NEW SINGLE FAMILY

16482 SOMERSET LANE, HUNTINGTON BEACH, CA 92649

ARCHITECTURAL SYMBOLS

SECTION: SECTION LETTER / SHEET NUMBER
DETAIL: DETAIL NUMBER / SHEET NUMBER
DOOR NUMBER
WINDOW TYPE
SHEET LAYOUT DESIGNATION / VIEW NUMBER / SHEET NUMBER
COLUMN GRID
EXTERIOR ELEVATION: ELEVATION LETTER / SHEET NUMBER
INTERIOR ELEVATION: SHEET NUMBER / ELEVATION LETTER
EQUIPMENT NUMBER
ELEVATION TAG
SPOT ELEVATION
REVISION
CENTER LINE
PROPERTY LINE
ROOF SLOPE INDICATION
NORTH DESIGNATION
GRAPHIC SCALE
CHANGE IN ELEVATION

DIRECTORY

OWNER:
CHI HOANG THUY VU
16482 SOMERSET LANE
HUNTINGTON BEACH, CA 92649
Tel: (714) 510 4754
Email: qteel123@yahoo.com

DESIGNER - ANHA studio
386 MONTEREY
WESTMINSTER, CA 92683
Tel: (714) 200 4122

STRUCTURAL ENGINEERING: ND-ENGINEERING
TRUONG DONG
7661 GARDEN GROVE BLVD
GARDEN GROVE, CA 92841
Tel: (714) 617 5979

DEFERRED SUBMITTAL

- SOLAR PV SYSTEM WILL BE UNDER A SEPARATE PERMIT

PROJECT DATA

ADDRESS: 16482 SOMERSET LANE
HUNTINGTON BEACH, CA 92649
COUNTY NAME : COUNTY OF ORANGE
ASSESSOR PARCEL NUMBER: 178 411 12
ZONE: R-L
BUILDING CLASSIFICATION: SINGLE FAMILY
OCCUPANCY GROUPS: R-3/U
NUMBER OF STORIES: 3 STORY
TYPE OF CONSTRUCTION: TYPE V-B
FIRE SPRINKLER : "NO"

CODES COMPLY:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING

MUNICIPAL CODE OF HUNTINGTON BEACH CITY

DRAWING INDEX

ARCHITECTURAL		STRUCTURAL	
SHEET	DESCRIPTION	SHEET	DESCRIPTION
CV.1	COVER SHEET		
A0.1	1ST FLOOR COUNTED TO LOT COVERAGE		
A0.2	2ND FLOOR COUNTED TO LOT COVERAGE		
A1.0	SITE PLAN OVERLOOK NEIGHBORHOOD		
A1.1	PROPOSED SITE PLAN, (E) SITE PLAN AND DEMO FLOOR PLAN		
A1..2	PROPOSED 2ND FLOOR PLAN (E) 2ND FLOOR PLAN AND DEMO		
A1.3	PROPOSED 3RD FLOOR PLAN (N) ROOF PLAN		
A1.4	1ST FLOOR PLAN AND 2ND FLOOR PLAN		
A1.5	3RD FLOOR PLAN AND ROOF PLAN 2ND FLOOR PLAN		
A2.0	ELEVATIONS		
A2.1	ELEVATIONS		
A2.2	SECTIONS		
A2.3	SECTIONS		
G.1	CAL GREEN BUILDING		
G.2	CAL GREEN BUILDING		

DEMOLITION NOTES

1. THE DEMOLITION PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE SPECIFIC SCOPE OF DEMOLITION WORK REQUIRED FOR THIS PROJECT.
2. BEFORE BEGINNING WORK AT THE SITE AND THROUGH OUT THE COURSE OF THE WORK, CONTRACTOR SHALL FIELD VERIFY AND INSPECT THE LOCATIONS AND CONDITIONS OF EVERY ITEM AFFECTED BY THE WORK, AND NOTIFY THE ARCHITECT OR OWNER OF ANY DISCREPANCIES IN ORDER TO OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK.
3. THE GENERAL CONTRACTOR SHALL INCLUDE IN THEIR [PRICING/BID], AN AMOUNT SUFFICIENT TO COVER THE COST OF REMOVING ALL EXISTING ELEMENTS OBSTRUCTING OR INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER OR NOT THE EXISTING CONDITION IS INDICATED ARCHITECTS DRAWINGS.
4. THE GENERAL CONTRACTOR SHALL COORDINATE THE DEMOLITION AND TAKE ALL PRECAUTIONS REQUIRED TO MINIMIZE DISTURBANCE OF BUILDING OCCUPANTS.
5. THE GENERAL CONTRACTOR SHALL REMOVE DEBRIS FROM THE PREMISES DAILY, KEEP OCCUPIED AREAS ADJACENT TO DEMOLITION BROOM CLEAN AND FREE OF DEBRIS, AND PREVENT DUST AND DEBRIS FROM MIGRATING OUT OF THE DEMOLITION AREA.
6. THE GENERAL CONTRACTOR SHALL PROTECT FROM DAMAGE ALL MATERIALS, CONSTRUCTION, UTILITIES AND OTHER ITEMS AND APPURTENANCES NOT SCHEDULED FOR DEMOLITION WITHIN OR OUTSIDE THE BUILDING. DAMAGED ITEMS SCHEDULED TD REMAIN AND/OR BE REUSED SHALL REPAIRED TO MATCH ORIGINAL FINISH AT NO ADDITIONAL. COST TO OWNER.
7. THE FOLLOWING ITEMS ARE TO BE REMOVED CAREFULLY TO AVOID DAMAGE, CLEANED IF NECESSARY AND REUSED DURING CONSTRUCTION OF THIS PROJECT:
   A. ALL LIGHT FIXTURES AND CEILING MECHANICAL FIXTURES.
   B. ALL PLUMBING FIXTURES AND ACCESSORIES
   C. DOORS AND WINDOWS.
   D. FURNITURE
8. REMOVE ALL OBSOLETE AND INACTIVE EXPOSED CONDUITS, JUNCTION BOXES, PIPES, DUCTS, SUSPENSION WIRES, TELEPHONE, DATA AND OTHER MISCELLANEOUS CABLE AND CAP.
9. OWNER SHALL IDENTIFY KEPT/STORED ITEMS AND ITEMS TO BE DISCARDED BY CONTRACTOR.
10. DEMOLITION UNDER SEPERATE PERMIT

- CONSTRUCTION WORK HOURS ARE 7 AM-8 PM, M-F; 9 AM-8 PM, SATURDAY; NO SUNDAY OR LEGAL HOLIDAYS.

GENERAL INFORMATION

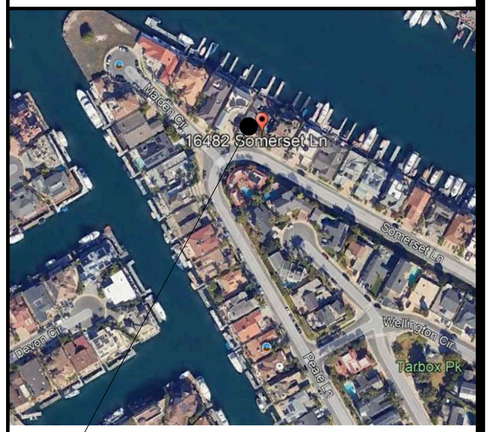
ADDRESS	16482 SOMERSET LANE, HUNTINGTON BEACH, CA 93649	
APN #	178 – 411 – 12	
ZONE	R–L	
TR:	4677	
LOT:	45	
LOT SIZE:	7,215 SF	
	REQUIRED	PROVIDED
FRONT SET BACK	20'–0"	24'–0"
SIDE SET BACK	5'–0"	5'–0"
REAR SET BACK	15'–0"	22'–0"
SIDE SET BACK	5'–0"	5'–0"
HIGH LIMIT	35'–0"	34'–11"
(E) HOUSE LIVING AREA	6 BEDS/ 6.5 BATHS – 4,479 SF	
(E) 1ST FLOOR AREA	2,674 SF	
(E) 2ND FLOOR AREA	2,425 SF	
(E) 2 CAR GARAGE	488 SF	
(N) HOUSE LIVING AREA	5 BEDS/ 5.5 BATHS – 7,392 SF	
(N) 1ST FLOOR LIVING AREA	2,757 SF	
(N) 2ND FLOOR LIVING AREA	3,398 SF	
(N) 3RD FLOOR LIVING AREA	1,237 SF	
(N) 3 CARS GARAGE	682 SF	
(N) 3 BALCONY AREA	201 SF	
(N) TOTAL AFTER ADDED LIVING AREA	7,392 SF	
(E) BUILDING FOOTAGE	2,674+488=3,162/7,215 SF	43.82%
(N) BUILDING FOOTAGE	2,757+682+3,606/7,215 SF	49.92%
(N) LOT COVERAGE (3,606SF/7,215SF =49.92%)		

SCOPE OF WORK

NEW SINGLE HOUSE LIVING AREA 5 BEDS/ 5.5 BATHS - 7,392SF

- NEW 1ST FLOOR LIVING AREA 2,757 SF
- NEW 2ND FLOOR LIVING AREA 3,398 SF
- NEW 3RD FLOOR LIVING AREA 1,237 SF
- NEW TOTAL LIVING AREA 7,392 SF
- NEW 3 CARS GARAGE 682 SF
- NEW 3 BALCONY AREA 201 SF

VICINITY MAP



16482 SOMERSETLANE
HUNTINGTON BEACH, CA 92649

N

AGENCY REQUIREMENTS

A. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)
B. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WTHIN 180 DAYS . A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS IF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (R105.5 CRC)
C. FIRE SPRINKLER PLANS STAMPED AND APPROVED BY THE CITY OF HUNTINGTON BEACH FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.
D. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH, 1.28 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)
E. URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.0 GALLONS OF WATER PER FLUSH, 0.5 GALLONS PER FLUSH AFTER JULY 1, 2011. (402.2 CPC)
F. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. (402.1.1 CPC)
G. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (402.1.2 CPC)
H. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH Sec. 604.1 OF THE CALIFORNIA PLUMBING CODE. Pex, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF Sec. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND THE MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN Sec. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
I. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2022 CALIFORNIA ENERGY CODE.
J. TWO SEPARATE SITE VISITS AND REPORTS PREPARED BY THE ENGINEEROF RECORD FOR THE NEW HOME DESIGN ARE REQUIRED; (109.3.8 CBC) ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, AND 2022 CALIFORNIA ENERGY CODE.
1. THE ENGINEER OF RECORD SHALL INSPECT THE SLAB AND FOUNDATION SYSTEM INSTALLATION JUST PRIOR TO CONCRETE POUR TO VERIFY THAT THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THE FOUNDATION INSTALLATION IS IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE FOUNDATION INSPECTION AND APPROVAL TO POUR CONCRETE WILL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.
2. THE ENGINEER OF RECORD SHALL ALSO INSPECT THE COMPLETED FRAMING SYSTEM OF THE HOME AFTER THE INSTALLATION OF THE ROUGH PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS AND THE EXTERIOR OF THE HOMES HAS BEEN WEATHER WRAPPED. THE ENGINEER OF RECORD SHALL THEN PREPARE A REPORT STATING THAT TEH FRAMING SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. THE ROUGH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND EXTERIOR WEATHER BARRIER INSPECTION SHALL NOT BE APPROVED UNTIL THE INSPECTION CERTIFICATION LETTER BY THE ENGINEER OF RECORD HAS BEEN RECEIVED AND APPROVED BY THE CITY OF HUNTINGTON BEACH BUILDING DIVISION.
K. A PRE–CONSTRUCTION MEETING IS REQUIRED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THIS MEETING SHALL TAKE PLACE AT THE SITE OF THE NEW HOME. THE MEETING MUST INCLUDE A REPRESENTATIVE OF THE BUILDING DIVISION, THE GENERAL CONTRACTOR, A REPRESENTATIVE OF EACH OF THE SUBCONTRACTORS (ELECTRICAL, PLUMBING, MECHANICAL, GRADING, OFF–SITE CONTRACTOR, ETC.) DEPENDANT UPON WHAT SUB–CONTRACTORS ARE TO BE INVOLVED IN THE NEW CONSTRUCTION AND A REPRESENTATIVE OF THE OWNER MAY BE PRESENT. THE MEETING WILL REVIEW REQUIRED PERMITS, TEMPORARY POWER REQUIREMENTS, DOCUMENTS REQUIRED TO BE ON THE SITE, INSPECTION REQUIREMENTS, FIELD CORRECTION NOTICE PROCEDURE, CHANGES IN THE FIELD, FINAL INSPECTIONS AND GAS AND POWER RELEASES, QUESTIONS FROM THE CONTRACTORS OR OWNER AND ANY OTHER SPECIAL PROCEDURES OR CONDITIONS FOR THAT PARTICULAR NEW HOME. THE PRE–CONSTRUCTION MEETING SHALL BE SCHEDULED THROUGH THE BUILDING DIVISION FRONT COUNTER AT (714)–374–1547.
L. ALL DOORS AND WINDOWS SHALL MEET CITY OF HUNTINGTON BEACH SECURITY ORDINANCE.
M. PROVIDE FOR MAINTENANCE, REPAIR, AND REPLACEMENT BY A HOMEOWNERS ASSOCIATION (HOA) FOR ALL COMMON AREA LANDSCAPE, IRRIGATION, DRAINAGE FACILITIES, WATER QUALITY BMP'S, WATER SYSTEM LINES, FIRE SYSTEM LINES, SEWER SYSTEM LINES, AND PRIVATE SERVICE UTILITIES.
N. CONCRETE SLAB AND UNDER–FLOOR INSPECTIONS SHALL BE MADE AFTER IN–SLAB OR UNDER FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)
O. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS, AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)
P. THE PLANS SHALL PROVIDE STATEMENT SPECIFICALLY LISTING ALL REQUIRED SPECIAL INSPECTIONS FOR THE PROJECT. SPECIAL INSPECTIONS SHALL BE AS REQUIRED BY SECTION 1705 OF THE CBC.

