

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE-24 CCR AND THE CITY OF BURBANK LOCAL AMENDMENTS.
2. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
3. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
4. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4).
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
6. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1).
7. THE FINISH GRADE SHALL SLOPE A MIN. OF 5% OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3)
8. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 1808.7.4, CRC R403.1.7.3)

INDOOR WATER USE – CGBSC 4.303

1. A SCHEDULE OF PLUMBING FIXTURES AND FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER BY AT LEAST 20% SHALL BE PROVIDED.

SECTION 4.303 INDOOR WATER USE

- 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAU-CETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

THE FLOW RATES FOR ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1
- 4.303.1.1 WATER CLOSETS.THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.

NOTE:

- THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- 4.303.1.3 SHOWERHEADS.

4.303.1.3.1 SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.
- 4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATING AT A TIME.

NOTE:

- A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- 4.303.1.4 FAUCETS.

4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS.THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
- 4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
- 4.303.1.4.4 KITCHEN FAUCETS.THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE:

- WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.
- 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE.

SECTION 4.304 OUTDOOR WATER USE

- 4.304.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

1. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.

2. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

NOTE:

- MORE INFORMATION REGARDING IRRIGATION CONTROLLER FUNCTION AND SPECIFICATIONS IS AVAILABLE FROM THE IRRIGATION ASSOCIATION.

SECTION 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

- 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF CALIFORNIA PLUMBING CODE.
- 4.406.3 PROVIDE FLASHING DETAILS FOR ROOF VALLEYS, AROUND WINDOW AND DOORS AND AT CHIMNEY TO ROOF INTERSECTIONS ON THE BUILDING PLANS.

SECTION 4.407 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

- 4.407.4 MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE

CONSTRUCTION WASTE REDUCTION – CGBSC 4.408

1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS.

SECTION 4.410 BUILDING MAINTENANCE AND OPERATION

- 4.410.1 AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.

1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.

2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOW-ING:

A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIP-MENT.

B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.

C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.

D. LANDSCAPE IRRIGATION SYSTEMS.

E. WATER REUSE SYSTEMS.

3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

FIREPLACES – CGBSC 4.503

1. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIRE-PLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES. – CGBSC 4.503.1
- 4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIP-MENT,

ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.

ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLE 4.504.1-4.504.3.
- 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH THIS SECTION
- 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

A. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

B. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS,
- 4.504.2.4 THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS' SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION

TITLE 17, COMMENCING WITH SECTION 94507

3. PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NON FLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY (AS SHOWN IN TABLE 4.504.2.2)
4. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR VOC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49 (AS SHOWN IN TABLE 4.504.2.3)
5. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING (AS SHOWN IN TABLE 4.504.3):

A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.

B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350.

C. NSF/ANSI 140 AT THE GOLD LEVEL.

D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.
6. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM
7. ALL CARPET ADHESIVE SHALL MEET MINIMUM VOC LIMITS (SEE VOC LIMITS HANDOUT). AS SHOWN IN TABLE 4.504.3.2
8. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING AS SHOWN IN TABLE 4.504.4:

I. CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE

II. CERTIFIED UNDER UL GREENGUARD GOLD

III. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM

IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350

9. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5.

FORMALDEHYDE LIMITS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLY VENEER CORE	.05
HARDWOOD PLY COMPOSITE CORE	.05
PARTICLE BOARD	.09
MEDIUM DENSITY FIBERBOARD	.11
THIN MED. DENSITY FIBERBOARD	.13

THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS' SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5)

10. 4.504.5.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

A. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.

B. CHAIN OF CUSTODY CERTIFICATIONS.

C. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE COR, TITLE 17, SECTION 93120, ET SEQ.).

D. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-10R PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 63635 STANDARDS

E. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY

INTERIOR MOISTURE CONTROL – CGBSC 4.50

1. 4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

A. A 4-INCH THICK BASE OF MINCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS.

A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS.

B. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.

C. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

SECTION 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.

- 4.505.3 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR.
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.RE CONTENT OF BUILDING MATERIALS – CGBSC 4.505.3

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

- 4.506.1 SHOW LOCATION OF EXHAUST FANS ON PLANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:

I. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

II. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 5 TO 80 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
- B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN).
- NOTES:

1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION.

2. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE

SECTION 4.507 ENVIRONMENTAL COMFORT 4.507.1 RESERVED.

- 4.507.2 THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J- 2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

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APPROVALS:

KEY PLAN:

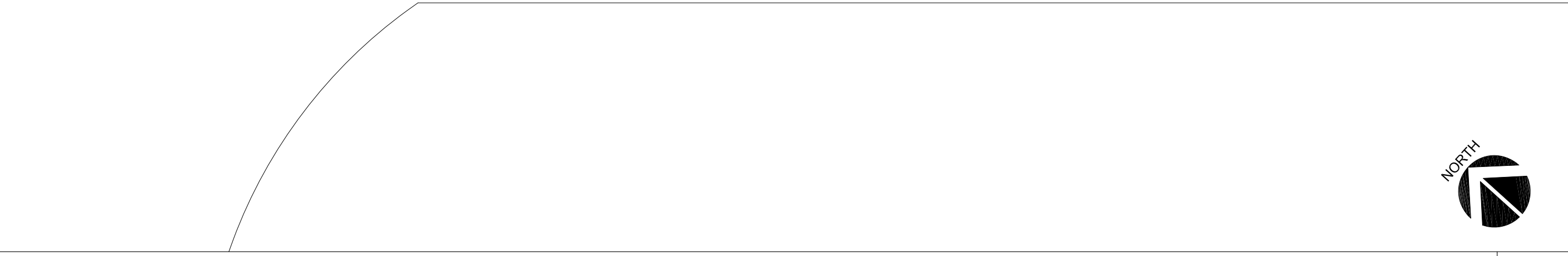
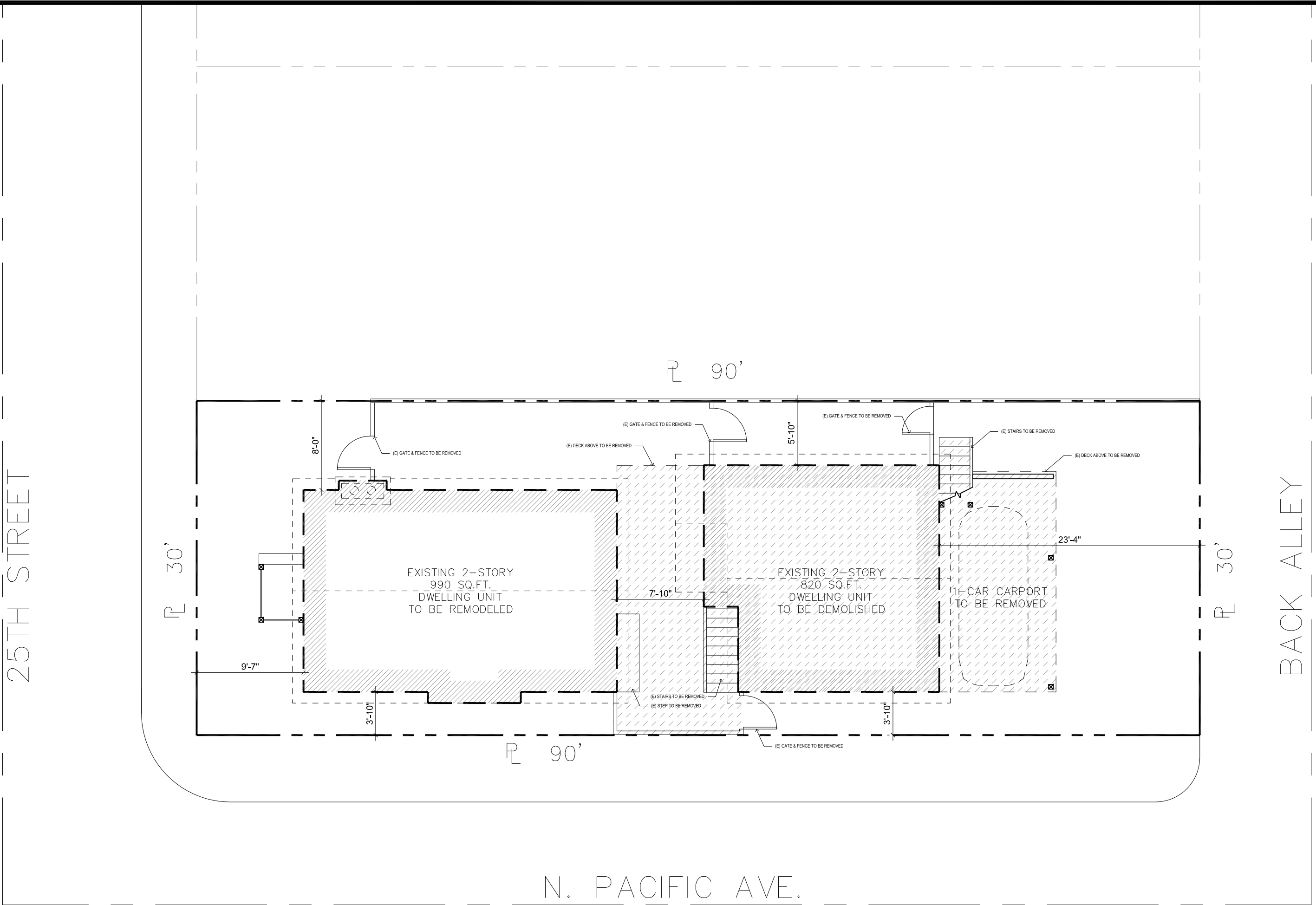
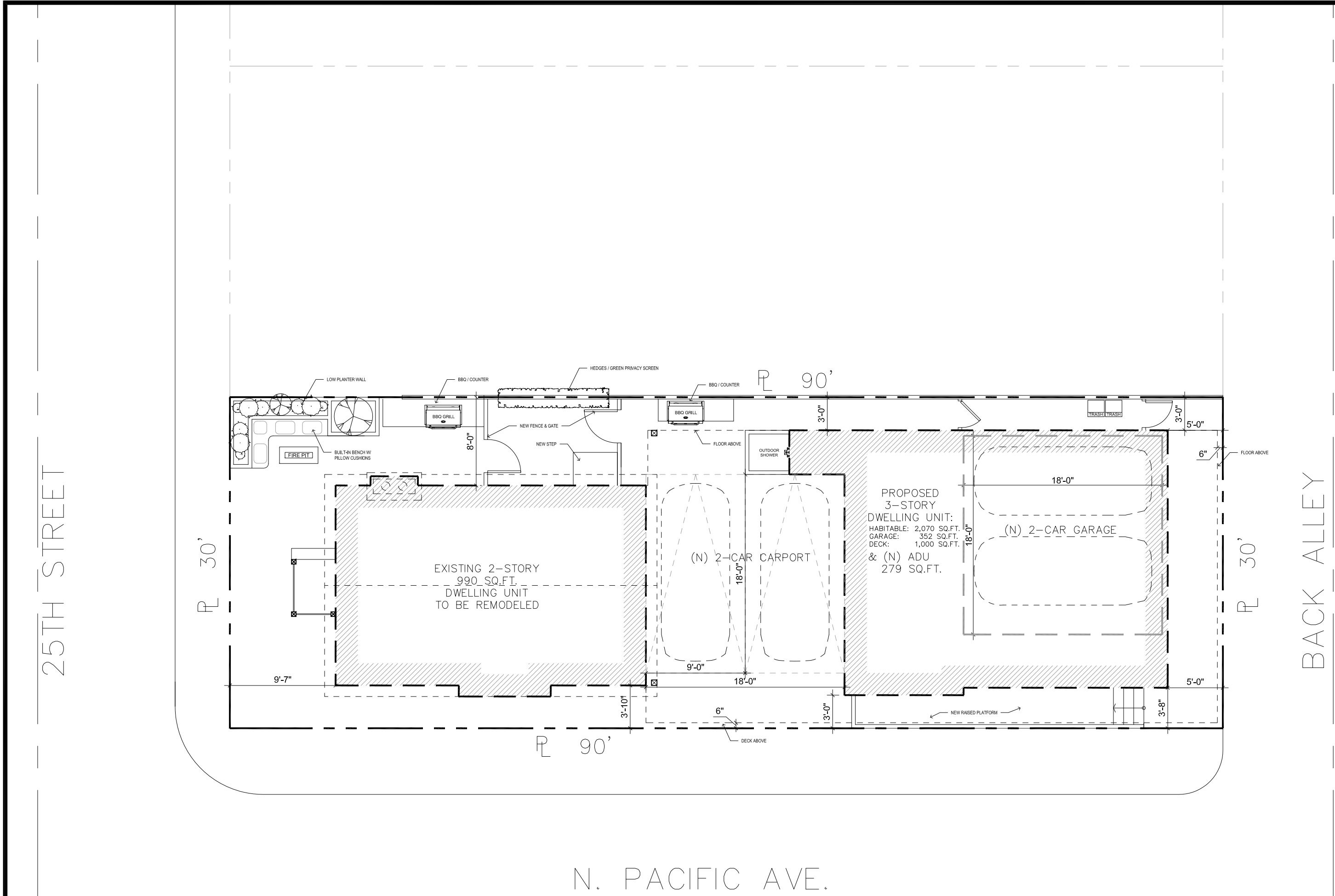
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SHEET TITLE

