

SHEET INDEX

(TOTAL SHEETS = 12)

ARCHITECTURAL (11 SHEETS)

- A0.1 TITLE SHEET
A0.5 OVERALL SITE PLAN
A0.5a SITE PLAN-FENCE LAYOUT
BUILDING 1
A2.1-1 FLOOR PLAN
A3.1-1 ROOF PLAN
A4.1-1 EXTERIOR ELEVATIONS
BUILDING 2
A2.1-2 FLOOR PLAN
A3.1-2 ROOF PLAN
A4.1-2 EXTERIOR ELEVATIONS
A9.0 PERSPECTIVE VIEWS
A9.1 MATERIAL BOARD

LANDSCAPE (1 SHEETS)

- L1.1 PRELIMINARY LANDSCAPE PLAN

TRIPLE H PROPERTIES REDONDO

7600 REDONDO CIR, HUNTINGTON BEACH, CA 92648

ABBREVIATIONS

Table of abbreviations for architectural symbols, including terms like And, Angle, At, Centerline, Diameter or Round, etc.

DEVELOPER

TRIPLE H PROPERTIES

7600 REDONDO CIR, HUNTINGTON BEACH, CA 92648

DAVID HIGMAN, EMAIL: davidhigman@cloud.com

ARCHITECT

WARE MALCOMB

10 EDELMAN IRVINE, CA 92618

MEHRAD MOHAMMADI, PH: (949) 660-9128 x1050, EMAIL: mmohammad@waremalcomb.com

CIVIL ENGINEER

WARE MALCOMB

10 EDELMAN IRVINE, CA 92618

LUKE CORSBIE, PH: (949) 660-9128 x 1159, EMAIL: lcorsbie@waremalcomb.com

LANDSCAPE ARCHITECT

COLLEEN NOLAN LANDSCAPE

13355 SILVERADO COURT, CORONA, CA 92883

COLLEEN M. NOLAN, PH: (714) 743-7915

PROJECT DATA

BUILDING DEPARTMENT: CITY OF HUNTINGTON BEACH, CA
APPLICABLE CODES:
BUILDING: 2022 CALIFORNIA BUILDING CODE
STRUCTURE: 2022 CALIFORNIA BUILDING CODE
MECHANICAL: 2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL: 2022 CALIFORNIA ELECTRICAL CODE
PLUMBING: 2022 CALIFORNIA PLUMBING CODE
FIRE/LIFE SAFETY: 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
ENERGY: 2022 STATE OF CALIFORNIA ENERGY CODE
2022 STATE OF CALIFORNIA GREEN BUILDING CODE
ACCESSIBILITY: 2022 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION:

Table with columns: OCCUPANCY, SECTION, USE, PROPOSED AREA (SF). Rows: S-1 / STORAGE (311) WAREHOUSE, B / OFFICE (304) OFFICE.

CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

Table with columns: MAIN OCCUPANCY, SPRINKLER CONDITION, TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET, (504.4) MAX. NUMBER OF STORES ABOVE GRADE PLANE, PROPOSED BUILDING HEIGHT IN FEET, PROPOSED NUMBER OF STORIES ABOVE GRADE PLANE. Rows: S-1 BUILDING 1, S-1 BUILDING 2.

ALLOWABLE BUILDING AREA:

UNLIMITED AREA ALLOWED PER 507.4
W/ AUTOMATIC SPRINKLER AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES

PROPOSED TOTAL BUILDING 1 AREA: 93,360 SF
PROPOSED TOTAL BUILDING 2 AREA: 83,352 SF
PROPOSED TOTAL BUILDING AREA: 176,712 SF

CHAPTER 6 - TYPES OF CONSTRUCTION:

TYPE OF CONSTRUCTION: [602] TYPE III-B (FULLY SPRINKLERED THROUGHOUT)

FIRE RESISTANCE RATING REQUIREMENTS FOR:

Table with columns: BUILDING ELEMENTS, (TABLE 601). Rows: STRUCTURAL FRAME, EXTERIOR BEARING WALLS, INTERIOR BEARING WALLS, EXTERIOR NON-BEARING WALLS, INTERIOR NON-BEARING WALLS, FLOORS, ROOF.

Table with columns: EXTERIOR WALLS BASED ON FIRE SEPARATION (TABLE 602). Rows: NORTH EXTERIOR WALL (X > 30'), EAST EXTERIOR WALL (X > 30'), SOUTH EXTERIOR WALL (X > 30'), WEST EXTERIOR WALL (X > 30').