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ANHA studio Email: aha@anha-studio.com

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HUNTINGTON BEACH, CA 92649

CHI HOANG THUY VU
16482 SOMERSET LANE
HUNTINGOTN BEACH, CA 92649
Tel: (714) 510 4754
email: qtee123@yahoo.com

BUILDING DEPARTMENT SUBMITTAL:

REVISIONS:

1	12/30/2025	PLANNING DEPARTMENT
2	03/06/2025	PLANNING DEPARTMENT
3	03/26/2025	PLANNING DEPARTMENT

PROJECT DIRECTOR:
JOB CAPTAIN:
SENIOR ASSOCIATE:
ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:

COVER SHEET

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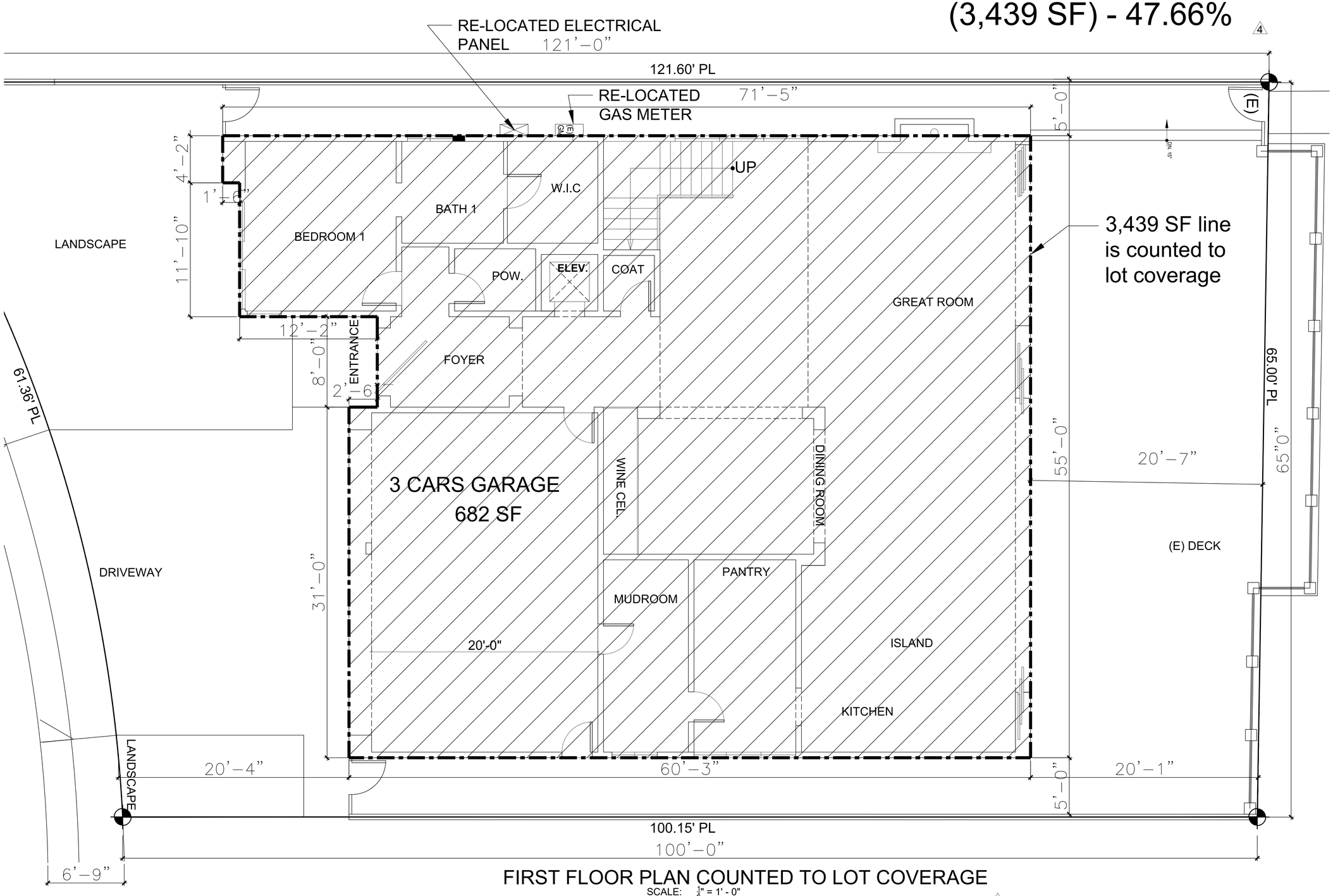
ANHA design studio

SHEET NUMBER:

CV.1

PLOT REFERENCE DATE: 11/10/2024

LOT AREA: 7,215 SF
LOT COVERAGE:
(3,439 SF) - 47.66%



FIRST FLOOR PLAN COUNTED TO LOT COVERAGE

SCALE: $\frac{1}{4}$" = 1' - 0"

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3	03/26/2025	PLANNING DEPARTMENT

PROJECT DIRECTOR:
JOB CAPTAIN:
SENIOR ASSOCIATE:
ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:

1ST FLOOR COUNTED TO LOT COVERAGE

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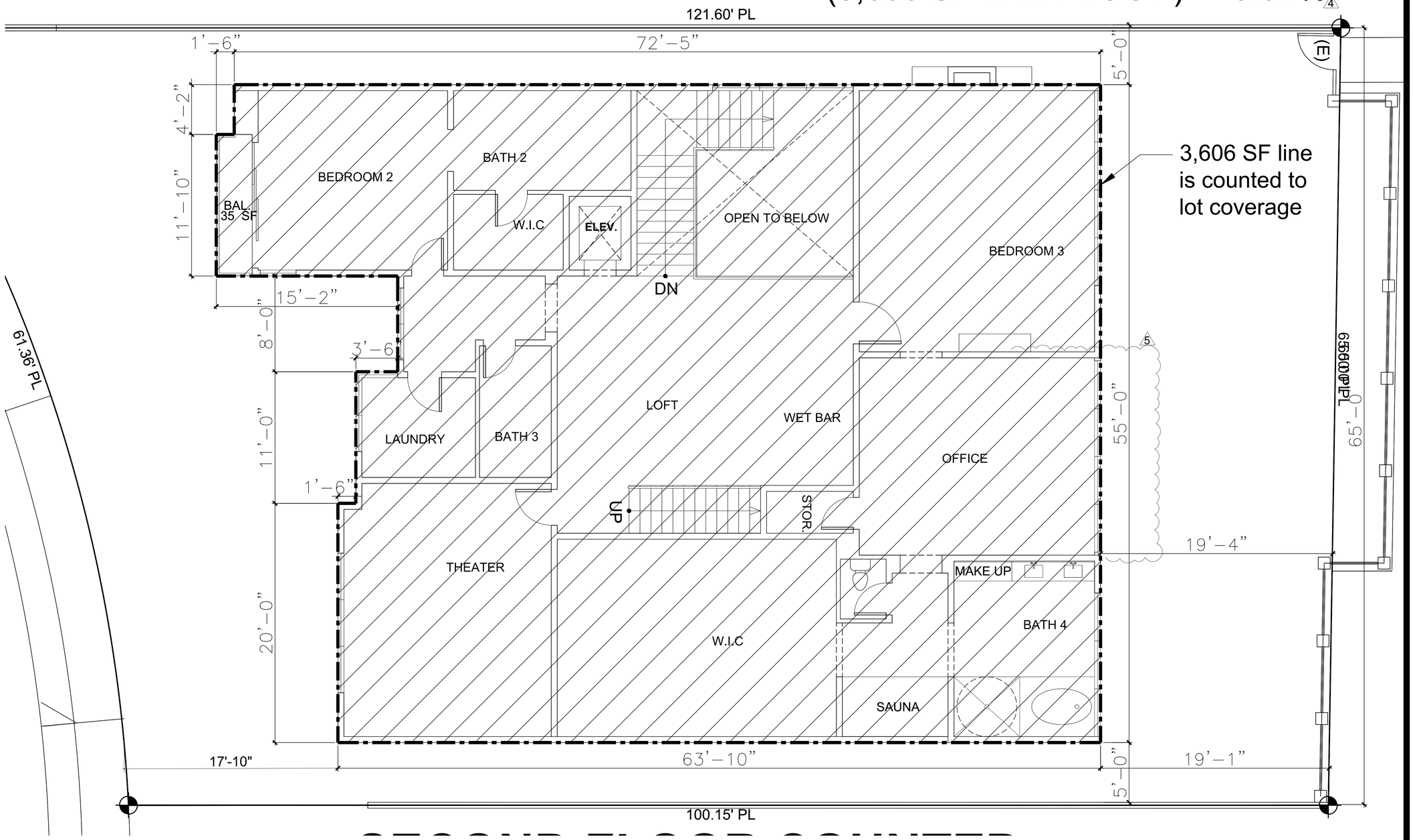
SHEET NUMBER:

A0.1

PLOT REFERENCE DATE: 11/10/2024

ANHA design studio

LOT AREA: 7,215 SF
LOT COVERAGE:
(3,606 SF 2ND FLOOR) - 49.92%



SECOND FLOOR PLAN COUNTED TO LOT COVERAGE

SCALE: $\frac{1}{4}$" = 1' - 0"

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PROJECT CAD FILE:

SHEET TITLE:

SECOND FLOOR COUNTED TO LOT COVERAGE

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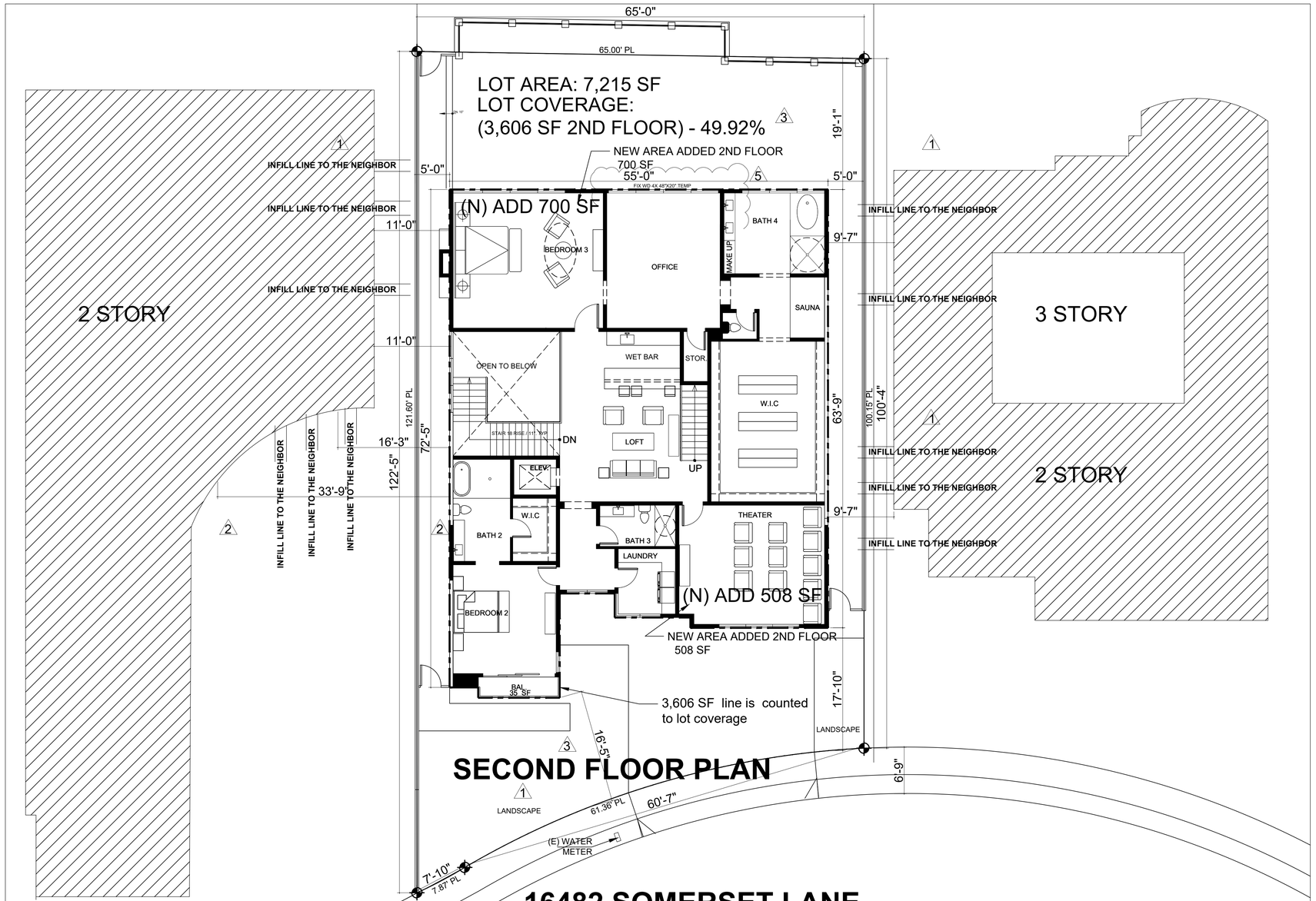
ANHA design studio