GENERAL NOTES

JOB NO. 2023--
SCALE AS NOTED

SHEET NO.
T-1.0



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0" 2

EXISTING/ DEMO SITE PLAN
SCALE: 1/8" = 1'-0" 1

MINIMUM BMP REQUIREMENTS FOR CONSTRUCTION ACTIVITIES FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS.

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND AND WATER.

3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

4. NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.

5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.

6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OR RAINWATER AND DISPERSAL BY WIND.

7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

8. ANY SLOPE WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

9. STOCKPILING OF BMPs. ADDITIONAL ESC MATERIALS SHALL BE STOCKPILED AT VARIOUS LOCATIONS THROUGHOUT THE SITE FOR IMMEDIATE USE WITHIN SEVEN DAY PRIOR TO ANY FORECAST RAIN. ON EMERGENCY SITUATIONS, THE DEVELOPER / CONTRACTOR SHALL IMMEDIATELY MAKE EQUIPMENT AND WORKERS AVAILABLE TO PROTECT THE SITE.

10. BEST MANAGEMENT PRACTICES (BMPs). YEAR-ROUND. POLLUTION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMPs), MUST BE INSTALLED PRIOR TO ANY FIELD ACTIVITIES. BMP HANDBOOKS CAN BE DOWNLOADED AT WWW.CABMPHANDBOOKS.COM. ADDITIONAL EROSION PREVENTION AND SEDIMENT CONTROL (ESC) MEASURES MUST BE INSTALLED AND MAINTAINED PRIOR TO AND THROUGHOUT EACH RAINY SEASON. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ESC MEASURES THROUGHOUT THE DURATION OF THE PROJECT FOR ALL CLEARING, DISKING, GRADING, EXCAVATING AND STOCKPILING ACTIVITIES, AND ON ALL EXPOSED SLOPES AND INACTIVE PADS THROUGHOUT THE ENTIRE SITE. THE DEVELOPER/CONTRACTOR IS ALSO RESPONSIBLE FOR ANY DISCHARGES FROM SUBCONTRACTORS.

11. ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

WM-1 MATERIAL STORAGE AND DELIVERY

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-3 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5 SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRECONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND PREMEDITATING CONTAMINATED SOIL PROMPTLY.

WM-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ONSITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON SITE SHALL SET-UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

- 1 NEW 4" PARKING STRIPING TYP.
- 2 NEW WHEEL STOP
- 3 36X36 INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 4 12" HIGH "NO PARKING" STRIPING
- 5 ACCESSIBLE STALL SIGN
- 6 PROPOSED ADU'S
- 7 NEW ELECTRICAL METER LOCATION
- 8 EXISTING FENCE
- 9 OUTLINE OF BUILDING FOOTPRINT BELOW
- 10 EXISTING BUILDING NOT IN SCOPE
- 11 MINI SPLIT A/C CONDENSER UNIT (14X36). PROVIDE CONCRETE PAD EXTENDS 3" MIN ABOVE GROUND. 6" CLEAR FROM BUILDING.
- 12 +6" CONCRETE LANDING
- 13 (N) ASPHALT PAVING. MATCH EXISTING
- 14 (N) 4" SEWER LINE. 2% SLOPE MINIMUM. SAW CUT (E) CONC. AND REPLACE PER CITY STANDARDS AS REQUIRED.
- 15 (N) PATIO WITH 6" WOOD FENCE

- (E) PAVING
- LAWN / LANDSCAPE
- NEW CONCRETE PAVING
- DEMO AREA
- PROPERTY LINE
- BUILDING FOOTPRINT
- ROOF LINE
- KEYNOTE
REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION
- SITE DRAINAGE
2% SLOPE AWAY FROM BUILDING. SEE DRAINAGE PLANS FOR ADDITIONAL INFORMATION
- WALL DEMOLITION

- SE-8 SANDBAG BARRIER
PLEASE SEE SHEET T-1.3 FOR ADDITIONAL INFO
- WM-8 CONCRETE WASTE
PLEASE SEE SHEET T-1.4 FOR ADDITIONAL INFO

- (E) CONC. DRIVEWAY
- (E) LANDSCAPE
- (E) SIDEWALK
- DEMO EXISTING CARPORT
- (E) 6'-0" HIGH FENCE. PROTECT IN PLACE
- (E) HIGH VOLTAGE IN GROUND VAULT
- PARKING STRIPING TO BE REMOVED. TYP.
- EXISTING PAVING/ LANDSCAPE TO BE REMOVED AND PREPARED FOR NEW ADU FOUNDATION
- (E) PARKING WHEEL STOP TO BE REMOVED
- (E) GUTTER TO REMAIN.

STORMWATER BMP NOTES PROPOSED KEYNOTES LEGEND STORMWATER BMP LEGEND DEMO KEYNOTES

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APPROVALS:

KEY PLAN:

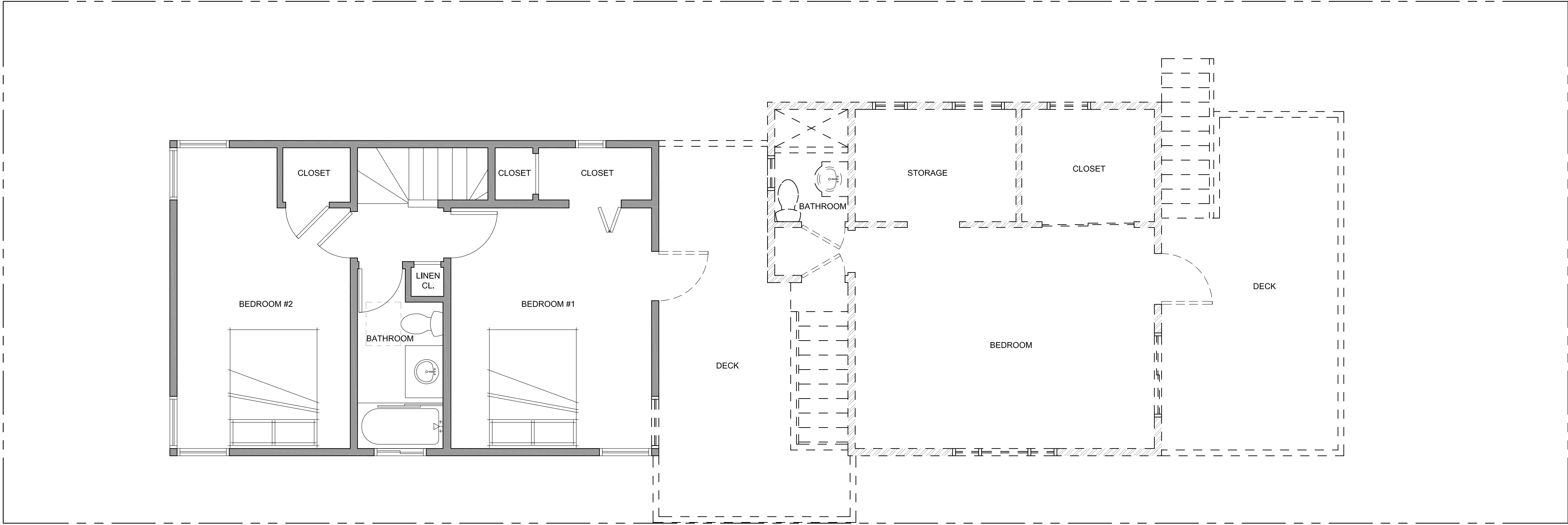
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SHEET TITLE

EXISTING AND
PROPOSED SITE
PLANS

JOB NO. SCALE
2023-- AS NOTED

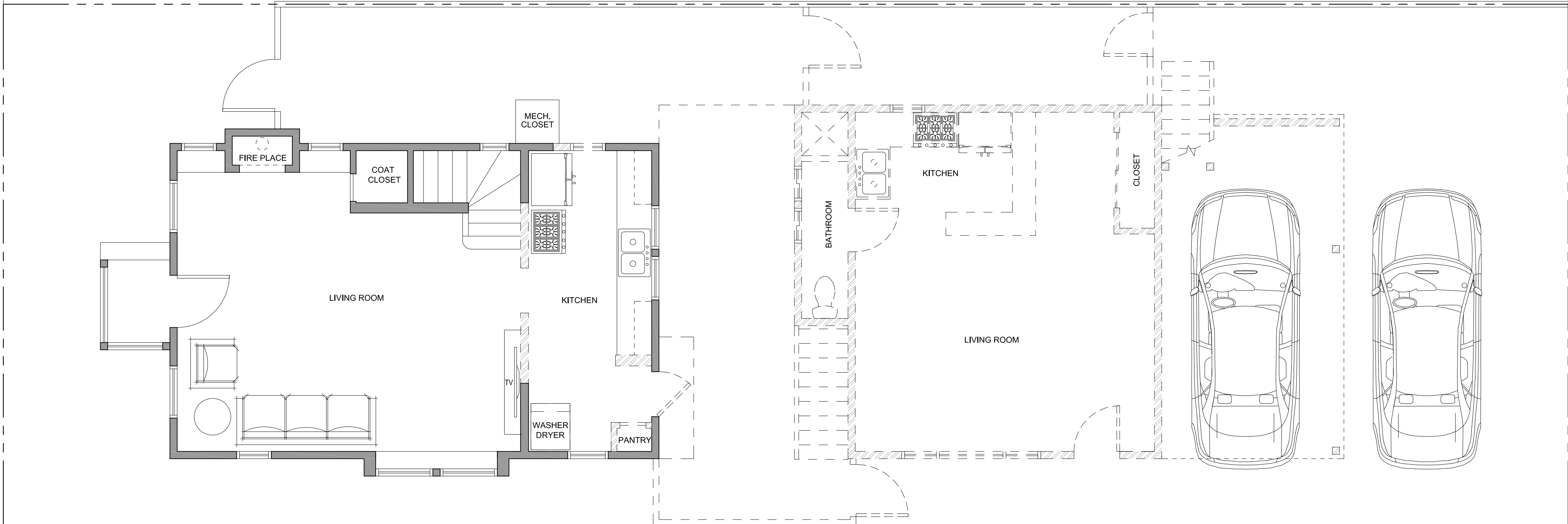
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EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2



EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1

FLOOR PLAN KEYNOTES

NOTE: NOT ALL NOTES APPLY TO THIS SHEET

- 2x6 PLUMBING WALL
- ONE-HOUR FIRE RESISTIVE CONSTRUCTION: PROVIDE 5/8" TYPE "X" GYPSUM BOARD EA. SIDE.
- REFRIGERATOR 36" WIDE. OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECS.
- KITCHEN SINK w/GARBAGE DISPOSAL. OWNER SELECTED. INSTALL PER MANUF. SPECS. -PROVIDE HOT& COLD WATER AND WASTE.
- BATHROOM LAVATORY.
- BUILT-IN CABINETS, UPPERS SHOWN DASHED
- BUILT-IN DISHWASHER, OWNER SELECTED. INSTALL PER MANU F. SPECS.
- TOILET, OWNER SELECTED W / MAXIMUM OF 1.28 GALLONS PER FLUSH
- MIRROR, WIDTH OF CABINET BY 4 FEET HIGH OR OWNER SELECTED (VERIFY).
- CLOSET POLE AND SHELF
- 40,000 BTU/HR RANGE. PROVIDE GAS STUB & 220 ELECTRICAL. MICROWAVE/HOOD COMBINATION SHOWN DASHED ABOVE EXHAUST REQUIREMENTS FOR HOOD SHALL BE 10 0 CFM TO MEET ASH RAE 62.2
- TUB / SHOWER W/ A SMOOTH NON-ABSORBANT SURFACE TO A MIN. OF 70" ABOVE THE DRAIN INLET. STALL SHALL COMPLY W / UPC 410.0
- +36" H. PENINSULA
- BALCONY HANDRAIL

FLOOR PLAN NOTES

- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310. MEANS OF EGRESS PER C.R.C. R311.
- GLAZING PER C.R.C. R301.2.1.2, R303.1 & R308
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- DOOR LANDING REQUIREMENTS:
 - INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD
 - EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. (R311.3.1)
- BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
- ALL BUILDINGS (S.F.D & ACC.L.O) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA130.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.
- EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES, THE MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBSC 4.303.
 - WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
 - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.
 - LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI.
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 80 PSI.
- SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE (1210.2.3, 2406.4.5, R307.2, R308.4)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3)
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR. (SDOF OF LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (310.28)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

PLAN LEGEND

- | | | | |
|--|--------------------|--|---|
| | (E) WALL TO REMAIN | | TYP. TOILET LAYOUT |
| | (N) 2 X STUD WALL | | SLAB ELEVATION CHANGE
REFER TO BUILDING ELEVATIONS AND SITE PLAN FOR ADDITIONAL HEIGHT INFORMATION. |
| | (N) 1-HR WALL | | KEYNOTE
REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION |
| | (N) 6'-0" H. FENCE | | SMOKE DETECTOR |
| | DOOR TAG | | CARBON MONOXIDE DETECTOR |
| | WINDOW TAG | | EXHAUST FAN
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DIRECTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. |

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APPROVALS:

KEY PLAN:

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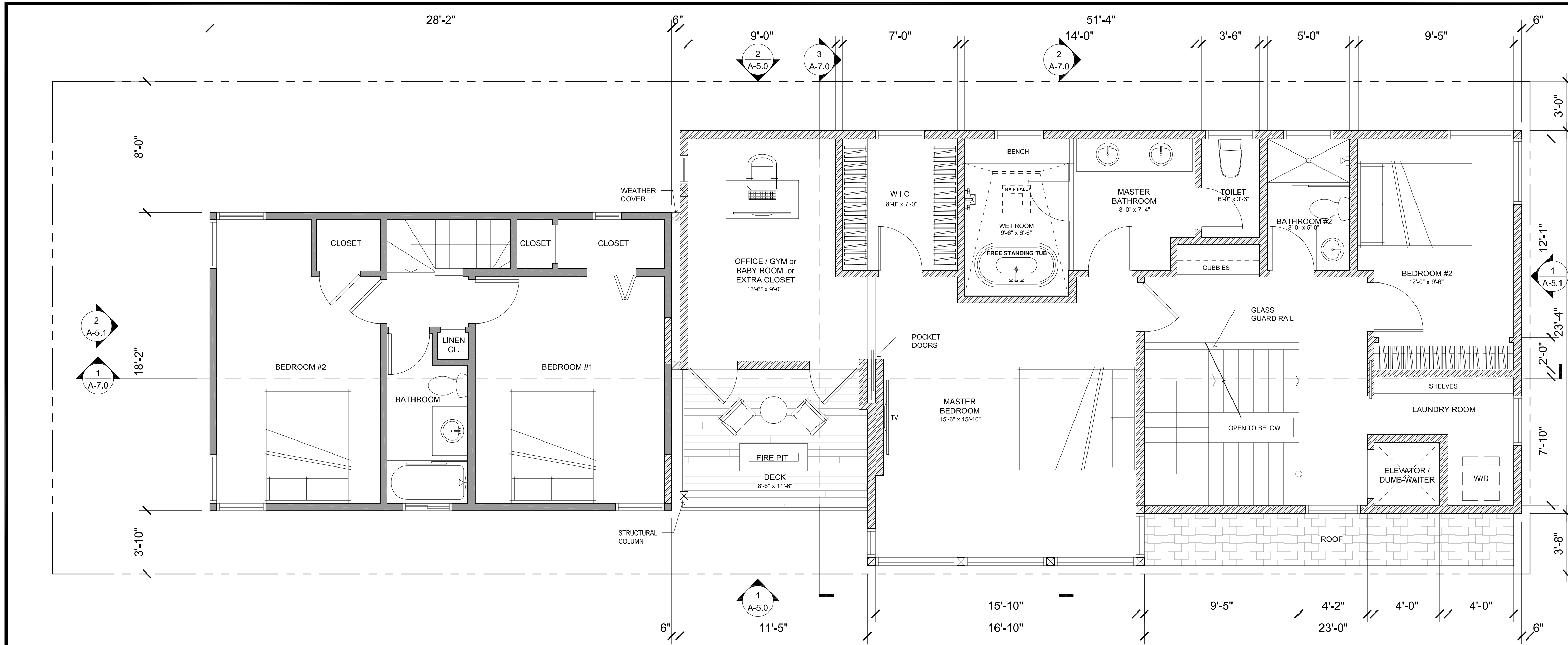
SHEET TITLE

