with the land use designations presented in the Land Use Map, including density, intensity, and use standards applicable to each land use designation.

*Policy LU-1(D):* Ensure that new development projects are of compatible proportion, scale, and character to complement adjoining uses.

*Policy LU-4(D):* Ensure that single-family residences are of compatible proportion, scale, and character to surrounding neighborhoods.

The proposed project conforms with the requirements of the RL base zoning district including parking, building setbacks, building height, lot coverage, and privacy design standards. The proposed rooftop deck will be oriented toward the public right of way (street and harbor) and will be setback a minimum of five feet from the building exterior, ensuring privacy is maintained for the abutting residences.

- - 
  3. Conditional Use Permit No. 26-002 to demolish an existing two-story single-family residence and construct a new 4,950 sq. ft. two-story single-family dwelling with a 770 sq. ft. roof top deck at a height of 25 ft. with roof deck access at an overall height 34 ft. 5 in. will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO) because the project complies with parking, building setbacks, building height, lot coverage, and privacy design standards. In addition, the rooftop deck is designed to be oriented toward the public right of way and is setback a minimum of five feet from the building façade, as required by the HBZSO.

**SUGGESTED CONDITIONS OF APPROVAL – COASTAL DEVELOPMENT PERMIT NO. 26-002 AND CONDITIONAL USE PERMIT NO. 26-002:**

1. The site plan, floor plans, and elevations received June 22, 2026, shall be the conceptually approved layout with the following modification:
2. Prior to submittal of building permits, the following shall be completed: Zoning entitlement conditions of approval shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
3. During demolition, grading, site development, and/or construction, the following shall be completed:
  - a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
  - b. Use low sulfur (0.5%) fuel by weight for construction equipment.
  - c. Truck idling shall be prohibited for periods longer than 10 minutes.
  - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
  - e. Discontinue operation during second stage smog alerts.
  - f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/grading activity.
4. Prior to issuance of final building permits, the following shall be completed:
  - a. All improvements must be completed in accordance with approved plans.
  - b. Compliance with all conditions of approval specified herein shall be verified by the Community Development Department.
  - c. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
5. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
6. Coastal Development Permit No. 26-002 and Conditional Use Permit No. 26-002 shall become null and void unless exercised within two years of the date of final approval or within one year of the date of final Coastal Development Permit approval by the Coastal Commission if the Coastal Development Permit is appealed, or such extension of time as may be granted by the Director pursuant to a written request submitted to the Community Development Department a minimum 30 days prior to the expiration date.

7. The Development Services Departments and divisions (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Community Development may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Zoning Administrator's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Zoning Administrator may be required pursuant to the provisions of HBZSO Section 241.18.

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, Zoning Administrator, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

# CAROUSEL RESIDENCE

16661 CAROUSEL LN,  
HUNTINGTON BEACH, CA 92649



## PROPERTY INFORMATION

APN	178-051-04
LEGAL DESCRIPTION	N TR 5481 BLK LOT 142

## PROJECT SUMMARY

LOT AREA	5,000 SF
EXISTING NUMBER OF STORIES	2
EXISTING NUMBER OF BEDROOMS	4
ZONING DISTRICT	RL-CZ
OCCUPANCY	R-3/U
CONSTRUCTION TYPE	VB
PROPOSED TOTAL 1ST FLOOR AREA	2,499 SF (INCLUDES GARAGE OF 628 SF)
PROPOSED TOTAL 2ND FLOOR AREA	2,437 SF (EXCLUDE STAIRS AND ELEVATOR SHAFT)
PROPOSED TOTAL DECK AREA(MECH.)	11 SF
TOTAL PROPOSED GROSS AREA	4,947 SF
TOTAL PROPOSED LANDSCAPE COVERAGE	40%

## SCOPE OF WORK

- DEMO PARTIAL AND REDESIGN 1ST FLOOR LAYOUT
- DEMO EXISTING 2ND FLOOR AND ADDING NEW 2ND FLOOR
- RELOCATED EXISTING STAIRS
- ADDING NEW ROOF TOP WITH ELEVATOR ACCESS
- ADDING POOL/SPA ON THE ROOF DECK

## RELEVANT CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:

2025 CALIFORNIA RESIDENTIAL CODE(CRC)  
2025 CALIFORNIA BUILDING CODE(CBC)  
2025 CALIFORNIA ELECTRICAL CODE(CEC)  
2025 CALIFORNIA MECHANICAL CODE(CMC)  
2025 CALIFORNIA PLUMBING CODE (CPC)  
2025 CALIFORNIA ENERGY EFFICIENCY STANDARDS(CES)  
2025 CALIFORNIA GREEN BUILDING STDS.

	REQUIRED	PROPOSED
FRONT SETBACK(GARAGE)	15' (CODE SECTION 210.06)	20'
SIDE SETBACK	5 (CODE SECTION 210.06)	5'-2"
REAR SETBACK	10 (CODE SECTION 210.06)	11'-6" (EXISTING SETBACK TO REMAIN)
BLDG. LOT COVERAGE	50% (CODE SECTION 210.06)	2,499.8/5000=50%
OPEN LATTICE PATIO COVER LOT COVERAGE	(EXEMPTED PER 210.07(U) *OPEN LATTICE PATIO COVERS ARE EXEMPTED FROM SITE COVERAGE STANDARDS.*)	135 SF /5000=2.7%
MAX. HEIGHT	35 (CODE SECTION 210.06)	34'-1"

## ABBREVIATIONS

A/C	AIR CONDITIONING	G.F.I.	GROUND FAULT INTERRUPTER	R.	RISER
ABV.	ABOVE	G.I.	GALVANIZED IRON	RAD.	RADIUS
ADJ.	ADJUSTABLE	G.L.B.	GLU-LAM BEAM	R.A.G.	RETURN AIR GRILLE
A.F.F.	ABOVE FINISH FLOOR	GA.	GAUGE	R.D.	ROOF DRAIN
AL.	ALUMINUM	GALV.	GALVANIZED	R.O.	ROUGH OPENING
ALT.	ALTERNATE	GL.	GLASS	RECPT.	RECEPTACLE
ARCH.	ARCHITECT	GND.	GROUND	REF.	REFRIGERATOR
ASSY.	ASSEMBLY	GR.	GRADE	REG.	REGISTER
AUTO.	AUTOMATIC	GYP. BD.	GYPSPUM WALLBOARD	REINF.	REINFORCEMENT
				REQ.	REQUIRED
				RM.	ROOM
B.D.	BOARD	H.B.	HOSE BIB	S.A.	SUPPLY AIR
BDRM.	BEDROOM	H.C.	HOLLOW CORE	S.C.	SOLID CORE
BLDG.	BUILDING	HDR.	HEADER	S.D.	SMOKE DETECTOR
BLK.	BLOCK	HT.	HEIGHT	S.H.	SINGLE HUNG
BLKG.	BLOCKING	HI.	HIGH	S.H.	SECTION
BM.	BEAM	HOR.	HORIZONTAL	S.F.	SQUARE FEET
		HR.	HOUR	SH.	SHelf
		HVAC	HEATING, VENTILATION, AIR CONDITIONING	SHT.	SHEET
CPT.	CARPET	I.D.	INSIDE DIAMETER	SHTG.	SHEATHING
C.B.	CABINET	IN.	INCH	SHWR.	SHOWER
C.C.	COAT CLOSET	INSUL.	INSULATION	SH.	SIMILAR
CER.	CERAMIC	INT.	INTERIOR	SL.	SLIDER
CHG.	CHANGE	JST.	JOIST	SPC.	SPECIFICATION
CL.	CENTERLINE	JT.	JOINT	STD.	STANDARD
CL.G.	CEILING	KIT.	KITCHEN	STL.	STEEL
CLR.	CLEAR	LAV.	LAVATORY	STR.	STRUCTURE
COL.	COLUMN			T.	TREAD
COMP.	COMPOSITION	MAS.	MASONRY	T&G.	TONGUE AND GROOVE
CONC.	CONCRETE	MAT.	MATERIAL	T.B.	TOWEL BAR
CONST.	CONSTRUCTION	MAX.	MAXIMUM	T.O.	TOP OF
CONT.	CONTINUOUS	MECH.	MECHANICAL	T.O.C.	TOP OF CONCRETE
CTR.	CENTER	MEMB.	MEMBRANE	T.O.M.	TOP OF MASONRY
C.O.	CASED OPENING	MFR.	MANUFACTURER	T.O.P.	TOP OF PLATE
		MIN.	MINIMUM	T.O.SHTG.	TOP OF SHEATHING
D.	DRYER	MIR.	MIRROR	T.O.W.	TOP OF WALL
D.F.	DOUGLAS FIR	MISC.	MISCELLANEOUS	TEMP.	TEMPERED
DBL.	DOUBLE	MTD.	MOUNTED	TH.	THICK
DET.	DETAIL	MT.	METAL THRESHOLD	TR.	TRANSOM
DIA.	DIAMETER	MTL.	METAL	TRANS.	TRANSFORMER
DIAG.	DIAGONAL	N.I.C.	NOT IN CONTRACT	TYP.	TYPICAL
DIM.	DIMENSION	N.T.S.	NOT TO SCALE	U.B.C.	UNIFORM BUILDING CODE
DISP.	DISPOSAL	N/A	NOT APPLICABLE / AVAILABLE	U.L.	UNDERWRITERS LABORATORY
DN.	DOWN	NAT.	NATURAL	U.N.O.	UNLESS NOTED OTHERWISE
DR.	DOOR	NO.	NUMBER	V.T.R.	VENT THROUGH ROOF
DS.	DOWNSPOUT	O.C.	ON CENTER	VENT.	VENTILATION
DW.	DISHWASHER	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
DWG.	DRAWING	Q.	OVER	VEST.	VESTIBULE
		EQ.S.	EQUAL	VOL.	VOLUME
EJ.	EXPANSION JOINT	EQ.	EQUAL	W.	WEST/ WIDE/ WIDTH/ WASHER
EA.	EACH	EQU.	EQUAL	W.H.	WATER HEATER
ELEC.	ELECTRICAL	EQU.	EQUAL	W.I.	WROUGHT IRON
ELEV.	ELEVATION	EXP.	EXPOSED	W.I.C.	WALK IN CLOSET
ENCL.	ENCLOSURE	EXT.	EXISTING	W.R.	WATER RESISTANT
E.P.S.	EXPANDED POLYSTYRENE	EXT.	EXTERNAL	W/	WITH
EQ.	EQUAL	F.A.U.	FORCED AIR UNIT	WD.	WOOD
EQUIP.	EQUIPMENT	F.F.	FINISH FLOOR	WP.	WATERPROOF
EX.	EXHAUST	F.G.	FINISH GRADE	WT.	WEIGHT
EXP.	EXPOSED	FGL.	FIBERGLASS		
EXIST.	EXISTING	F.O.C.	FACE OF CONCRETE		
EXT.	EXTERNAL	F.O.F.	FACE OF FINISH		
		F.O.M.	FACE OF MASONRY		
		F.O.S.	FACE OF STUD		
		FIN.	FINISH		
		FIX.	FIXTURE		
		FL.	FLOURESCENT		
		FLASH.	FLASHING		
		FLR.	FLOOR		
		FND.	FOUNDATION		
		FT.	FOOT OR FEET		
		FTG.	FOOTING		
		FX.	FIXED		

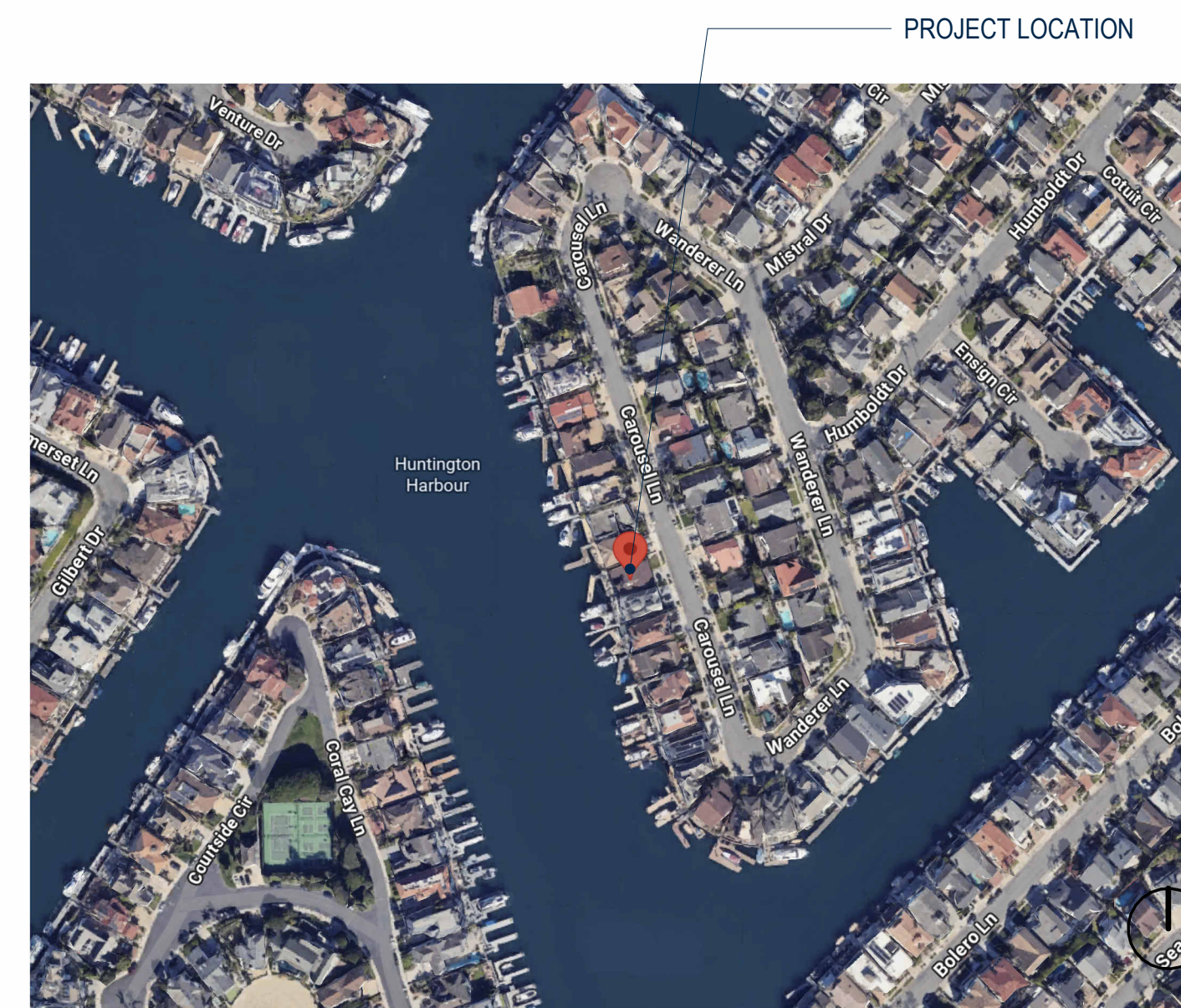
## SYMBOLS

	ELEVATION CALLOUT	ELEVATION NUMBER
	DETAIL CALLOUT	DETAIL NUMBER
	DOOR TAG	SEE SHEET A7.00 AND A7.01 FOR DOOR SCHEDULE, LEGEND AND NOTES
	WINDOW TAG	SEE SHEET A7.10 FOR WINDOW SCHEDULE, LEGEND AND NOTES
	KEYNOTE TAG	KEYNOTE NUMBER, REFER TO KEYNOTE LEGEND ON SHEET CALL OUT OCCURS
	SLOPE ARROW	SLOPE TO DRAIN 1/4" PER FOOT MIN. (U.N.O.)
	CHANGE OF ELEVATION/PLANE	CHANGE OF ELEVATION IN PLAN OR CHANGE OF PLANE IN ELEVATION
	GRID LINE	GRID NUMBER OR LETTER PER PLAN

