

ABBREVIATION LIST	
ACOUS. ACUSTICAL	MAX. MAXIMUM
ADD'L. ADDITIONAL	MECH. MECHANICAL
ADJ. ADJUSTABLE	MET. METAL
ALUM. ALUMINUM	MFR. MANUFACTURER
APPROX. APPROXIMATE	MIN. MINIMUM
	MISC. MISCELLANEOUS
BD. BOARD	M.O. MASONRY OPENING
BLDG. BUILDING	MOUNTED MOUNTED
BLK. BLOCKING	MUL. MULLION
BLKG. BLOCKING	
BM. BEAM	N.I.C. NOT IN CONTRACT
BOT. BOTTOM	NO. NUMBER
	N.T.S. NOT TO SCALE
CAB. CABINET	O.A. OVERALL
CEM. CEMENT	OBS. OBSOLETE
CER. CERAMIC	O.C. ON CENTER
C.I. CAST IRON	O.D. OUTSIDE DIAMETER
CLR. CLEAR	
COL. COLUMN	O.F.C.I. OWNER FURNISHED
CONC. CONCRETE	OFF. OFFICE
CONN. CONNECTION	OPNG. OPENING
CONT. CONTINUOUS	OPP. OPPOSITE
C.T. CERAMIC TILE	
CTSK. COUNTERSINK	
DECOR. DECORATIVE	PL. PLATE
DET. DETAIL	PLAS. PLASTER
D.F. DOUGLAS FIR	PLYWD. PLYWOOD
DIA. DIAMETER	PAIR. PAIR
DIM. DIMENSION	PRCST. PRECAST
DN. DOWN	P.T.D.F. PRESSURE-TREATED
D.S. DOWNSPOUT	PTN. PARTITION
DWG. DRAWING	Q.T. QUARRY TILE
EA. EACH	
EL. ELEVATION	R. RISER
ELEC. ELECTRICAL	RAD. RADIUS
EQ. EQUAL	REIN. REINFORCE
EXH. EXHAUST	REQ. REQUIRED
EXP. EXPANSION	RM. ROOM
EXT. EXTERIOR	R.O. ROUGH OPENING
EXIST. EXISTING	RWD. REDWOOD
	R.W.L. RAIN WATER LEADER
F.A.U. FORCED AIR UNIT	S.C. SOLID CORE
F.D. FLOOR DRAIN	SCHED. SCHEDULE
F.H.C. FIRE HISE CABINET	SHT. SHEET
FIN. FINISH	SIM. SIMILAR
FL. FLOOR	SQ. SQUARE
FLASH. FLASHING	SST. STAINLESS STEEL
FLUOR. FLUORESCENT	STL. STEEL
F.O.C. FACE OF CONCRETE	STOR. STORAGE
F.O.F. FACE OF FINISH	STRUC. STRUCTURAL
F.O.M. FACE OF MASONRY	SUSP. SUSPENDED
F.O.S. FACE OF STUD	SYM. SYMMETRICAL
F.S. FLOOR SINK	
FT. FOOT/FEET	
FTG. FOOTING	T. TREAD
	T.C. TOP OF CURB
GA. GAUGE	TEL. TELEPHONE
GALV. GALVANIZED	T&G TONGUE & GROVE
GL. GLASS	THK. THICK
GR. GRADE	T.O.C. TOP OF CHIMNEY
GYP. GYPSUM	T.O.F. TOP OF FRAMING
H.B. HOSE BIBB	T.O.L. TOP OF LEDGER
H.C. HOLLOW CORE	T.O.M. TOP OF MASONRY
H.D.W. HARDWOOD	T.O.P. TOP OF PARAPET
H.WE. HARDWARE	T.O.PL. TOP OF PLATE
HGT. HEIGHT	
H.M. HOLLOW METAL	
HORIZ. HORIZONTAL	
	U.O.N. UNLESS OTHERWISE NOTED
I.D. INSIDE DIAMETER	VERT. VERTICAL
INCAND. INCANDESCENT	VEST. VESTIBULE
INSUL. INSULATION	VG.D.F. VERTICAL GRAIN DOUGLAS FIR
INT. INTERIOR	
JAN. JANITOR	W. WITHOUT
JT. JOINT	W/C. WATER CLOSET
	WD. WOOD
LAM. LAMINATED	WDW. WINDOW
LAV. LAVATORY	W.C. WATER CLOSET
LOC. LOCATION	W.S.C.T. WAINSCOT
	W.T. WEIGHT

BUILDING DEPT NOTES

A) EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED OR COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5)

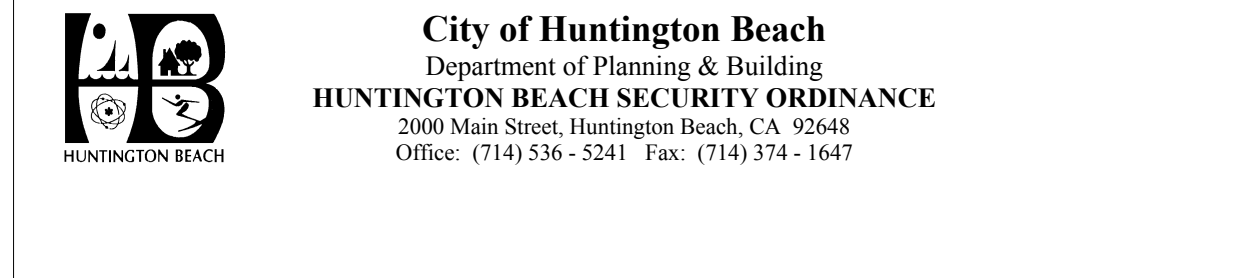
B) CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)

C) ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)

D) FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.

E) WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

HB SECURITY ORDINANCE



- Sliding glass doors and windows located less than 16 feet above any surface available for use by the public shall be capable of being locked securely. Moveable panels shall not be easily removed from the frame.
- All main or front entry to dwellings shall be arranged so that the occupant has a view of the area immediately outside without opening door. Such view may be provided by a door view, a view port, window, or other opening.
- Exterior wooden doors shall be of solid core construction or shall be covered on the inside face with 16 gauge sheet metal attached with screws at 6 inch on centers around the perimeter.
- All swinging doors shall be equipped with a dead bolt with a minimum throw of 1 inch and an embedment of not less than 5/8 inch.
- The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a dead bolt.
- Non-removable pins shall be used in pin type hinges which are accessible from the outside when the door is closed.
- Unframed glass doors shall be fully tempered glass not less than 1/2 inch thick.
- Narrow-framed glass doors shall be fully tempered glass not less than 1/4 inch thick.
- Any glass which is located with in 40 inches of the locking device on a door shall be fully tempered, or have approved metal bars, screens or grills.
- Solid wooden hatchways less than 1/4 inches thick shall be covered on the inside with 16 gauge sheet metal attached with screws at 6 inch on center around the perimeter and shall be secured from the inside with a slide bar, slide bolts, and/or padlock with hardened steel shackle. All other openings larger than 96 square inches with a dimension in excess of 8 inches shall be secured by metal bars, screens, or grills. (Exception: Non-opening skylights).
- A development which includes 3 or more dwelling units shall be provided with fully-enclosed garages. Garage space for each tenant shall be separated by partitions of 3/8 inch plywood or equivalent with studs set no more than 24 inches on center.

MEASUREMENTS

1. In general, the measurements on the Drawings are reasonable and accurate for the purpose of design intent. However, in the execution of the work on the project, the Contractor is to verify all dimensions with actual conditions on the job in order to make a perfect fit; the requirements of the Samples and Shop Drawings section notwithstanding. Where the work of one Contractor is to join that of another, both are to furnish shop drawings showing the actual dimensions and the method of joining the work of the two trades. These drawings may be in addition to any drawings requested or as listed under "Shop Drawings."

2. No extra charge or compensation will be allowed on account of differences between actual dimensions and the measurements indicated on the Drawings. Any differences which may be found shall be submitted to the Architect for consideration before proceeding with the work.

SPECIFICATIONS AND DRAWINGS

1. If any errors or omissions appear in the Contract Documents, the Contractor shall notify the Architect in writing of such error or omission. If the Contractor fails to give such notice, whether prior to or during the execution of the work, he will be held responsible for results of such errors or omissions and for cost of rectifying same.

2. The general character of the detail work is shown on the Drawings but minor modifications may be made by the Architect & Tenant with Landlord approval. All drawings illustrate design intent.

GENERAL NOTES

1. Prior to any construction, Contractor shall meet with the Architect.

2. Information contained in these drawings may require adjustments or modifications to conform with existing conditions. In cases where changes in details are necessary, these drawings shall be used to show the design intent only. Contractor shall verify all dimensions concerning existing and new work and notify the Architect before proceeding with either fabrication or installation of the work. In addition, Contractor shall notify the Architect immediately, should existing conditions prohibit execution of the design intent of the drawings. Any additional work, demolition and/or removal as a result of failure to do so will be at Contractor's expense.

3. Due to the small scale of these plans and the instability of the blueprint paper, these drawings shall NOT BE SCALED and any critical dimensions should be field checked. The Contractor(s) shall be responsible to field measure existing conditions prior to beginning of work and periodically during construction progress to verify all critical dimensions. Any deviation from dimensions indicated on the drawings is to be approved by the Architect prior to construction.

4. The Contractor shall visit the site and be aware of existing conditions to the extent and influence of the work prior to bidding & construction. Contractor shall be familiar with all applicable building codes and ICC codes. No subsequent extras or additions will be allowed for any claim of lack of knowledge of conditions or circumstances about which the Contractor could have site inspected and informed himself. Appointments shall be arranged through the Architect.

5. Before commencing work, the Contractor shall notify the Architect of any areas that have not been satisfactorily completed by the Landlord's base building contractor to meet the lease requirements including, but not limited to, (fire-proofing, ductwork, condition of slab, condition of core and demising walls, utility hook-up, electrical panels, etc.).

6. All Contractors shall comply with the rules and regulations of the building as to hours of operation for the purposes of delivery and also as the manner of handling materials, equipment and debris, to avoid conflict and interference with normal building operation. All Contractors shall receive specific regulations from the Architect.

7. The Contractor is responsible for verifying the extent, nature and scope of work described in the contract documents and will coordinate with the Landlord's Representative the interfacing of the Base Building Contractor's work and the work shown and described in the contract documents. The Contractor is to provide all labor and materials necessary to execute all work necessary to achieve substantial completion. He shall be responsible

GENERAL NOTES

(cont') for coordinating his work with that of all other trades, including those operating under separate contract with the Tenant and Landlord.

8. All work shall be performed by skilled and qualified workmen and in accordance with the best practices of the trades involved. Care shall be taken to ensure compliance with building regulations and/or governmental laws, statutes or ordinances concerning the use of union labor.