SHEET NUMBER:

A0.2

PLOT REFERENCE DATE: 11/10/2024

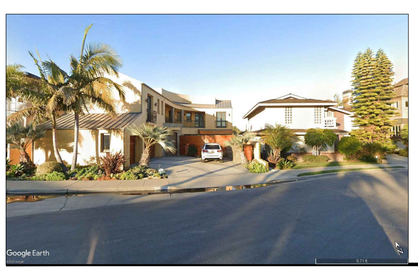


SECOND FLOOR PLAN

16482 SOMERSET LANE
HUNTINGTON BEACH, CA 92649

SITE PLAN OVERLOOK NEIGHBORHOOD
SCALE: $\frac{1}{8}$" = 1' - 0"

N



NOTES:

3 NO PROPOSED UPPER FLOOR BEDROOM OR BATHROOM WINDOWS ON SIDE ELEVATIONS

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ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:
SITE PLAN
OVERLOOK
NEIGHBORHOOD

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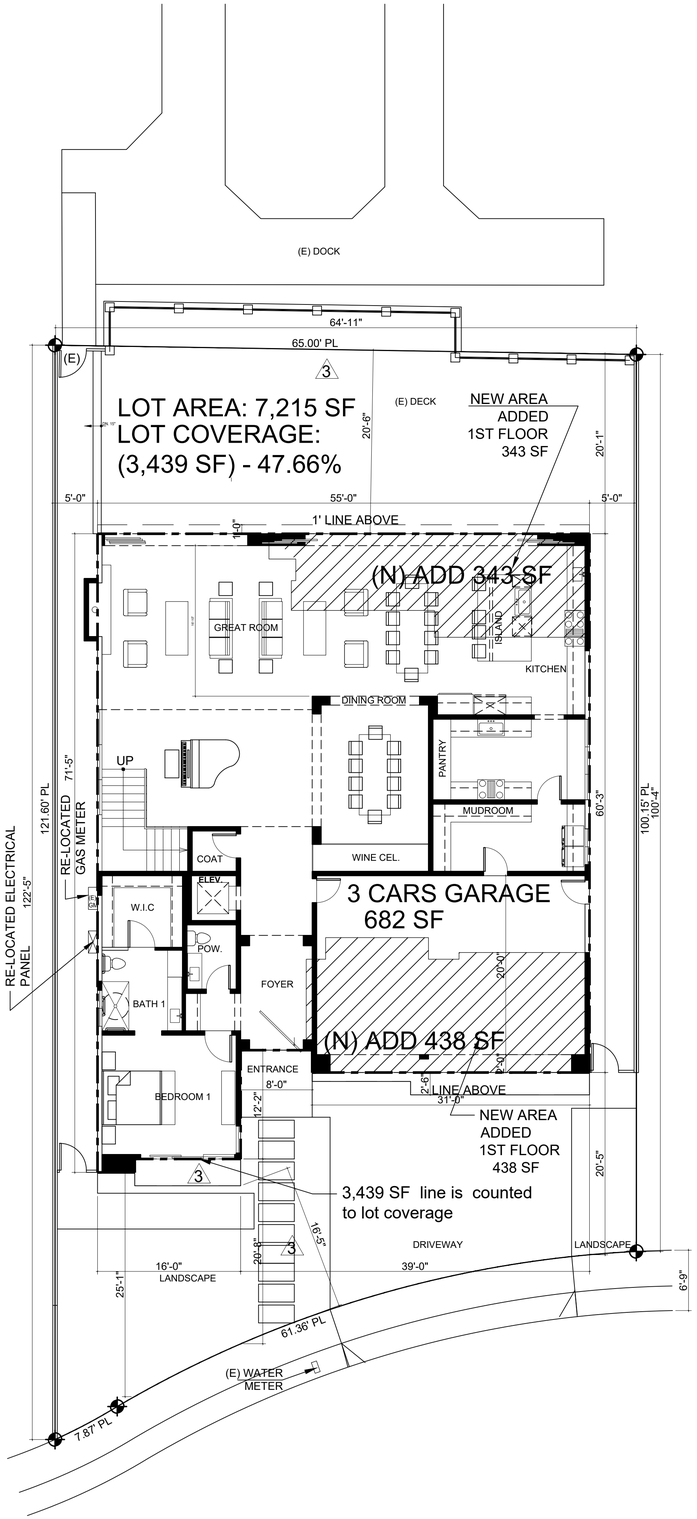
SHEET NUMBER:
A1.0

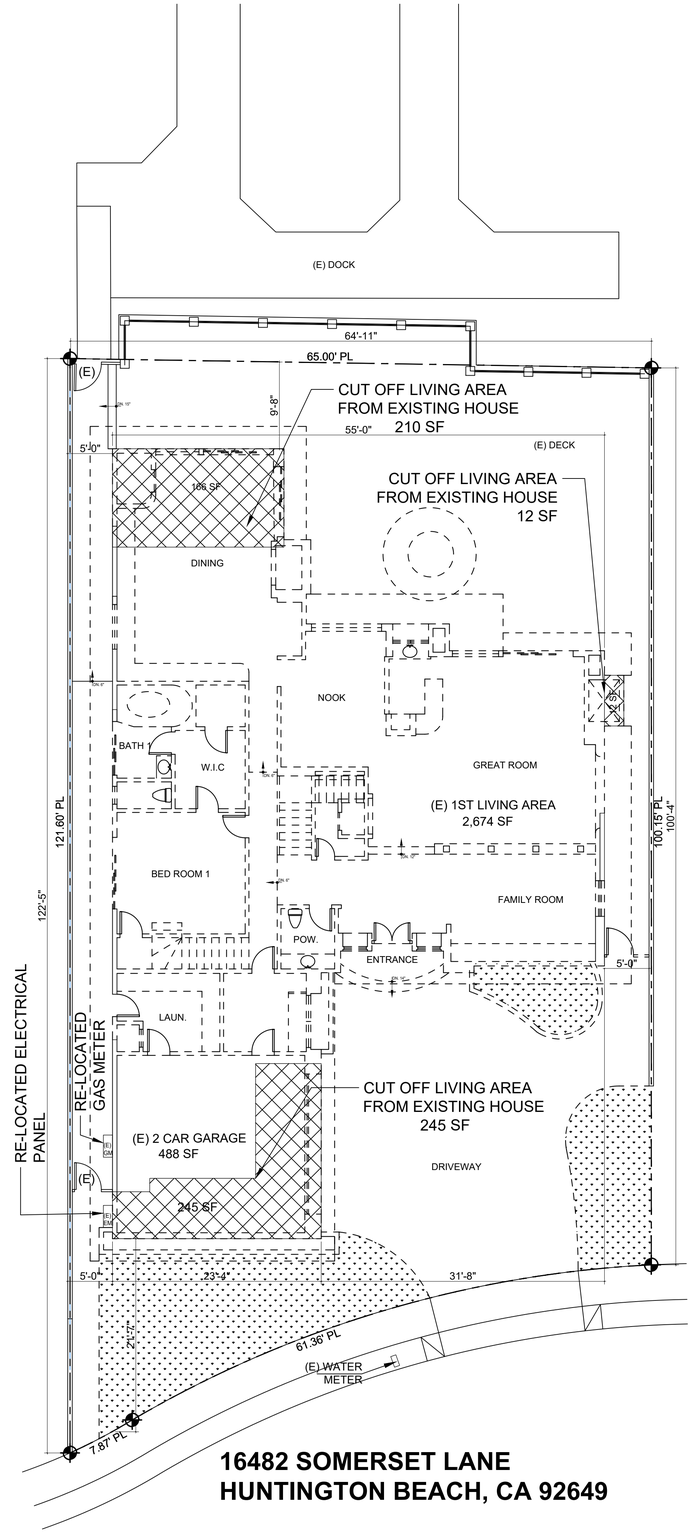
ANHA design studio

PLOT REFERENCE DATE: 11/10/2024



PROPOSED SITE PLAN

SCALE: $\frac{1}{8}$" = 1' - 0"



16482 SOMERSET LANE
HUNTINGTON BEACH, CA 92649

EXISTING SITE PLAN AND DEMO FLOOR PLAN

SCALE: $\frac{1}{8}$" = 1' - 0"

1 NOTE

1. THAT ALL POOL/SPA, FIRE PIT, BBQ, AND CANTILEVERED DECK IMPROVEMENTS ARE NOT A PART (N.A.P.) OF THIS REVIEW AND APPROVAL AND WILL REQUIRE SEPARATE PERMITS.

N

LEGEND

- (E) WALL TO BE REMAINED
- NEW WALL, PAINT TO MATCH WITH (E)
- (E) WALL TO BE REMOVED
- DEMO WINDOW
- (E) WINDOW
- (N) X'-X" (N) WINDOW
- NEW AREA ADDED
- PLUMBING WALL 2x6 WOOD STUD @ 16" OC. U.D.O.
- (E) DOOR TO BE REMAINED
- (N) X'-X" (N) DOOR
- DOOR TO BE REMOVE

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SENIOR ASSOCIATE:
ASSOCIATES:
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PROJECT CAD FILE:

SHEET TITLE:

PROPOSED SITE PLAN EXISTING SITE PLAN AND DEMO FLOOR PLAN

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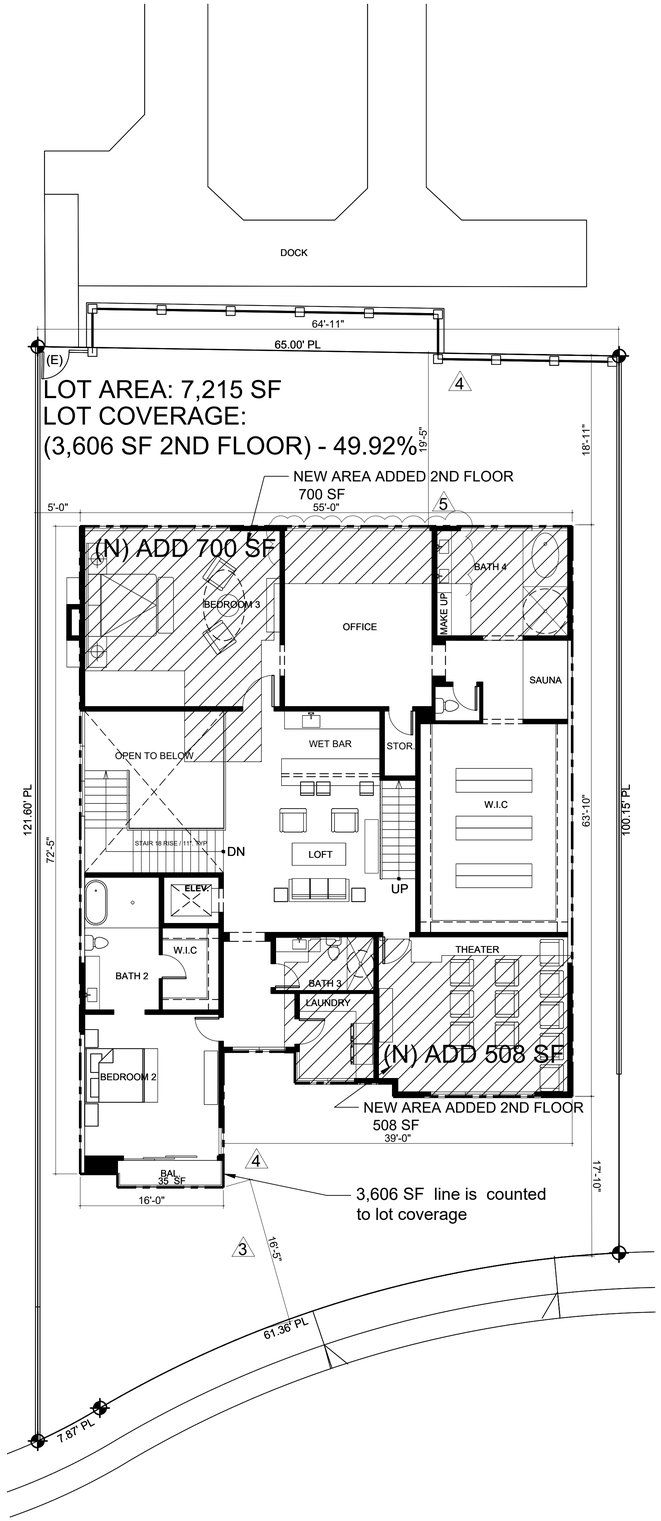
SHEET NUMBER:

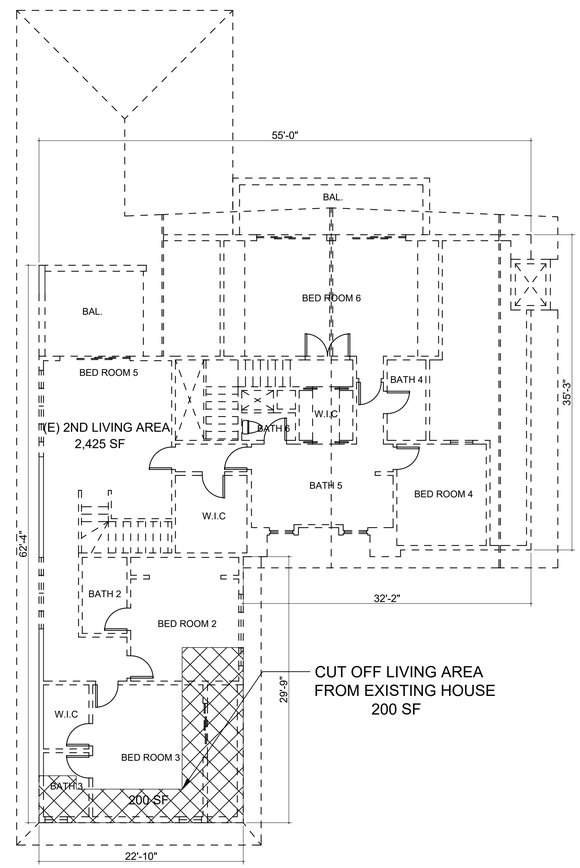
A1.1

PLOT REFERENCE DATE: 11/10/2024



PROPOSED 2ND FLOOR PLAN

SCALE: $\frac{1}{8}$" = 1' - 0"



EXISTING 2ND FLOOR PLAN AND DEMO

SCALE: $\frac{1}{8}$" = 1' - 0"

N

LEGEND

- (E) WALL TO BE REMAINED
- NEW WALL, PAINT TO MATCH WITH (E)
- (E) WALL TO BE REMOVED
- DEMO WINDOW
- (E) WINDOW
- (N) WINDOW
- NEW AREA ADDED
- PLUMBING WALL 2x6 WOOD STUD @ 16" OC. U.D.O.
- (E) DOOR TO BE REMAINED
- (N) DOOR
- DOOR TO BE REMOVE

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PROPOSED 2ND FLOOR PLAN, (E) 2ND FLOOR PLAN AND DEMO

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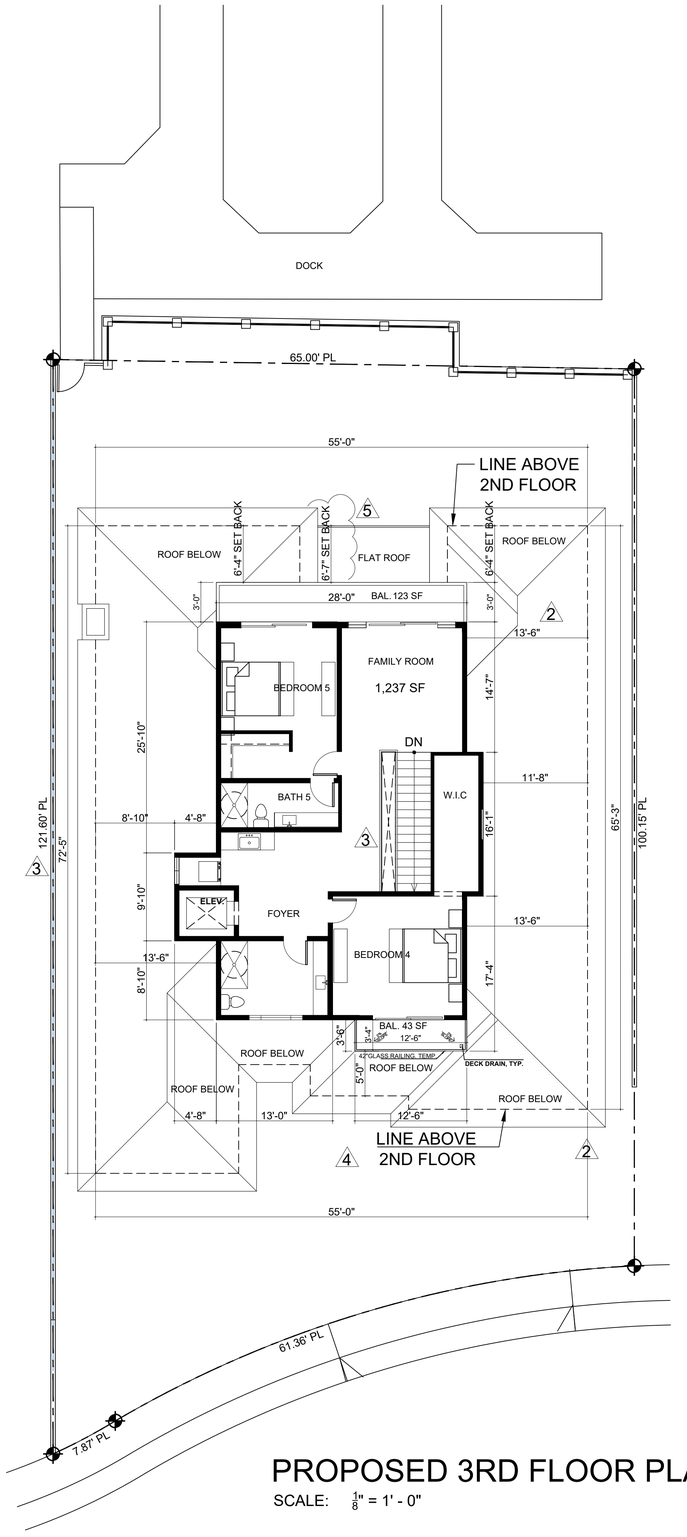
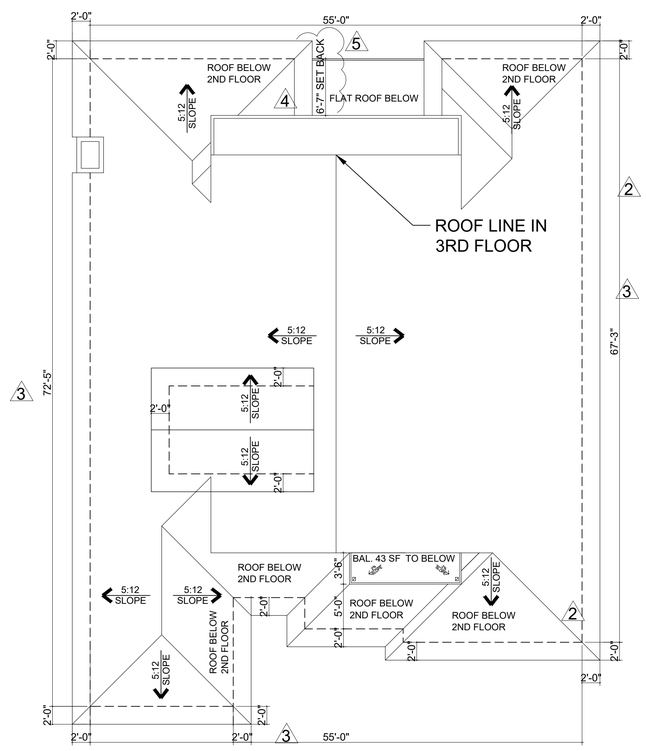


PROPOSED 3RD FLOOR PLAN

SCALE: $\frac{1}{8}$" = 1' - 0"



(N) ROOF PLAN

SCALE: $\frac{1}{8}$" = 1' - 0"

N

LEGEND

- (E) WALL TO BE REMAINED
- NEW WALL, PAINT TO MATCH WITH (E)
- (E) WALL TO BE REMOVED
- DEMO WINDOW
- (E) WINDOW
- (N) WINDOW
- NEW AREA ADDED
- PLUMBING WALL 2x6 WOOD STUD @ 16" OC. U.D.O.
- (E) DOOR TO BE REMAINED
- (N) DOOR
- DOOR TO BE REMOVE

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PROPOSED 3RD FLOOR PLAN AND (N) ROOF PLAN