CHAPTER 7 - FIRE-RESISTANCE RATED CONSTRUCTION: ALLOWABLE AREA OF OPENINGS (TABLE 705.6) (FULLY SPRINKLERED THROUGHOUT)

Table with columns: EXTERIOR WALLS, FIRE SEPARATION DISTANCE (FT), ALLOWABLE AREA (Sq Ft), EXTERIOR WALL ACTUAL AREA (Sq Ft), ACTUAL AREA OF UNPROTECTED OPENINGS (Sq Ft), ALLOWABLE AREA OF UNPROTECTED OPENINGS (Sq Ft), ACTUAL AREA OF UNPROTECTED OPENINGS (Sq Ft), ACTUAL AREA OF UNPROTECTED OPENINGS (Sq Ft). Row: NORTH, EAST, SOUTH, WEST.

CHAPTER 9 - FIRE PROTECTION SYSTEMS:

- (903.3.1.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH 2022 CFC AND NFPA 13.
(903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING AND ALARMS WILL BE PROVIDED.
E.S.F.R. (EARLY SUPPRESSION FAST-RESPONSE) AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM PROVIDED THROUGHOUT.
(910.2) EXCEPTION 2: SMOKE AND HEAT VENTS NOT REQUIRED WHERE E.S.F.R. SPRINKLER SYSTEM IS PROVIDED

PROJECT DESCRIPTION

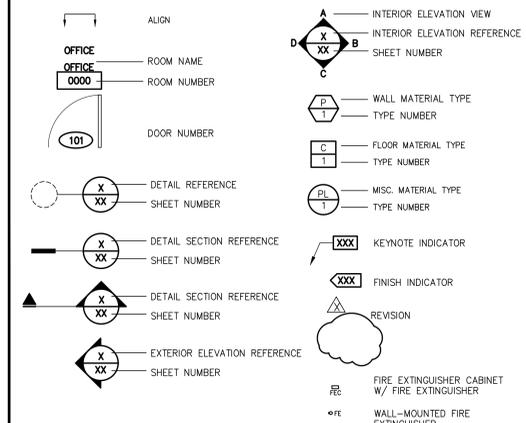
PROPOSING TWO NEW INDUSTRIAL BUILDINGS IN APPROXIMATELY 9.59 ACRE PROPERTY.
BUILDING ONE FOOTPRINT IS 93,360 WHICH INCLUDES MAX. 310 OFFICE SPACE ON GROUND LEVEL AND MEZZANINE. OVERALL BUILDING SIZE INCLUDING THE MEZZANINE IS 98,360 SF.
BUILDING ONE OFFERS 11 TRAILER DOCKS AND 106 PARKING STALLS.
BUILDING TWO FOOTPRINT IS 83,352 WHICH INCLUDES MAX. 310 OFFICE SPACE ON GROUND LEVEL AND MEZZANINE. OVERALL BUILDING SIZE INCLUDING THE MEZZANINE IS 87,552 SF.
BUILDING TWO OFFERS 11 TRAILER DOCKS AND 88 PARKING STALLS.

ZONING CONFORMANCE

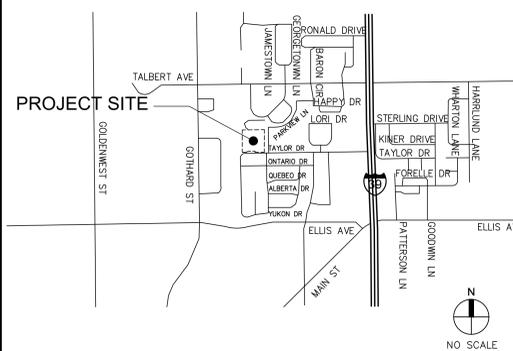
Table with columns: DEVELOPMENT STANDARD, REQUIRED, PROPOSED. Rows: MAX COVERAGE, MAX HEIGHT, MAX F.A.R., SETBACKS (FRONT, SIDE, REAR), AREA ANALYSIS (BUILDING 1, BUILDING 2), PARKING (0.10% OFFICE) (BUILDING 1, BUILDING 2).

SEE SHEET A0.5 FOR ADDITIONAL INFORMATION

SYMBOLS



VICINITY MAP



WARE MALCOMB logo and contact information: Architecture, Planning, Interiors, Graphics. 10 edelman, irvine, california 92618, P: 949.660.9128, F: 949.863.1381.