9. All materials shall be new, unused and of the highest quality in every respect unless otherwise noted. Manufactured materials and equipment shall be installed as per instructions unless otherwise noted. Maintenance manufacturer's written recommendations and instructions, in triplicate, shall be provided for all materials used within the project in a 3 ring binder in CSI format with CSI numbered tabs. Three copies shall go the Owner.

10. Perform all work in accordance with rules and regulations of governmental agencies having jurisdiction and conform to all City, County, State and Federal construction, safety and sanitary laws, codes, statutes and ordinances. Report promptly any discrepancies, variations or omissions in the contract documents to the Architect.

11. Instructions on the Drawings and Schedules, notwithstanding construction, shall comply in all respects with applicable Federal, State, County and local statutes, ordinances, regulations, laws and codes.

12. Supply, prior to commencing work, a list of all Subcontractors to the Owner's Representative for review and acceptance. Include the name of the principal contact, the address and phone number of each subcontractor in this list.

13. All Contractors shall be responsible for the distribution of drawings to all trades.

14. Contractor is to provide a dumpster for use during construction and for use during the store fixtures installation. The project is to be kept clear of debris at all times.

15. Any discrepancies found in the plans, dimensions, existing conditions or specifying of a product or its use are to be pointed out to the Architect Addenda will be issued as necessary for these discrepancies and other reasons and will become part of the contract documents. For those discrepancies not brought to the attention of the Architect, it will be assumed that the Contractor has bid the more expensive material and/or method of construction.

16. All installed plumbing, mechanical and electrical equipment shall operate quietly and free of vibration.

17. Do not substitute materials where a manufacturer is specified unless submitted to the Tenant & Landlord for approval. Where the term "or approved equal" is used, the Architect shall determine equality based on information submitted by the Contractor for approval. Unless said approval is received by contractor, it will be assumed that the contractor's total bid is based upon specified materials and equipment.

18. Perform all work in a good workmanlike manner and prosecute to completion with all due diligence. Time is of the essence with respect to the work performed under this contract.

19. Perform all cutting and patching in a neat, workman like manner. Repair to match existing, in kind and finish, any existing finishes that are to remain and are disturbed or damaged by the Contractor during the course of the work.

20. Coordinate all wall, floor and ceiling finishes to ensure that joints and transitions between materials, whether they be wall to wall, wall to floor, floor to floor, wall to ceiling, or ceiling to ceiling, will be smooth, true, level and in accordance with the drawings, specifications and schedules.

21. Store all work and material to accomplish designated work within the demised space unless otherwise indicated.

22. Thoroughly clean all interior surfaces, including glass, floor surfaces, and millwork, prior to occupancy of the space by Tenant. Remove all trash, construction debris, tools, etc. prior to occupancy.

23. Place all studs, ceiling furring and framing members so as to avoid interference with locations of recessed lighting fixtures, piping, ductwork and the like.

24. Work shall be subject to the inspection of the Tenant & Landlord. Any work not found in compliance with good construction standards shall be corrected without additional cost to the Tenant or Landlord.

25. Upon completion of the work, all facilities shall be in full use, without defects.

26. Upon completion of the work, warranties shall be assigned by the Contractor to the Owner's Representative. Any Contractor or Subcontractor performing the work shall be responsible for the replacement or repair, without additional charge to the Owner, of any and all work done or furnished by or through such Contractor or Subcontractor which shall become

SHEET INDEX

GENERAL DRAWINGS	
G-001	COVER SHEET
Civil Drawings	
C-001	EXISTING TOPOGRAPHY AND BOUNDRY
ARCHITECTURAL SITE PLAN	
AS-001	ARCHITECTURAL SITE PLAN
FLOOR PLANS	
A-101	FIRST & SECOND FLOOR ADU PLANS
ELEVATIONS	
A-201	EXTERIOR ELEVATIONS
SECTIONS	
A-301	BUILDING SECTIONS

ACKNOWLEDGEMENT OF SETBACKS WATER METER UPGRADE CHECKLIST

	City of Huntington Beach Department of Community Development OWNER ACKNOWLEDGMENT FOR SETBACKS 2000 Main Street, Huntington Beach, CA 92648 Office: (714) 536-5241 Fax: (714) 374-1647	Permit No. Address: 209 PECAN AVE
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Property Owner Acknowledgment: Construction Setback Less than 5' From Property Line(s)

- I, as owner of the property listed below, understand the following:
- Any new construction, addition, or alteration within 5' from a property line may require a land survey.
 - If I do not obtain a land survey to verify my property lines, I assume full responsibility for the determination of the location of the existing property line.
 - If at any time there is a discrepancy or dispute of the construction setback to the property line, a survey may be required.
 - I understand and agree to rebuild all portions of construction to the correct property line setback if the property line on the approved plans is later found to be incorrect.
 - I understand additional costs may incur to correct the construction to accurately adhere to the setback, including but not limited to: surveying, revising plans, city plan review/inspection fees and additional construction costs.

Date: _____
Address: 209 PECAN AVE
Property Owner (Print): _____
Property Owner (Signature): _____

WATER METER UPGRADE CHECK LIST

Owner's / Applicant's Name: KEMMERER DESIGN ARCHITECTURE, INC.
Job Address: 207 PECAN AVE
Permit Number (if applicable): (714) 752-0052
Contact Number: (714) 752-0052

NOTE: Provide ALL counts of New and Existing Fixtures Below!!!

Water Closet / Toilet	6	x	2.5	=	15
Bathroom Sink including Bar Sink	8	x	1.0	=	8
Bath Tub with 1/2" fill valve	1	x	4.0	=	4
Bath Tub with 3/4" fill valve	6	x	1.0	=	6
Shower Stall (per head)	4	x	2.0	=	8
Kitchen Sink	4	x	1.5	=	6
Dish Washer	4	x	1.5	=	6
Laundry / Washer	2	x	4.0	=	8
Laundry Sink	4	x	1.5	=	6
Hose Bibb	4	x	2.5	=	10
Hose Bibb (each additional)	4	x	1.0	=	4
TOTAL FIXTURE COUNT					111

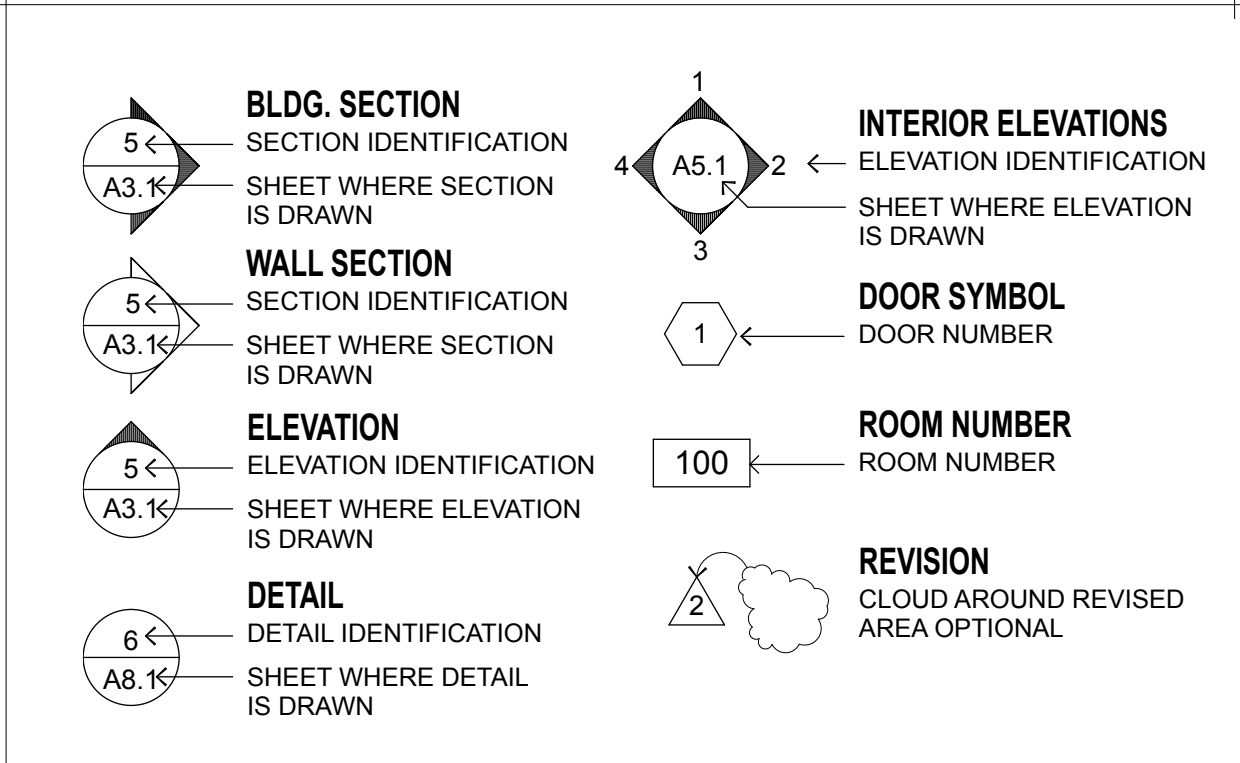
Water Meter and Supply Service, Branches, inches	Maximum Allowable Length in Feet
(40) (60) (80) (100) (150) (200)	
1 1/4	1-14
1-1/2	1-14

EXAMPLE

Water Closets	4	=	10
Lavs	6	=	6
Bathrooms	8	=	8
Jac Tub	1	=	10
Shower Stalls	4	=	8
Kitchen Sink	1	=	1.5
Dish Washer	1	=	1.5
Laundry	1	=	4
Hose Bibb	1	=	2.5
Hose Bibb	3	=	3
TOTAL			50.5

Note: Most SFR's have about 80 to 100ft in total plumbing length. Verify your total fixture count on the table below. See that 50.5 exceeds 39, so you would have to upgrade your water meter to a 1 inch meter with a 1 1/4 inch supply.