	UNIT PLAN CALL OUT	UNIT TYPE
	UNIT X	UNIT NUMBER PER PLAN
	UNIT X	LOCATION
	UNIT X	SHEET OF ENLARGED UNIT PLAN

RECEIVED AND  
DATED  
6/22/26

## VICINITY MAP/AREA MAP



## DIRECTORY

CLIENT:  
MICHAEL M. DAO  
16661 CAROUSEL LN,  
HUNTINGTON BEACH, CA 92649

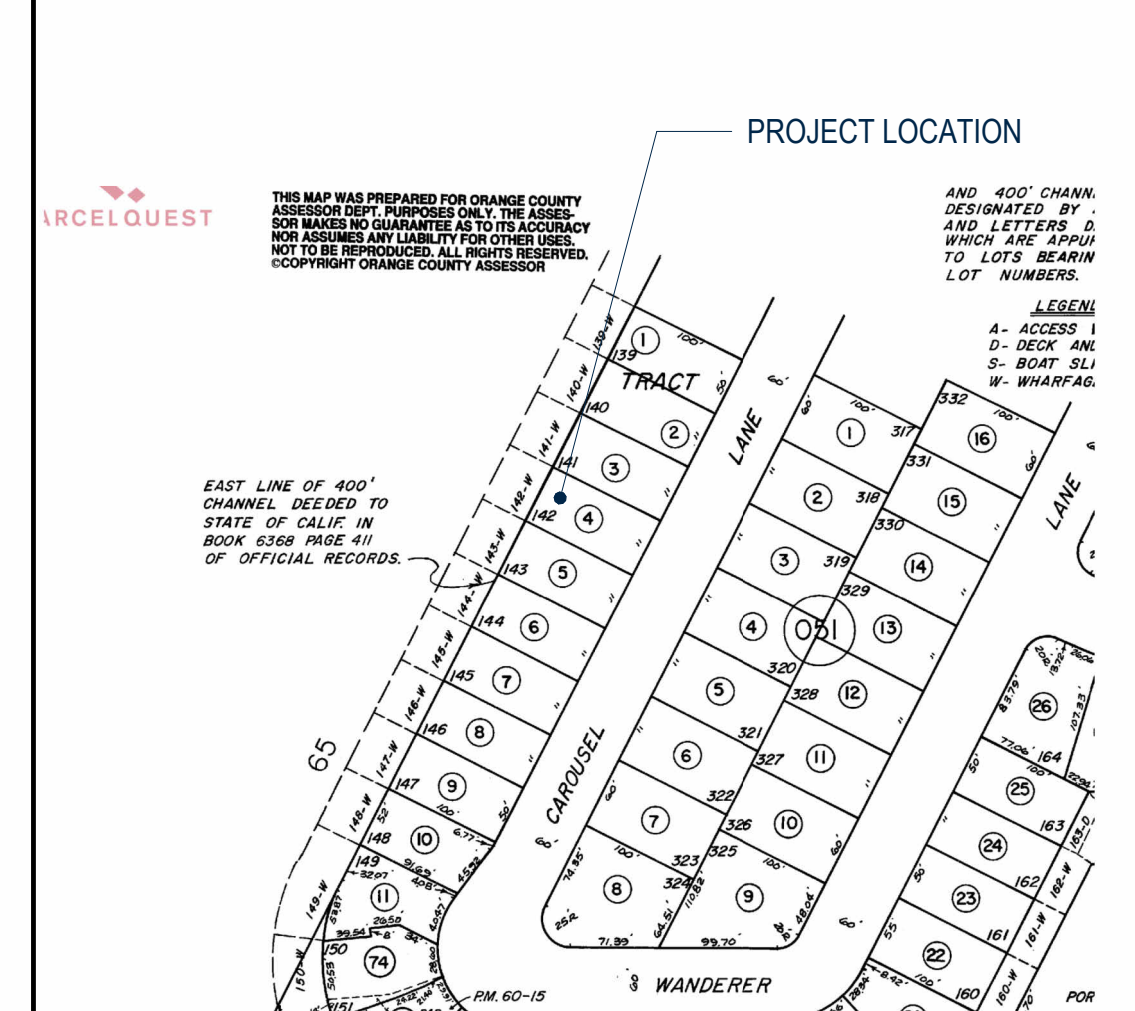
EMAIL: MICHAELMDAO3KIDS@YAHOO.COM

ARCHITECT:  
HALCYON COAST ARCHITECTURAL DESIGN  
15922 PLYMOUTH LN  
HUNTINGTON BEACH, CA 92647  
(949) 289-0029  
POC: JING LIU  
EMAIL: JINGLI@HC-AD.COM

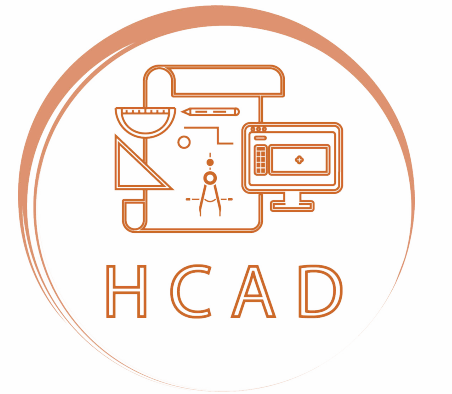
## SHEET INDEX

SHEET	DESCRIPTION
A0.00	COVERED SHEET
A1.00	EXISTING SITE PLAN
A1.01	EXISTING SURROUNDING PICTURES
A2.01	EXISTING FLOOR PLANS
A2.02	EXISTING ELEVATIONS
A2.11	PROPOSED SITE PLAN
A2.12	PROPOSED FLOOR PLAN - 1ST LEVEL
A2.13	PROPOSED FLOOR PLAN - 2ND LEVEL
A2.14	PROPOSED ROOF DECK PLAN
A2.15	PROPOSED ROOF PLAN
A3.01	BUILDING SECTIONS
A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS
1	TOPO SURVEY (FOR REFERENCE)
14	

## PARCEL MAP



HALCYON COAST  
ARCHITECTURAL  
DESIGN



CAROUSEL RESIDENCE

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Huntington Beach, CA 92649

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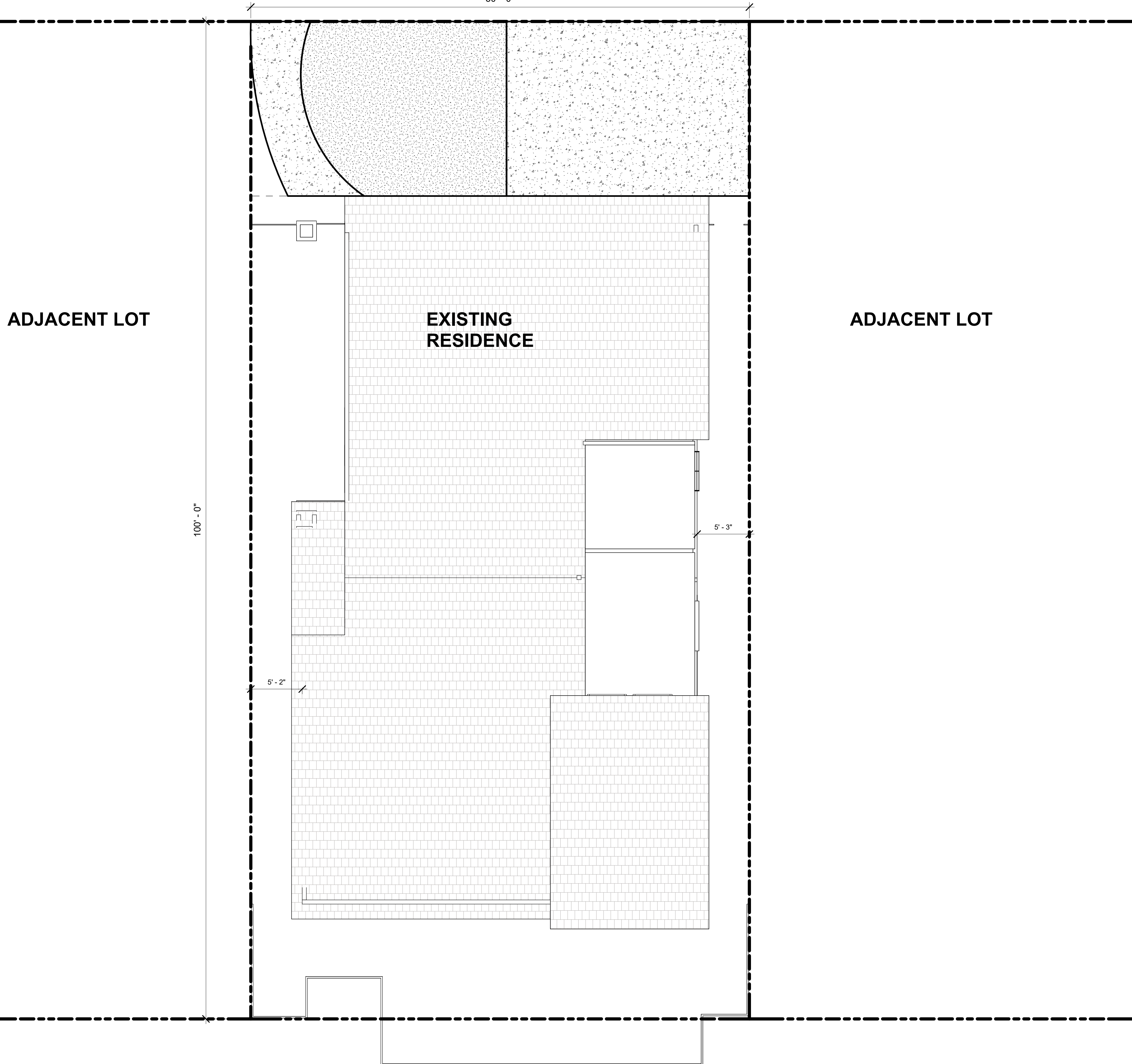
COVERED  
SHEET

SHEET SCALE:	As indicated
ARCHITECT:	
1ST PLANNING SUBMITTAL:	
1ST BUILDING & SAFETY:	
JOB NUMBER:	

DATE: SHEET:  
A0.00

CAROUSEL LN

50' - 0"



ADJACENT LOT

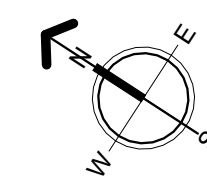
EXISTING RESIDENCE

ADJACENT LOT

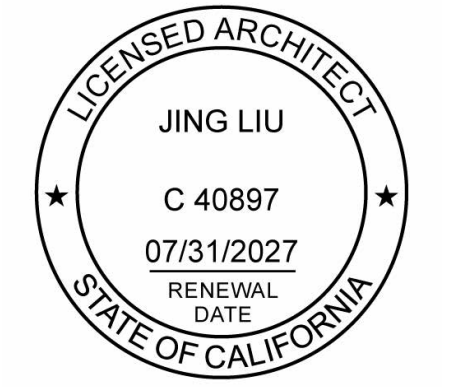
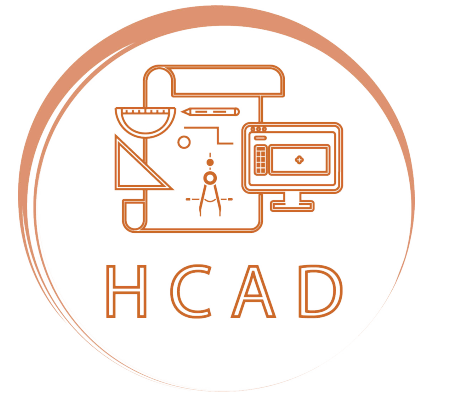
100' - 0"

5' - 2"

5' - 3"



HALCYON COAST  
ARCHITECTURAL  
DESIGN



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DO	NOT	SCALE	PLANS
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**EXISTING SITE PLAN**

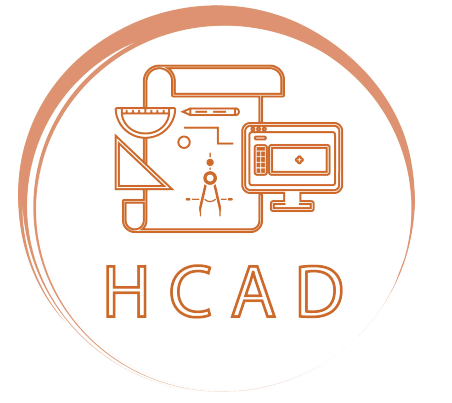
SHEET SCALE:	3/16" = 1'-0"
ARCHITECT:	
1ST PLANNING SUBMITTAL:	
1ST BUILDING & SAFETY:	
JOB NUMBER:	
DATE:	
SHEET:	

EXISTING SITE PLAN

SCALE:  
3/16" = 1'-0"