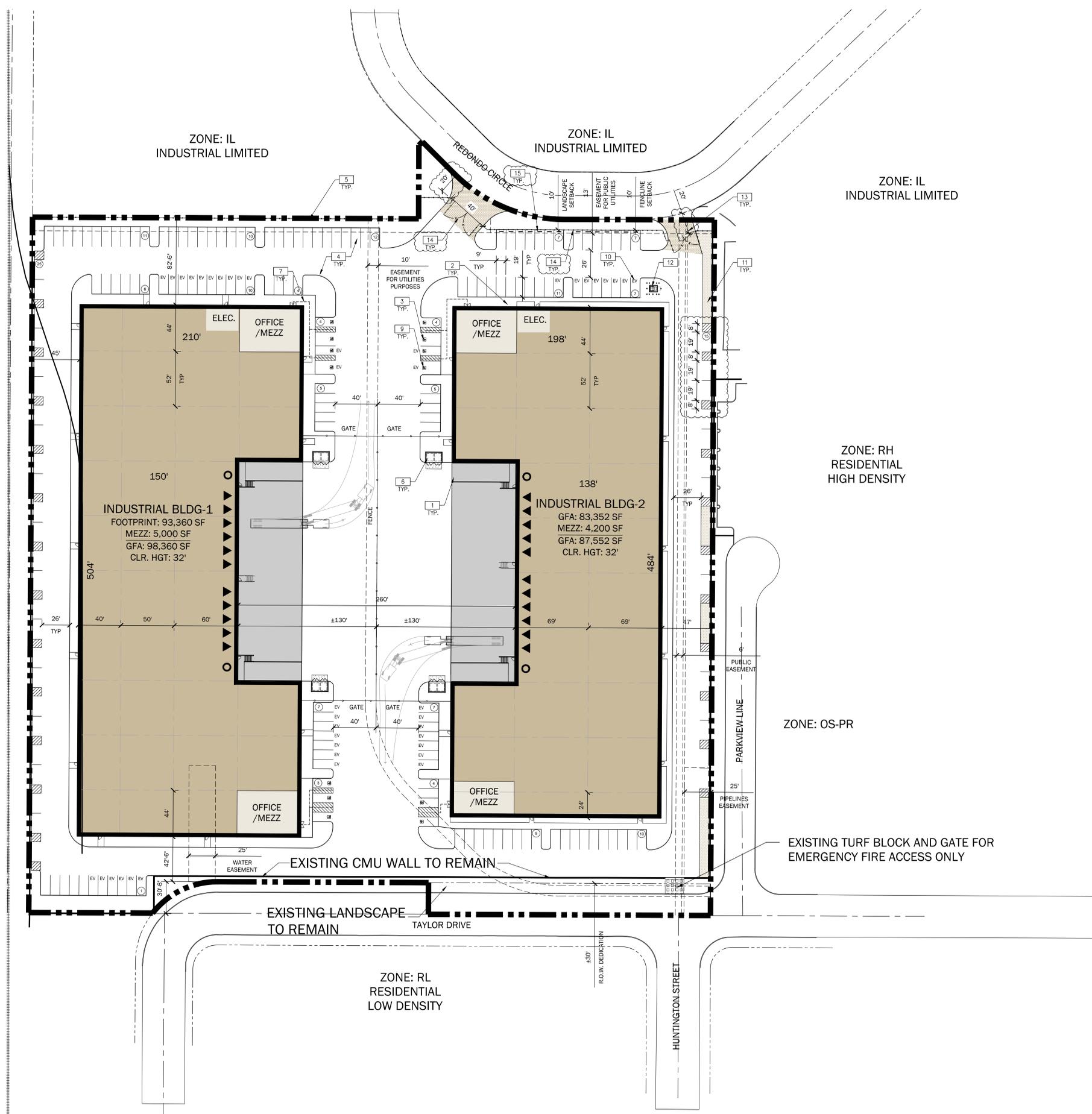
TRIPLE H PROPERTIES REDONDO 7600 REDONDO CIR. HUNTINGTON BEACH, CA 92648

TITLE SHEET table with columns: DATE, REMARKS, DATE, REMARKS. Rows: 03-09-2024, 10-06-2025.