EXISTING
1ST & 2ND
FLOOR PLAN

JOB NO. SCALE
2023-- AS NOTED

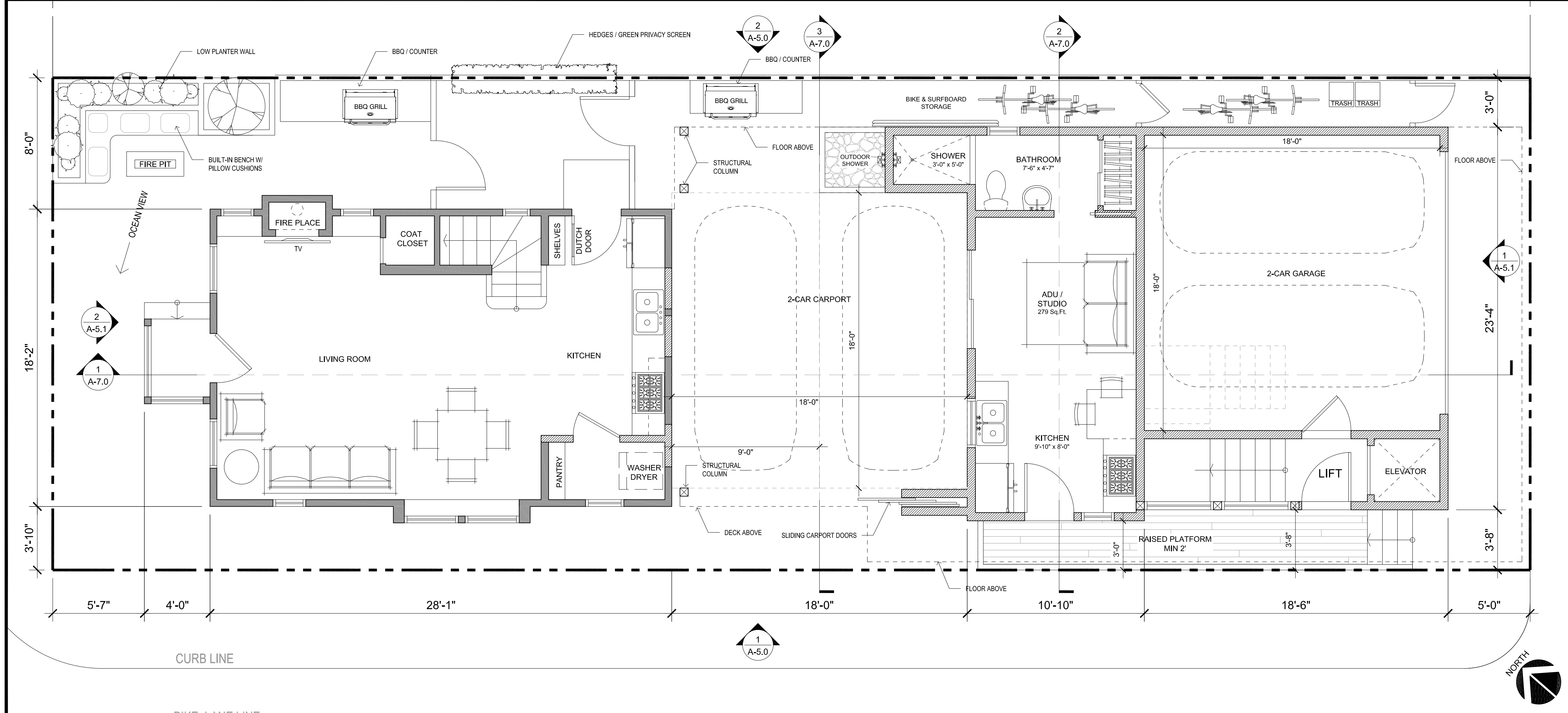
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A-1.0



PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1

FLOOR PLAN KEYNOTES

- NOTE: NOT ALL NOTES APPLY TO THIS SHEET
- 2x6 PLUMBING WALL
 - ONE-HOUR FIRE RESISTIVE CONSTRUCTION: PROVIDE 5/8" TYPE "X" GYPSUM BOARD EA. SIDE.
 - REFRIGERATOR 36" WIDE. OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECS.
 - KITCHEN SINK w/GARBAGE DISPOSAL. OWNER SELECTED. INSTALL PER MANUF. SPECS. -PROVIDE HOT& COLD WATER AND WASTE.
 - BATHROOM LAVATORY.
 - BUILT-IN CABINETS, UPPERS SHOWN DASHED
 - BUILT-IN DISHWASHER, OWNER SELECTED. INSTALL PER MANU F. SPECS.
 - TOILET, OWNER SELECTED W / MAXIMUM OF 1.28 GALLONS PER FLUSH
 - MIRROR, WIDTH OF CABINET BY 4 FEET HIGH OR OWNER SELECTED (VERIFY).
 - CLOSET POLE AND SHELF
 - 40,000 BTU/HR RANGE. PROVIDE GAS STUB & 220 ELECTRICAL. MICROWAVE/HOOD COMBINATION SHOWN DASHED ABOVE EXHAUST REQUIREMENTS FOR HOOD SHALL BE 10 0 CFM TO MEET ASH RAE 62.2
 - TUB / SHOWER W/ A SMOOTH NON-ABSORBANT SURFACE TO A MIN. OF 70" ABOVE THE DRAIN INLET. STALL SHALL COMPLY W / UPC 410.0
 - 36" H. PENINSULA
 - BALCONY HANDRAIL

FLOOR PLAN NOTES

- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310, MEANS OF EGRESS PER C.R.C. R311.
- GLAZING PER C.R.C. R301.2.1.2, R303.1 & R308
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- DOOR LANDING REQUIREMENTS:
5.A. INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2" LOW THAN THE TOP OF THE THRESHOLD
5.AA. EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. (R311.3.1.1)
5.B. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
5.C. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
5.D. ALL BUILDINGS (S.F.D & ACC.L.O.) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA1030.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.
- EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES, THE MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBSC 4.303.
A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.
C. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI.
D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 80 PSI.
E. SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)
F. PROVIDE 22 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE (1210.2.3, 2406.4.5, R307.2, R308.4)
G. THE CONSTRUCTION SHALL PROVIDE A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3)
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR. (SDOF OF LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (313.02B)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

PLAN LEGEND

- | | |
|--------------------|---|
| (E) WALL TO REMAIN | 2'-0" TYP. TOILET LAYOUT |
| (N) 2 X STUD WALL | SLAB ELEVATION CHANGE
REFER TO BUILDING ELEVATIONS AND SITE PLAN FOR ADDITIONAL HEIGHT INFORMATION. |
| (N) 1-HR WALL | DOOR TAG |
| (N) 6'-0" H. FENCE | WINDOW TAG |
| 200 | KEYNOTE
REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION |
| # | SMOKE DETECTOR |
| SD | CARBON MONOXIDE DETECTOR |
| CM | EXHAUST FAN
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DIRECTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL. |

D.L.A.
ARCHITECTS

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THE SUNSET

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SUNSET BEACH, CA 90742

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APPROVALS:

KEY PLAN:

NO.	REVISION	DATE
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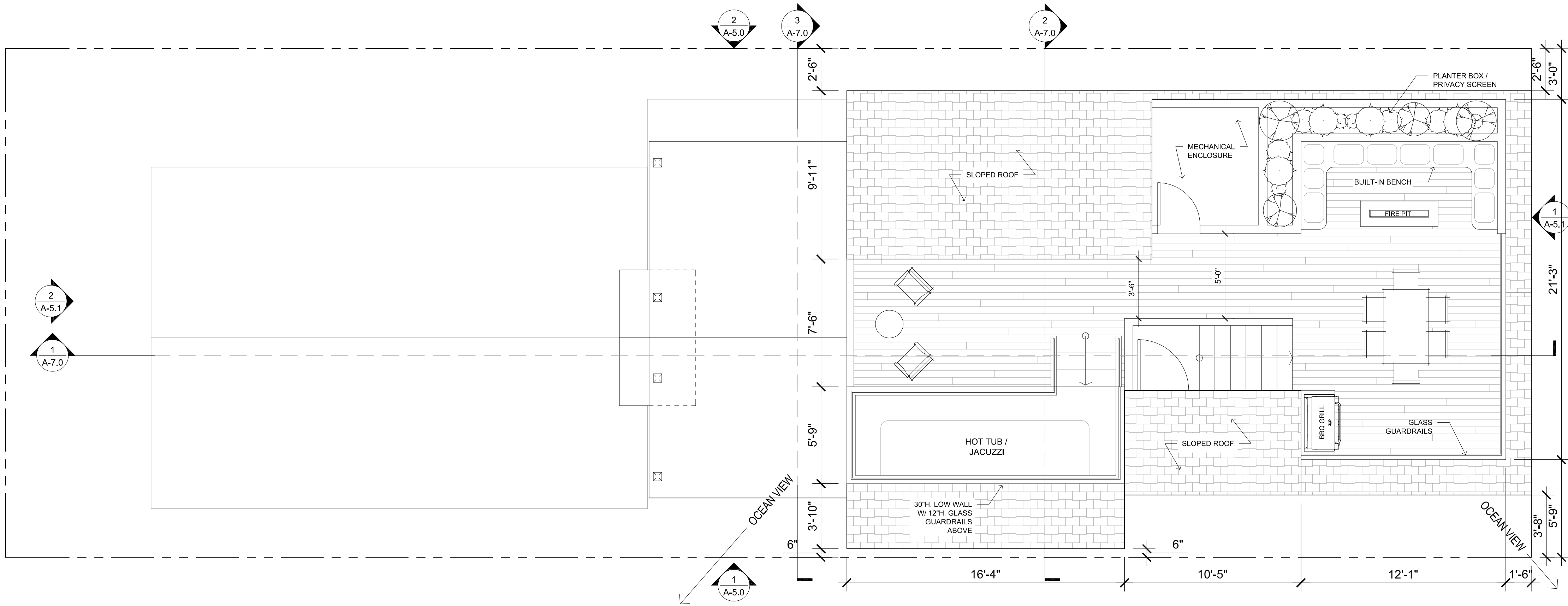
SHEET TITLE