SYMBOLS



CODE INFORMATION

- 2025 TITLE 24 CALIFORNIA CODE OF REGULATIONS
- PART 1 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
 - PART 2 CALIFORNIA BUILDING CODE (CBC) VOLUMES 1 & 2
 - PART 2.5 CALIFORNIA ELECTRICAL CODE (CEC)
 - PART 3 CALIFORNIA ELECTRICAL CODE (CEC)
 - PART 4 CALIFORNIA MECHANICAL CODE (CMC)
 - PART 5 CALIFORNIA PLUMBING CODE (CPC)
 - PART 6 CALIFORNIA ENERGY CODE
 - PART 7 CALIFORNIA WILDLIFE-URBAN INTERFACE CODE (CWUIC)
 - PART 8 CALIFORNIA HISTORICAL CODE (CHC)
 - PART 9 CALIFORNIA FIRE CODE
 - PART 11 CALIFORNIA GREEN BUILDING CODE (CALGREEN) (CGBC)
 - PART 12 CALIFORNIA REFERENCE STANDARD CITY OF HUNTINGTON BEACH MUNICIPAL CODE

PROJECT INFORMATION

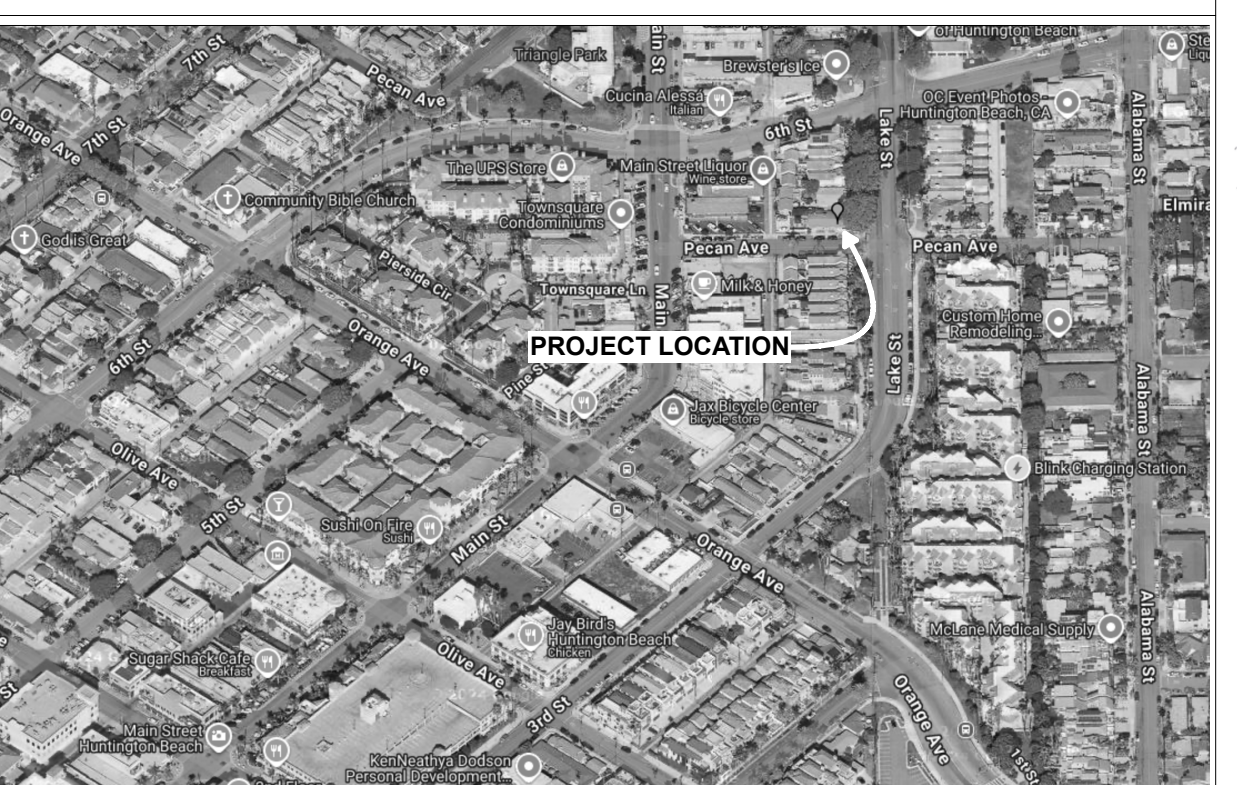
PROJECT SCOPE	NEW CONSTRUCTION FOR (2) ADUS IN 2-STORY BLDG NEW PARKING (3) EXISTING ATTACHED UNITS (NO CHANGES)
EXISTING USE	EMPTY PORTION OF (E) LOT
NEW USE	2-STORY ADU FIRST FLOOR ADU 417 FT ² SECOND FLOOR ADU 450 FT ² TOTAL 867 FT ² EXTERIOR DECK 37 FT ² EXTERIOR STAIRS 63 FT ²
PERMIT NO.	C2025-007297
OCCUPANCY	GROUP R-3
CONSTRUCTION	TYPE V-B (NON-SPRINKLERED)
NO. OF STORIES	2 STORY BUILDING
PARCEL	024-173-03
LEGAL DESCRIPTION	A-TRACT: HUNTINGTON BEACH MAIN STREET SECTION / BLOCK: 504 LOT: 1 TR 356 LOT
LOT TYPE	LOT 1 / 504
LAND USE	133
ZONING	SP5-CZ
ZONE TYPE	SP (SPECIFIC PLAN DESIGNATION)
GROSS LOT SIZE	4,242.36 FT ²
NET LOT SIZE	4,079.75 FT ²
MAX HEIGHT ABV HIGHEST POINT OF PECAN AVE	18'
PARCEL PER LOT	(3) EXISTING ATTACHED UNITS / (1) NEW 2-STORY BLDG W/ (2) ADU'S

ZONING MATRIX		
SUBJECT	REQUIRED	PROPOSED
PARKING	0 WITHIN 1/2 MILE OF BUSTOP	0 WITHIN 1/2 MILE OF BUSTOP
SITE COVERAGE	NO MAX COVERAGE UNDER 800 FT ²	NO MAX COVERAGE UNDER 800 FT ²
SETBACKS FRONT	N/A	N/A
SIDE	5 FT	5 FT
BACK	3 FT	19 FT

PROJECT LOCATION & CONTACTS

OWNER	UPOP LLC 8602 CEDARWOOD DRIVE HUNTINGTON BEACH, CA 92648 (714) 848-8220
ARCHITECTURAL SERVICES	KEMMERER DESIGN ARCHITECTURE, INC. MARCUS KEMMERER/IA 228 CREST AVENUE HUNTINGTON BEACH, CA 92648 t. 714.752.0052 marcus@kdarch.com / www.kdarch.com
STRUCTURAL ENGINEERING	YAGHI ENGINEERS 112 E CHAPMAN AVE ORANGE CA 92866 t. 714.997.9120 info@yaghiengineers.com
MECHANICAL / ELECTRICAL / PLUMBING	

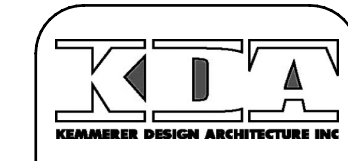
VICINITY MAP



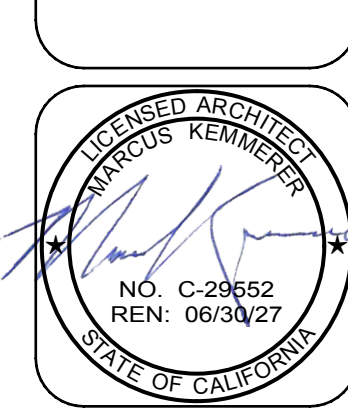
PECAN
NEW 2-STORY ADU
 207 A & B PECAN AVE
 HUNTINGTON BEACH, CA 92648

Revisions:	Date:

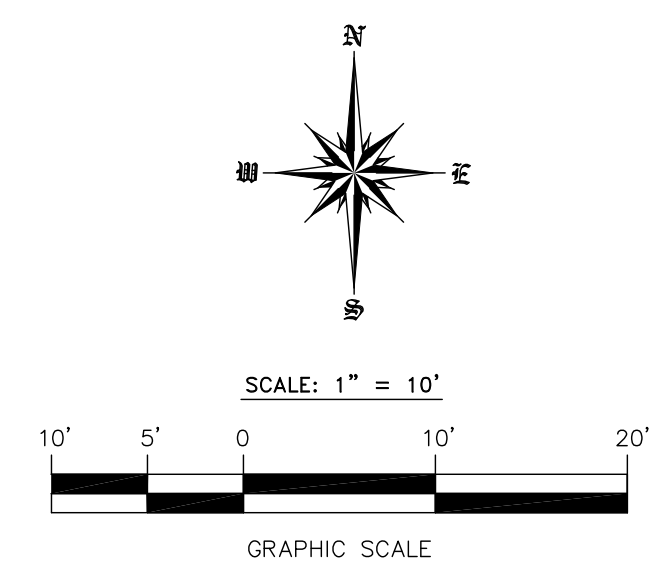
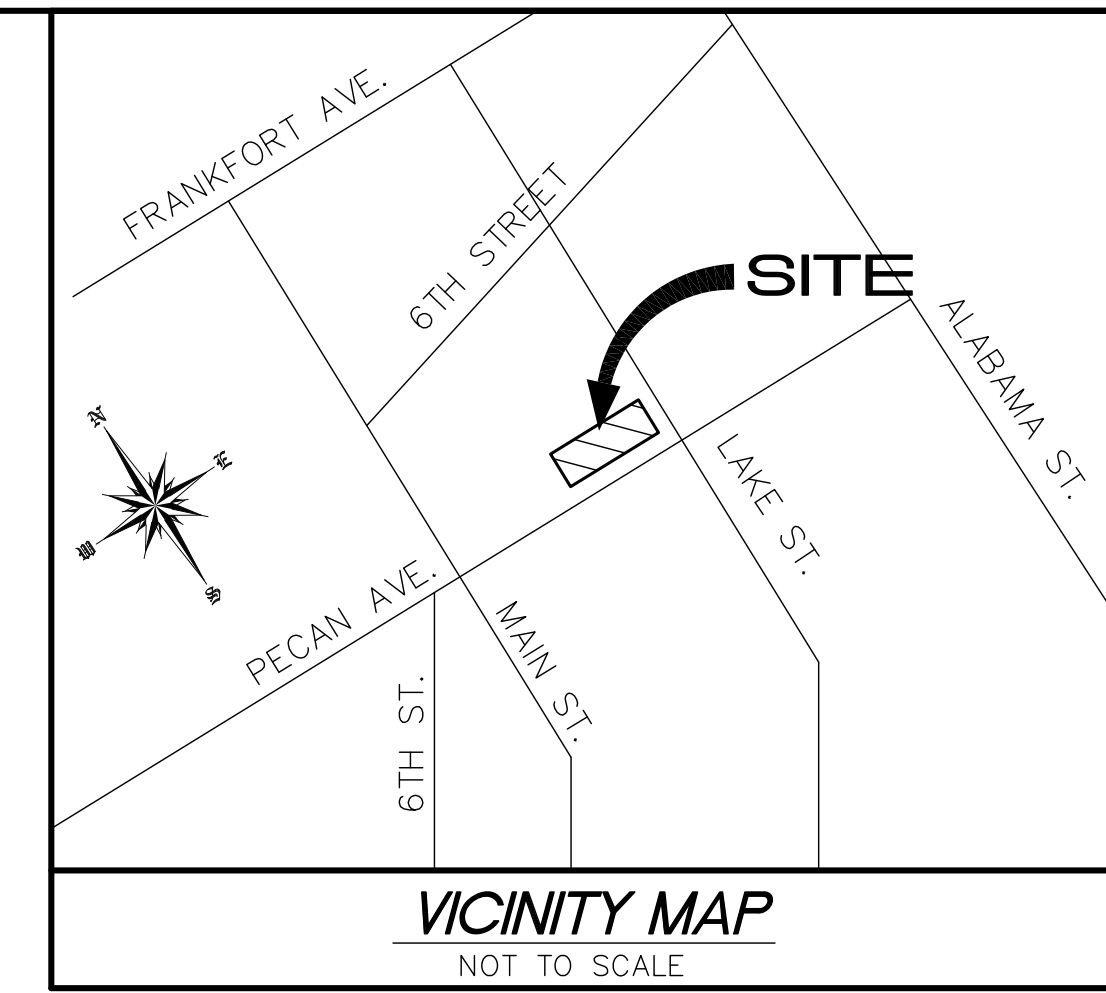
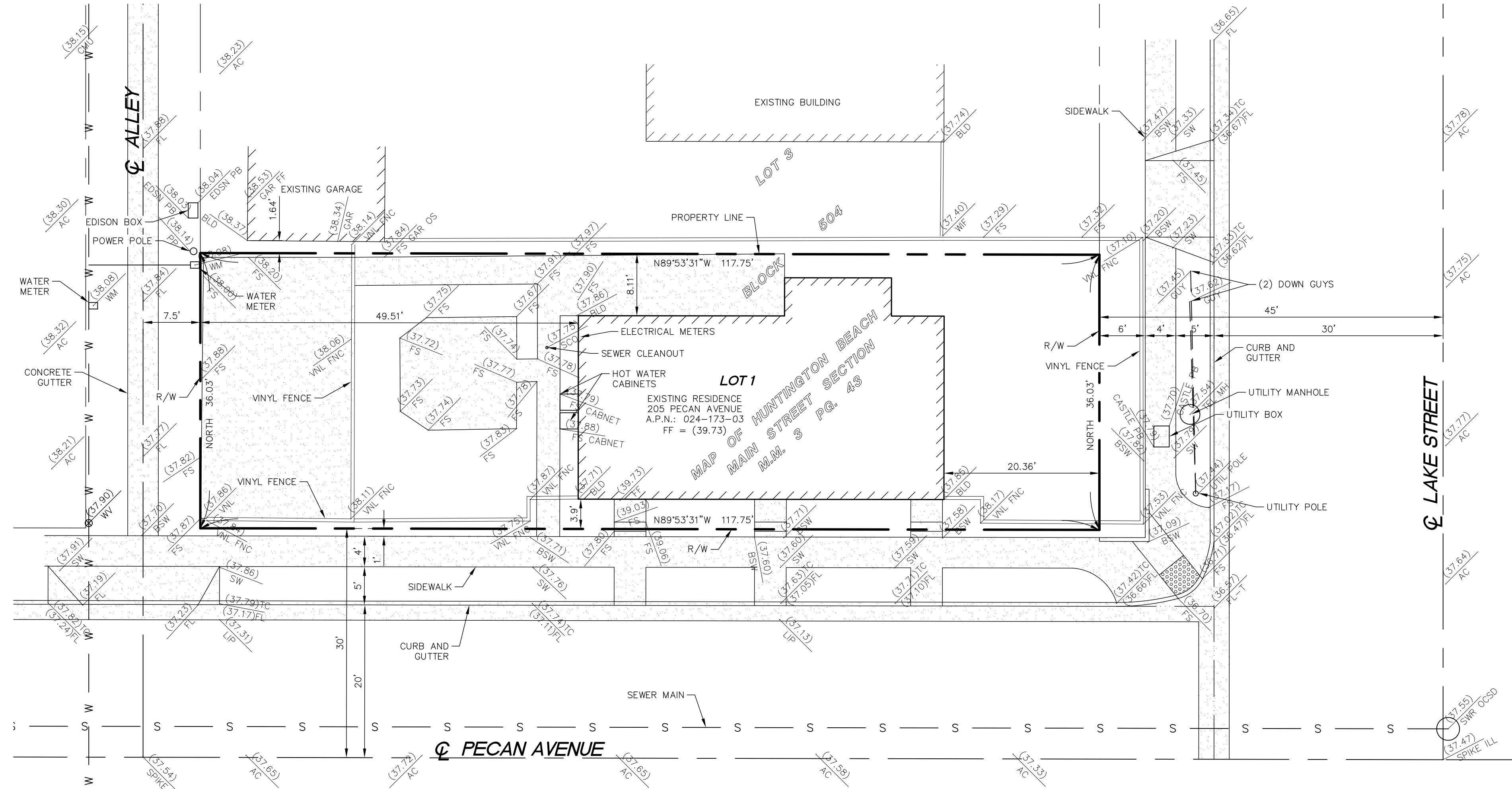
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KEMMERER DESIGN ARCHITECTURE, INC.
 228 CREST AVENUE
 HUNTINGTON BEACH, CA 92648
 p. 714.752.0052
 www.kdarch.com



Date: 5/27/26
 Drawn by: GN
 Checked by: MK
 Job Status: CONST DOC
 Drawing: COVER SHEET
 Sheet Number: **G-001**
 Total Sheet Count: 27



LEGEND	
(XXX.XX)	EXISTING ELEVATIONS
---	PROPERTY LINE
E	ELECTRICAL LINE
X	CHAIN LINK FENCE
S	SEWER LINE
T	TELEPHONE LINE
W	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
---	ASPHALTIC CONCRETE
⊗	WATER VALVE
CL	CENTERLINE
CL INT	CL INTERSECTION
CP	SURVEY CONTROL POINT
AC	ASPHALTIC CONCRETE
BLDG	BUILDING
BLKHD	BULKHEAD
BW	BACK OF SIDEWALK
C	CENTERLINE
CLF	CHAIN LINK FENCE
ED	EDGE OF SIDEWALK
ED VLT	EDGE OF SIDEWALK VERTICAL
EP	EDGE OF PAVEMENT
FL	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
G.B.	GRADE BREAK
GH	GEARHEAD SPIKE
GTE VLT	GTE VAULT VERTICAL
L.F.	LINEAR FEET
L-T	LEAD AND TAG
LS	LANDSCAPING AREA
NG	NATURAL GRADE
PLNTR	PLANTER
PP	POWER POLE
RF	REFERENCE SHOT
S.F.	SQUARE FEET
SMH	SEWER MANHOLE
SW	SIDEWALK
TC	TOP OF CURB
TC	TOP OF GRATE
TS	TOP OF STEP
TSW	TOP OF STEM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

LOT 1, IN BLOCK 504, OF HUNTINGTON BEACH MAIN STREET SECTION, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 43, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 024-173-03

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF LAKE STREET, BEING NORTH, AS SHOWN ON MAP OF HUNTINGTON BEACH, MAIN STREET SECTION, IN BOOK 3 PAGE 43 OF MISC. MAPS.

EXISTING UTILITY NOTE:

LOCATION OF EXISTING UTILITIES WERE DETERMINED BY RECORD INFORMATION AND A VISUAL FIELD SEARCH EXACT LOCATION SHOULD BE DETERMINED BY A CONTRACTOR

BENCHMARK NO: HB-272-01

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-272-01", SET IN THE NORTHWEST CORNER OF A 5 FT. BY 5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF INDIANAPOLIS AVENUE AND LAKE STREET, 33 FT. EASTERLY OF THE CENTERLINE OF LAKE STREET AND 39 FT. NORTHERLY OF THE CENTERLINE OF INDIANAPOLIS. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION = 36.482', NAVD 88, LEVELED 2005, O.C.S. 1995 ADJUSTMENT

DATE	BY	REVISION	APPROVED BY	REFERENCES

SURVEYED ON: 4/13/2026

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 TWO WORKING DAYS BEFORE YOU DIG

JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com

DESIGNED: C.H. SCALE: 1" = 10'
DRAWN: C.H. DATE: 4/22/2026
CHECKED: D.R. JOB NO. 26-2851

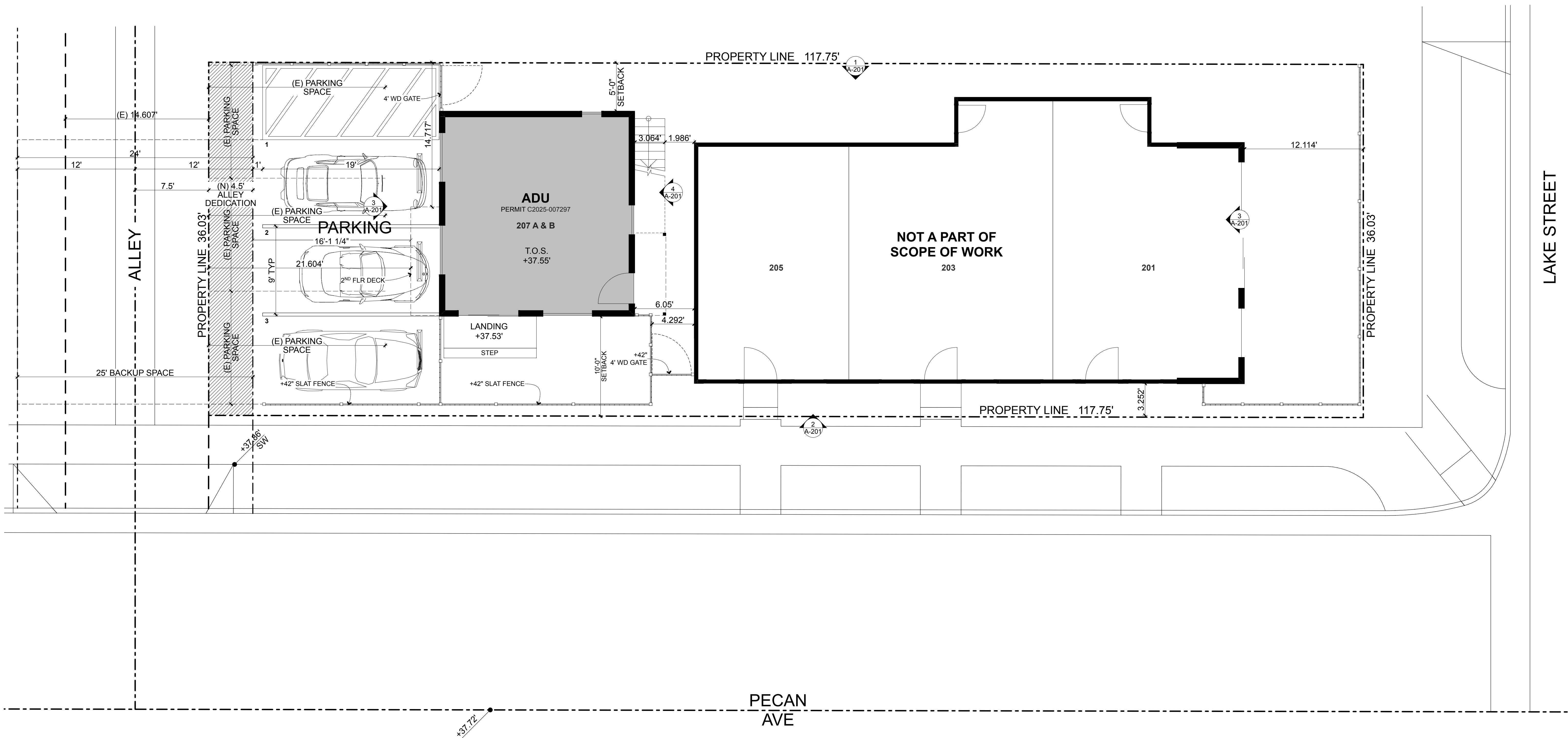
PREPARED UNDER THE DIRECTION OF:
DANIEL RUBIO R.C.E. 60954/P.L.S.8239 DATE

KC COULTRUP

EXISTING TOPOGRAPHY AND BOUNDARY
205 PECAN AVENUE

HUNTINGTON BEACH CALIFORNIA

DWG. NO. **26-2851-EX** SHEET NO. **C-001** REV.