PA / PM: M. MOHAMMADI
DRAWN BY: O.J
JOB NO.: IRV23-0166-00

SHEET A0.1

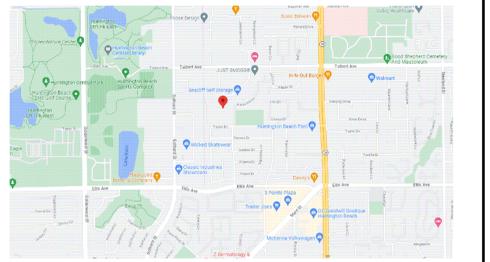
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



DEVELOPMENT STANDARDS	
Zoning	Huntington Beach, CA IL
Jurisdiction	IL
Zoning Designation	IL
Max Coverage	0.75
Max F.A.R	40 FT
Max Height	40 FT
Building Setbacks	Front 10 FT Side 15 FT Rear 0 FT
Landscape Setbacks/Requirements	Front 10 FT Side 0 FT Rear 0 FT
Parking Standards	Min Stall Size 9x19 Drive Aisle 26 FT Fire Lane 26 FT Landscape Islands 5 FT
Required Parking	Office 1/250 SF Manufacturing 1/500 SF Warehouse 1/1000 SF

PROJECT DATA	
Site Summary	
Gross Site Area	417,987 SF (9.59 AC)
R.O.W. Easements	7,945 SF (0.18 AC)
Net Site Area	410,041 SF (9.41 AC)
Total Building Area(s)	Gross Floor Area 185,912 SF Footprint 176,712 SF
Coverage	Gross 42% FAR 0.44
Building 1	Footprint 93,360 SF Mezzanine 5,000 SF Gross Floor Area 98,360 SF @10% Office 98 Stalls Cars Provided @1.08/1,000 SF 106 Stalls Req. Accessible 5 Stalls Drive-in Doors 2 Docks @1.12/10,000 SF 11
Building 2	Footprint 83,352 SF Mezzanine 4,200 SF Gross Floor Area 87,552 SF @10% Office 88 Stalls Cars Provided @1.01/1,000 SF 88 Stalls Req. Accessible 4 Stalls Drive-in Doors 2 Docks @1.26/10,000 SF 11
Parking Grand Total	192 Stalls

- Notes**
- The minimum front setback shall be 10 feet and the average setback 20 feet, except for parcels fronting on local streets where only a 10-foot setback is required.
 - In all Industrial Districts, a 15-foot setback is required abutting an R district and no openings in buildings within 45 feet of an R district.
 - A zero-side yard setback may be permitted in the Industrial Districts, but not abutting an R district, provided that a solid wall at the property line is constructed of maintenance-free masonry material and the opposite side yard is a minimum of 30 feet.
 - See Section 230.70, Measurement of Height. Within 45 feet of an R district, no building or structure shall exceed a height of 18 feet.
 - Planting Areas. Required front and street-side yards adjacent to a public right-of-way shall be planting areas except for necessary drives and walks. A six-foot wide planting area shall be provided adjacent to an R district and contain one tree for each 25 lineal feet of planting area. A minimum of eight percent (8%) of the total net site area shall be landscaped, or as required by Title 21 or conditions of approval. See Chapter 232, Landscape Improvements for more info.
 - 1 per 250 sq. ft. if office area exceeds 10% of gross floor area in IG or IL District, 30% in RT District



SITE PLAN NOTES	
1	CONCRETE RAMP.
2	CONCRETE PAVEMENT.
3	ACCESSIBLE PARKING STALL WITH SIGNAGE.
4	PAINTED PARKING STRIPING PER CITY STANDARDS.
5	IMAGINARY PROPERTY LINE.
6	TRASH ENCLOSURE WITH RECYCLE BIN.
7	ACCESSIBLE PATH OF TRAVEL: 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE. SEE CIVIL DRAWINGS. (-----)
8	FIRE LINE.
9	ACCESSIBLE EV CHARGERS PARKING STALL WITH SIGNAGE.
10	EV CHARGERS PARKING STALL.
11	LANDSCAPE AND IRRIGATION AREA.
12	TRANSFORMER WITH CONCRETE PAD AND BOLLARDS.
13	STAMPED CONCRETE DRIVE.
14	6"-0" HIGH TUBULAR STEEL FENCE AND GATES- PAINTED BLACK.
15	CONCRETE WHEEL STOP INSTALLED 2'-0" FROM FACE-OF-CURB.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOLM AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOLM. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOLM PRIOR TO THE COMMENCEMENT OF ANY WORK.