PROPOSED
1ST & 2ND
FLOOR PLAN

JOB NO. SCALE
2023-- AS NOTED

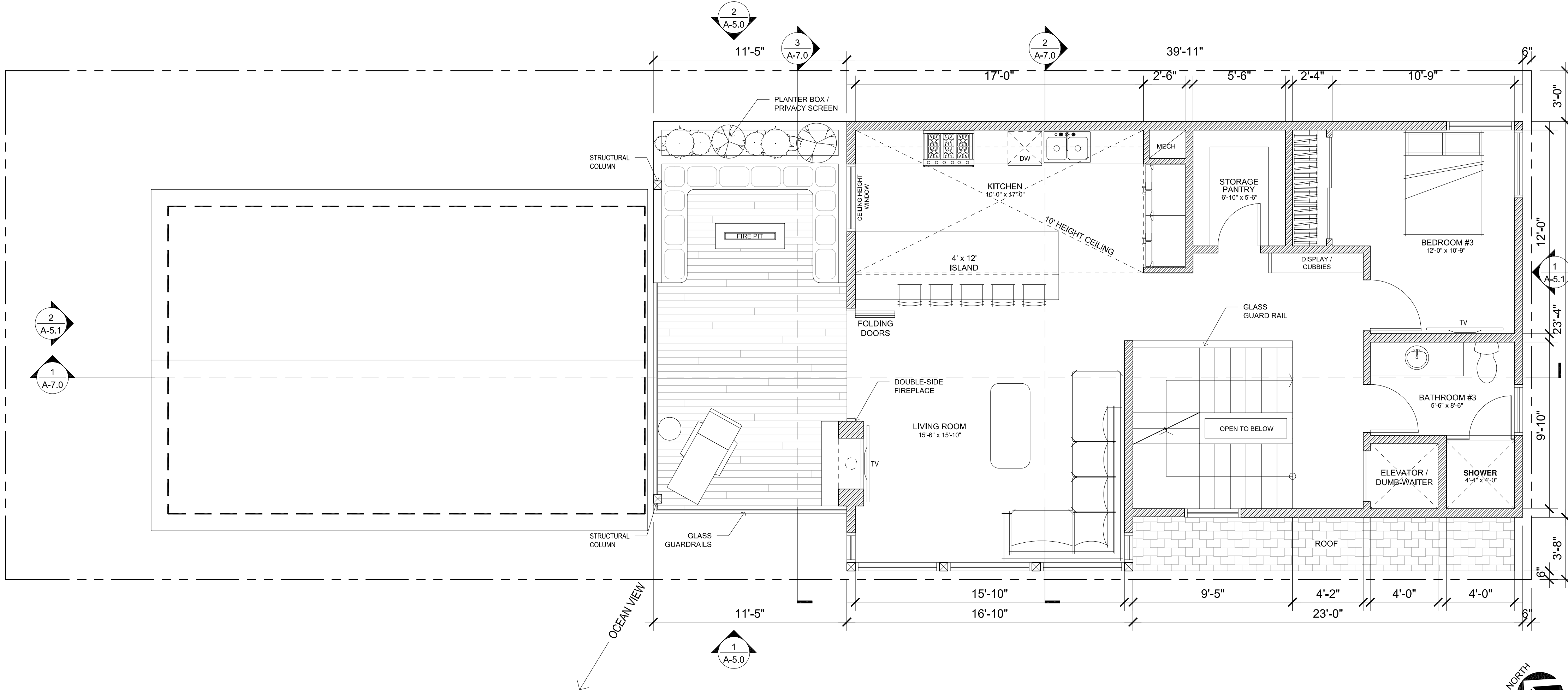
SHEET NO.

A-2.0



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

2



PROPOSED 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"

1

FLOOR PLAN KEYNOTES

NOTE: NOT ALL NOTES APPLY TO THIS SHEET

- 2x6 PLUMING WALL
- ONE-HOUR FIRE RESISTIVE CONSTRUCTION: PROVIDE 5/8" TYPE "X" GYPSUM BOARD EA. SIDE.
- REFRIGERATOR 36" WIDE. OWNER SELECTED. ROUGH PLUMBING PER MANUF. SPECS.
- KITCHEN SINK w/GARBAGE DISPOSAL. OWNER SELECTED. INSTALL PER MANUF. SPECS. -PROVIDE HOT& COLD WATER AND WASTE.
- BATHROOM LAVATORY.
- BUILT-IN CABINETS, UPPERS SHOWN DASHED
- BUILT-IN DISHWASHER, OWNER SELECTED. INSTALL PER MANU F. SPECS.
- TOILET, OWNER SELECTED W / MAXIMUM OF 1.28 GALLONS PER FLUSH
- MIRROR, WIDTH OF CABINET BY 4 FEET HIGH OR OWNER SELECTED (VERIFY).
- CLOSET POLE AND SHELF
- 40,000 BTU/HR RANGE. PROVIDE GAS STUB & 220 ELECTRICAL. MICROWAVE/HOOD COMBINATION SHOWN DASHED ABOVE. EXHAUST REQUIREMENTS FOR HOOD SHALL BE 10 0 CFM TO MEET ASH RAE 62.2
- TUB / SHOWER W/ A SMOOTH NON-ABSORBANT SURFACE TO A MIN. OF 70" ABOVE THE DRAIN INLET. STALL SHALL COMPLY W / UPC 410.0
- +36" H. PENINSULA
- BALCONY HANDRAIL

FLOOR PLAN NOTES

- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310. MEANS OF EGRESS PER C.R.C. R311.
- GLAZING PER C.R.C. R301.2.1.2, R303.1 & R308
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- DOOR LANDING REQUIREMENTS:
 - 5.A. INTERIOR FINISH FLOOR TO EXTERIOR CONCRETE STOOP SHALL BE NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD
 - 5.AA. EXCEPTION: NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. (R311.3.11)
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
- ALL BUILDINGS (S.F.D & ACC.L.O) SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA130.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.
- EFFECTIVE JAN 1, 2014, CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- WATER EFFICACY SCHEDULE FOR ALL PLUMBING FIXTURES: THE MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBSC 4.303.
 - A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
 - B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATES OF 2.0 GALLONS PER MINUTE AT 80 PSI.
 - C. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI.
 - D. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 80 PSI.
- SHOWER AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)
- PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER ENCLOSURE (1210.2.3, 2406.4.5, R307.2, R308.4)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R308.3)
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (EJOP OF LAPC)
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (31328)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

PLAN LEGEND

- | | |
|--------------------|---|
| (E) WALL TO REMAIN | 2'-0" TYP. TOILET LAYOUT |
| (N) 2 X STUD WALL | SLAB ELEVATION CHANGE
REFER TO BUILDING ELEVATIONS AND SITE PLAN FOR ADDITIONAL HEIGHT INFORMATION. |
| (N) 1-HR WALL | KEYNOTE
REFER TO RESPECTIVE KEY VALUE FOR MORE INFORMATION |
| (N) 6'-0" H. FENCE | SMOKE DETECTOR |
| DOOR TAG | CARBON MONOXIDE DETECTOR |
| WINDOW TAG | EXHAUST FAN
FANS SHALL BE ENERGY STAR COMPLIANT AND BE DIRECTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. |

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SHEET TITLE

PROPOSED 3RD FLOOR PLAN & ROOF PLAN

JOB NO. SCALE
2023-- AS NOTED

SHEET NO.