1

A1.00



**CAROUSEL RESIDENCE**

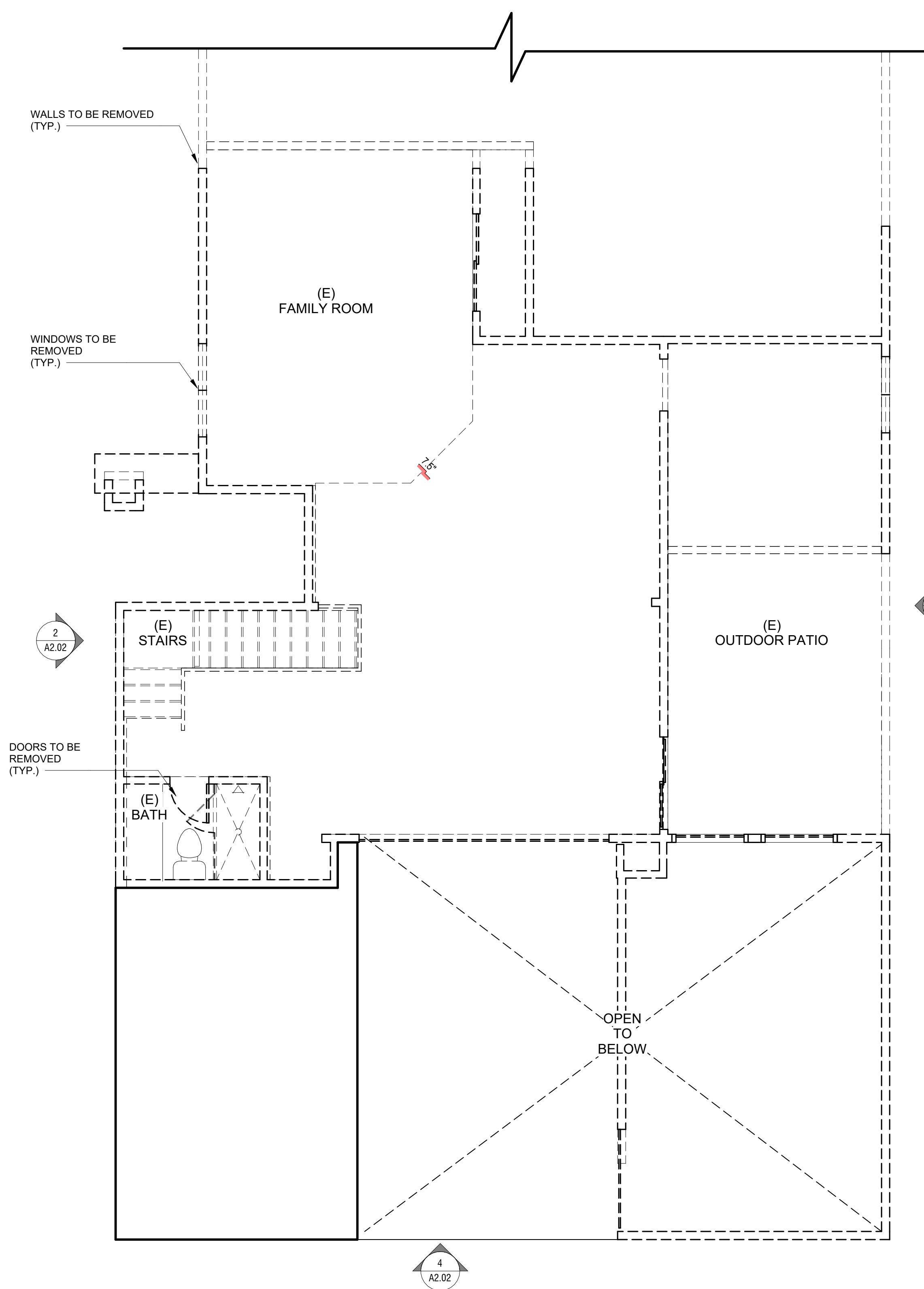
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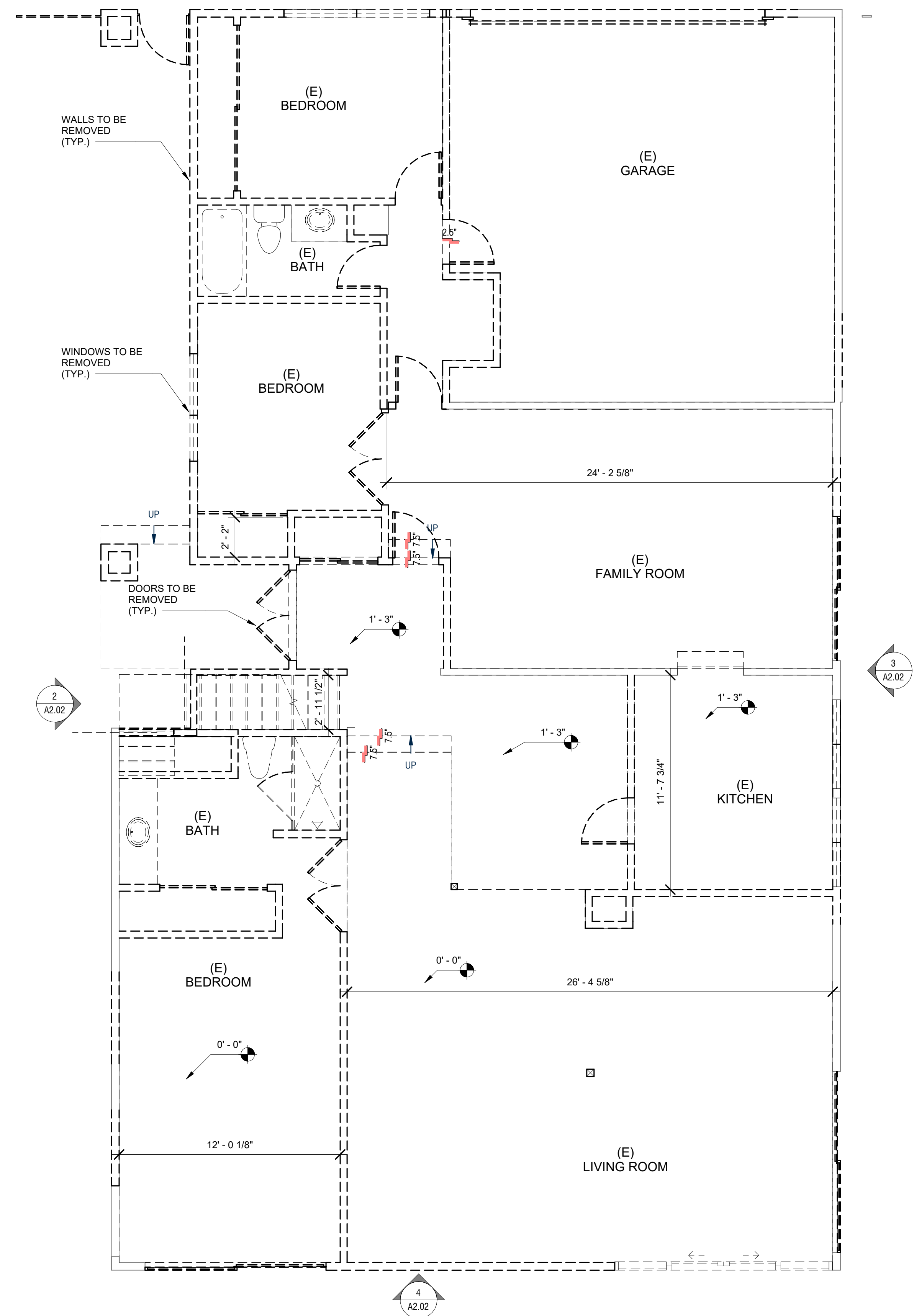
**EXISTING FLOOR PLANS**

SHEET SCALE:	1/4" = 1'-0"
ARCHITECT:	
1ST PLANNING SUBMITTAL:	
1ST BUILDING & SAFETY:	
JOB NUMBER:	

DATE: SHEET: **A2.01**



**EXISTING FLOOR PLAN - 2ND LEVEL** SCALE: 1/4" = 1'-0" **2**

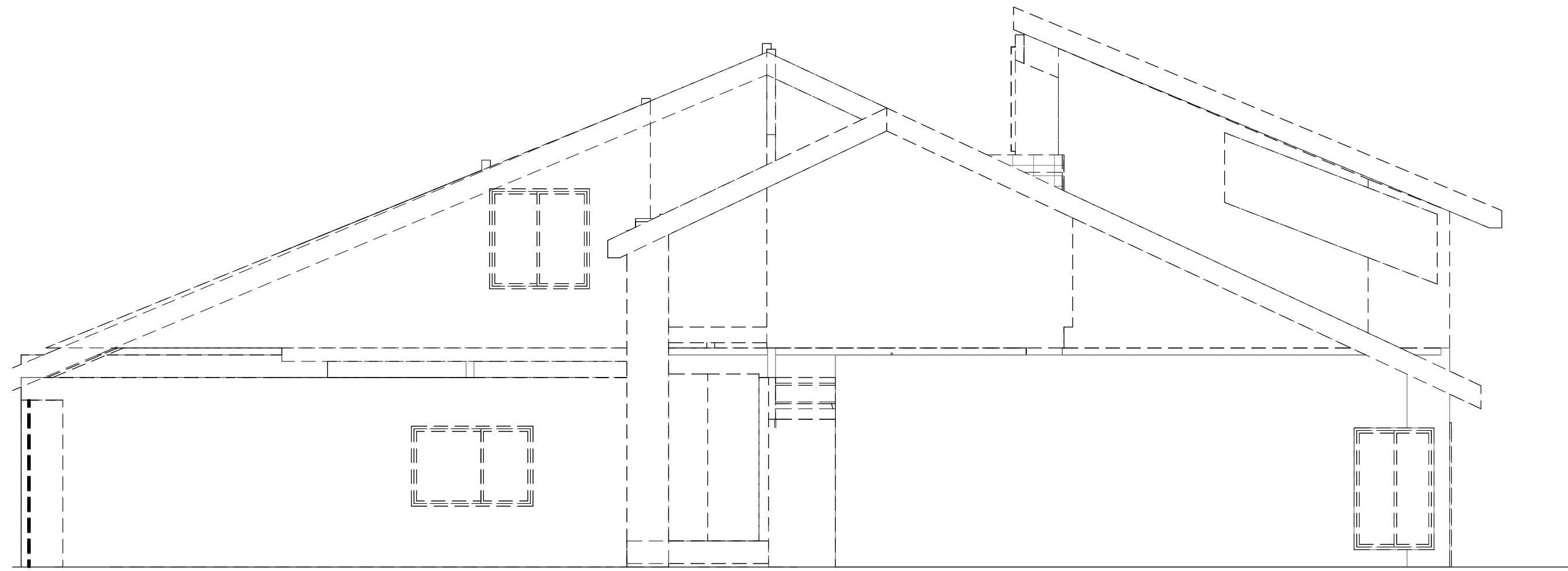
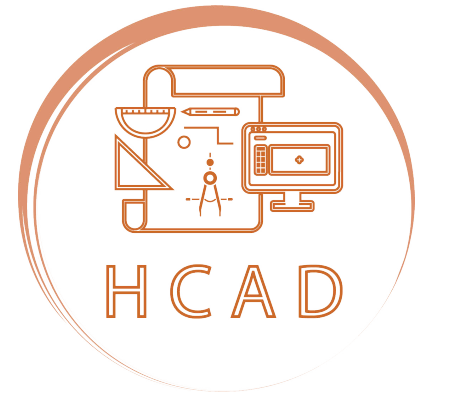


**EXISTING FLOOR PLAN - 1ST LEVEL** SCALE: 1/4" = 1'-0" **1**

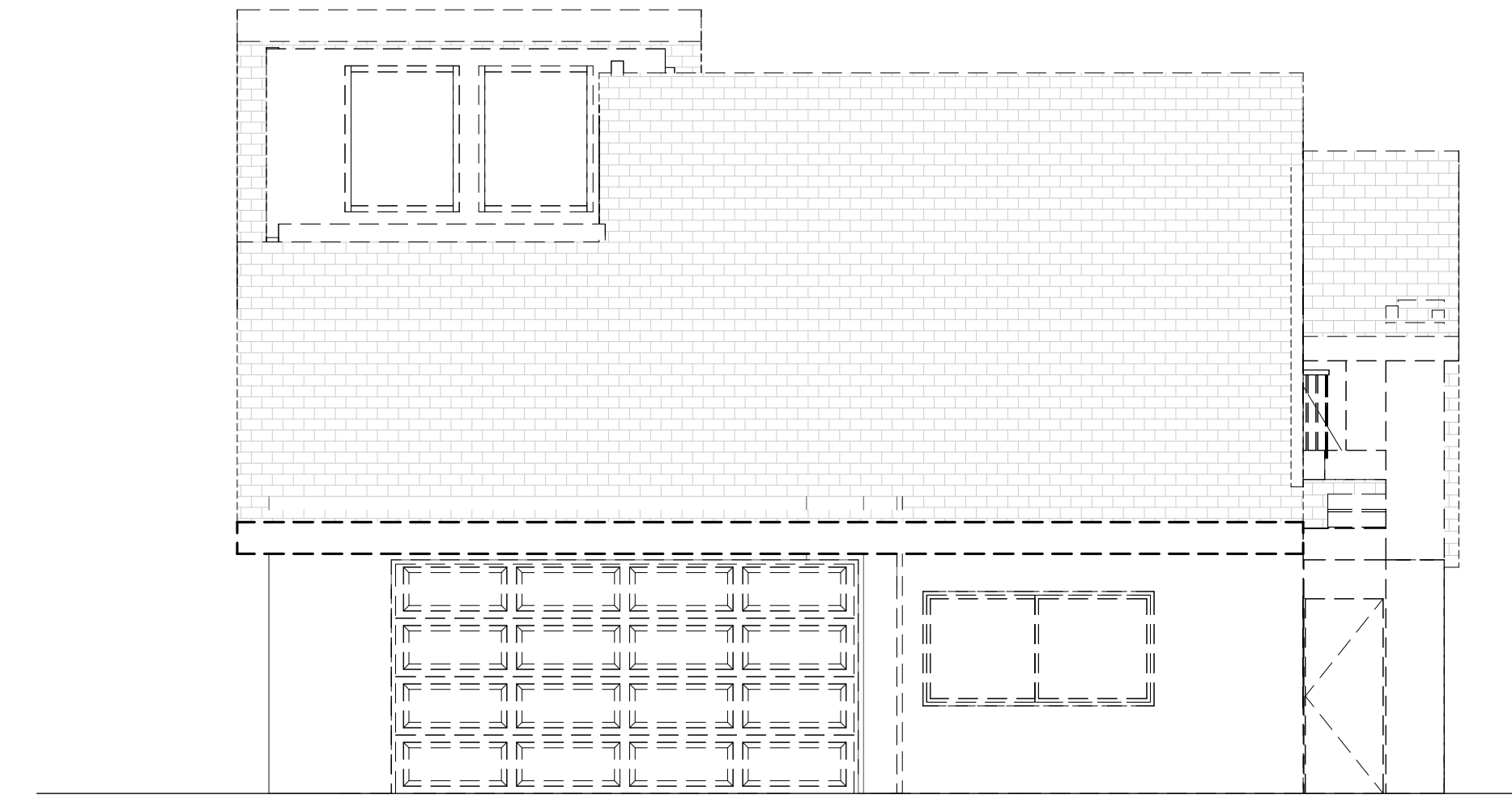
**NOTE:**  
EXISTING FOOTINGS TO BE EVALUATED FOR POTENTIAL REUSE DURING BUILDING PERMIT REVIEW. FINAL DETERMINATION TO BE PROVIDED BY STRUCTURAL ENGINEER.