TRIPLE H PROPERTIES

REDONDO

7600 REDONDO CIR.
HUNTINGTON BEACH, CA 92648

architecture
planning
interiors
graphics

WARE MALCOLM

10 eddman
irvine california 92618
P: 949.863.1231 F: 949.863.1281

irvine
los angeles
northern california
sacramento
san diego
denver
chicago
new jersey

DATE	REVISIONS	DATE	REMARKS
03-24-2024	PLANNING LIST		
10-06-2025	PLANNING RESUBMITAL		

PA / PM: M. MOHAMMADI
DRAWN BY: O.J.
JOB NO.: IRV23-0166-00

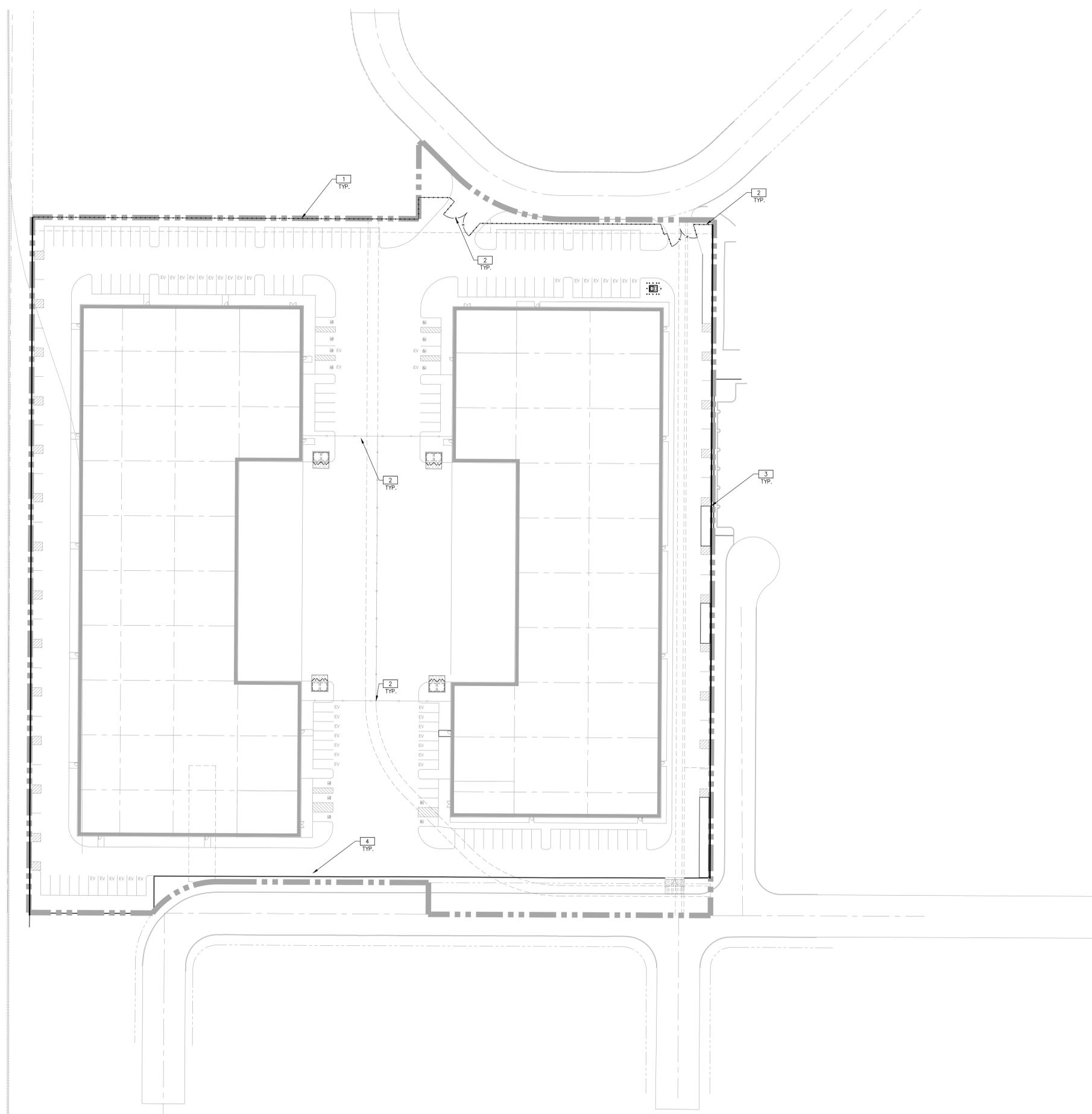
SHEET

A0.5



SITE PLAN
SCALE: 1"=40'-0"