LAKE STREET

PECAN AVE

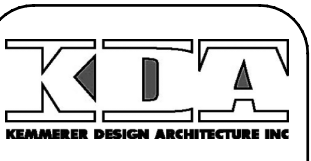
ARCHITECTURAL SITE PLAN NEW ADU
SCALE: 1" = 5'

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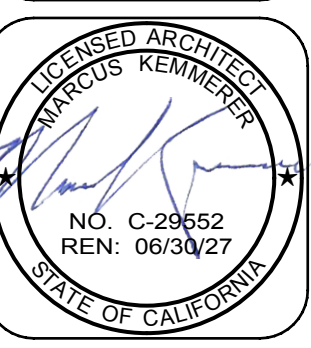
PECAN
NEW 2-STORY ADU
207 A & B PECAN AVE
HUNTINGTON BEACH, CA 92648

Revisions:	Date:

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Checked by: MK
Job Status: CONST DOC

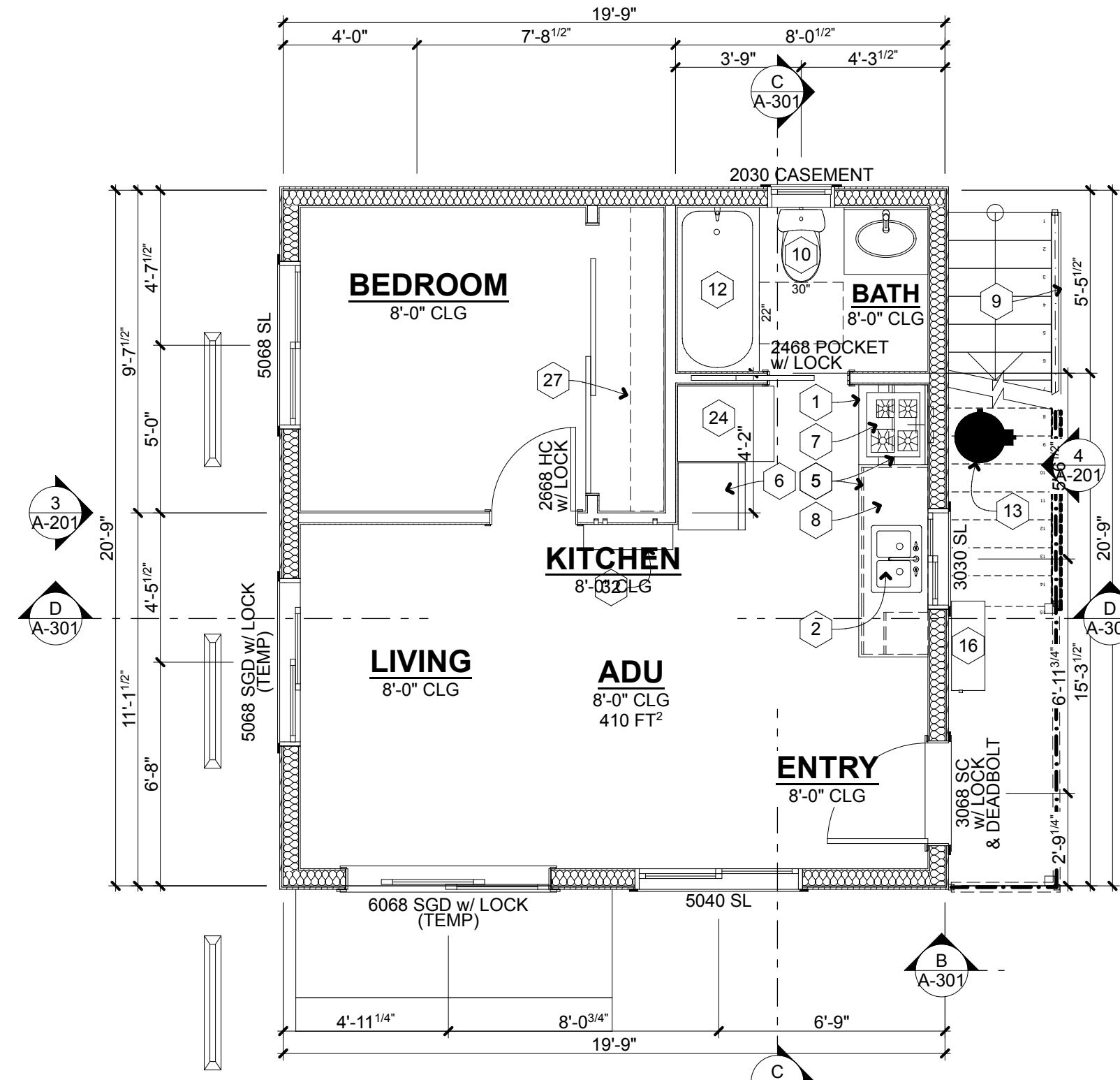
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Sheet Number:
AS-001
Total Sheet Count: 27



NEAREST BUSTOP COMPLIANCE

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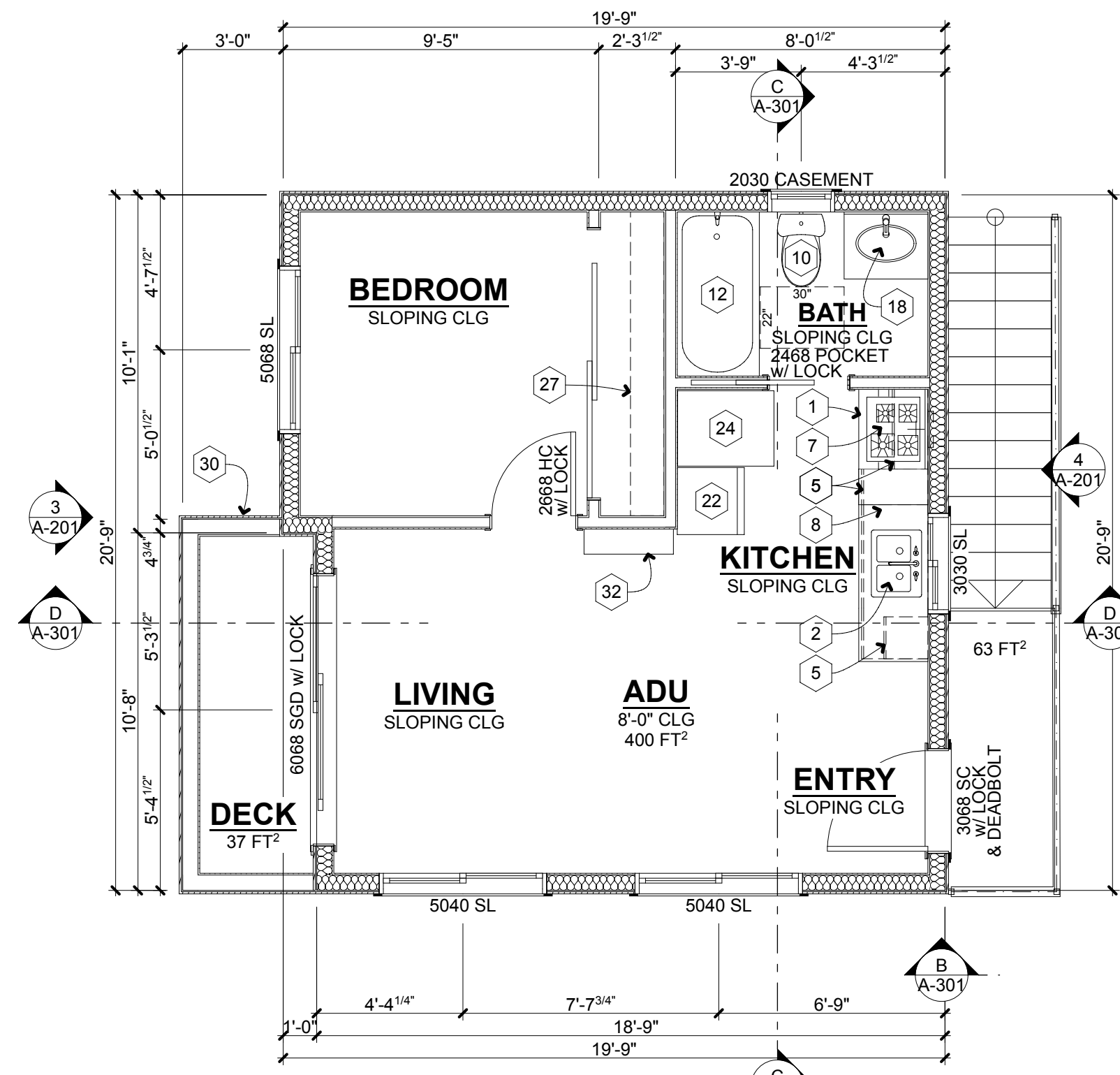
NOT TO SCALE



FIRST FLOOR ADU PLAN

4

SCALE: 1/4" = 1'-0"