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A1.3

PLOT REFERENCE DATE: 11/10/2024

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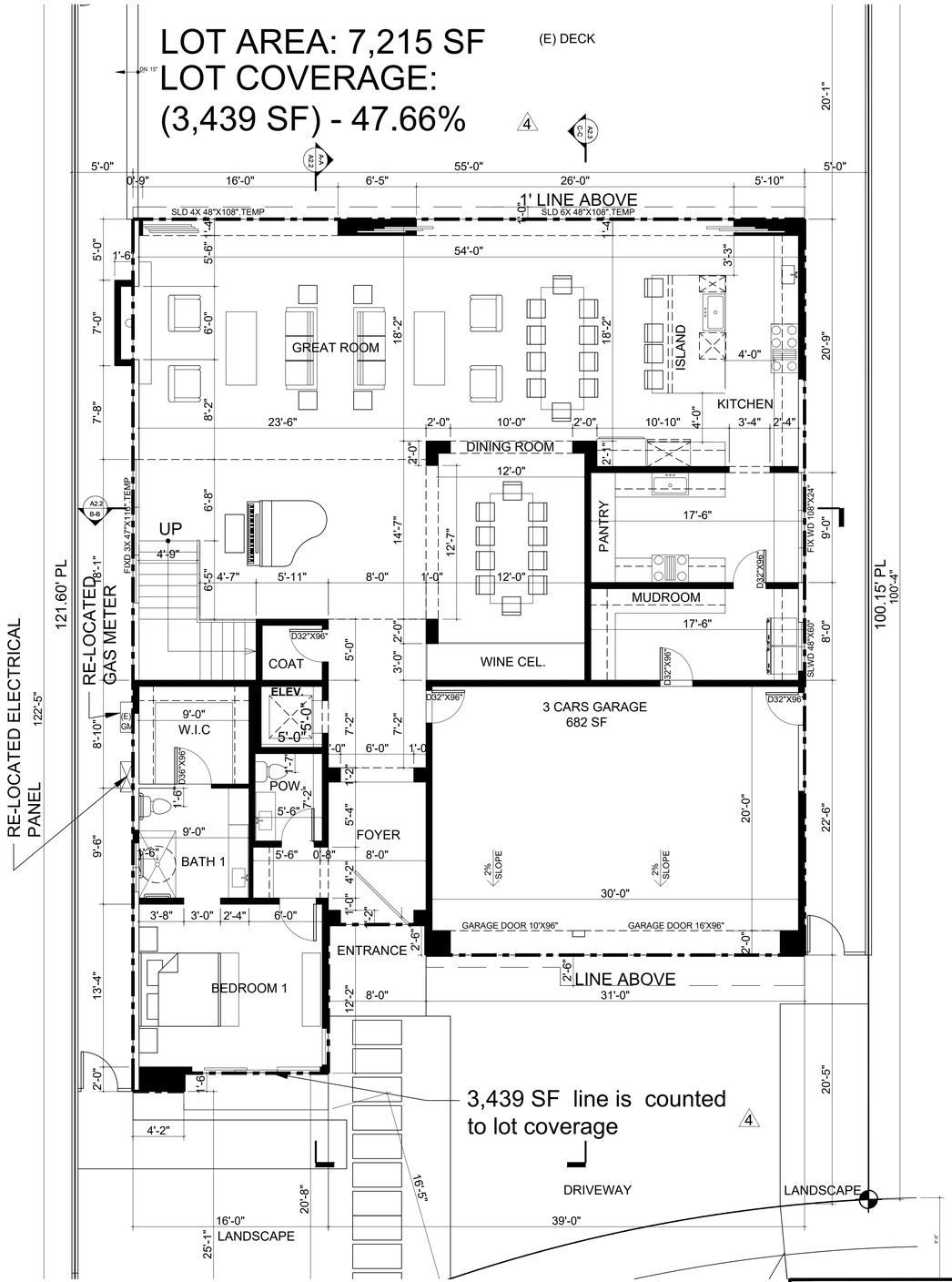
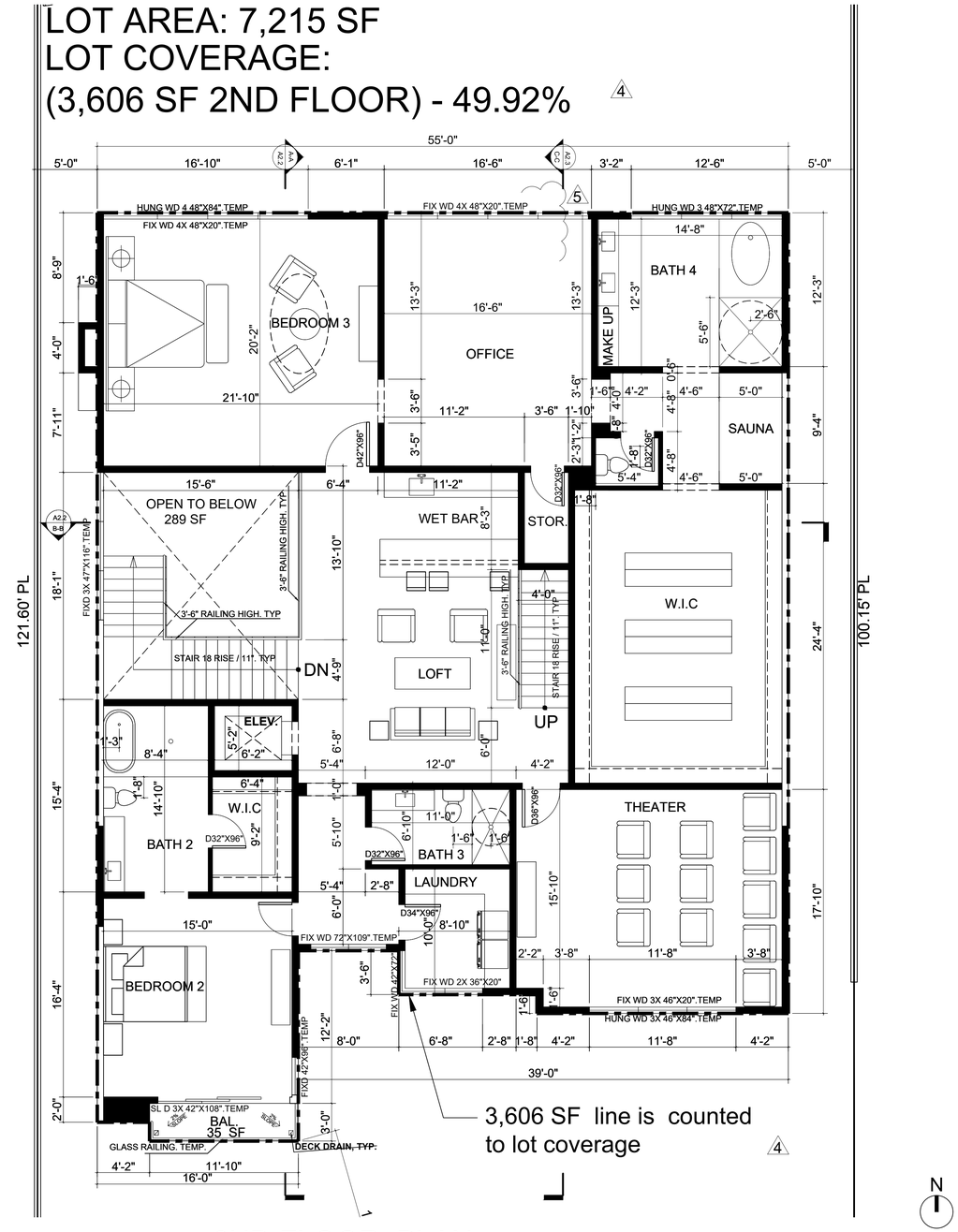


1ST FLOOR PLAN

SCALE: $\frac{3}{16}$" = 1' - 0"



2ND FLOOR PLAN

SCALE: $\frac{3}{16}$" = 1' - 0"

LEGEND

- (E) WALL TO BE REMAINED
- NEW WALL, PAINT TO MATCH WITH (E)
- (E) WALL TO BE REMOVED
- DEMO WINDOW
- (E) WINDOW
- (N) WINDOW
- NEW AREA ADDED
- PLUMBING WALL 2x6 WOOD STUD @ 16" OC. U.D.O.
- (E) DOOR TO BE REMAINED
- (N) DOOR
- DOOR TO BE REMOVE

DOOR SCHEDULE

DOOR TYPE	Width	Height	Count	U Factor
GARAGE DOOR 16'0"X96"	16' - 0"	8' - 0"	1	
GARAGE DOOR 108"X96"	9' - 0"	8' - 0"	1	
PIVOT DOOR 72"X120"	6' - 0"	10' - 0"	1	
SLIDING DOOR 48"X106".TEMP	4' - 0"	8' - 10"	17	
SLIDING DOOR 46"X80".TEMP	3' - 10"	6' - 8"	2	
SLIDING DOOR 42"X108".TEMP	3' - 6"	9' - 0"	3	
SLIDING DOOR 48"X80".TEMP	4' - 0"	6' - 8"	2	
D42"X96"	6' - 0"	10' - 0"	1	
D32"X96"	2' - 8"	8' - 0"	15	
D36"X96"	3' - 0"	8' - 0"	3	
D34"X96"	2' - 10"	8' - 0"	1	

WINDOW SCHEDULE

WINDOW TYPE	Width	Height	Count	U Factor	SHGC
FIX WD 46"X120".TEMP	3' - 10"	10' - 0"	10	0.32	0.25
FIX WD 42"X96".TEMP	3' - 6"	8' - 0"	3	0.32	0.25
FIX WD 36"X68".TEMP	3' - 0"	6' - 0"	1	0.32	0.25
FIX WD 30"X50".TEMP	2' - 6"	4' - 2"	1	0.32	0.25
FIX WD 108"X24".TEMP	9' - 0"	2' - 0"	1	0.32	0.25
FIX WD 26"X24".TEMP	2' - 2"	2' - 0"	6	0.32	0.25
FIX WD 32"X128".TEMP	2' - 8"	10' - 8"	1	0.32	0.25
FIX WD 48X20".TEMP	4' - 0"	1' - 8"	4	0.32	0.25
FIX WD 42"X72".TEMP	3' - 6"	6' - 0"	1	0.32	0.25
HUNG WD 48"X84".TEMP	4' - 0"	7' - 0"	4	0.32	0.25
HUNG WD 48"X72".TEMP	4' - 0"	6' - 0"	1	0.32	0.25
HUNG WD 46"X84".TEMP	3' - 10"	7' - 0"	3	0.32	0.25
SL WD 36"X50".TEMP	3' - 0"	4' - 2"	1	0.32	0.25
SL WD 48"X60"	4' - 0"	5' - 0"	1	0.32	0.25
HUNG WD 36"X50".TEMP	3' - 0"	8' - 0"	1	0.32	0.25

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1ST FLOOR PLAN AND 2ND FLOOR PLAN

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SHEET NUMBER:

A1.4

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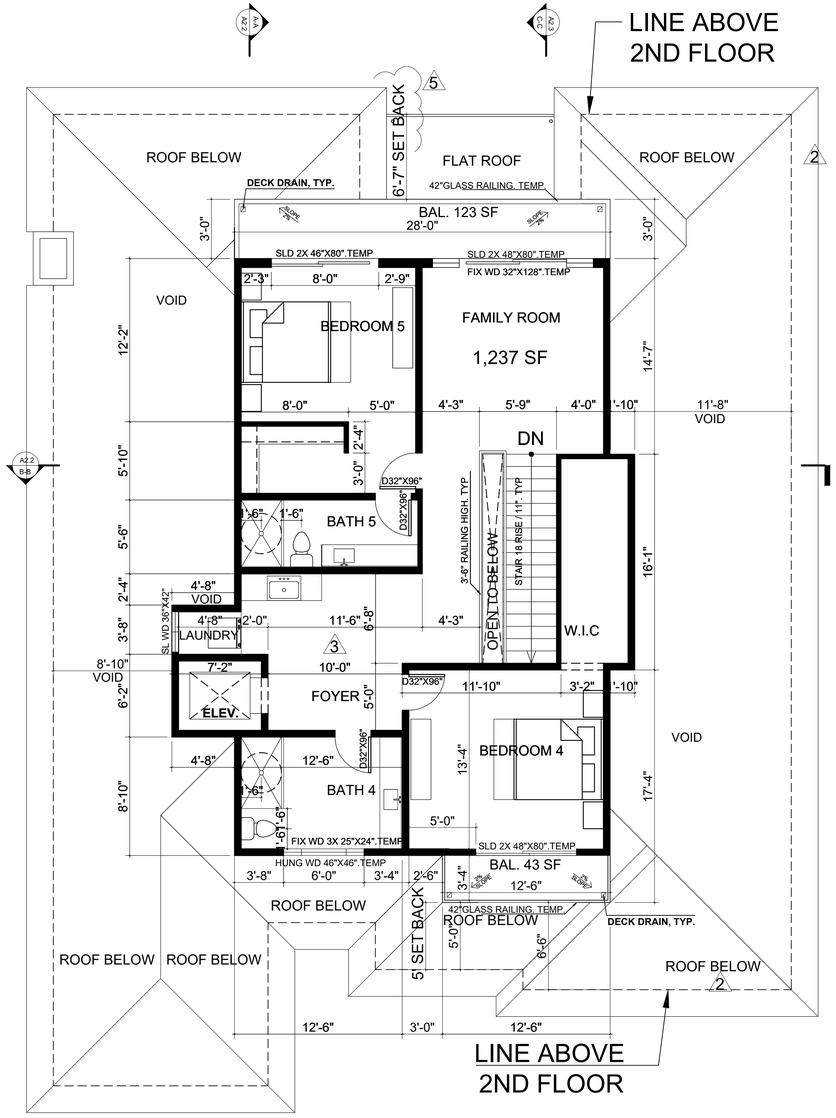
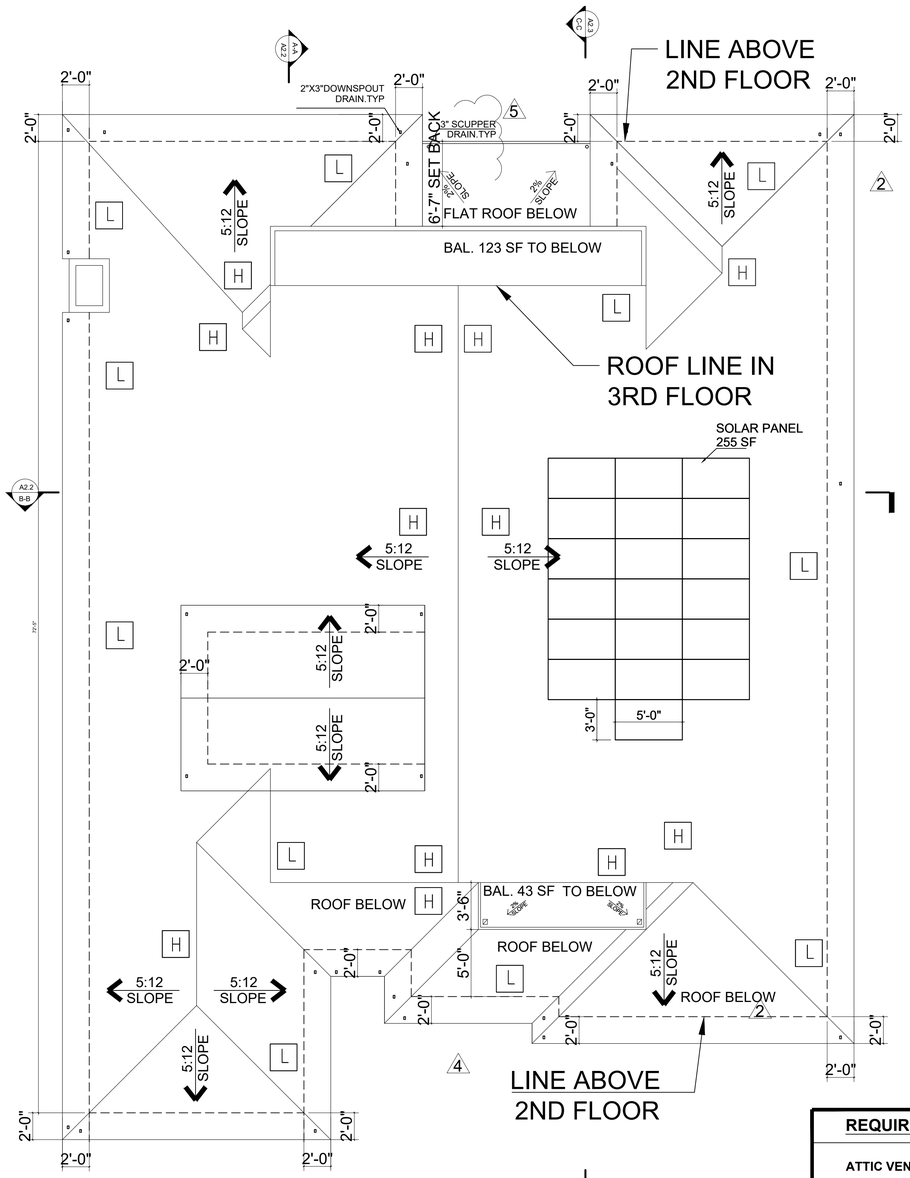


3RD FLOOR PLAN

SCALE: $\frac{3}{16}$" = 1' - 0"



ROOF PLAN

SCALE: $\frac{3}{16}$" = 1' - 0"

NOTES

250 SF SOLAR PANEL SPACE

ROOF COVERING: (R902.1)

- BARTILE CONCRETE ROOF INC. CLASS A CONCRETE TILE ICC-ESR 2778 OR APPROVED EQUAL
- ROOF INSTALL INCORPORATE WITH THE MANUFACTURE'S INSTALLATION COMMENTS
- LAYER UNDERLAYMENT (MIN. 30 Lbs. ASTM FEL T)
- PROVIDE (2) LAYER VAPOR BARRIER IF ROOF SLOPE IS LOWER THAN 7:12

NOTES

DUCTS IN GARAGE OR PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE. CRC R302.5.2.