SITE PLAN-FENCE LAYOUT
SCALE: 1"=40'-0"

SITE PLAN NOTES

- 1 IMAGINARY PROPERTY LINE.
- 2 TUBULAR GATE STEEL FENCING.
- 3 NEW 6" CMU WALL.
- 4 EXISTING FENCE WITH FIRE DEPT. GATE. TO REMAIN

SITE PLAN-FENCE LAYOUT	
DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

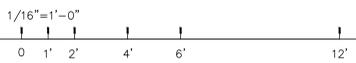
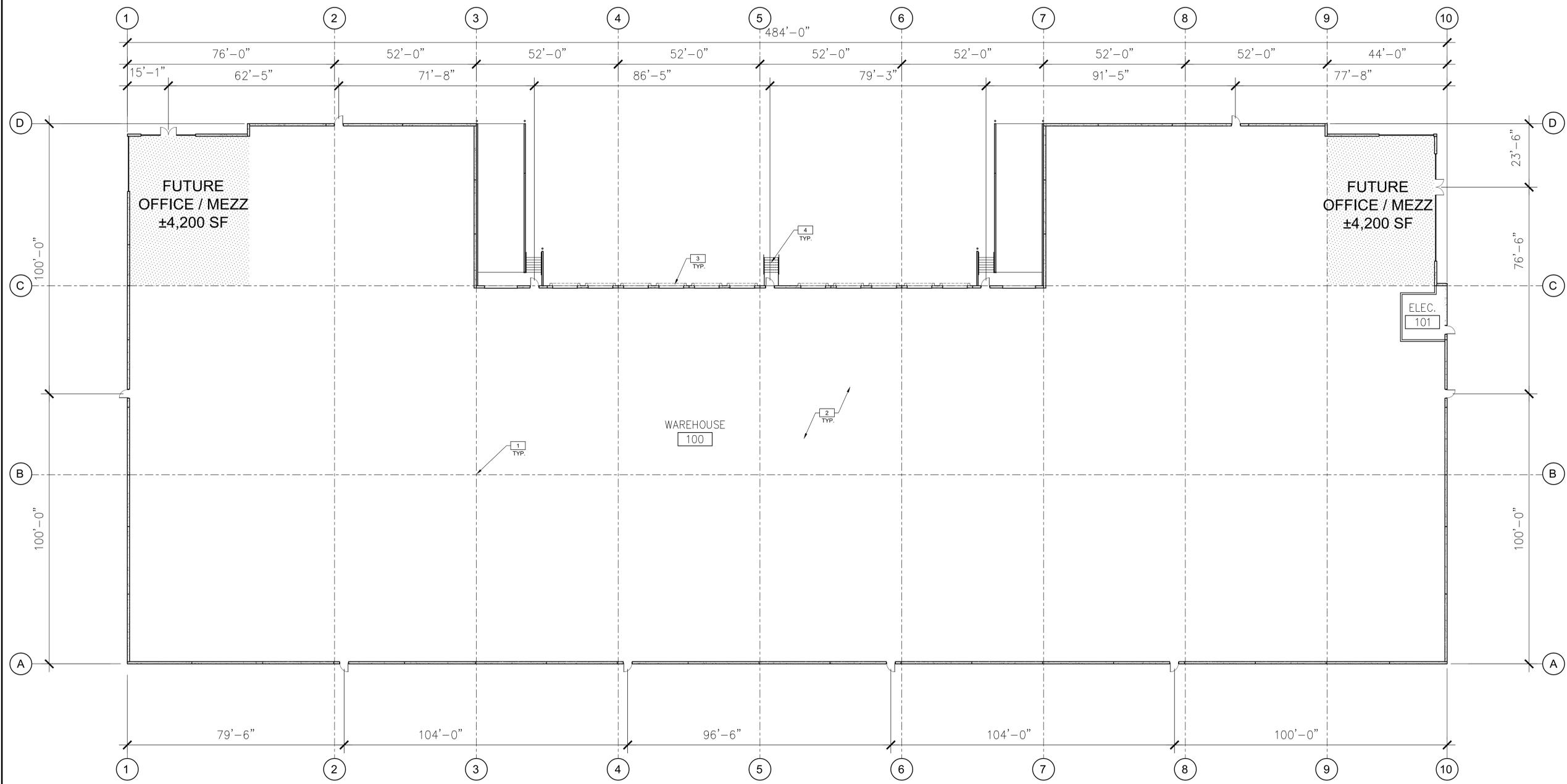
SHEET
A0.5a