**BUILDING PLAN LEGEND**

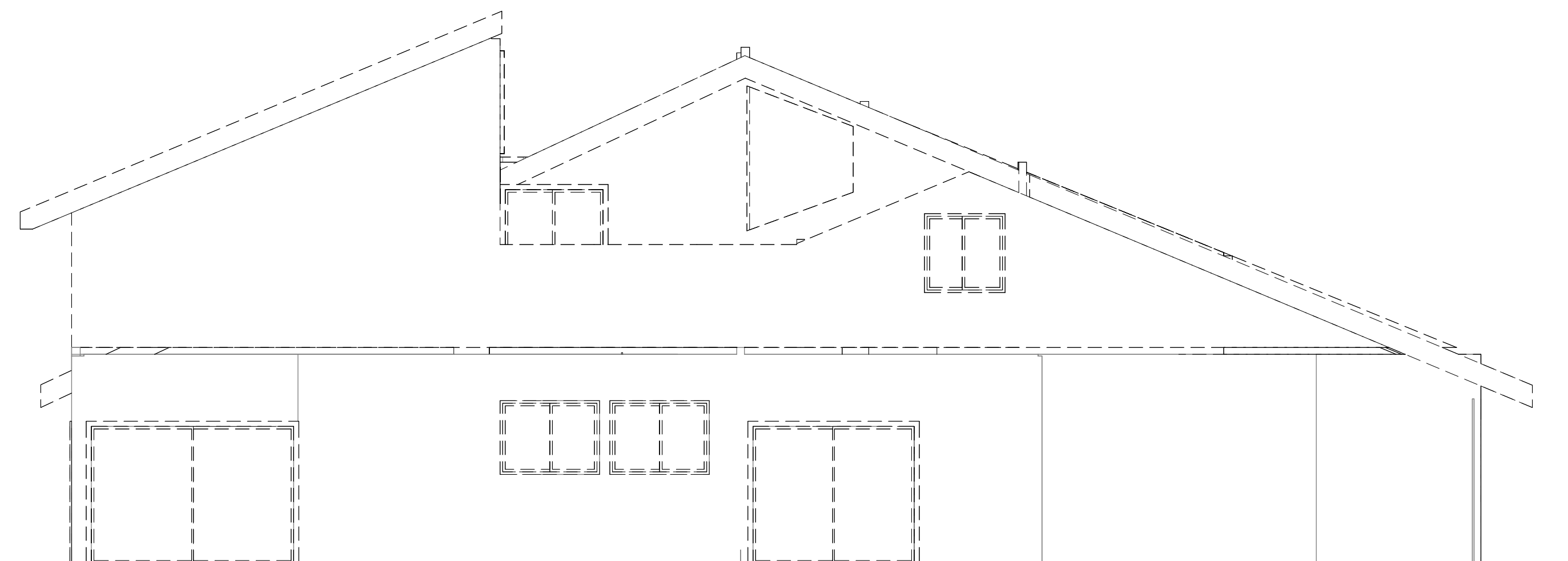
	EXISTING WALL TO REMAIN IN PLACE
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED



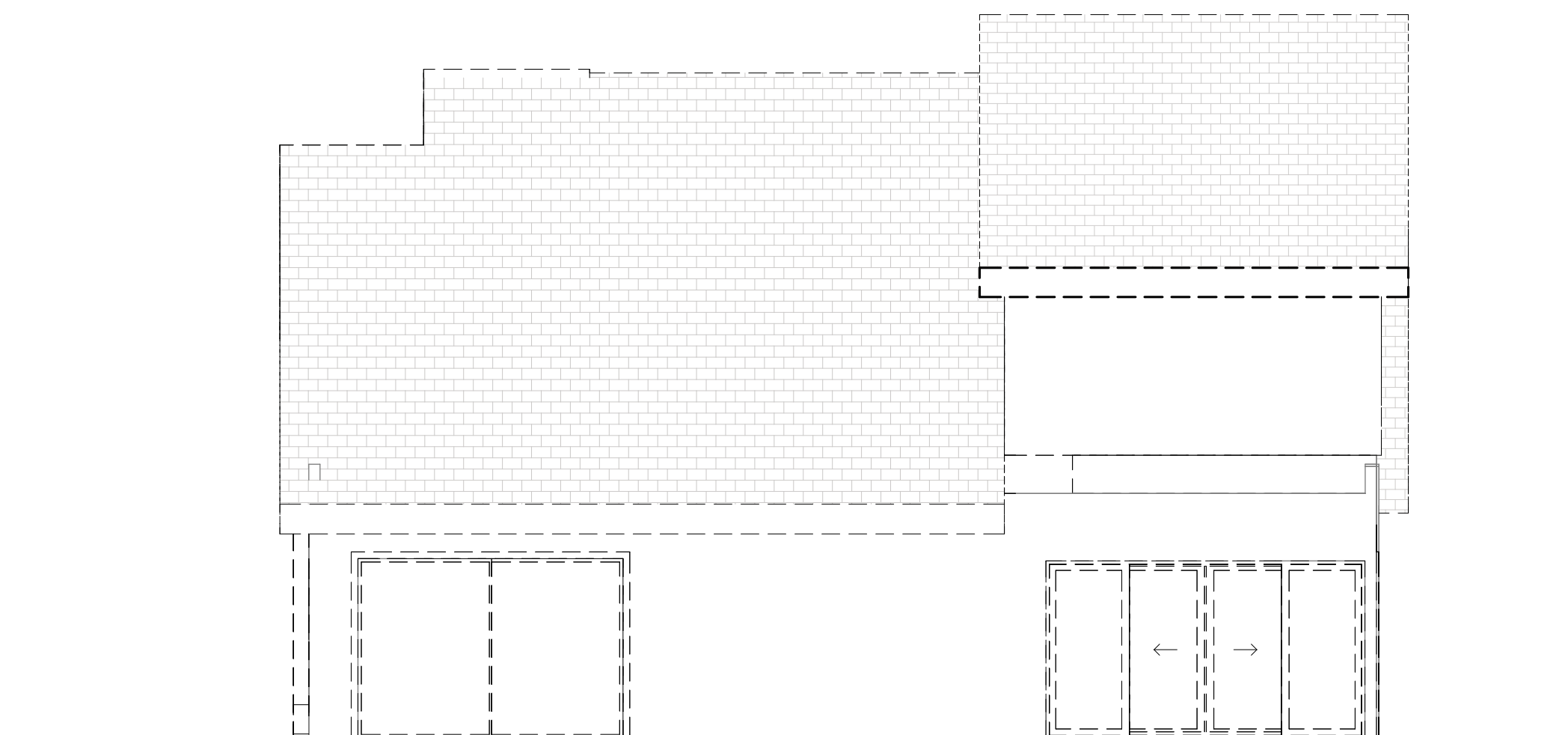
② EXISTING NORTH ELEVATION  
3/16" = 1'-0"



① EXISTING EAST ELEVATION  
3/16" = 1'-0"



③ EXISTING SOUTH ELEVATION  
3/16" = 1'-0"



④ EXISTING WEST ELEVATION  
3/16" = 1'-0"

**CAROUSEL RESIDENCE**

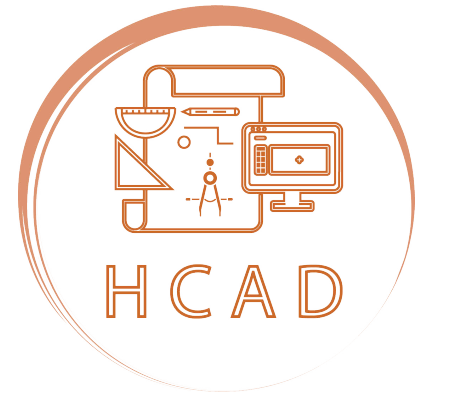
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WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO A  
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PERMISSION AND CONSENT OF HCAD. IN THE EVENT OF  
UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD  
PARTY, THE THIRD PARTY SHALL HOLD HCAD HARMLESS.  
DO NOT SCALE PLANS

**EXISTING  
ELEVATIONS**

SHEET SCALE:	3/16" = 1'-0"
ARCHITECT:	
1ST PLANNING SUBMITTAL	
1ST BUILDING & SAFETY :	
JOB NUMBER:	

DATE:	SHEET:
-------	--------



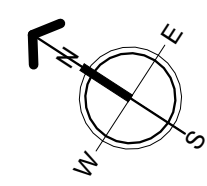
**CAROUSEL RESIDENCE**

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**PROPOSED SITE PLAN**

SHEET SCALE:	3/16" = 1'-0"
ARCHITECT:	
1ST PLANNING SUBMITTAL	
1ST BUILDING & SAFETY :	
JOB NUMBER:	
DATE:	SHEET:

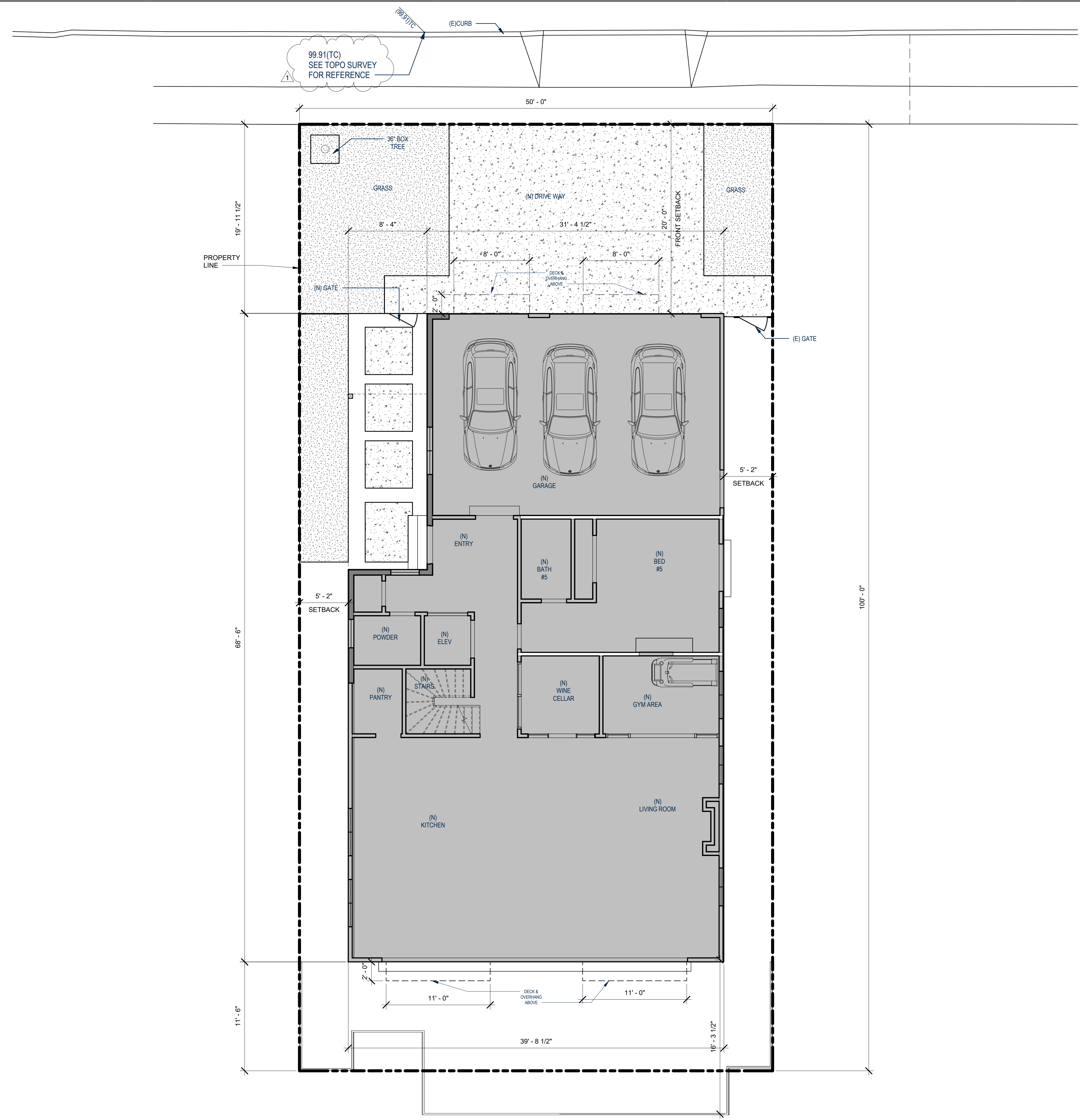


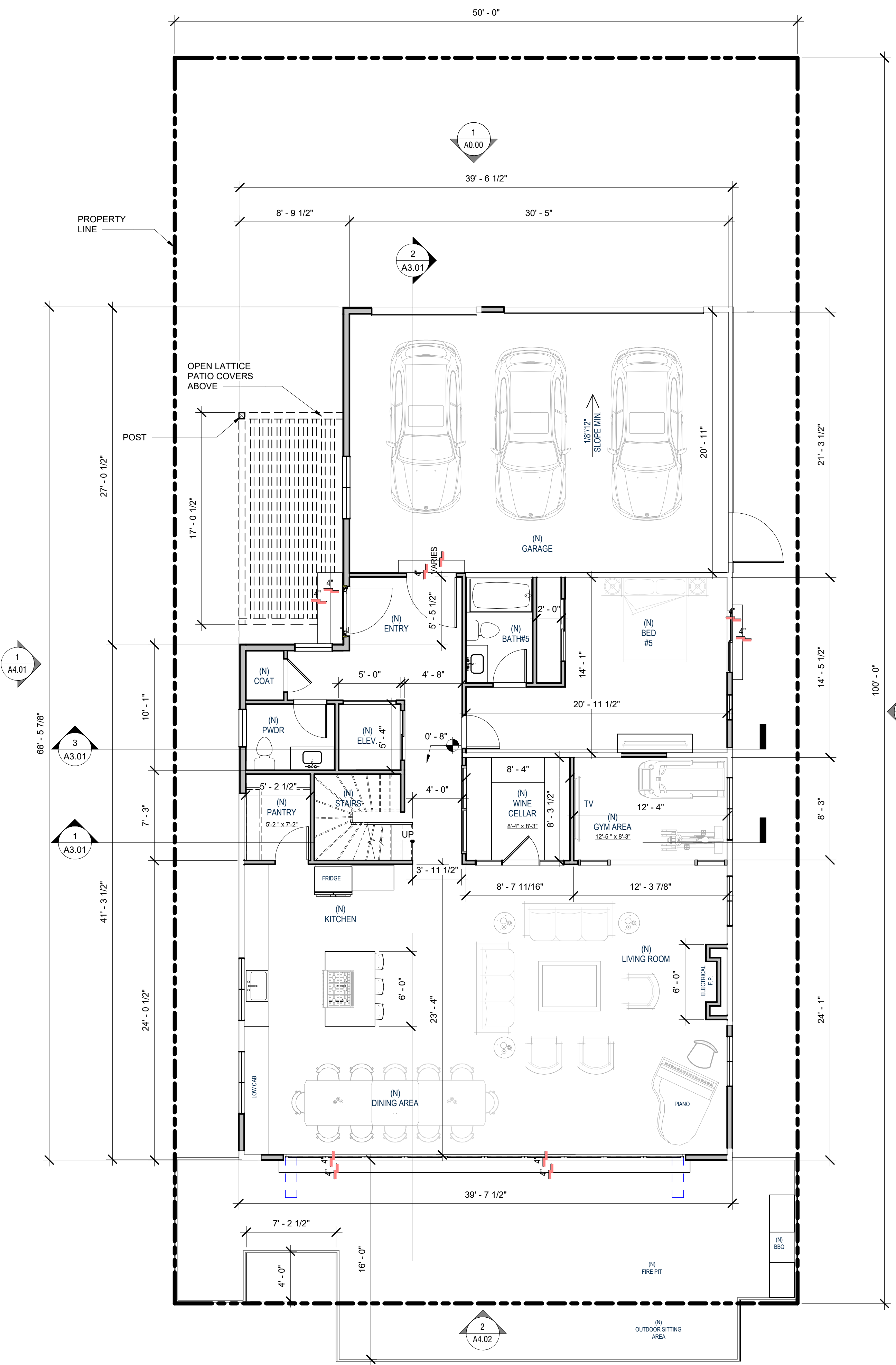
PROPOSED SITE PLAN

SCALE:  
3/16" = 1'-0"

1

A2.11





**WALL LEGEND**

	EXISTING WALLS	
	NEW INTERIOR WALL	
	NEW EXTERIOR WALL	

**GRAPHIC LEGEND**

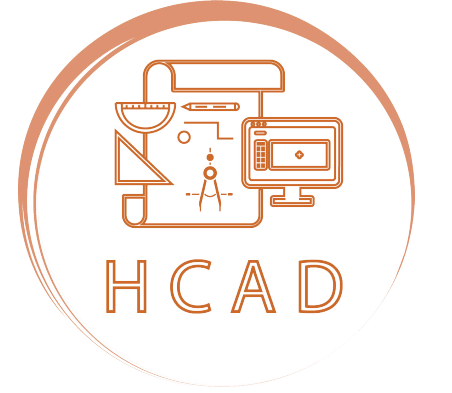
	NEW DOORS
	NEW WINDOW (SINGLE HANG)
	NEW WINDOW (SLIDING)
	NEW SLIDING DOOR
	1ST FLOOR ADDITION

**BUILDING PLAN LEGEND**

<b>DOOR TAG</b> E	EXISTING DOOR TO REMAIN IN PLACE
<b>WINDOW TAG</b> A	SEE SHEET A7.10 FOR WINDOW SCHEDULE, LEGEND AND NOTES
<b>EMERGENCY ESCAPE AND RESCUE WINDOW TAG</b> *	INDICATES MINIMUM SIZED WINDOW FOR EMERGENCY ESCAPE AND RESCUE - MINIMUM DIMENSIONS TO BE 24" CLEAR HEIGHT, 20" CLEAR WIDTH, MAXIMUM HEIGHT FROM FINISHED FLOOR TO BE 44 INCHES MINIMUM SIZE TO BE 5.7 SQUARE FEET, (5.0 SQ.FT AT GRADE LEVEL), 1031.3.R310.1.
<b>KEYNOTE TAG</b> 201	KEYNOTE NUMBER, REFER TO KEYNOTE LEGEND BELOW

**1ST LEVEL FLOOR PLAN** SCALE: 3/16" = 1'-0" 1

**HALCYON COAST ARCHITECTURAL DESIGN**



**CAROUSEL RESIDENCE**

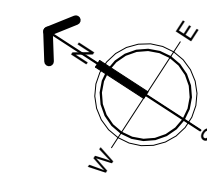
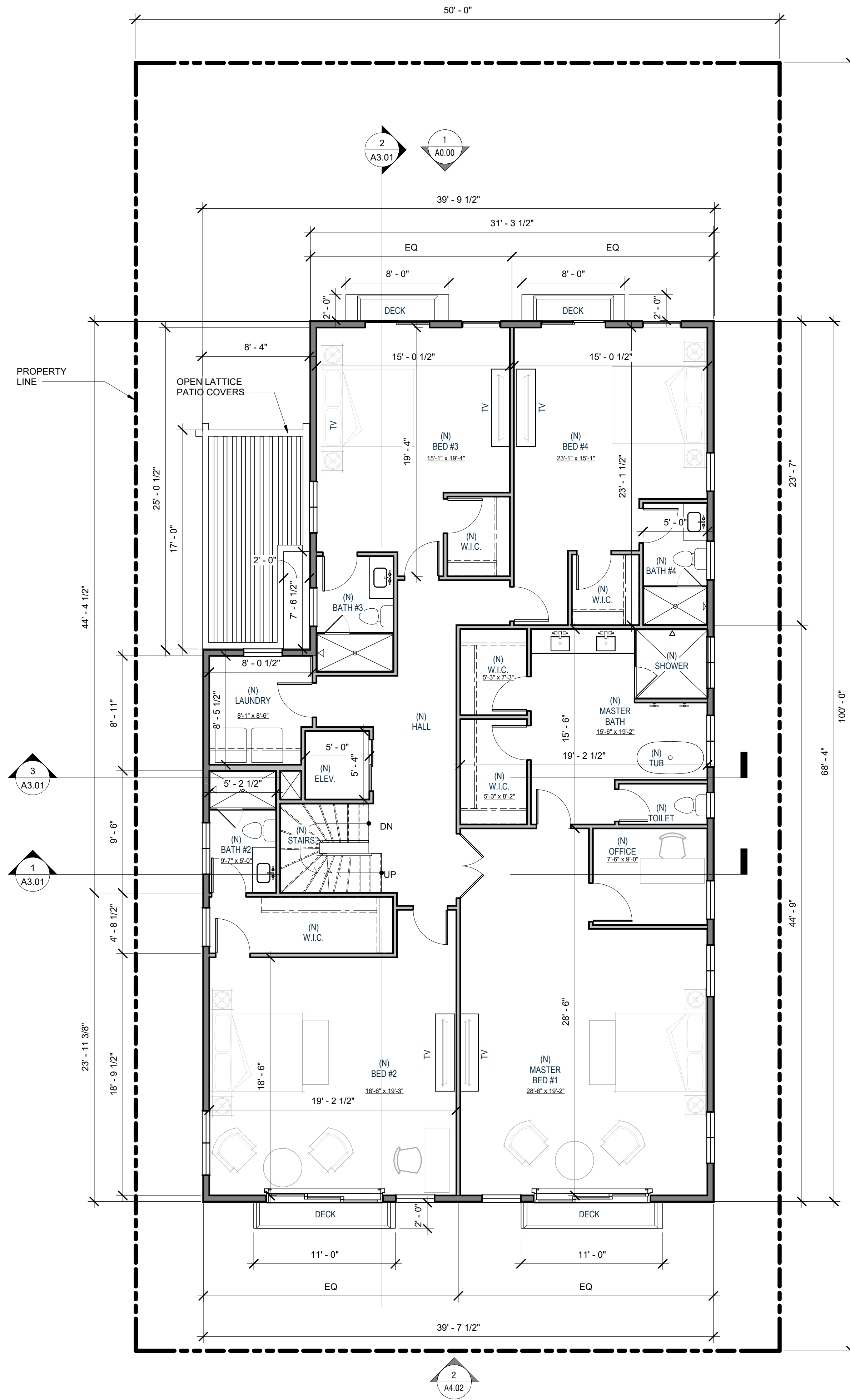
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**PROPOSED FLOOR PLAN - 1ST LEVEL**

SHEET SCALE:	As indicated
ARCHITECT:	
1ST PLANNING SUBMITTAL	
1ST BUILDING & SAFETY :	
JOB NUMBER:	

DATE:	SHEET:
	<b>A2.12</b>



2ND LEVEL FLOOR PLAN

SCALE:  
3/16" = 1'-0"

1

WALL LEGEND

	EXISTING WALLS	
	NEW INTERIOR WALL	
	NEW EXTERIOR WALL	

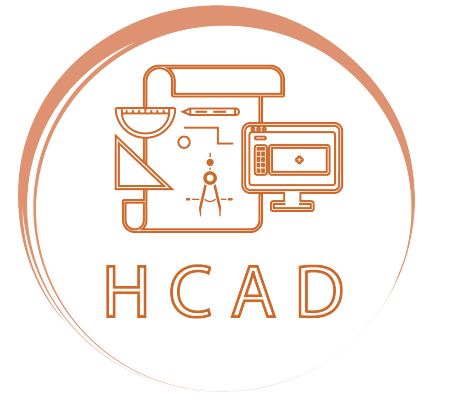
GRAPHIC LEGEND

	NEW DOORS
	NEW WINDOW (SINGLE HANG)
	NEW WINDOW (SLIDING)
	NEW SLIDING DOOR
	1ST FLOOR ADDITION

BUILDING PLAN LEGEND

<b>DOOR TAG</b> E	EXISTING DOOR TO REMAIN IN PLACE
<b>WINDOW TAG</b> A	SEE SHEET A7.10 FOR WINDOW SCHEDULE, LEGEND AND NOTES
<b>EMERGENCY ESCAPE AND RESCUE WINDOW TAG</b> *	INDICATES MINIMUM SIZED WINDOW FOR EMERGENCY ESCAPE AND RESCUE - MINIMUM DIMENSIONS TO BE 24" CLEAR HEIGHT, 20" CLEAR WIDTH, MAXIMUM HEIGHT FROM FINISHED FLOOR TO BE 44 INCHES MINIMUM SIZE TO BE 5.7 SQUARE FEET, (5.0 SQ. FT AT GRADE LEVEL), 1031.3, R310.1.
<b>KEYNOTE TAG</b> 201	KEYNOTE NUMBER, REFER TO KEYNOTE LEGEND BELOW

HALCYON COAST  
ARCHITECTURAL  
DESIGN



CAROUSEL RESIDENCE

16661 Carousel Ln,  
Huntington Beach, CA 92649

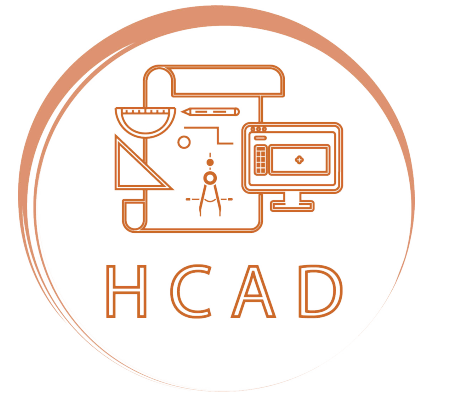
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PROPOSED  
FLOOR PLAN -  
2ND LEVEL

SHEET SCALE:	As indicated
ARCHITECT:	
1ST PLANNING SUBMITTAL	
1ST BUILDING & SAFETY :	
JOB NUMBER:	

DATE:	SHEET:
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A2.13



**CAROUSEL RESIDENCE**

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Huntington Beach, CA 92649

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**PROPOSED  
ROOF DECK  
PLAN**

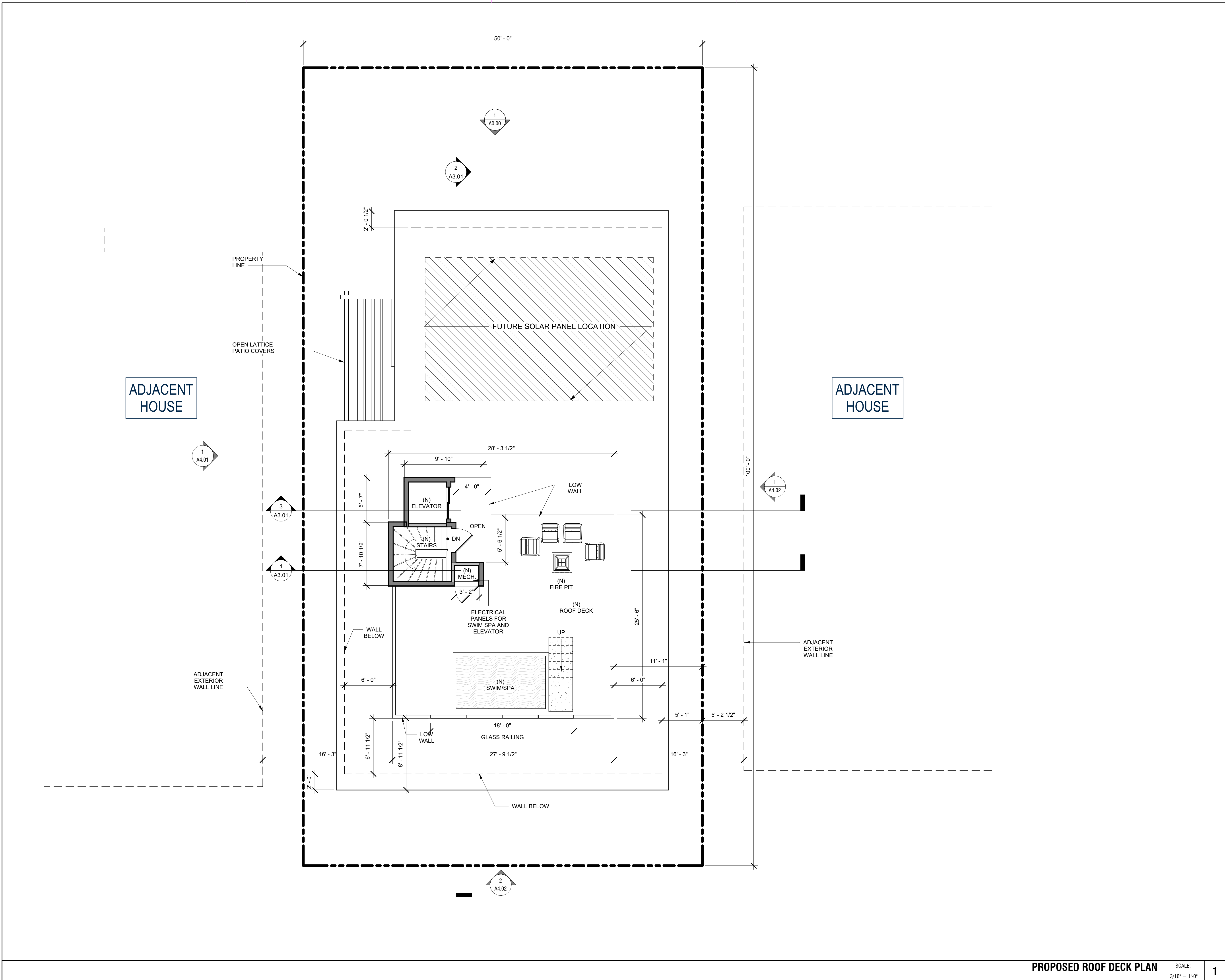
SHEET SCALE:	3/16" = 1'-0"
ARCHITECT:	
1ST PLANNING SUBMITTAL	
1ST BUILDING & SAFETY:	
JOB NUMBER:	