A-2.1

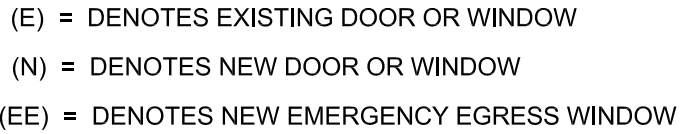


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5.7 SQ. FT. AND 44" MAX TO THE BOTTOM OF THE CLEAR OPENING
NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
(R310.1)



KEY PLAN

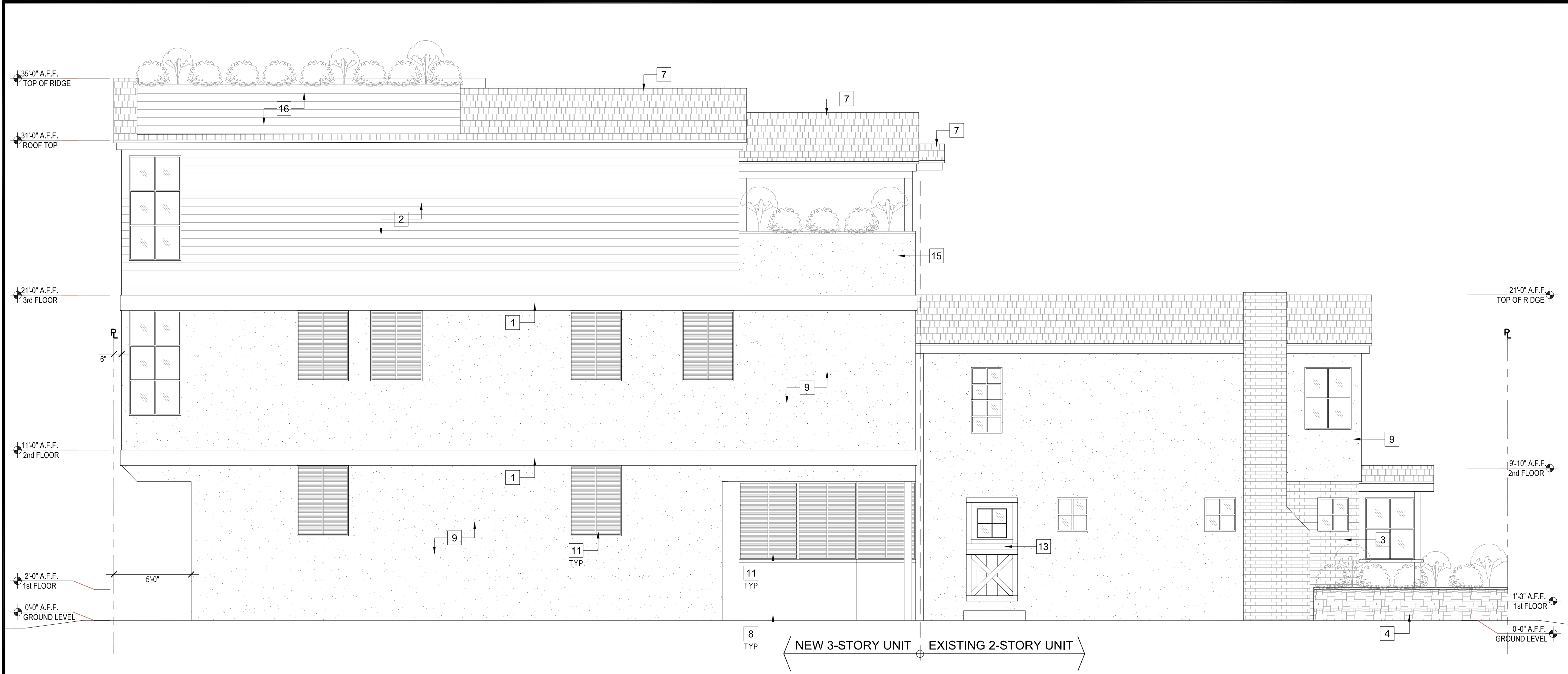


1. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER C.B.C. SECTION 1405.3, FLASHING.
2. REFER TO UNIT FLOOR PLANS AND DOOR AND WINDOW SCHEDULE FOR TEMPERED GLAZING LOCATIONS AND REQUIREMENTS.
3. PROVIDE WATERPROOF BACKING AT LIGHTING PENETRATION LOCATIONS
- 3A. REFER TO UTILITY PLAN FOR LIGHTING LOCATIONS AND ADDITIONAL INFORMATION
4. ALUMINUM RAILING AND CANOPIES SHALL BE MADE OF NON-REFLECTIVE-MATTE FINISH METAL.
5. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
6. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AFWA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AFWA U1.
7. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
"EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)"

[illegible]

SHEET NO.

A-4.0



- ### ELEVATION KEY NOTES
- NOTE: NOT ALL NOTES APPLY TO THIS SHEET
- 1 (N) WOOD TRIM
 - 2 (N) WOOD SIDING
 - 3 (N) BRICK TO MATCH (E)
 - 4 (N) PLANTER BOX W/ TEXTURED STONE FINISH
 - 5 (N) RAISED PLATFORM (MIN. 2") W/ TEXTURED STONE FINISH
 - 6 (N) WROUGHT IRON GUARDRAIL (MIN. 42"H. AFF)
 - 7 (N) ROOF SHINGLE TO MATCH (E)
 - 8 (N) GARAGE DOOR
 - 9 (N) 7/8" EXTERIOR CEMENT PLASTER, MATCH STUCCO AT (E)
 - 10 (N) GLASS GUARDRAIL (MIN. 42"H. AFF)
 - 11 (N) METAL SCREEN
 - 12 (N) WATER FEATURE
 - 13 (N) DOOR
 - 14 (N) WOODEN FENCE (MAX. 6'H.)
 - 15 (N) PLANTER BOX W/ STUCCO FINISH
 - 16 (N) PLANTER BOX W/ WOOD SIDING FINISH

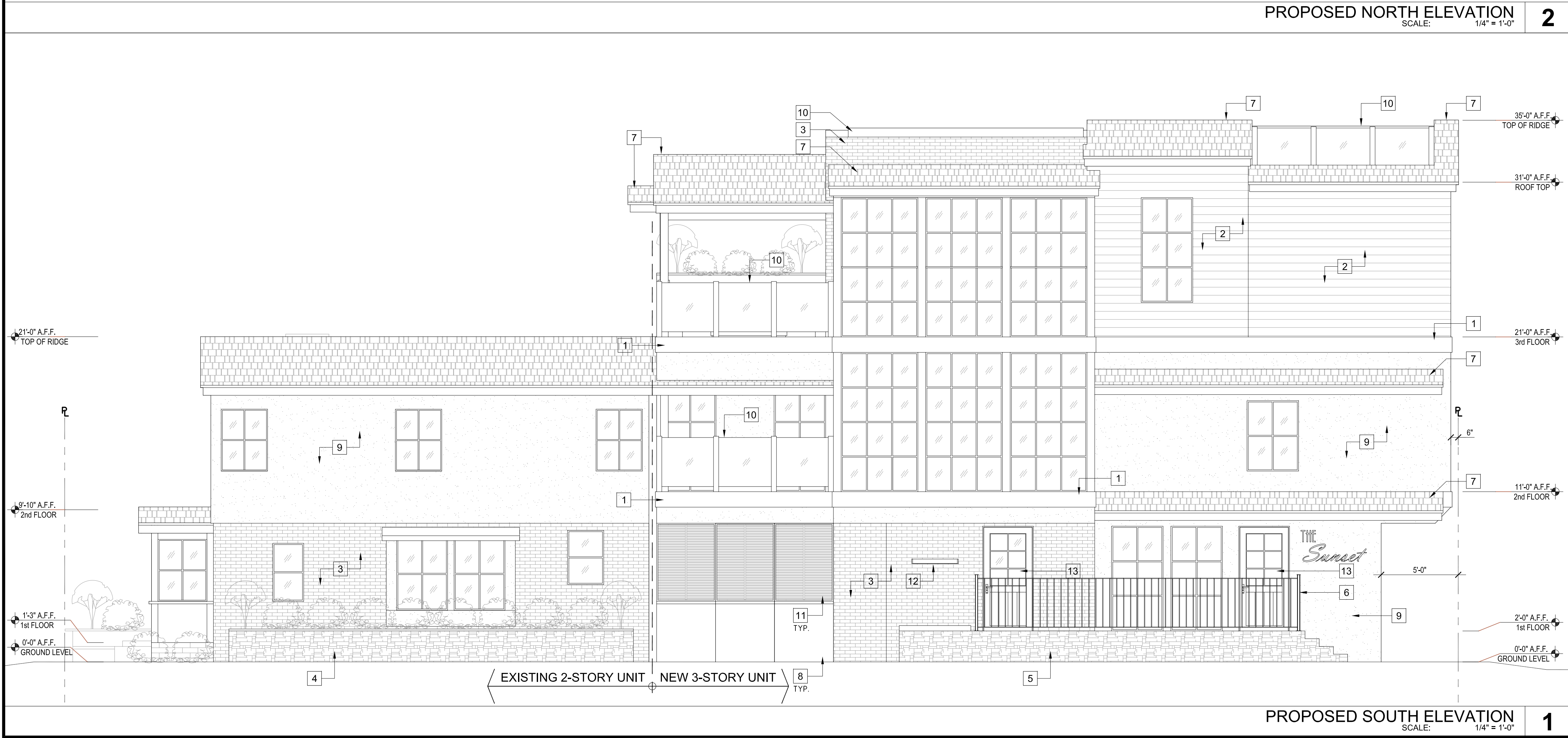
EGRESS NOTES

EMERGENCY EGRESS FOR SLEEPING ROOMS, REQUIRED MINIMUM DIMENSIONS ARE:
24" CLEAR HEIGHT (R310.1.2)
20" CLEAR WIDTH (R310.1.3)