TRIPLE H PROPERTIES
REDONDO
7600 REDONDO CIR.
HUNTINGTON BEACH, CA 92648

architecture
planning
interiors
graphics
WARE, MALCOMB
10 eddman
irvine california 92618
P-949.666.5121 F-949.663.1551

irvine
los angeles
northern california
sacramento
san diego
denver
chicago
new jersey

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



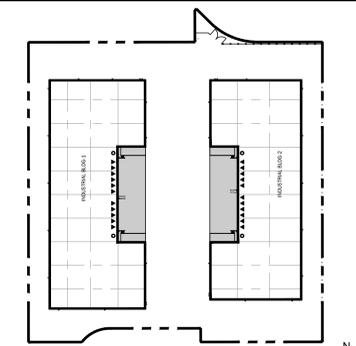
BUILDING 2 - FLOOR PLAN
SCALE: 1/16"=1'-0"

FLOOR PLAN NOTES

- 1 STRUCTURAL COLUMN AT GRID INTERSECTION
- 2 CONCRETE SLAB, PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 3 DOCK DOOR
- 4 CONCRETE STAIR
- 5 DASHED LINE INDICATES SOFFIT ABOVE

WALL LEGEND

- CONCRETE WALL
- NON-RATED PARTITION



BUILDING 2 - FLOOR PLAN

DATE	REVISIONS	DATE	REVISIONS
03-14-2024	PLANNING 1ST SUBMITTAL		

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J.
JOB NO.:	IRV23-0166-00

SHEET
A2.1-2
N.T.S.

architecture
planning
interiors
graphics

WARE, MALCOMB

irvine
los angeles
northern california
sacramento
san diego
denver
chicago
new jersey