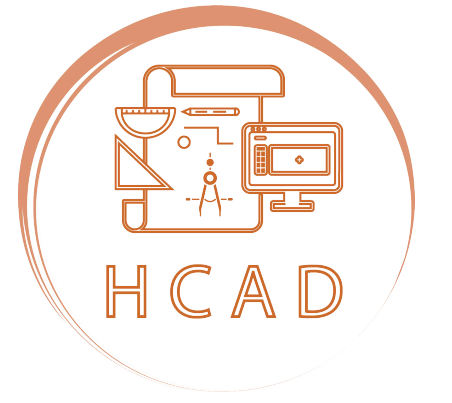
DATE:	SHEET:
	<b>A2.14</b>

**PROPOSED ROOF DECK PLAN**

SCALE:  
3/16" = 1'-0"

**1**





**CAROUSEL RESIDENCE**

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Huntington Beach, CA 92649

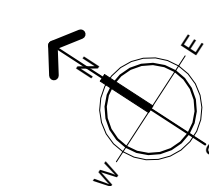
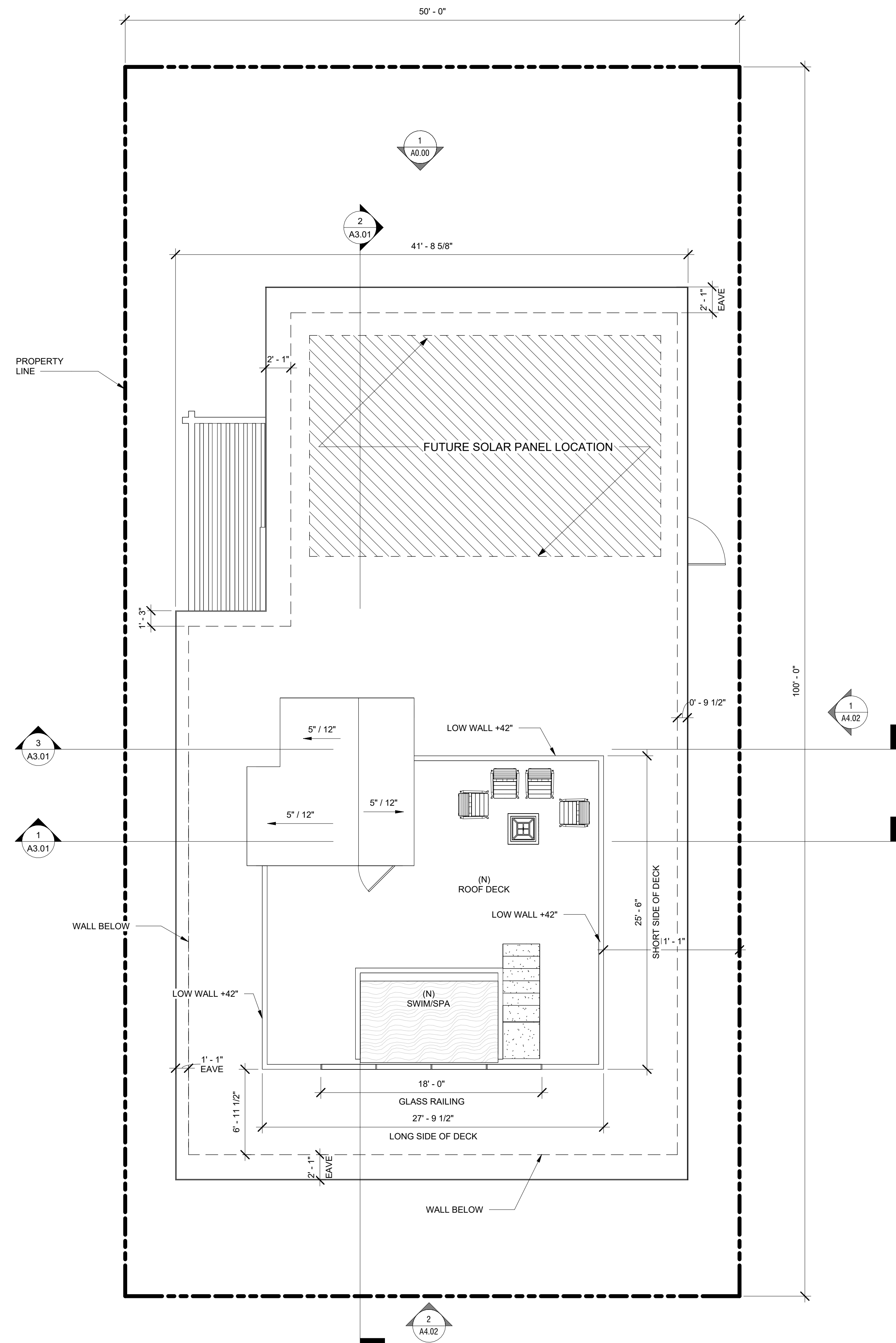
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ROOF PLAN**

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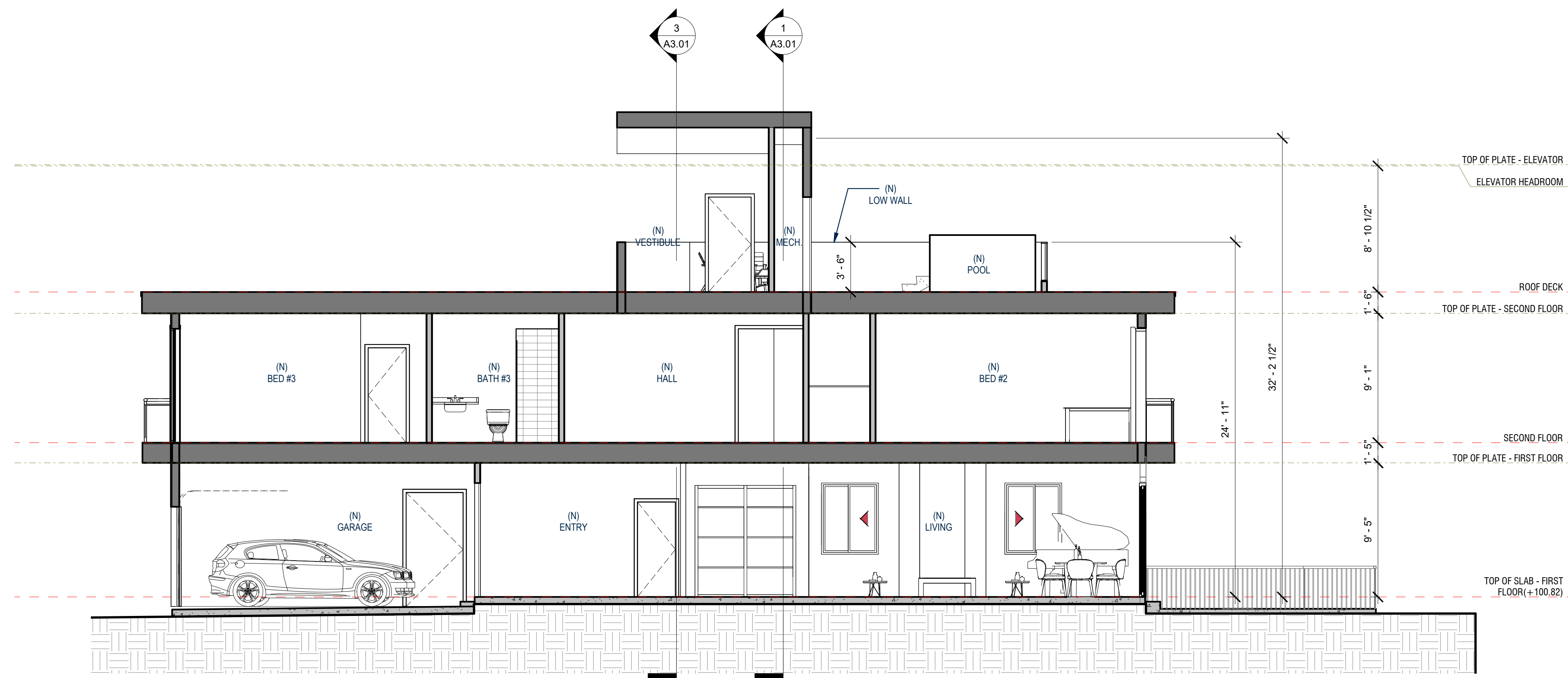
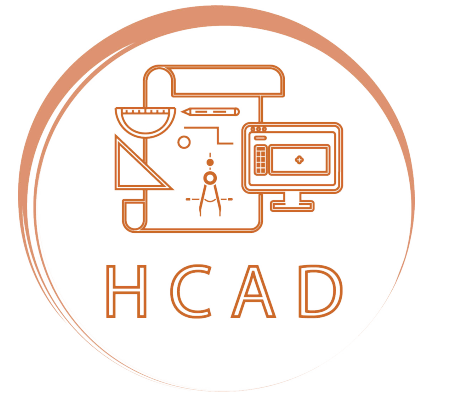
DATE:	SHEET:
	<b>A2.15</b>



**PROPOSED ROOF PLAN**

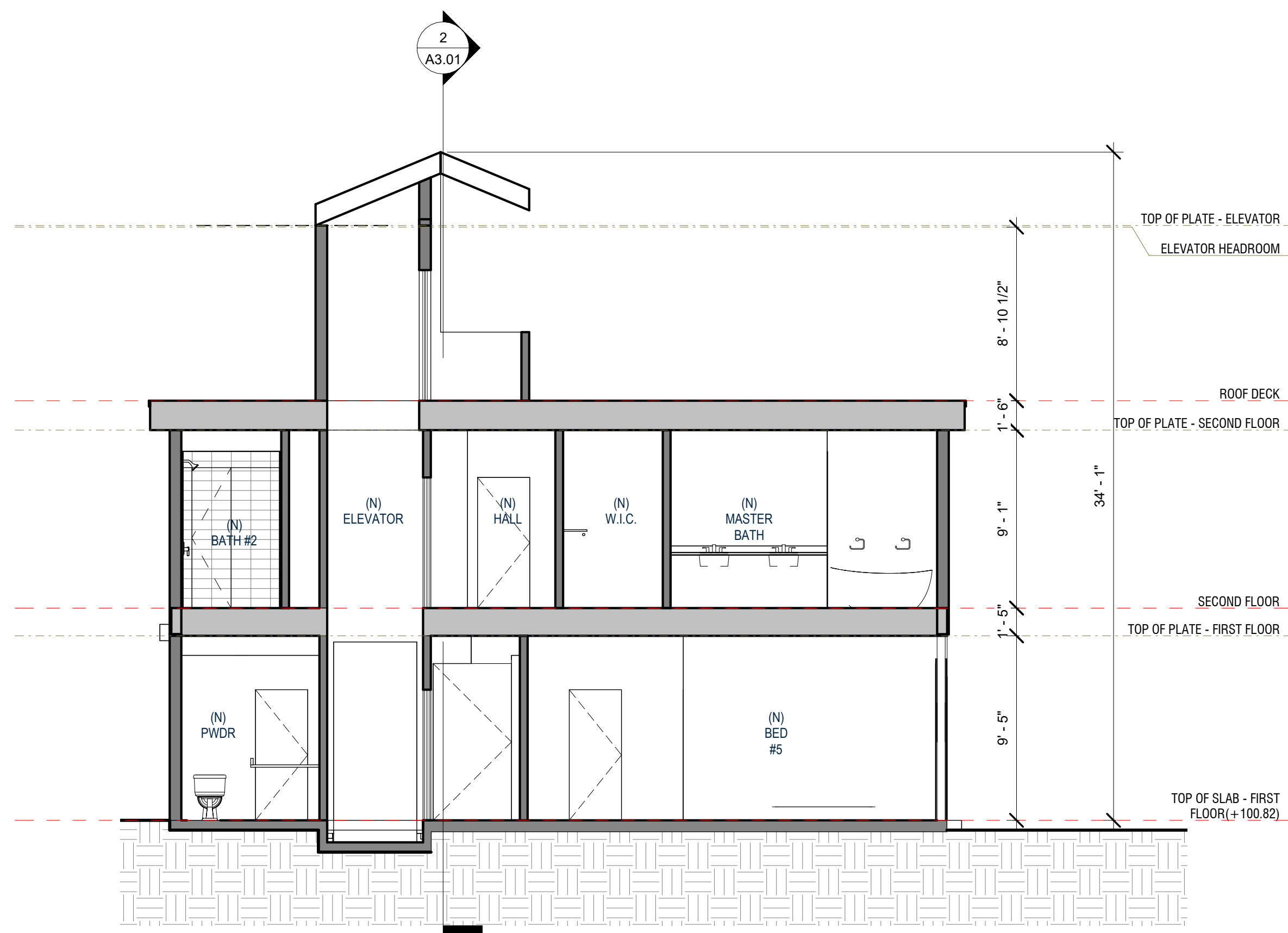
SCALE:  
3/16" = 1'-0"