SECOND FLOOR ADU PLAN

5

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- 1 28" ELECTRIC OVEN / COOKTOP
- 2 SINK W/ FLEX GOOSE NECK
- 3 FAUCET & "BADGER 5XP-3 1/2HP GARBAGE DISP. (SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE @ 80 PSI) / MAX BOOST FLOW 2.2 GAL PER MIN. TO FILL POTS & PANS)
- 4 DISHWASHER
- 5 UNDER COUNTER MICROWAVE DRAWER
- 6 CABINET MILLWORK
- 7 REFRIGERATOR
- 8 STOVE HOOD EXHAUST FAN (500 C.F.M.)
- 9 ENG. STONE COUNTERTOP
- 10 BALCONY / STAIR RAIL
- 11 WATER CLOSET (SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH)
- 12 WALK-IN SHOWER W/ SHOWER HEAD CONTROLS AND FLEX NOZZLE - SEE PLAN FOR SIZE - MIN 7.1 FT² (SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE @ 80 PSI) COMBINED FOR MULTIPLE SHOWER HEADS
- 13 BATH/SHOWER TUB (SHALL HAVE A WATER FLOW NOT TO EXCEED 1.2 GALLONS PER MINUTE)
- 14 GAS TANK WATER HEATER (INSTALL PER MANUFACTURER'S SPECIFICATION. ALL BURNERS AND IGNITION DEVICES SHALL NOT BE LESS THAN 18" ABOVE THE FLOOR. AT MIN SHALL BE SECURED IN ACCORDANCE WITH CPC, OR MODIFICATIONS MADE HERETO BY CITY, COUNTY, OR CITY AND COUNTY PURSUANT TO SECTION 17958.5)
- 15 LINE OF FLOOR ABOVE
- 16 DRYER EXHAUST VENT (SHALL NOT TERMINATE LESS THAT 3 FEET FROM OPERABLE WINDOW/DOOR OPENINGS)
- 17 CONDENSER UNIT
- 18 PANTRY SHELVING
- 19 VANITY SINK (SHALL HAVE A WATER FLOW NOT TO EXCEED 1.2 GALLONS PER MINUTE)
- 20 ADDRESS NUMBERS (MUST CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MIN. OF 4" HIGH W/ A MINIMUM STROKE OF 1/2" (R319.1))
- 21 3/4" TYPE 'X' GYP BOARD
- 22 30"x30" ATTIC ACCESS
- 23 "F.A.U." FORCED AIR UNIT (VTO) (INSTALL PER MANUF. SPECS)
- 24 DROP BEAM (SEE STRUCTURAL DWGS FOR INFORMATION NOT SHOW HERE)
- 25 COMBINATION WASHER / DRYER (VENT TO OUTSIDE AIR. VERTICAL VENTS MUST HAVE IN LINE CLEAN OUT ACCESSIBLE FROM INSIDE OF ROOM DRYER IS INSTALLED IN)
- 26 SIDE MOUNT GARAGE DOOR OPENER (SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 325)
- 27 DECK FLEX CLASS A FIRE RATED ELASTOMERIC WATERPROOFING (OR ARCHITECT APPROVED SUBSTITUTION) (ESR-3672)
- 28 SHELF AND POLE
- 29 2x INFILL
- 30 INSULATION PER TITLE 24 REPORT ON G-005
- 31 GUARD WALL (+42" ABV FINISH FLOOR)
- 32 1/2" GYP BOARD
- 33 MIN SPLIT HEAT PUMP

WINDOW NOTES

- 1 WINDOWS TO BE OWNER SELECTED
- 2 ALL GLAZING (SLIDING DOORS & PANELS IN SWINGING DOORS) WITHIN 18" OF WALKING OR WITHIN 40" OF LOCKING DEVICE OF EXT. DOORS SHALL BE TEMP. SAFETY GLASS.
- 3 EGRESS FROM BEDROOMS
PROVIDE EMERGENCY EXIT DOOR/WINDOW FROM EA. SLEEPING ROOM. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. MIN. NET WINDOW OPENING WIDTH DIMENSION TO BE 20" CLEAR +/- MIN. NET. OPENING HGT. TO BE 24" CLEAR. FINISH SILL HEIGHT MAX. 44" ABOVE.
- 4 WINDOWS MANUFACTURED BY AND INSTALLATION PER MANUFACTURER'S SPECS.
- 5 ALL NEW GLAZING WILL BE INSTALLED WITH CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- 6 WINDOW A.F.F HGT. ARE MEASURE FROM ABOVE FINISH FLOOR HEIGHT TO BOTTOM OF WINDOW GLAZING
- 7 WINDOW MEASUREMENTS MADE FROM EDGE OF GLAZING
- 8 ALL OPERABLE WINDOW SHALL BE SCREENED

NOTES TO SUPPLIERS:

1. SUBCONTRACTOR / SUPPLIER TO FURNISH WINDOW SPECIFICATIONS, GLAZING OPTIONS, HEAD / JAMB AND SILL DETAILS, SCREEN TYPES AND DETAILED WINDOW SCHEDULE W/ R.O. PRIOR TO ORDERING AND FABRICATION. ARCHITECT TO REVIEW SHOP DWGS. AND WINDOW SCHEDULE PRIOR TO FABRICATION ORDER.
2. SUPPLIER TO INSTALL / FABRICATE ALL REQUIRED CBC GLAZING WINDOWS W/ TEMPERED GLASS IN ACCORDANCE W/ 2016 CBC ED.
3. VERIFY ALL R.O. SIZES PRIOR TO FRAMING FOR UNITS. SUPPLIER TO SUBMIT ALL FRAME & R.O. SIZES AND THOSE WINDOWS REQUIRING BRICK MOULD & JAMB EXTENSIONS.
4. SUPPLIER TO VERIFY ALL APPLICABLE EMERGENCY EGRESS WINDOWS AT BEDROOM LOCATIONS.
5. VERIFY ALL PRIMED WINDOWS W/ ARCHITECT, OWNER OR INTERIOR DESIGNER PRIOR TO FABRICATION. BID OPTIONAL PRIME & ONE COAT FACTORY FINISH.