ROOF PLAN NOTES

INDICATES 5:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

1. TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

REQUIRED ATTIC VENTIVATION

ATTIC VENTILATION CACULATIONS PER C.R.C. R806.2 AS FOLLOWS:

(A) ATTIC AREA (SQUARE FEET)

(B) DIVIDE (A) BY 300 AND MUTPLY BY 144 TO CACULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH AND LOW. (MUST PROVIDE VAPOR RETARDER HAVING TRANSMISSION RATE NOT EXCEEDING I PERM INSTALLED ON WARM SIDE OF INSULATION.)

*** DIVIDE (A) BY 150 AND MUTIPLY BY 144 CACULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH AND LOW.**

(C) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FREE AREA FOR EACH VENT)

= GABLE END VENT

(D) TOTAL SQUARE INCHES OF NET FREE VENTILATION AREA PROVIDED BY UNDER AIR VENTS. (95 SQ. IN. OF FREE AREA MIN. EACH VENT)

H = HIGH VENT L = LOW VENT * = AREA / 150 VENT

(E) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS. (12 SQ. IN. OF FREE AREA MIN. EA.)

= VENT BLOCK AT TRUSS BAY

= VENT BLOCK AT RAFTER BAY

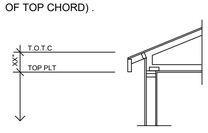
(F) TOTAL SQUARE INCHES OF NET FREE VENTLATING AREA PROVED

PROVIDE ACCESS AND VENTILATIOIAN FROM CALIFORNA FRAMED AREAS TO ADJACENT ATTC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

GENERAL SECTION NOTES

1. REFER TO STRUCTURAL ENGINEERS DRAWINGS, DETAILS AND NOTES FOR INFORMATION NOT SHOWN HERE.
2. REFER TO TRUSS DRAWINGS FOR INFORMATION NOT SHOWN HERE.
3. SECTIONS REFLECT THE 'A' ELEVATION (UNLESS NOTED OTHERWISE).
4. ROOF SLOPE(S) AND OVERHANG (S) MAY VARY PER ELEVATION. REFER TO THE ROOF NOTES AND ROOF PLANS AT EACH ELEVATION FOR MORE INFORMATION.
5. TYPCIAL DIMENSIONS FOR A HEEL TRUSS. (DIMENSION FROM TOP PLATE TO THE TOP OF TOP CHORD) .



ATTIC F.A.U. NOTES

1. FURNACE SHALL BE LISTED FOR INSTALLATION IN ATTIC OR IN A FURRED SPACE.
2. FURNACE SHALL BE LISTED FOR USE ON COMBUSTIBLE FLOORING.
3. ATTIC, OPENING AND PASSAGEWAY SHALL BE LARGE ENOUGH FOR REMOVAL OF FURNACE.
4. PROVIDE MINIMUM 24" WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY.
5. FURNACE SHALL BE NOT MORE THAN 20 FT. FROM ATTIC OPENING.
6. PROVIDE UNOBSTRUCTED LEVEL WORK SPACE OF 30"x30" MINIMUM IN FRONT OF EQUIPMENT.
7. VENT THROUGH ROOF A MIN. OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES.
8. FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES.
9. RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED.

ATTIC VENTILATION CALCULATIONS

(REFER TO "REQUIRED ATTIC VENTILATION" NOTES FOR ADDITIONAL INFORMATION)

UNIT 1	A ATTIC AREA (SQ.FT.)	B REQ'D VENTING (SQ.IN.)	C GABLE END VENTS (SQ.IN.)	D O'HAGIN ROOF VENTS (SQ.IN.)	E EAVE VENTS (SQ.IN.)	F TOTAL VENTING PROVIDED (SQ.IN.)
AREA - 1	4,373	(4,373 / 300) x 144 = 2,099 2,099 / 2 < 1,049 HIGH, 1,049 LOW	N/A	(12)97.5= 1,049 HIGH (12)97.5= 1,049 LOW	N/A	1,049 1,049

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3RD FLOOR PLAN AND ROOF PLAN

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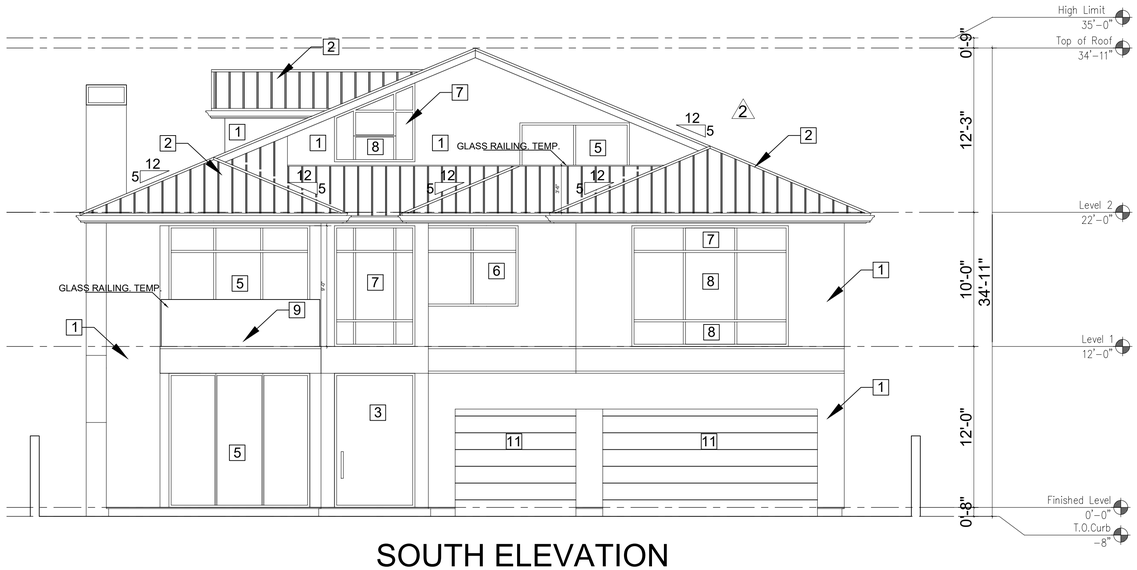


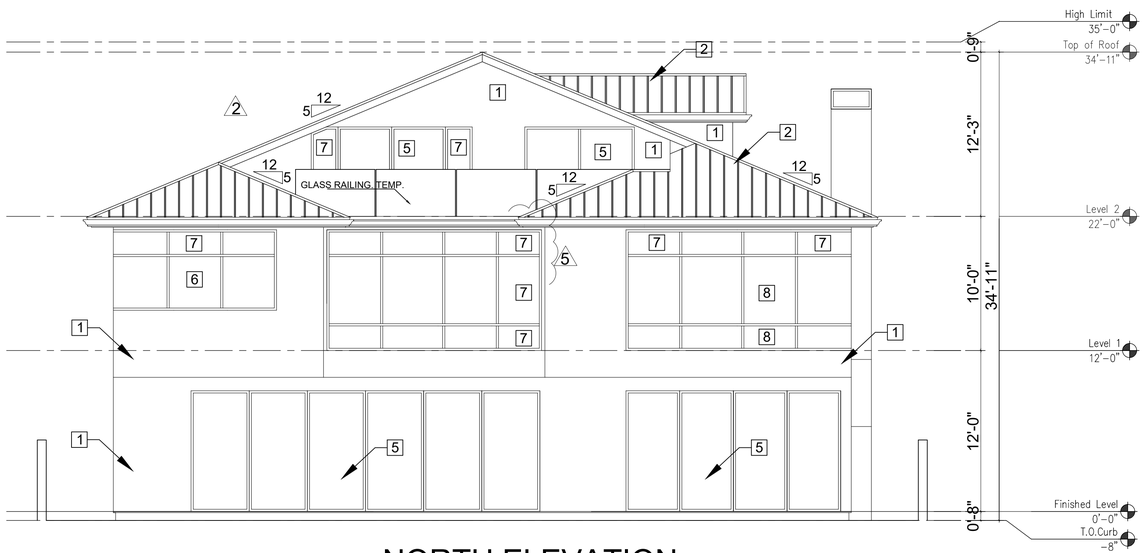
SOUTH ELEVATION

SCALE: $\frac{3}{16}$" = 1' - 0"

FRONT ELEVATION

NOTES:

NO WINDOW AT 2ND FLOOR OF ADJACENT NEIGHBOR HOUSES (BOTH SIDE)



NORTH ELEVATION

SCALE: $\frac{3}{16}$" = 1' - 0"

3 REAR ELEVATION

NOTES:

NO WINDOW AT 2ND FLOOR OF ADJACENT NEIGHBOR HOUSES (BOTH SIDE)

EXTERIOR FINISHES

1. STUCCO, LIGHT SAND FINISH
2. STANDING SEAM METAL ROOF
3. PIVOT ENTRY DOOR
4. DECORATIVE EXTERIOR LIGHTING
5. SLIDING DOORS
6. SLIDING WINDOW
7. FIX WINDOW
8. HUNG WINDOW
9. GLASS RAILING.TEMP.
10. WOOD DOOR
11. GARAGE DOOR

A7. BALCONIES, DECK
IMPERVIOUS MOISTURE BARRIER IS PROVIDED: WATERPROOFING ICC.ESR 2831

A17. GLASS RAILING ICC. ESR 4688

ROOF PLAN NOTES

INDICATES 5:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

1. TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN.
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

1. ESTATE EAGLE ROOFING TILE
2. 2X6 BARGE, SEE DETAIL
3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL ALL RAFTER TAIL TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. I-COAT STUCCO SYSTEM
7. EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT.
10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C.OVER EXTERIOR GRADE PLYWOOD OR M.D.DO. BOARD.
11. EXPOSED HARDIE PLYWOOD OR M.D.O. BOARD.
12. EXTERIOR GRADE PLYWOOD GRAIN FINISH.
13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE
15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BIULT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE..
18. POTSHELF, SEE DETAIL.
19. PROVIDE G.I. PLASHING AT ALL EXPOSED WOOD TRIM.
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO WALL.
22. G.I. FLASHING AND SADDLE / CRICKET.
23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIRE-PPLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
25. THIN-SET MASONRY VENEER.
26. LIGHTED ADDRESS SIGN.
27. SHAPED FOAM CORBEL, SEE DETAIL.
28. SHARPE WOOD CORBEL, SEE DETAIL.
29. WOOD POST(S). SEE PLAN FOR SIZE.
30. EXPOSED WOOD BEAM.
31. MANUFACTURED COLUMN
32. PRE-CAST CONCRETE COMPONENT / TRIM. SEE DETAIL.
33. DECORATED
34. NEWEL POST.FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
35. WOOD RAILING, SEE DETAIL.
36. DECORATIVE MATERIAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION. DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION
39. G.I. SCREENED 'ROOF' AIR VENT. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR SIZE AND LOCATION.
41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
42. SYNTHETIC STONE VENEER BY EL DORADO, NER-601/ER-3568.
43. MASONRY VENEER. SEE SLAB INTERFACE PLAN (FOR EXTENT OF TOE FOOTING SEE SLAB INTERFACE PLAN).
44. LINE OF +2" WAINSCOT. SEE ELEVATION FOR HEIGHT.
45. LINE OF WAINSCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. G.I.REGLET FOR COLOR COAT CHANGE.
47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
49. DECORATIVE TILE, SEE DETAIL.
50. EXPOSE CORBELS WOOD FINISH EXTERIOR