5.7 SQ. FT. AND 44" MAX TO THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. (R310.1)

WINDOW / DOOR DESIGNATION

(E) = DENOTES EXISTING DOOR OR WINDOW
(N) = DENOTES NEW DOOR OR WINDOW
(EE) = DENOTES NEW EMERGENCY EGRESS WINDOW



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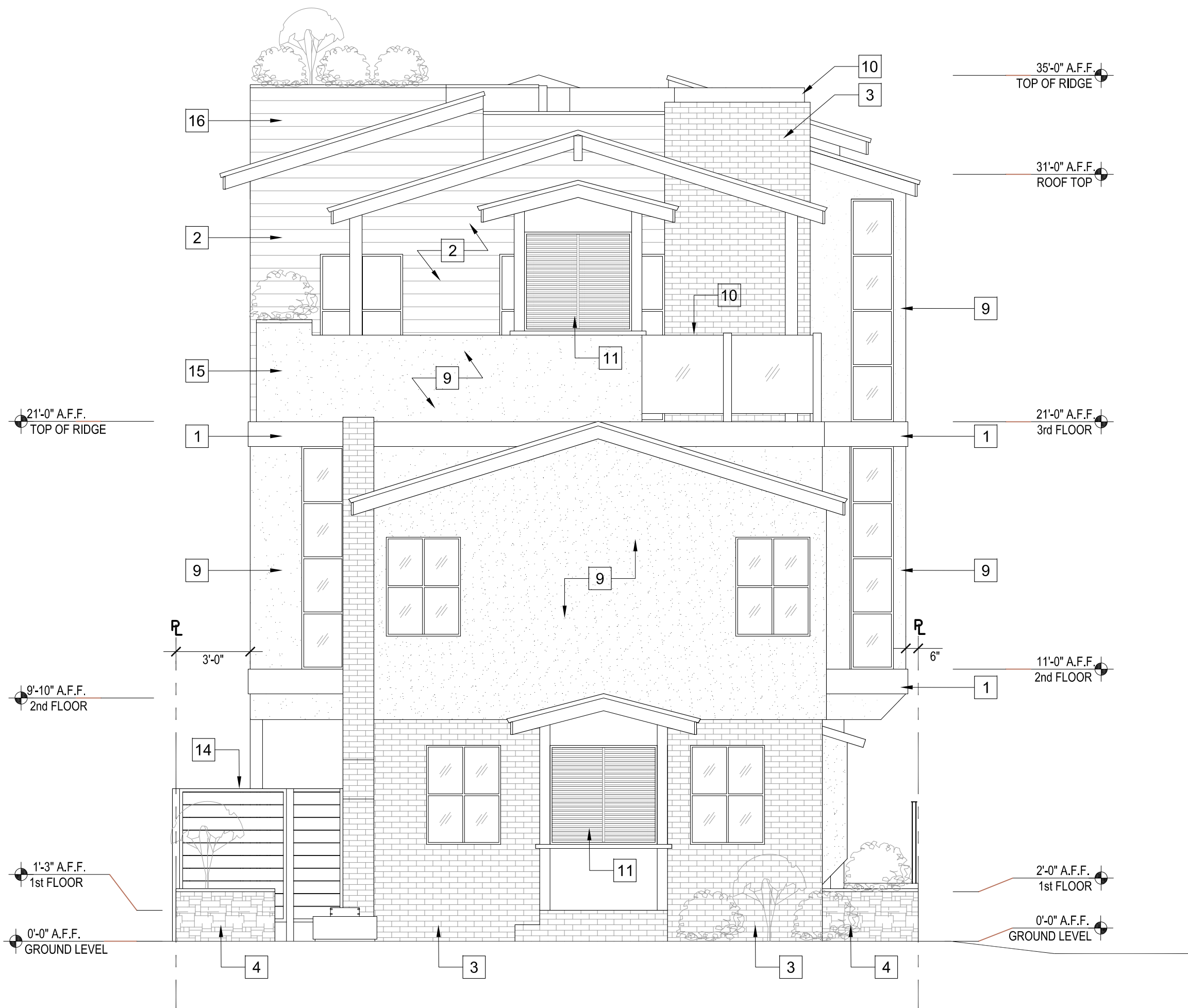
KEY PLAN:

SHEET TITLE

PROPOSED ELEVATIONS

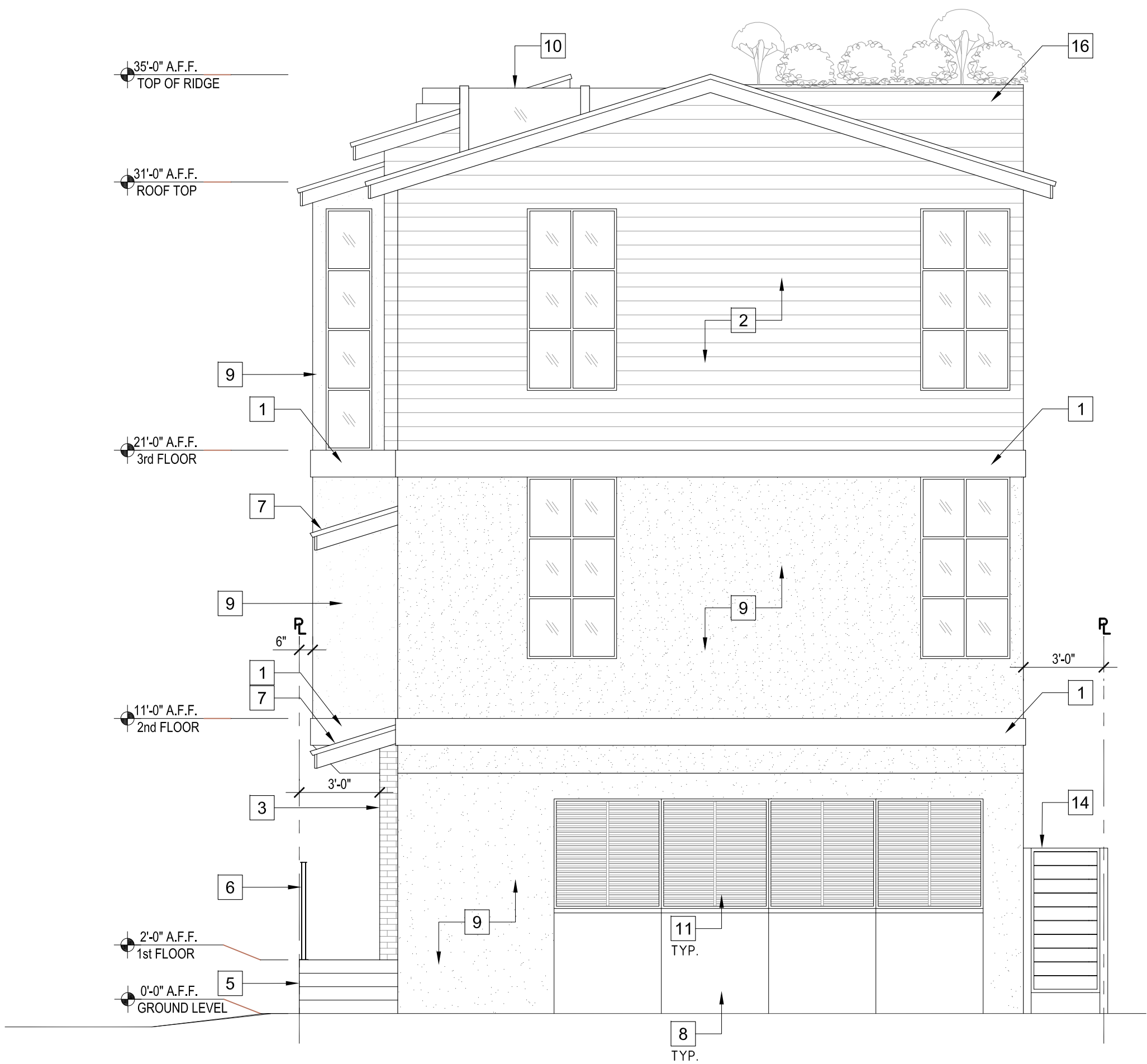
JOB NO. 2023--
SCALE AS NOTED

SHEET NO. A-5.0



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

2



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

1

ELEVATION KEY NOTES

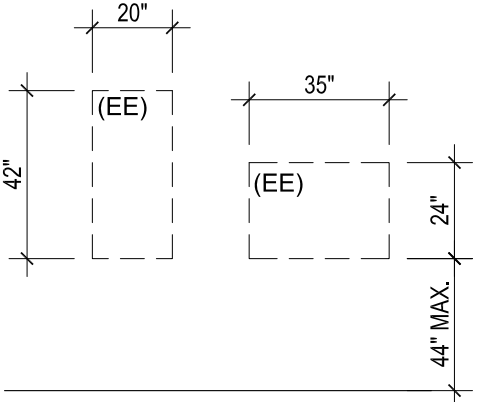
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APPROVALS:

KEY PLAN:

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SHEET TITLE

PROPOSED
ELEVATIONS

JOB NO. SCALE
2023-- AS NOTED

SHEET NO.

A-5.1



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

1

ELEVATION KEY NOTES

EGRESS NOTES

ELEVATION NOTES

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APPROVALS:

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SHEET TITLE

PROPOSED COLORED
ELEVATIONS
ONLY FOR REFERENCES

JOB NO. SCALE
2023-- AS NOTED

SHEET NO.