**1**



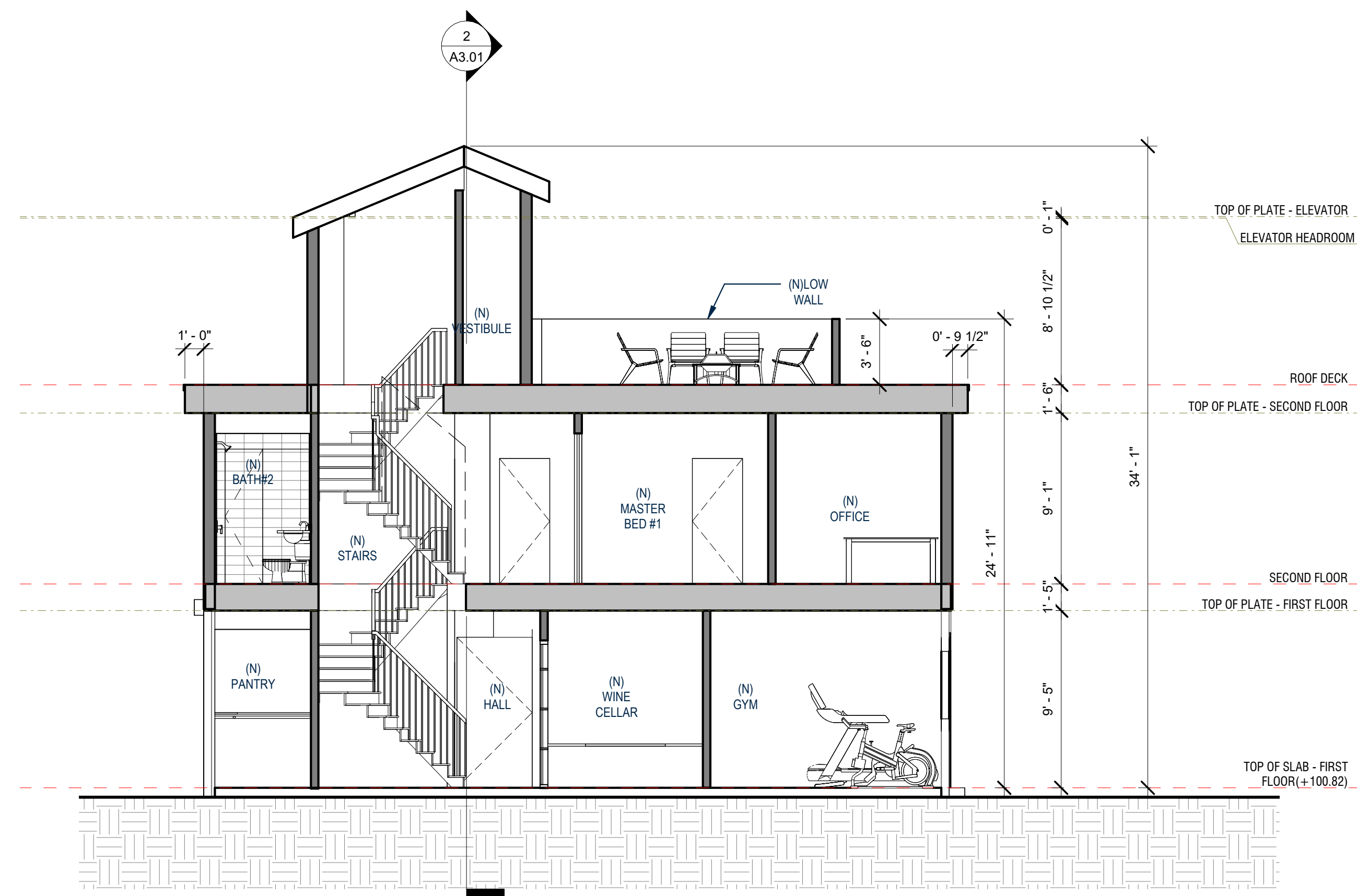
BUILDING SECTION - LONG

SCALE:  
3/16" = 1'-0" 2



BUILDING SECTION - SHORT-2

SCALE:  
3/16" = 1'-0" 3



BUILDING SECTION - SHORT

SCALE:  
3/16" = 1'-0" 1

CAROUSEL RESIDENCE

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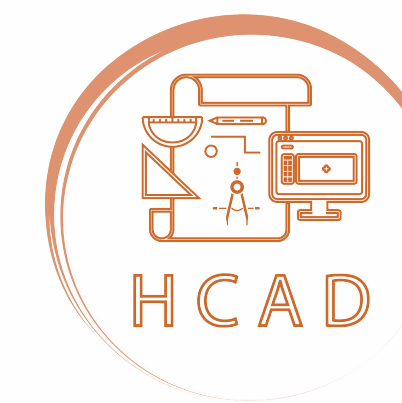
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JOB NUMBER:	

DATE: SHEET:

A3.01



**EAST ELEVATION** SCALE: 3/16" = 1'-0" **2**



**NORTH ELEVATION** SCALE: 3/16" = 1'-0" **1**

GENERAL NOTES		BUILDING PLAN LEGEND		MATERIAL LEGEND																																																											
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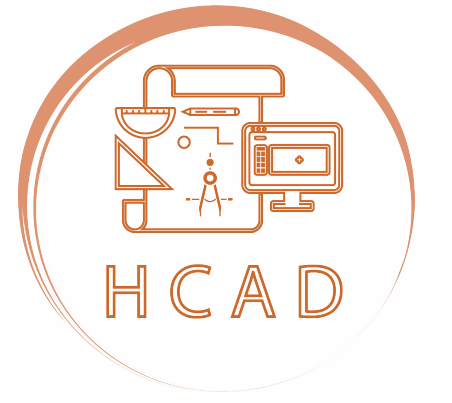
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**EXTERIOR ELEVATIONS**

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JOB NUMBER:	
DATE:	SHEET:
	<b>A4.01</b>



WEST ELEVATION SCALE: 3/16" = 1'-0" 2



SOUTH ELEVATION SCALE: 3/16" = 1'-0" 1

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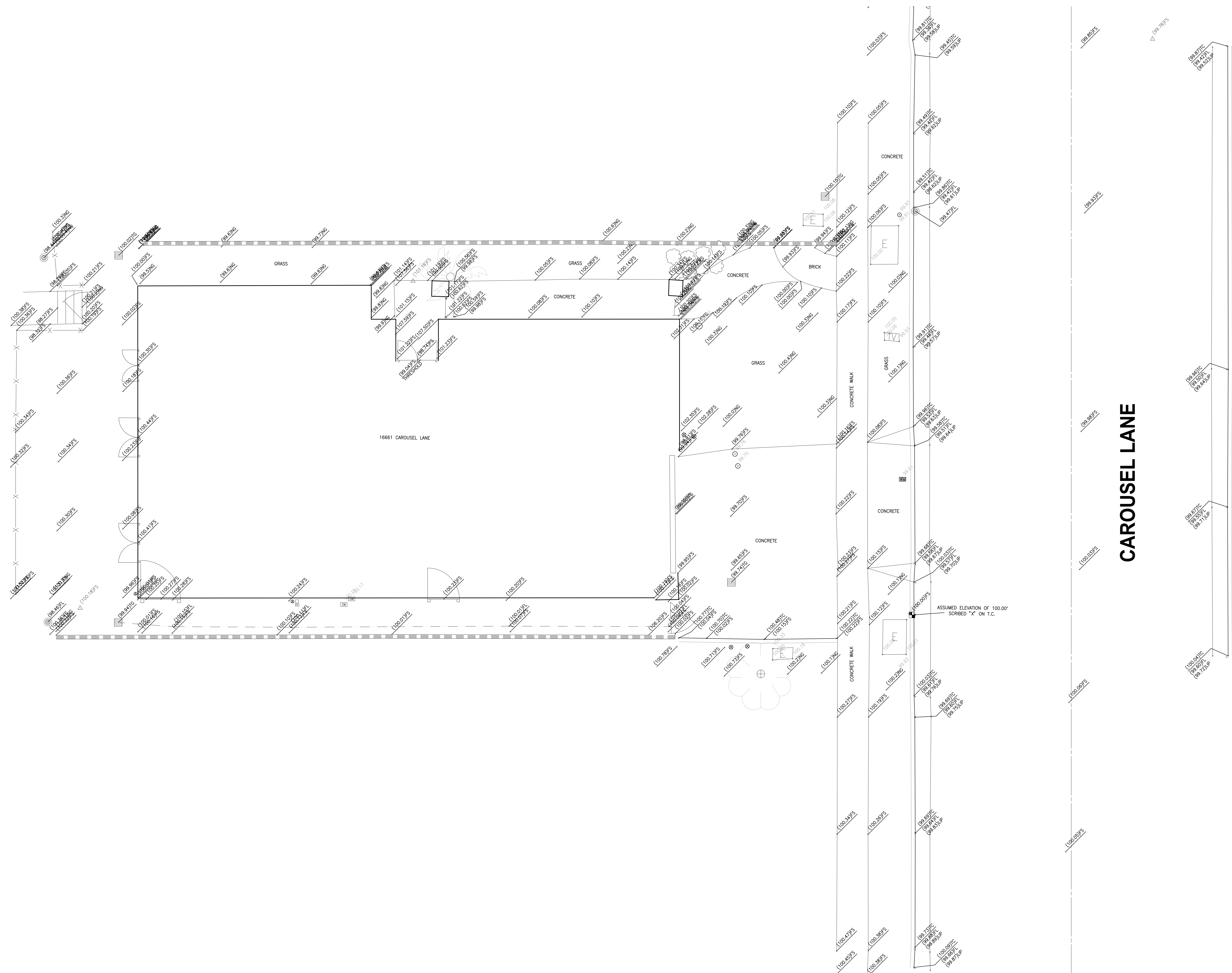
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A4.02



**WALDEN & ASSOCIATES**  
 CIVIL ENGINEERS  
 PLANNERS  
 LAND SURVEYORS  
 2552 WHITE ROAD, SUITE B, IRVINE, CA 92614  
 (949) 660-0110 FAX: 660-0418

**TOPOGRAPHIC SURVEY**  
 FOR  
**16661 CAROUSEL LANE**  
**HUNTINGTON BEACH, CA**

JOB NUMBER  
 2251-001-001  
 DATE: 03/31/20  
 DRAWN: A.P.  
 CHECKED: M.P.  
 SHEET  
 1  
 OF  
 1

## Planning Narrative

### **Proposed Single-Family Residential Remodel and Addition 16661 Carousel Ln, Huntington Beach, CA 92649**

#### **(a) Description of Project and Services**

The proposed project consists of a remodel and addition to an existing single-family residence located at 16661 Carousel Lane in the City of Huntington Beach. The property is located within the RL (Residential Low Density) Zoning District and the Coastal Zone.

The scope of work includes renovation of the existing first floor, construction of a new second story, interior reconfiguration, and associated architectural and site improvements. The proposed use will remain a single-family residential dwelling, with no change in land use or occupancy type.

The total residential floor area after construction is approximately 4,950 square feet. The project includes typical residential amenities accessory to single-family use.

(There are no commercial services, no public access, and no employees associated with the proposed project. Hours and days of operation are not applicable, as the use is strictly residential and privately occupied by a single household.)

#### **(b) Reasons for Initiating This Application**

The application is being submitted to allow the property owner to update and improve the existing residence to better meet the needs of a family of five. The existing home includes four bedrooms, three bathrooms, and a two-car garage, with an approximate total floor area of 3,000 square feet. The proposed project would reconfigure and expand the residence to provide additional living space, improved functionality, and enhanced architectural quality, including additional bedrooms and bathrooms as shown on the plans.

A **Conditional Use Permit** is requested to allow Planning review of the project, including consideration of applicable development standards, and to confirm consistency with the Huntington Beach Municipal Code and the Local Coastal Program.

#### **(c) Description of Surrounding Uses**

The subject property is located within the **Huntington Harbour** area and is surrounded by residential and waterfront uses, as follows:

- **North:** Single-family residential development
- **South:** Single-family residential development
- **East:** Single-family residential development along Carousel Lane