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ELEVATIONS

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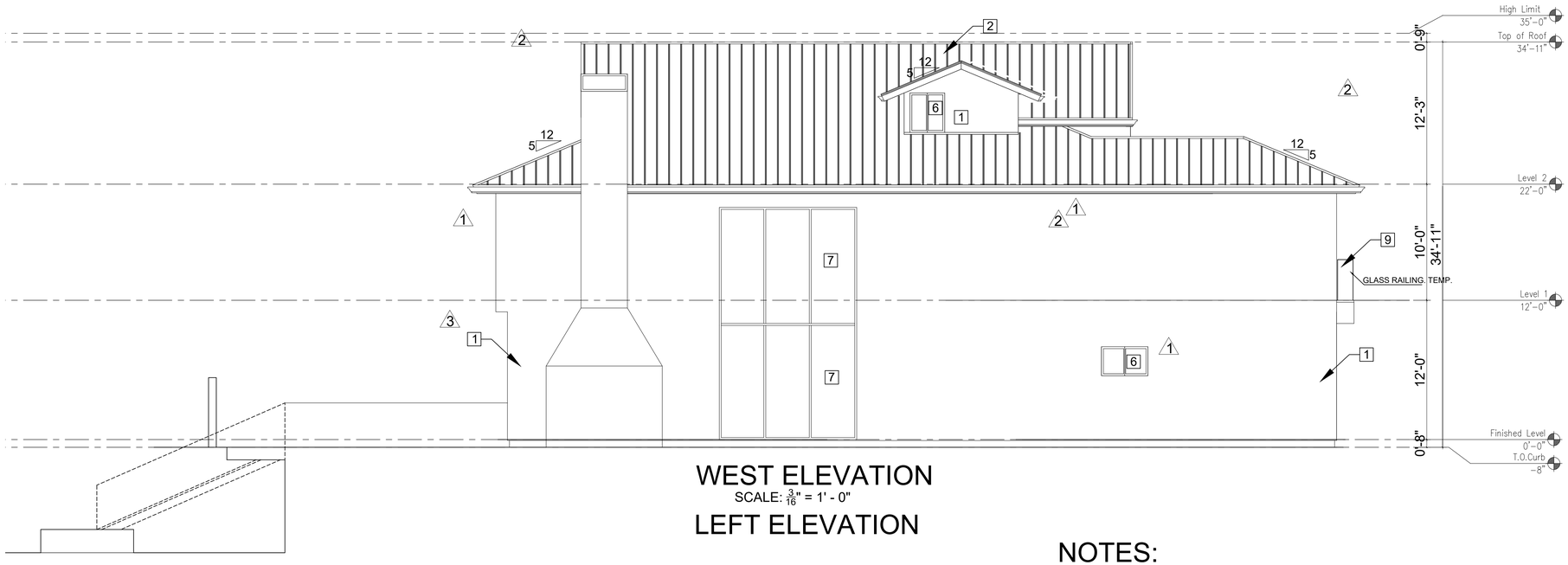
A2.0

PLOT REFERENCE DATE: 11/10/2024

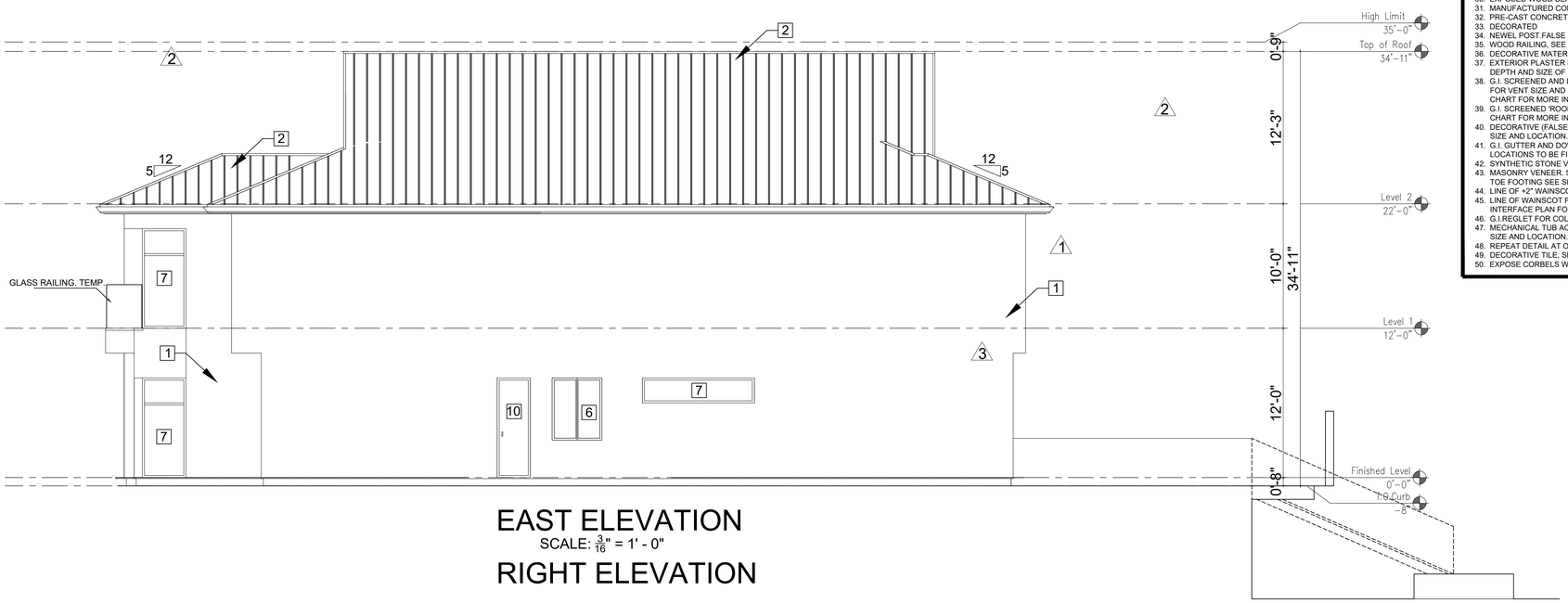


WEST ELEVATION
SCALE: $\frac{3}{16}$" = 1' - 0"

LEFT ELEVATION

NOTES:

NO WINDOW AT 2ND FLOOR OF ADJACENT NEIGHBOR HOUSES (BOTH SIDE)



EAST ELEVATION
SCALE: $\frac{3}{16}$" = 1' - 0"

RIGHT ELEVATION

NOTES:

NO WINDOW AT 2ND FLOOR OF ADJACENT NEIGHBOR HOUSES (BOTH SIDE)

EXTERIOR FINISHES

1. STUCCO, LIGHT SAND FINISH
2. STANDING SEAM METAL ROOF
3. PIVOT ENTRY DOOR
4. DECORATIVE EXTERIOR LIGHTING
5. SLIDING DOORS
6. SLIDING WINDOW
7. FIX WINDOW
8. HUNG WINDOW
9. GLASS RAILING.TEMP.
10. WOOD DOOR
11. GARAGE DOOR

A7. BALCONIES, DECK
IMPERVIOUS MOISTURE BARRIER IS PROVIDED: WATERPROOFING ICC.ESR 2831

A17. GLASS RAILING ICC. ESR 4688

ROOF PLAN NOTES

INDICATES 5:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

1. TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN.
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

1. ESTATE EAGLE ROOFING TILE
2. 2X6 BARGE, SEE DETAIL
3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL ALL RAFTER TAIL TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. I-COAT STUCCO SYSTEM
7. EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT.
10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C.OVER EXTERIOR GRADE PLYWOOD OR M.D.DO. BOARD.
11. EXPOSED HARDIE PLYWOOD OR M.D.O. BOARD.
12. EXTERIOR GRADE PLYWOOD GRAIN FINISH.
13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE
15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BIULT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE..
18. POTSHELF, SEE DETAIL.
19. PROVIDE G.I. PLASHING AT ALL EXPOSED WOOD TRIM.
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO WALL.
22. G.I. FLASHING AND SADDLE / CRICKET.
23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIRE-PPLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
25. THIN-SET MASONRY VENEER.
26. LIGHTED ADDRESS SIGN.
27. SHAPED FOAM CORBEL, SEE DETAIL.
28. SHARPE WOOD CORBEL, SEE DETAIL.
29. WOOD POST(S). SEE PLAN FOR SIZE.
30. EXPOSED WOOD BEAM.
31. MANUFACTURED COLUMN
32. PRE-CAST CONCRETE COMPONENT / TRIM. SEE DETAIL.
33. DECORATED
34. NEWEL POST.FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
35. WOOD RAILING, SEE DETAIL.
36. DECORATIVE MATERIAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION. DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION
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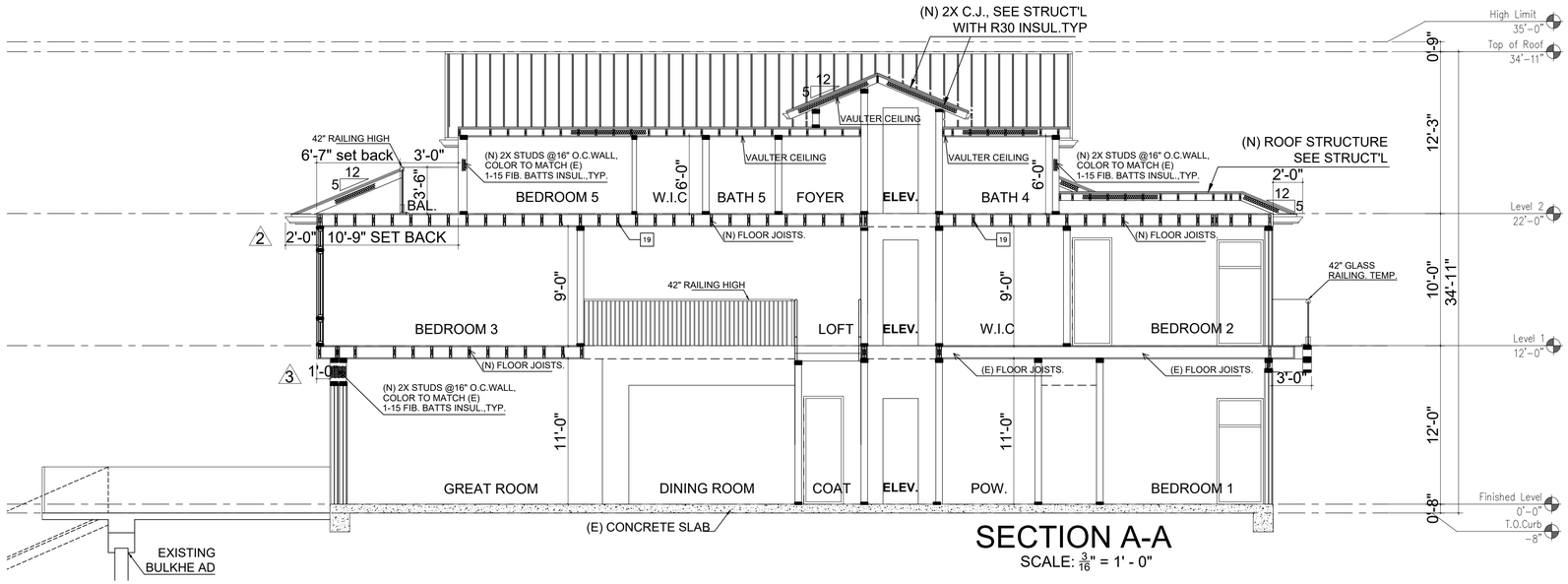
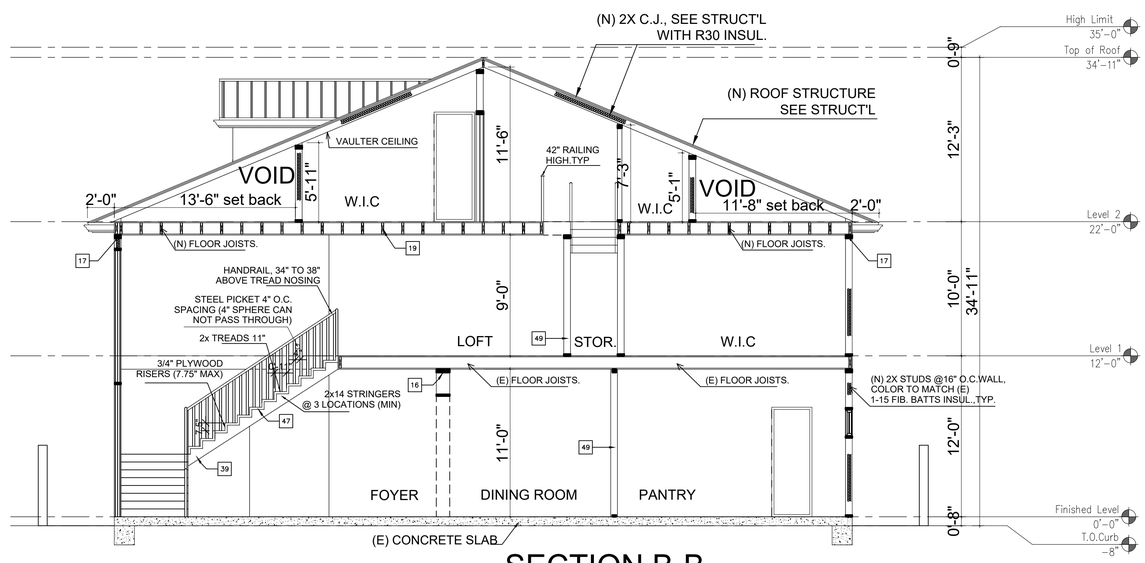