10 cadden
irvine, california 92618
P: 949.663.1231 F: 949.663.1581

TRIPLE H PROPERTIES

REDONDO
7600 REDONDO CIR.
HUNTINGTON BEACH, CA 92648

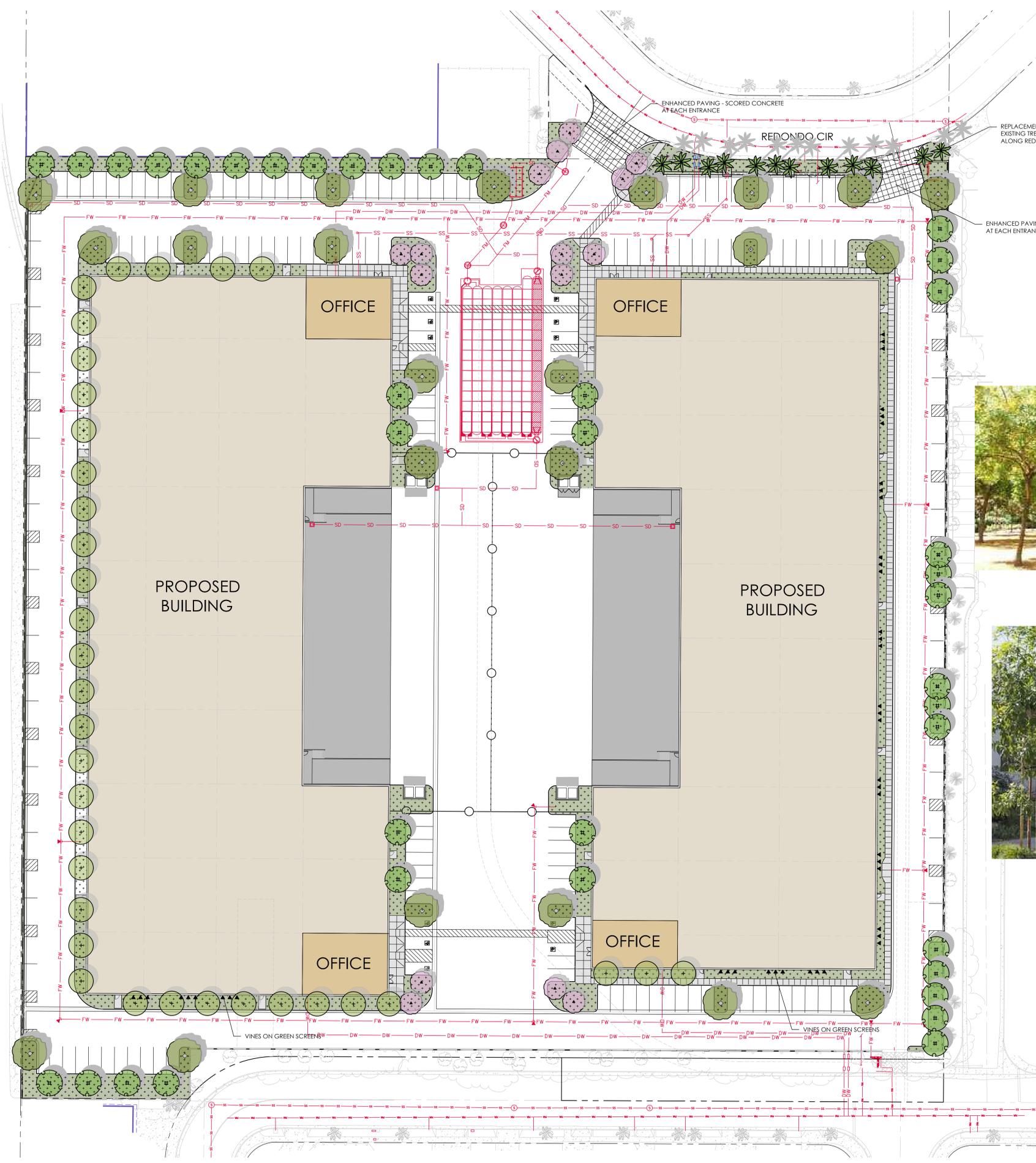
PRELIMINARY PLANTING LEGEND

SYMBOL BOTANICAL / COMMON NAME SIZE

- PROPOSED TREES**
-  TIPIANA TIPU / TIPU TREE 24" BOX STANDARD
 -  CERCIS OCCIDENTALIS / WESTERN REDBUD 24" BOX STANDARD
 -  TRISTANIA CONFERTA / BRISBANE BOX 15 GAL STANDARD
 -  GEJERA PARVIFOLIA / AUSTRALIAN WILLOW 15 GAL STANDARD
 -  SYAGRUS ROMANZOFFIANA / QUEEN PALM 14" 8TH STRAIGHT TRUNK

SYMBOL BOTANICAL / COMMON NAME SIZE

- PROPOSED SHRUBS, GROUNDCOVER & VINES**
-  AGAVE DESMETIANA / DWARF AGAVE 1 GAL / 42" O.C.
 -  DIETS VEGETA / FORTNIGHT LILY 5 GAL / 36" O.C.
 -  ELAEAGNUS P. 'FRUITLANDII' / FRUITLAND SILVERBERRY 5 GAL / 36" O.C.
 -  HEMEROCALLIS SP. / DARK ORANGE DAYLILY 1 GAL / 30" O.C.
 -  PHORMIUM T. 'SURFER' / SURFER NEW ZEALAND FLAX 5 GAL / 36" O.C.
 -  CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLE BRUSH 1 GAL / 30" O.C.
 -  CARISSA 'GREEN CARPET' / GREEN CARPET NATAL PLUM 1 GAL / 24" O.C.
 -  ROSMARINUS O. 'PROSTRATUS' / HUNTINGTON CARPET ROSEMARY 1 GAL / 24" O.C.
 -  TRACHELOSPERMUM JASMINOIDES / STAR JASMINE 5 GAL / PER PLAN



architecture
planning
interiors
graphics

WARE MALCOLM
10 cedeman
irvine, california 92614
P: 949.666.1251 F: 949.663.1581

irvine
los angeles
northern california
sacramento
san diego
denver
chicago
new jersey



Colleen M. Nolan
Landscape Architect #5439
10000 E. 1st Street
Corona, CA 92883
714.743.7915 cell
cmolan@ware.com

TRIPLE H PROPERTIES
HUNTINGTON BEACH
7600 REDONDO CIR.
HUNTINGTON BEACH, CA 92648

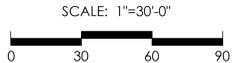
PRELIMINARY LANDSCAPE PLAN

DATE	REVISIONS	DATE	REVISIONS
03/24/24	PLANNING SET		
08/25/2024	PLANNING RESUBMITTAL		

PA / PM: C. NOLAN
DRAWN BY:
JOB NO.: IRV23-0166-00

SHEET
L1.1

SCALE: 1"=30'-0"


THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOLM AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOLM. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOLM PRIOR TO THE COMMENCEMENT OF ANY WORK.