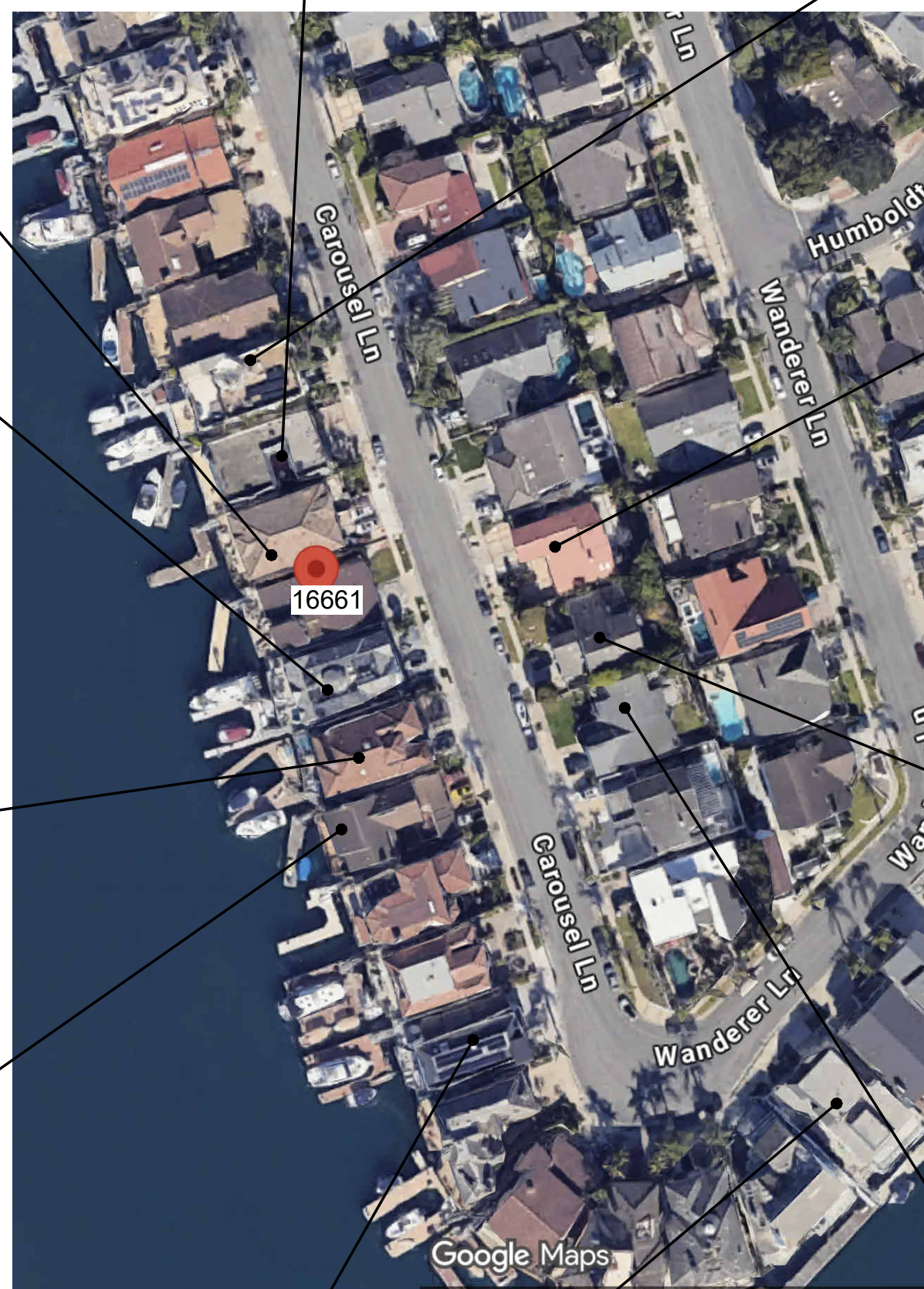
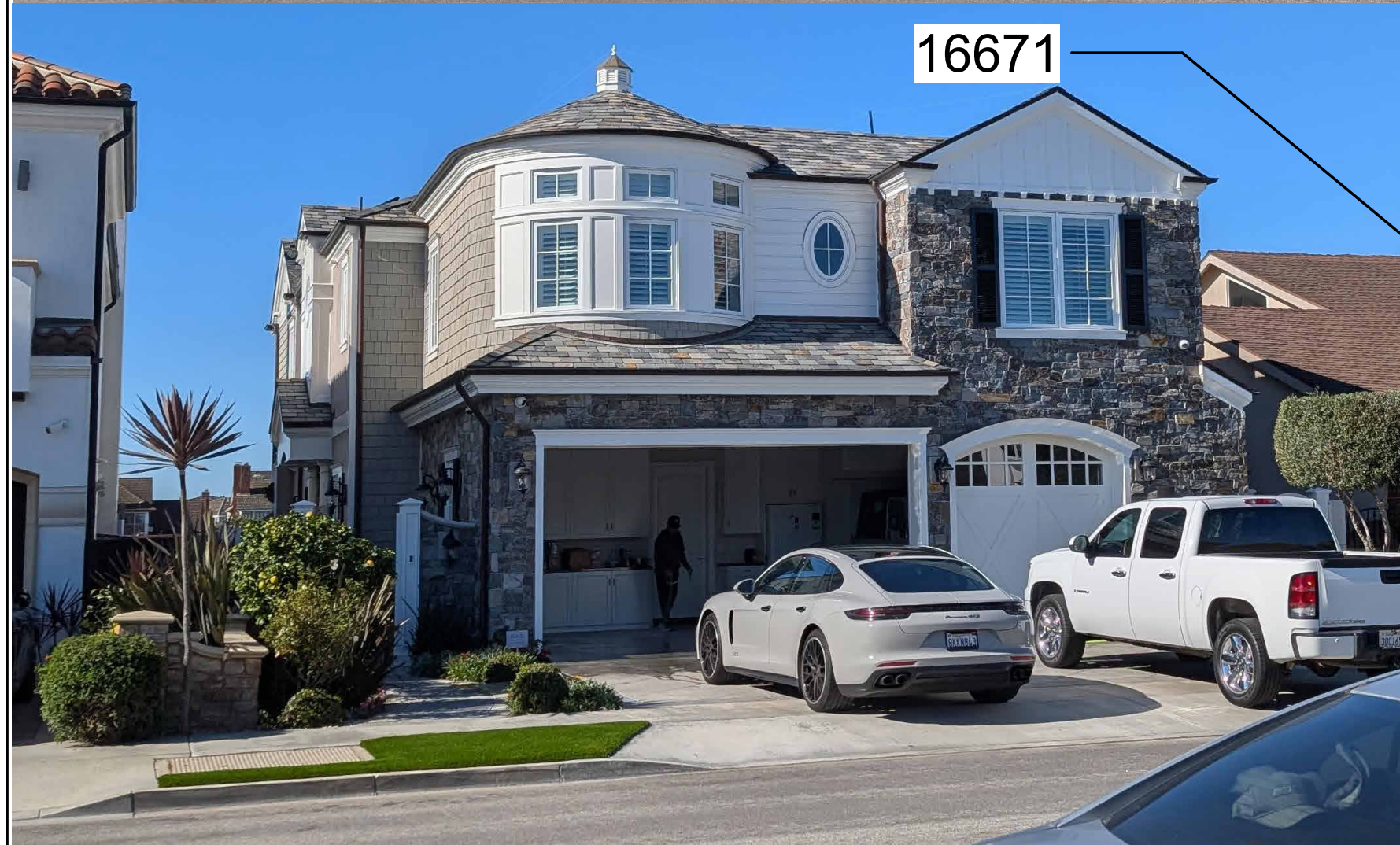
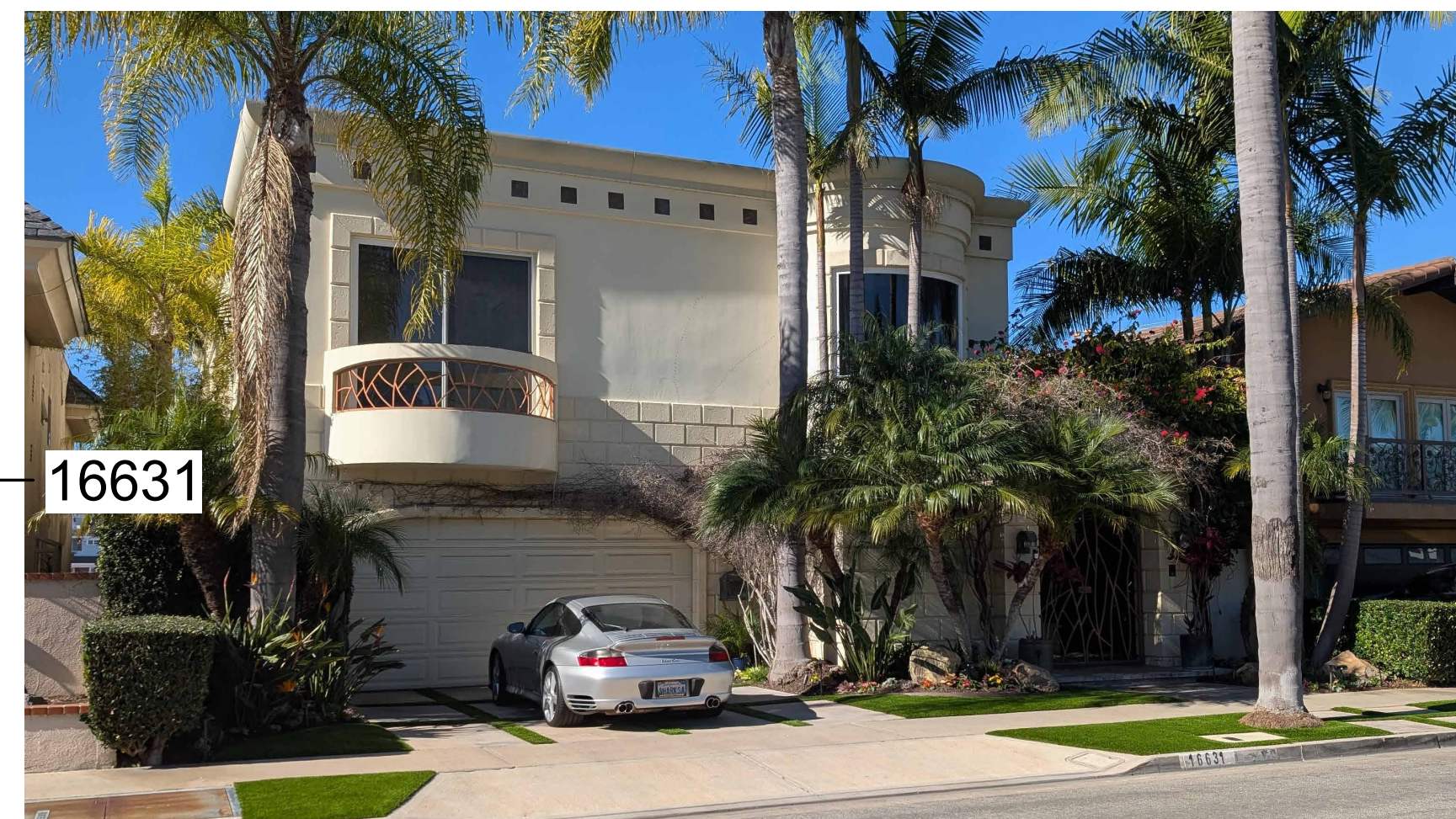
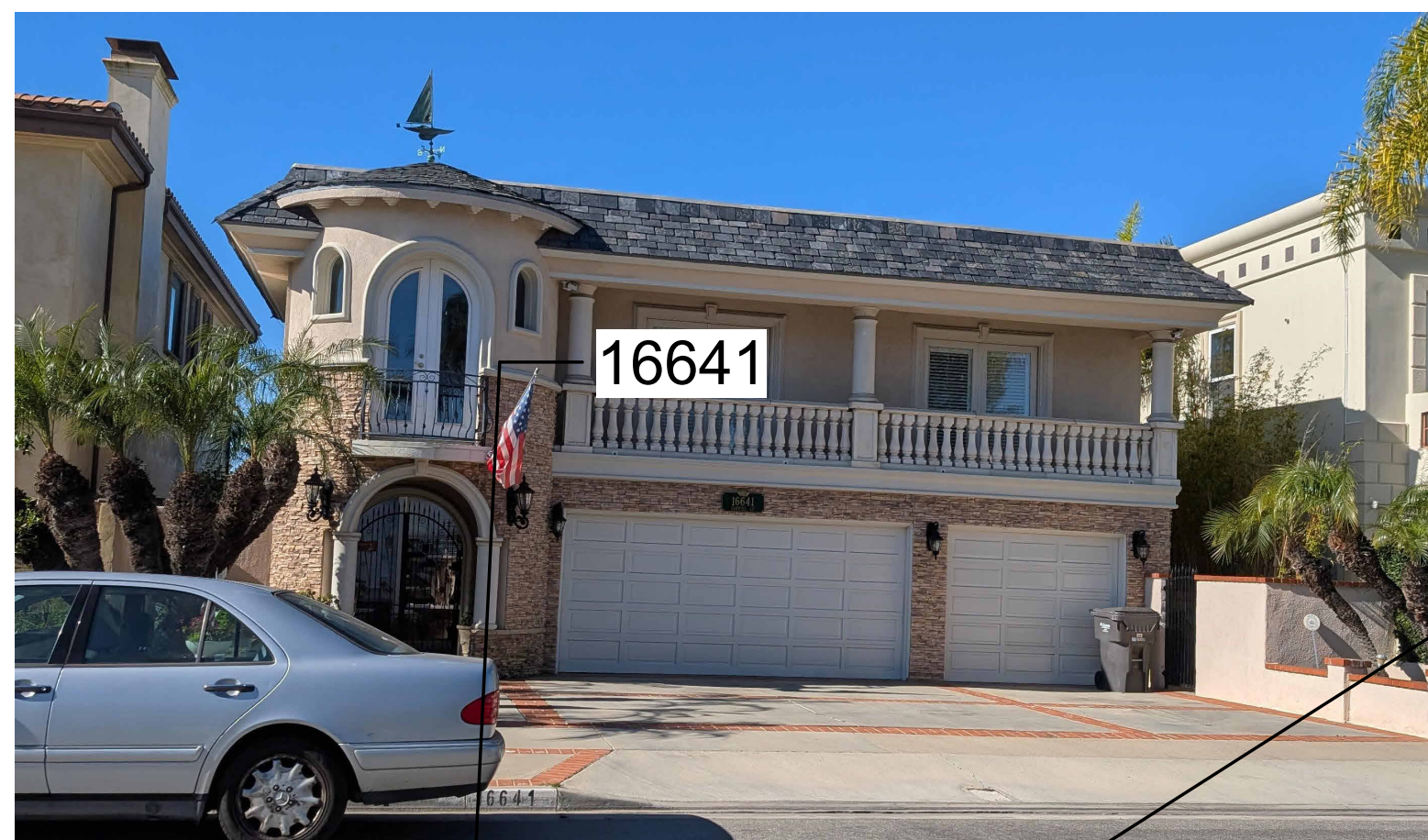
- **West:** Huntington Harbour waterway with private docks serving adjacent single-family residences



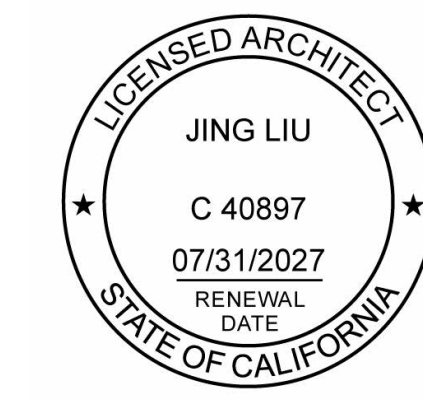
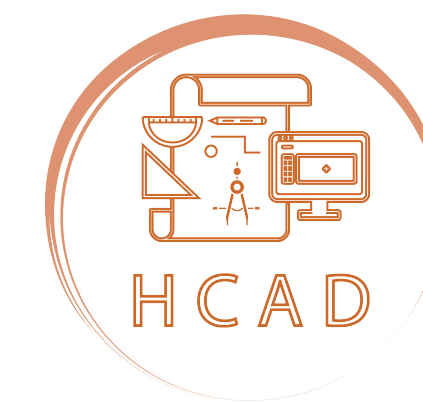
The surrounding neighborhood is characterized by low-density, waterfront single-family homes, many of which include private docks and two-story residential structures. The proposed project is consistent with the existing residential character of the area.

#### **(d) Description of Population Served**

The proposed project serves a private residential population, consisting of a single household. The development is not intended to serve the general public and will not introduce commercial activity or public access. The project will not result in a significant increase in population density beyond what is typical for a single-family residence in the Huntington Harbour area.



HALCYON COAST  
ARCHITECTURAL  
DESIGN



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**EXISTING  
SURROUNDING  
PICTURES**

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