SECTION A-A

SCALE: $\frac{3}{16}$" = 1' - 0"



SECTION B-B

SCALE: $\frac{3}{16}$" = 1' - 0"

SECTION NOTES

1. FASCIA BOARD.(SEE ELEVATION)
2. BARGE BOARD. (SEE ELEVATION)
3. EXPOSED RAFTER TAILS. (SEE ELEVATION)
4. ROOFING MATERIAL, REFER TO ROOF PLAN NOTES.
5. ROOF SHEATHING
5A. TWO LAYER OF VAPOR BARRIER
6. DESIGNED WOOD ROOF TRUSSES.
6A. GUTTER
7. HEEL STAND TRUSSES.
8. GIRDER TRUSS.
9. 2X ROOF RAFTERS.
10. 2X ROOF JOISTS.
11. 2X CEILING JOISTS.
12. RIDGE BEAM.
13. FLUSH BEAM.
14. DROPPED BEAM.
15. HEADER.
16. 1X OVER 2X TOP PLATE AT NON-BEARING WALL.
17. DOUBLE 2X TOP PLATE AT EXTERIOR AND BEARING WALLS.
18. 2X FLOOR JOISTS.
19. DESIGNED FLOOR JOISTS.
20. FLOOR SHEATHING.
21. G.I. FLASHING AT (ROOF TO WALL).
22. G.I. FLASHING AND SADDLE / CRICKET.
23. EXPOSED BEAM.
24. 2X SOLE PLATE.
25. 2X P.T.D.F. SILL PLATE.
26. 2X4 STUDS.
27. 2X4 CRIPPLES.
28. 2X CEILING FURRING.
29. 2X BLOCKING.
30. 2x6 STUDS.
31. PONY WALL. SEE PLAN FOR HEIGHT.
32. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS, STRUCTURAL CALCULATIONS AND GENERAL NOTES.
33. 2X STAIR STRINGERS AT 16" ON CENTER
34. PLYWOOD TREADS AND RISERS.
35. WINDER STAIR FRAMING W/ PLYWOOD TREADS.
36. RIP 2X DECK JOISTS FOR 1/4" PER FOOT SLOPE.
37. ELASTOMERIC DECKING OVER PLYWOOD SUBFLOOR. INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
38. 2X 'NAIL SPACED' DECKING.
39. ENCLOSED USABLE SPACE UNDER STAIRS SHALL BE PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD C.R.C. R302.7.
40. 42" HIGH GUARD PER C.R.C. R3122.
41. 34"-36" HIGH HANDRAIL ABOVE NOSING PER C.R.C. R311.7.8.1.
42. FIBERBATT INSULATION-SEE ENERGY COMPLIANCE SHEET.
43. EXTERIOR FINISH, REFER TO ELEVATIONS.
44. EXTERIOR CEILING / SOFFIT (SEE PLAN / ELEVATION).
45. SHELF, 1/2" GYP. BOARD OVER 3/8" PLYWOOD.
46. CONCRETE FLOOR SLAB.
47. 5/8" TYPE "X" GYP. BOARD 1-HOUR WALL & CEILING
48. 1/2" GYPSUM BOARD
49. 5/8" TYPE X GYP. BOARD 1-HOUR WALL EXTENDING TO FLOOR ABOVE.
50. 1 HOUR STC 50 TO 54 INTERIOR PARTITION

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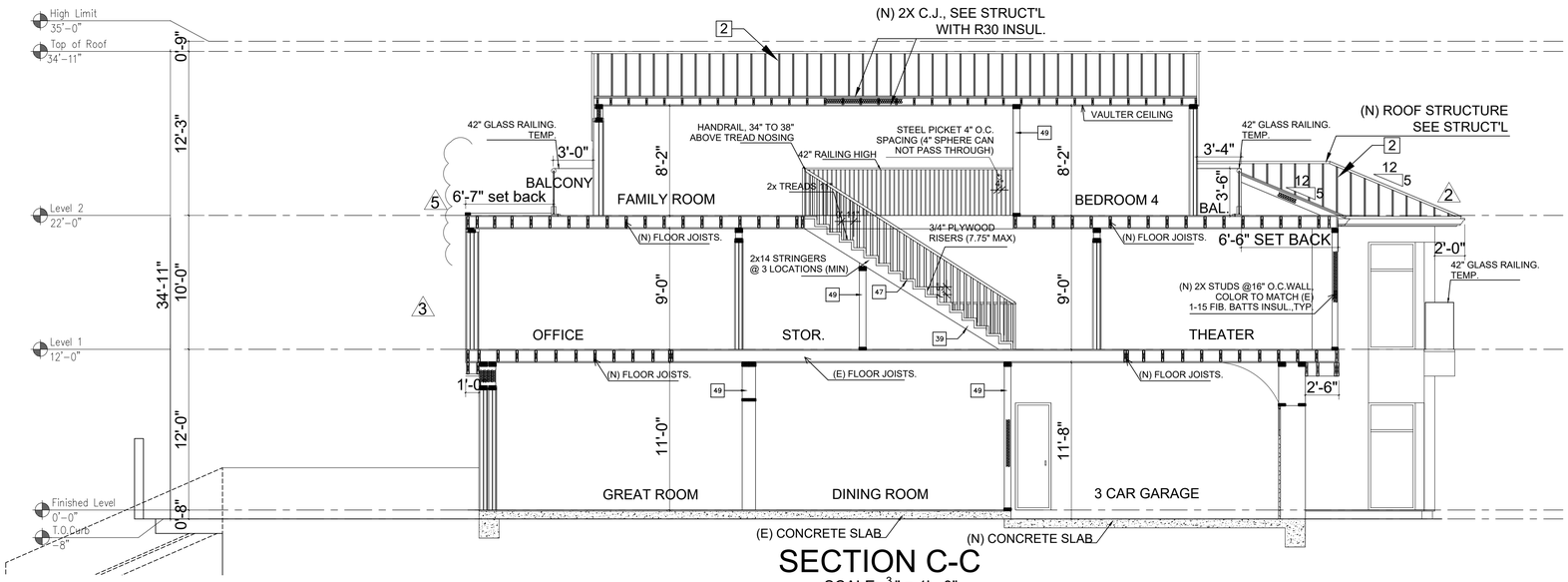

SECTION C-C

SCALE: $\frac{3}{16}$" = 1' - 0"

EXTERIOR FINISHES

2. STANDING SEAM METAL ROOF
3. GLASS GLAZED ENTRY DOOR
4. DECORATIVE EXTERIOR LIGHTING
5. SLIDING DOORS
6. SLIDING WINDOW
7. FIX WINDOW
8. HUNG WINDOW
9. GLASS RAILING.TEMP.
10. WOOD DOOR

A7. BALCONIES, DECK
IMPERVIOUS MOISTURE BARRIER IS PROVIDED: WATERPROOFING ICC.ESR 2831

A17. GLASS RAILING ICC. ESR 4688

ROOF PLAN NOTES

INDICATES 5.5:12 LOPE UNLESS NOTED PTHERWISE ON ROOF PLANS.

1. TYPICAL ROOFING TO BE : CONCRETE 'S; TILE (ELE. 'A') CLASS 'A' BY EAGLE ROOFING ESR-1900 OR APPROVED EQUAL
2. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE TIGHT UNLESS NOTE OTHERWISE ON ROOF PLAN.
3. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON ROOF PLAN. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELEVATION/ROOF NOTES

1. ESTATE EAGLE ROOFING TILE
2. 2X6 BARGE, SEE DETAIL
3. X EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL ALL RAFTER TAIL TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. I-COAT STUCCO SYSTEM
7. EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT .
10. SPACED 1 X 3 VERTICAL HARDIE TRIM AT 24" O.C.OVER EXTERIOR GRADE PLYWOOD OR M.D.DO. BOARD.
11. EXPOSED HARDIE PLYWOOD OR M.D.O. BOARD.
12. EXTERIOR GRADE PLYWOOD GRAIN FINISH.
13. HIGH DENSITY FOAM TRIM, SEE ELEV. OR DETAIL FOR ACTUAL SIZE
14. HIGH DENSITY FOAM WITH, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE
15. EXPOSED HARDIE TRIM, TREE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BIULT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE..
18. POTSHELF, SEE DETAIL.
19. PROVIDE G.I. PLASHING AT ALL EXPOSED WOOD TRIM.
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO WALL.
22. G.I. FLASHING AND SADDLE / CRICKET.
23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIRE-PPLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
25. THIN-SET MASONRY VENEER.
26. LIGHTED ADDRESS SIGN.
27. SHAPED FOAM CORBEL, SEE DETAIL.
28. SHARPE WOOD CORBEL, SEE DETAIL.
29. WOOD POST(S). SEE PLAN FOR SIZE.
30. EXPOSED WOOD BEAM.
31. MANUFACTURED COLUMN
32. PRE-CAST CONCRETE COMPONENT / TRIM. SEE DETAIL.
33. DECORATED
34. NEWEL POST FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
35. WOOD RAILING, SEE DETAIL.
36. DECORATIVE MATERIAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION. DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION
39. G.I. SCREENED 'ROOF' AIR VENT. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
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43. MASONRY VENEER. SEE SLAB INTERFACE PLAN (FOR EXTENT OF TOE FOOTING SEE SLAB INTERFACE PLAN).
44. LINE OF +2" WAINSCOT. SEE ELEVATION FOR HEIGHT.
45. LINE OF WAINSCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. G.I REGLET FOR COLOR COAT CHANGE.
47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
49. DECORATIVE TILE. SEE DETAIL.
50. EXPOSE CORBELS WOOD FINISH EXTERIOR

REQUIRED ATTIC VENTILATION

ATTIC VENTILATION CACULATIONS PER C.R.R. R806.2 AS FOLLOWS:

(A) ATTIC AREA (SQUARE FEET)

(B) DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. BOTH HIGH AND LOW. (MUST PROVIDE VAPOR RETARDER HAVING TRANSMISSION RATE NOT EXCEEDING I PERM INSTALLED ON WARM SIDE OF INSULATION.)
* DIVIDE (A) BY 150 AND MULTIPLY BY 144 CALCULATE THE TOTAL REQUIRED NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE TOTAL BY 2 TO GET THE NET FREE VENTING REQUIRED BOTH HIGH AND LOW.

(C) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FREE AREA FOR EACH VENT)
= GABLE END VENT **= HIGH END**

(D) TOTAL SQUARE INCHES OF NET FREE VENTILATION AREA PROVIDED BY UNDER AIR VENTS. (95 SQ. IN. OF FREE AREA MIN. EACH VENT)
H = HIGH END **L = HIGH END**

(E) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS. (12 SQ. IN. OF FREE AREA MIN. EA.)
= VENT BLOCK AT TRUSS BAY
= VENT BLOCK AT RAFTER BAY

(F) TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVED
PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.

NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

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SHEET NUMBER:

A2.3

PLOT REFERENCE DATE: 11/10/2024

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of *CAL*Green, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code,* Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the commcn use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code.*

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations,* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 95% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: *THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.*

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BUILDING DEPARTMENT SUBMITTAL:

REVISIONS:
1 12/30/2025 PLANNING DEPARTMENT
2 03/06/2025 PLANNING DEPARTMENT

PROJECT DIRECTOR:
JOB CAPTAIN:
SENIOR ASSOCIATE:
ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:
CAL GREEN BUILDING

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ANHA design studio

SHEET NUMBER:
G.1

PLOT REFERENCE DATE: 11/10/2024

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhttps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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REVISIONS:
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2 03/06/2025 PLANNING DEPARTMENT

PROJECT DIRECTOR:
JOB CAPTAIN:
SENIOR ASSOCIATE:
ASSOCIATES:
PROJECT NUMBER:
PROJECT CAD FILE:

SHEET TITLE:
CAL GREEN BUILDING

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G.2

PLOT REFERENCE DATE: 11/10/2024