A-6.0



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

2



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

1

ELEVATION KEY NOTES

EGRESS NOTES

ELEVATION NOTES

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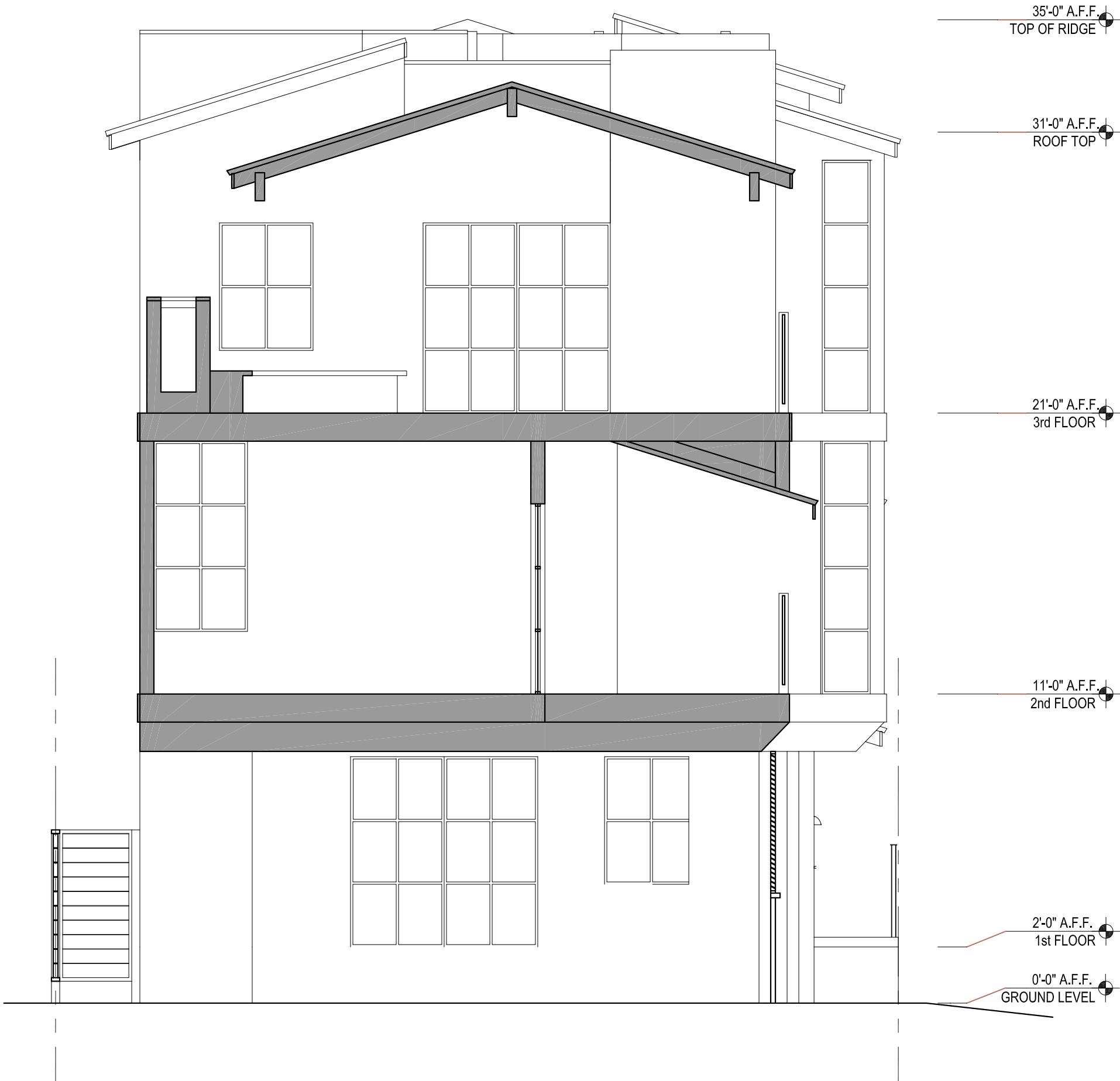
SHEET TITLE

PROPOSED COLORED
ELEVATIONS
ONLY FOR REFERENCES

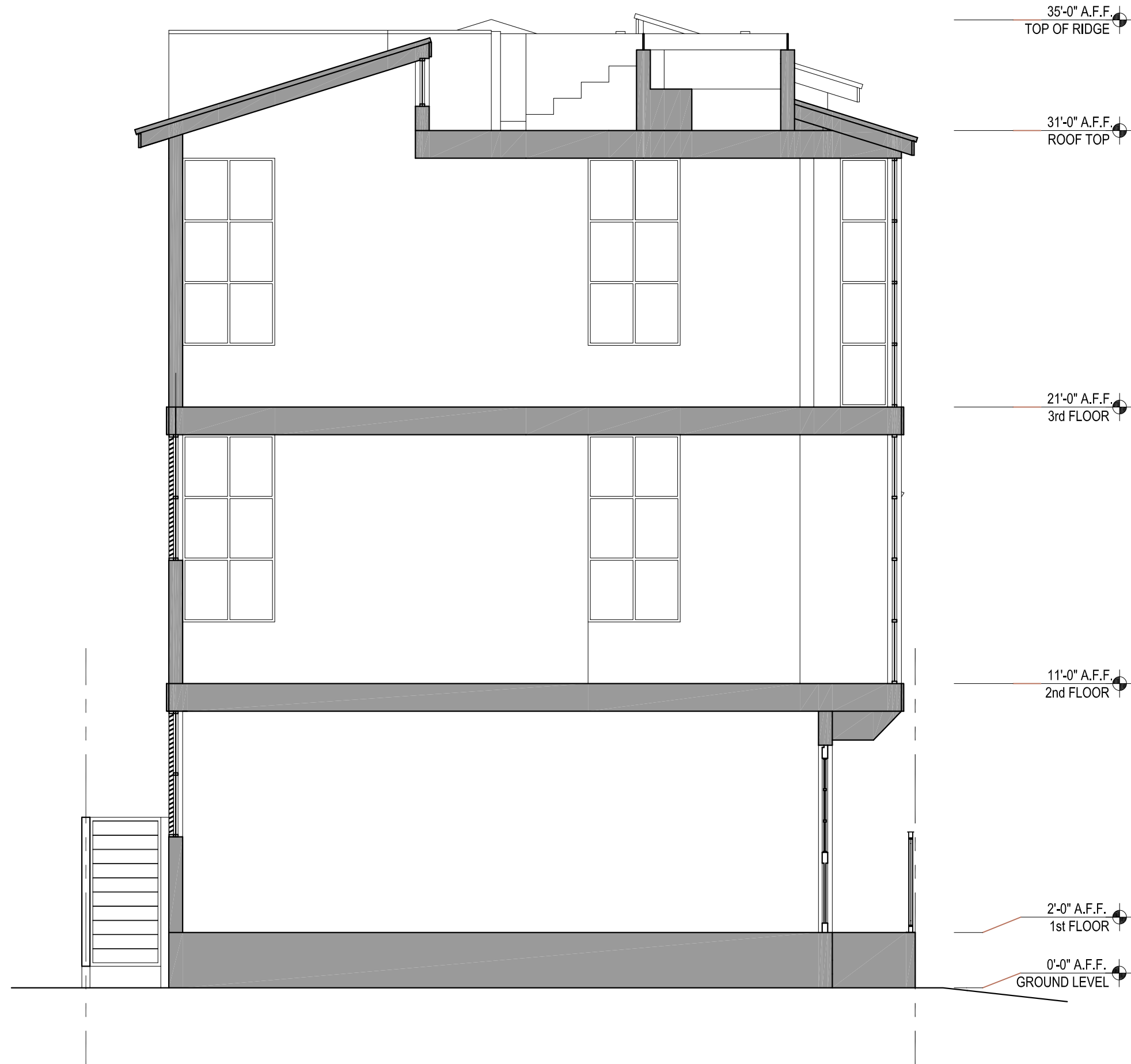
JOB NO. SCALE
2023-- AS NOTED

SHEET NO.

A-6.1



SECTION 3
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION 1
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

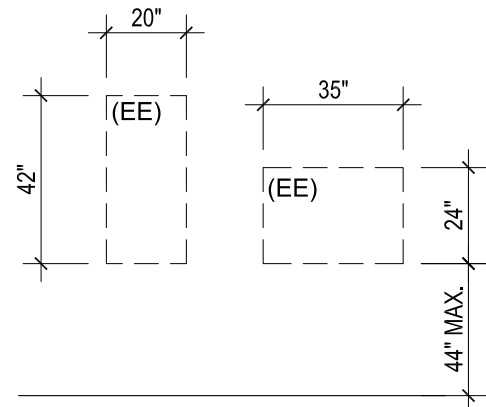
NOTE: NOT ALL NOTES APPLY TO THIS SHEET

- 1 (N) ALUM. WINDOW TO MATCH (E) TO MATCH EXISTING, TYP.
- 2 (N) DOOR
- 3 (N) SLIDING DOOR
- 4 (N) HANDRAIL
- 5 (N) ROOF SHINGLE TO MATCH (E)
- 6 (N) GARAGE DOOR
- 7 (N) BOLLARD
- 8 (N) STRUCTURAL POST
- 9 (N) 7/8" EXTERIOR CEMENT PLASTER, MATCH STUCCO AT (E)
- 10 (N) WOOD SIDING
- 11 (N) SIGNAGE

EGRESS NOTES

EMERGENCY EGRESS FOR SLEEPING ROOMS, REQUIRED
MINIMUM DIMENSIONS ARE:
24" CLEAR HEIGHT (R310.1.2)
20" CLEAR WIDTH (R310.1.3)

5.7 SQ. FT. AND 44" MAX TO THE BOTTOM OF THE CLEAR OPENING
NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
(R310.1)



WINDOW / DOOR DESIGNATION

- (E) = DENOTES EXISTING DOOR OR WINDOW
(N) = DENOTES NEW DOOR OR WINDOW
(EE) = DENOTES NEW EMERGENCY EGRESS WINDOW

ELEVATION NOTES

1. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER C.B.C. SECTION 1405.3, FLASHING.
2. REFER TO UNIT FLOOR PLANS AND DOOR AND WINDOW SCHEDULE FOR TEMPERED GLAZING LOCATIONS AND REQUIREMENTS
3. PROVIDE WATERPROOF BACKING AT LIGHTING PENETRATION LOCATIONS
- 3A. REFER TO UTILITY PLAN FOR LIGHTING LOCATIONS AND ADDITIONAL INFORMATION
4. ALUMINUM RAILING AND CANOPIES SHALL BE MADE OF NON-REFLECTIVE-MATTE FINISH METAL.
5. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
6. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
7. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. "EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)"

D.L.A.
ARCHITECTS

1215 N RED GUM ST. SUITE E
ANAHEIM, CA 92806

THE SUNSET
16432 25TH ST.
SUNSET BEACH, CA 90742

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SHEET TITLE

PROPOSED
SECTIONS

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2023-- AS NOTED

SHEET NO.

A-7.0



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SHEET TITLE

PROPOSED
PERSPECTIVE VIEWS

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2023-- AS NOTED

SHEET NO.
A-8.0