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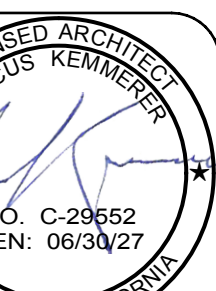
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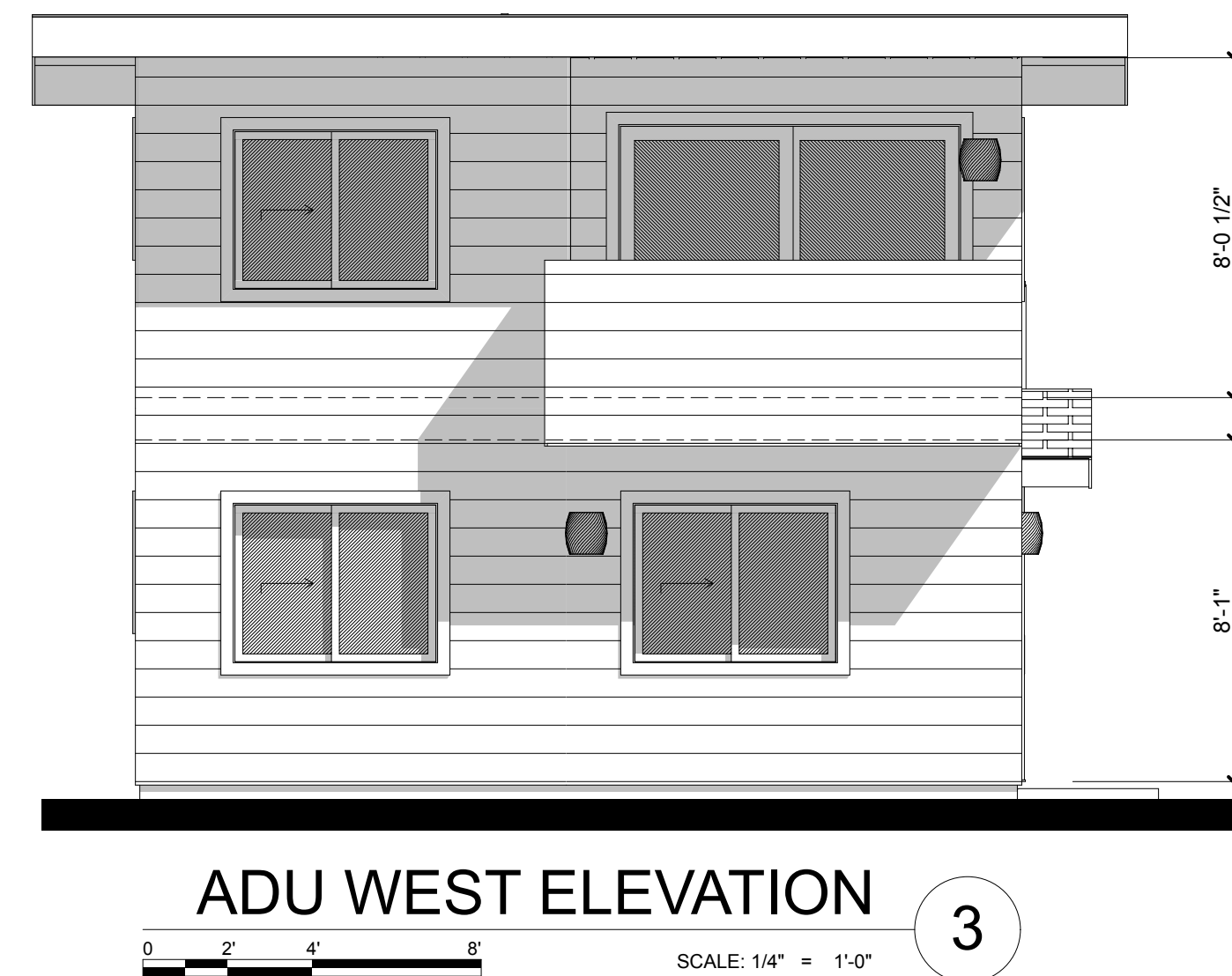
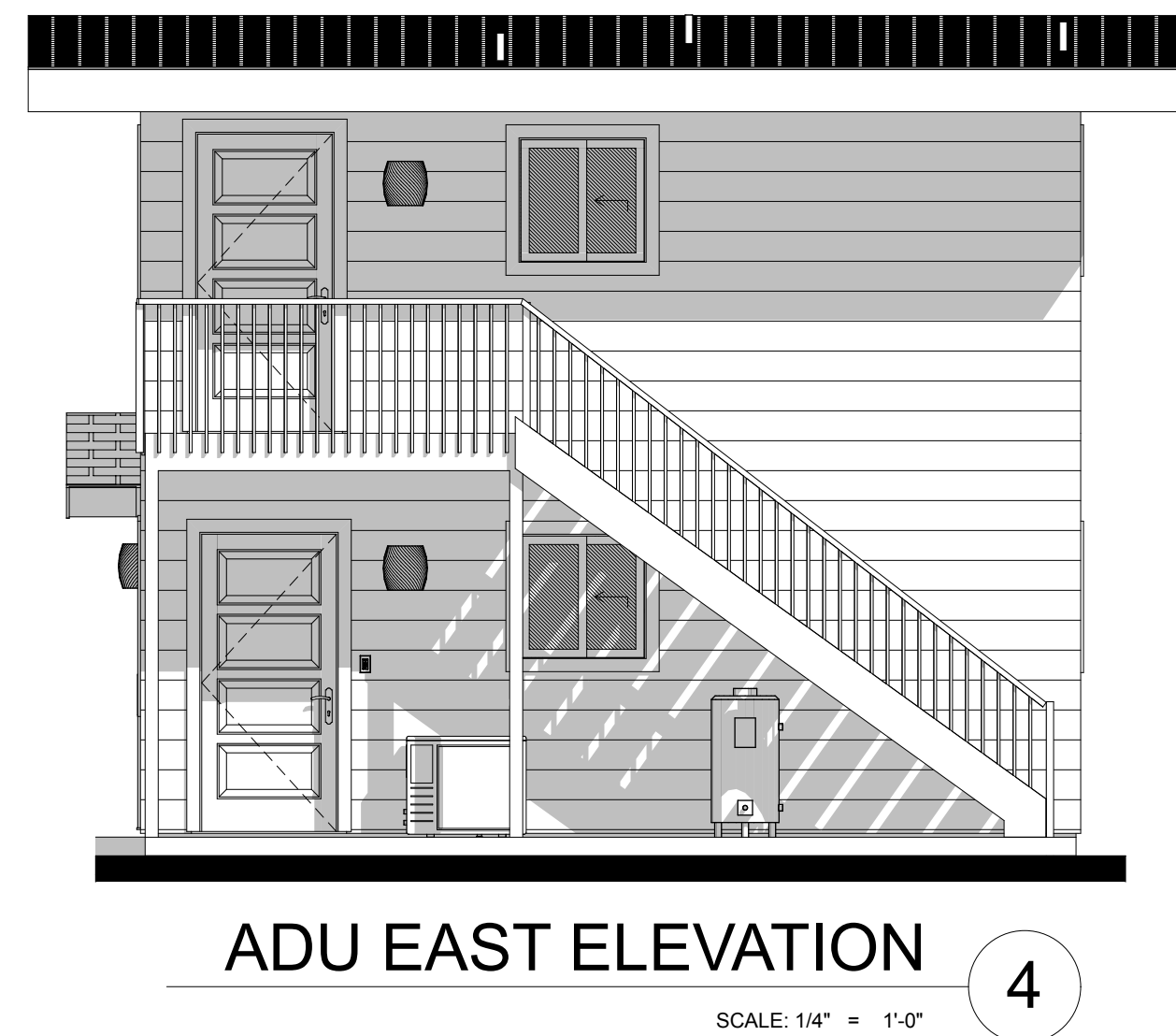
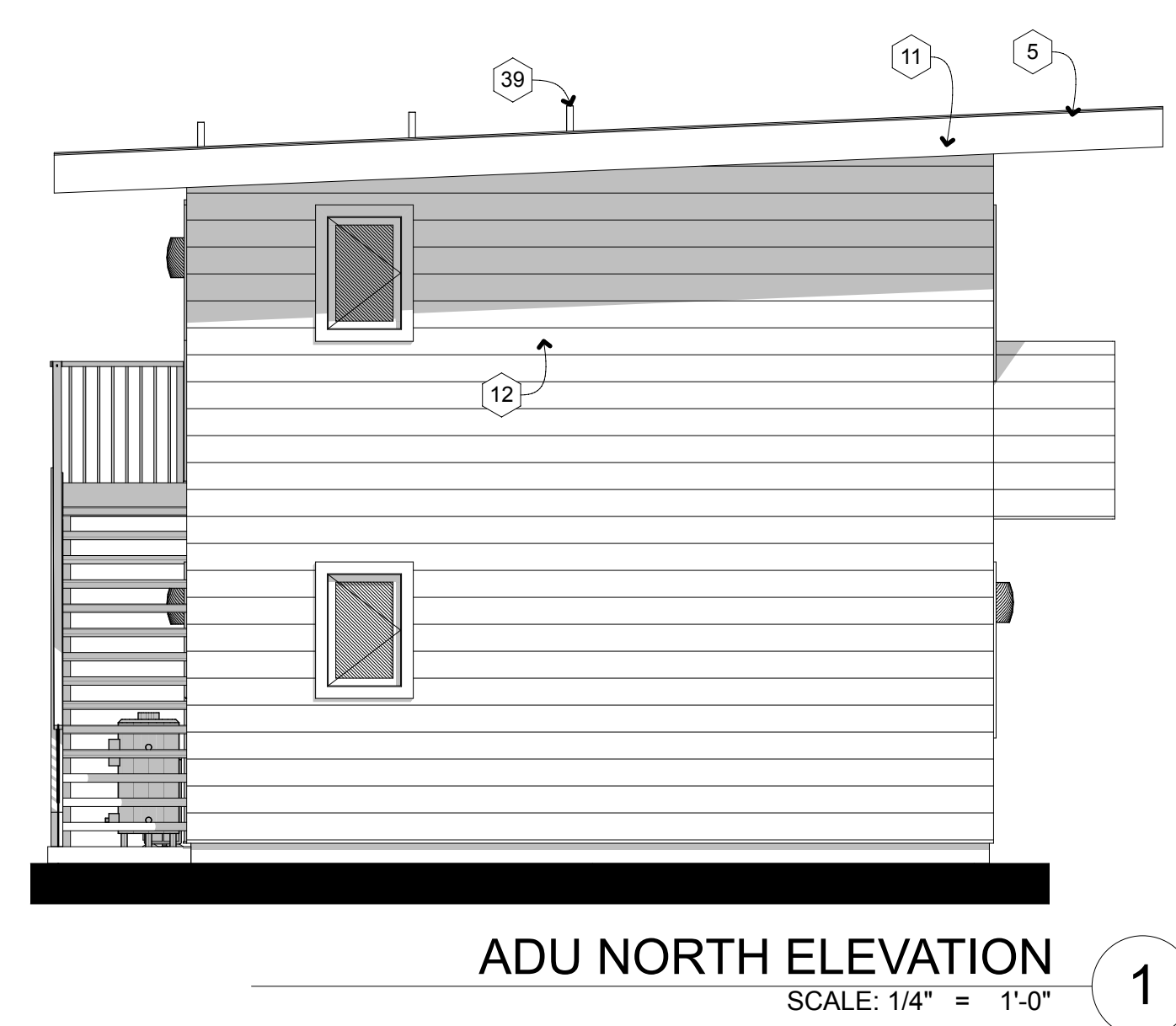
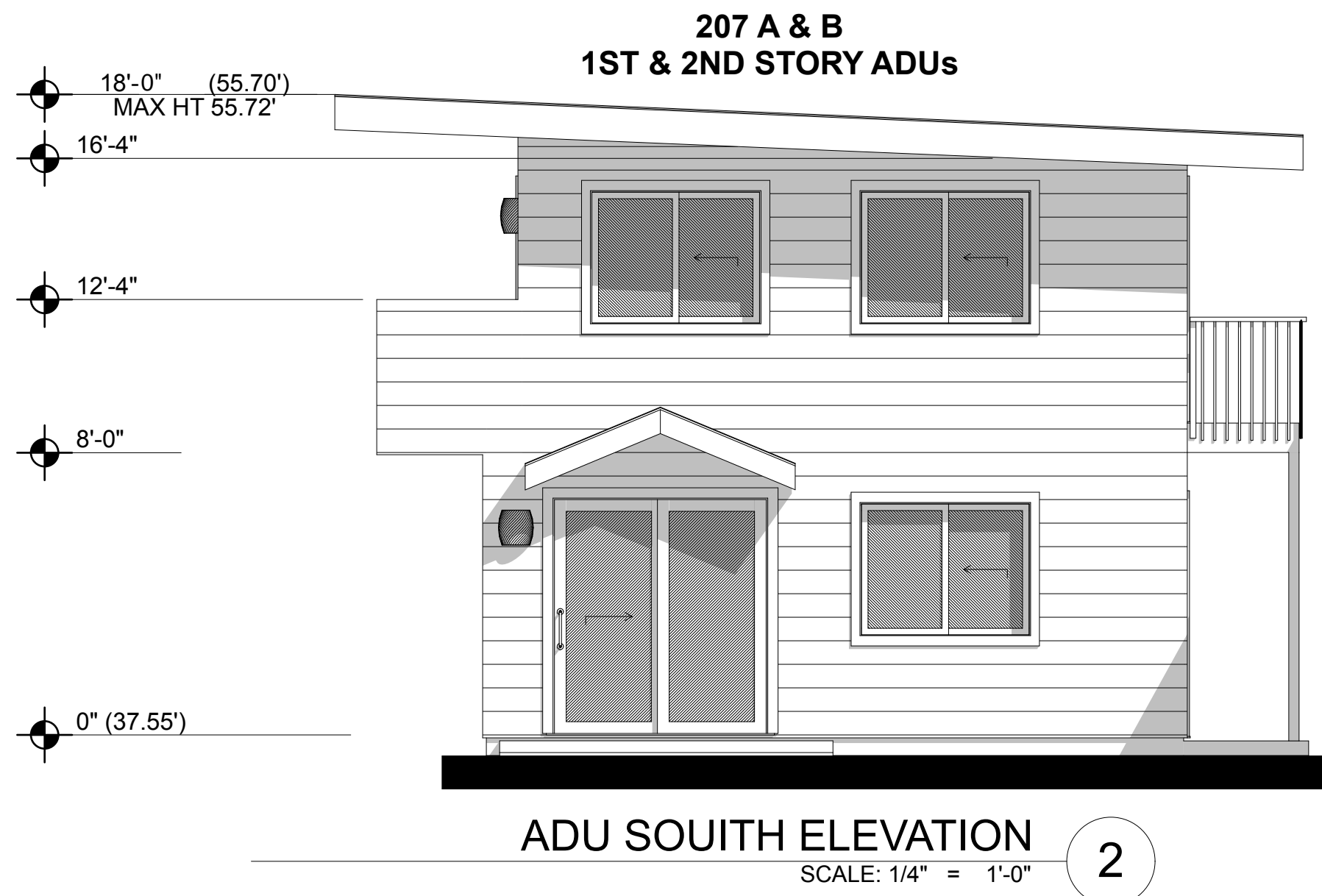
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Drawing:
FIRST & SECOND FLOOR ADU PLANS

Sheet Number:

A-101

Total Sheet Count: 27



ELEVATION/SECTION KEY NOTES

- 1 1/4" STUCCO
- 2 (E) CONTINUOUS G.I. STUCCO SCREED
- 3 CONCRETE SLAB
- 4 (E) SLAB / FOUNDATION
- 5 ROOF MATERIAL (REFER TO ROOF NOTES)
- 6 G.I. FLASHING
- 7 POT SHELF
- 8 STUCCO SOFFIT OVER METAL LATH W/ G.I. DRIP
- 9 RIDGE BEAM
- 10 5/8" TYPE 'X' GYPSUM BOARD
- 11 RESAWN FASCIA OR BARGE BOARD (SEE ELEVATION FOR SIZE)
- 12 RESAWN TRIM (SEE ELEVATION FOR SIZE)
- 13 DOWNSPOUT CONNECTED TO GUTTER
- 14 GUTTER CONNECTED TO DOWNSPOUT
- 15 LINE OF CEILING
- 16 LINE OF SHELF
- 17 LINE OF SOFFIT
- 18 EXTERIOR GRADE PLYWOOD SOFFIT
- 19 FAU
- 20 FRY REGLET - 1/2" CHANNEL SCREED/CONTROL JOINT
- 21 14"x18" G.I. SCREED & LOUVERED COMBUSTION AIR VENT
- 22 14"x24" G.I. SCREED & LOUVERED COMBUSTION AIR VENT
- 23 NEW WALL
- 24 EXISTING WALL
- 25 SOLAR PANELS (SEPARATE PERMIT AND SUBMITTAL)
- 26 SECTIONAL GARAGE DOOR
- 27 HSS BEAM (SEE STRUCTURAL FOR MORE INFORMATION)
- 28 2X DOUBLE TOP PLATE
- 29 2X SILL PLATE
- 30 2X MID BLOCK
- 31 WOOD HEADER (SEE STRUCTURAL FOR MORE INFORMATION)
- 32 SHEATHING O/ TJI FLOOR JOISTS (SEE STRUCTURAL FOR MORE INFORMATION)
- 33 SHEATHING O/ 2X FLOOR JOISTS (SEE STRUCTURAL FOR MORE INFORMATION)
- 34 2X CEILING JOIST (SEE STRUCTURAL FOR MORE INFORMATION)
- 35 2X ROOF RAFTERS (SEE STRUCTURAL FOR MORE INFORMATION)
- 36 (E) 2X STAIR STRINGERS (SEE STRUCTURAL FOR MORE INFORMATION)
- 37 A/C UNIT
- 38 WOOD GUARD RAIL
 - OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE
 - OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPENING SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER MAX. SPHERE
 - GUARDRAIL MUST WITHSTAND A 200 LB. FORCE AT TOP OF THE RAILING ACTING IN ANY DIRECTIONS, AND A MINIMUM 50 LB. FOR INTERMEDIATE GUARD COMPONENTS
- 39 PLUMBING VENT
- 40 TONGUE & GROOVE WOOD SOFFIT
- 41 INSULATION PER TITLE 24
- 42 CARLISLE SEALTILE PRO SPRAY POLYURETHANE FOAM INSULATION
- 43 ELASTOMERIC FLOORING OVER SHEATHING OVER
- 44 2X DECK JOIST (SEE STRUCTURAL FOR MORE INFORMATION)
- 45 SHELF AND POLE
- 46 TONGUE & GROOVE WOOD CEILING

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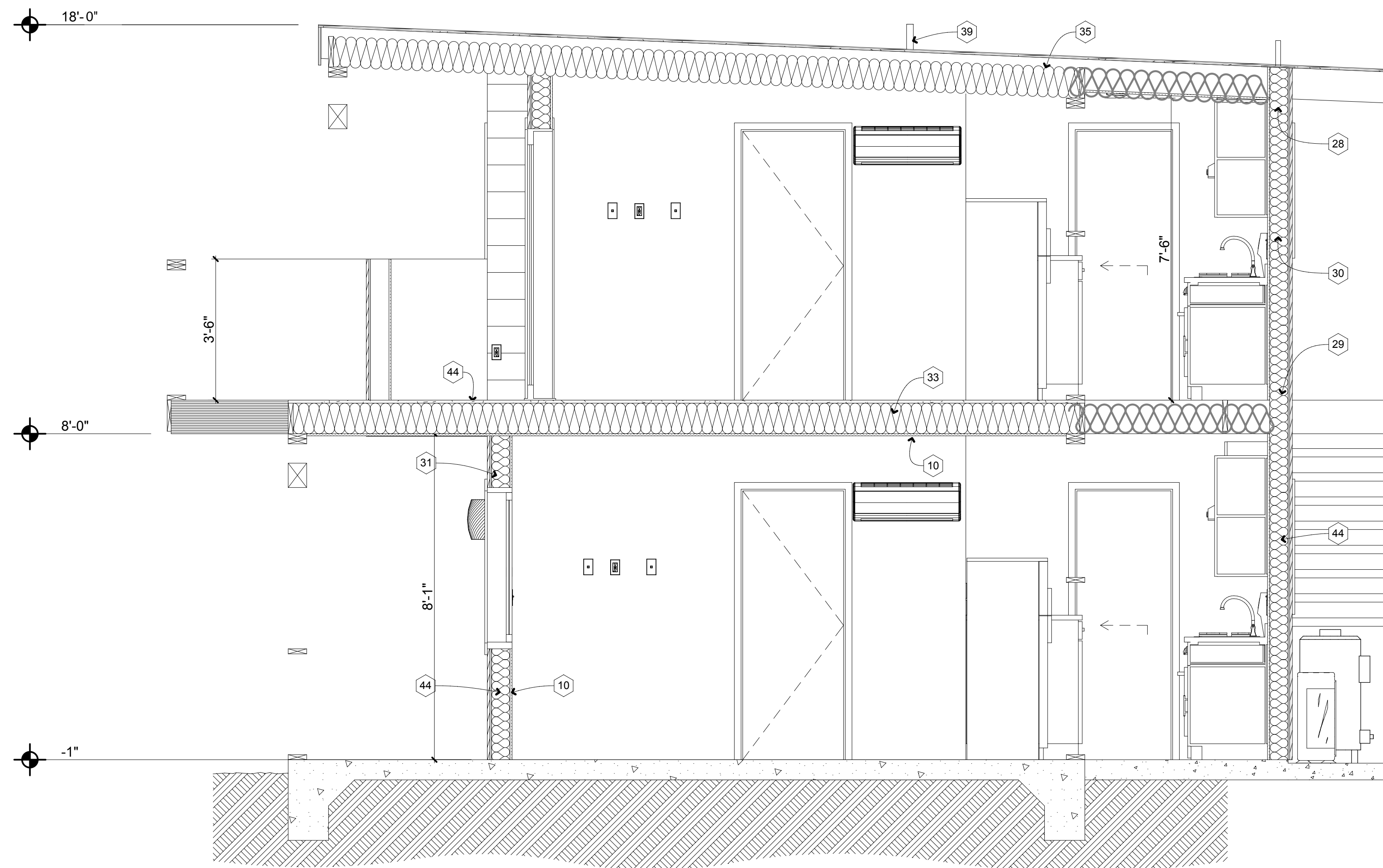
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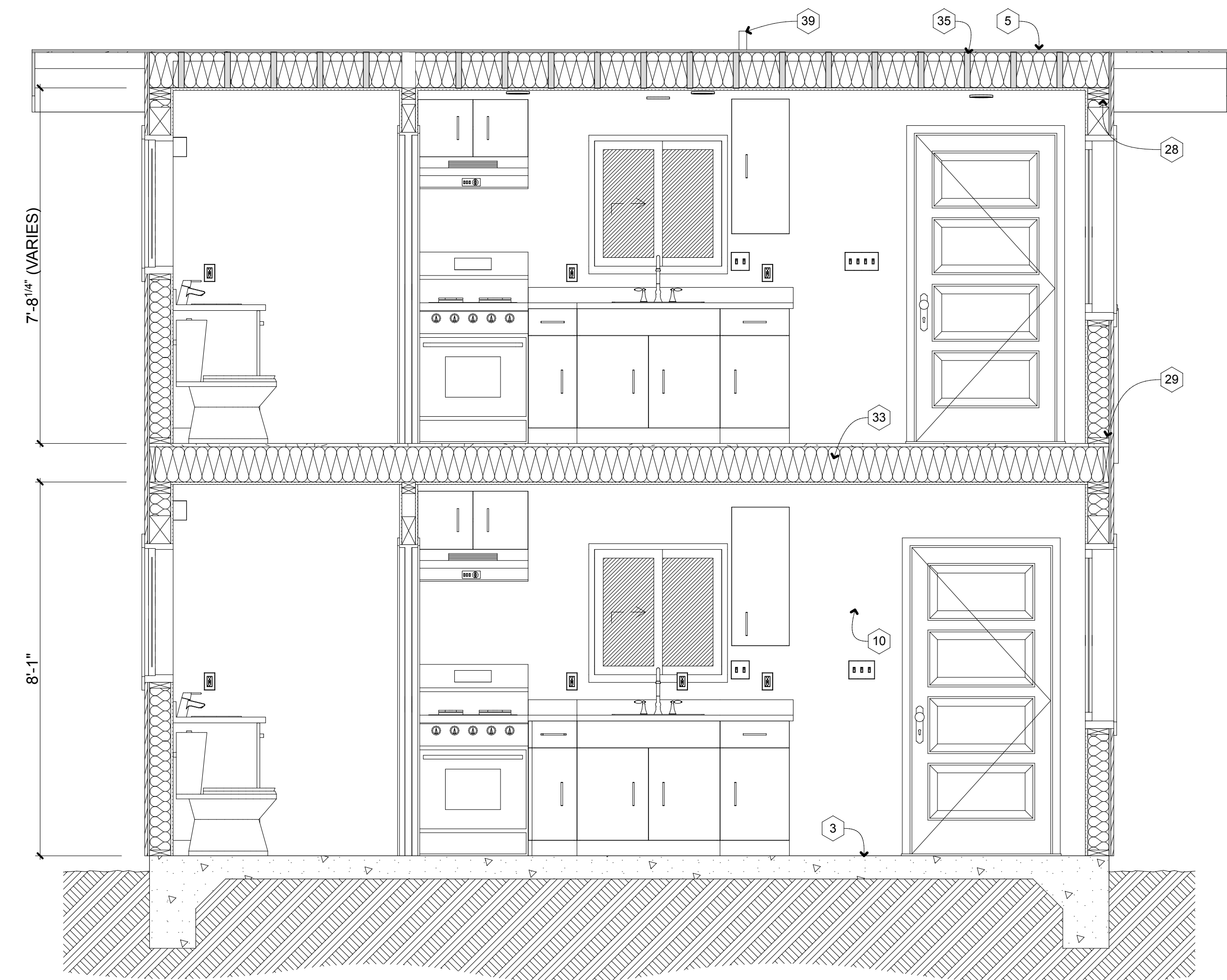


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Drawing:
EXTERIOR ELEVATIONS
Sheet Number:
A-201
Total Sheet Count: 27



BUILDING SECTION ADU D
SCALE: 1/2" = 1'-0"



BUILDING SECTION ADU C
SCALE: 1/2" = 1'-0"

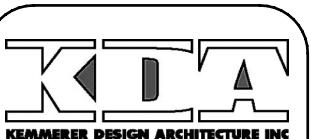
SECTION KEY NOTES

- | | |
|---|---|
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| 2 (E) CONTINUOUS G.I. STUCCO SCREED | 38 WOOD GUARD RAIL |
| 3 CONCRETE SLAB | - OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE |
| 4 (E) SLAB / FOUNDATION | - OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPENING SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER MAX. SPHERE |
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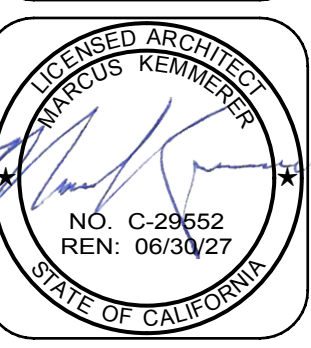
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