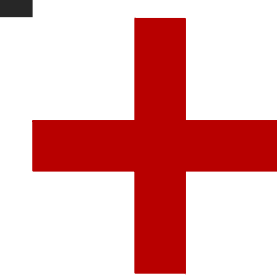


NEW RESIDENCE & ADU



209 19TH ST.
HUNTINGTON BEACH,
CA 92648

PROJECT DIRECTORY

JURISDICTION	HUNTINGTON BEACH				
OWNER	EDWARD BUI 1409 N GLENARBOR ST, SANTA ANA, CA 92706	STRUCT ENGINEER	DUANE TRAN 10347 KURT STREET, SYLMAR, CA 91342	GEOTECH ENGINEER	LAN PHAN 13139 HARBOR BLVD, GARDEN GROVE, CA 92843 f. 714.414.9215
POINT OF CONTACT	BAO PHAM 1310 N. HARBOR BLVD. SANTA ANA, CA 92703 f. 714.457.0436	CIVIL ENGINEER	LY PHAN 10820 KEENAN PL. STANTON, CA 90680 f. 714.487.7027	ENERGY CONSULTANT	DHL CONSULTANT 10732 LA BATISTA AVE FOUNTAIN VALLEY, CA 92708 f. 714.479.6472

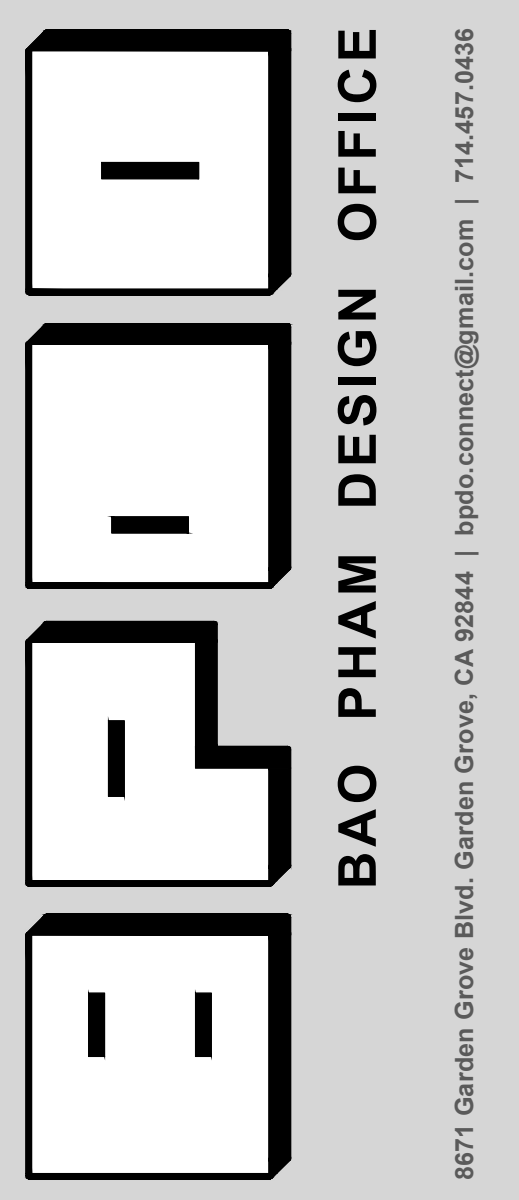
ARCHITECTURE SYMBOL

DETAIL <p>DETAIL IDENTIFICATION CUT LINE - DEFINES THE DETAILED ELEMENT SHEET WHERE DRAWN</p>	EXTERIOR ELEVATION <p>DETAIL IDENTIFICATION SHEET WHERE DRAWN</p>	BUILDING SECTION <p>DETAIL IDENTIFICATION SHEET WHERE DRAWN</p>	NORTH ARROW <p>PROJECT NORTH INDICATOR TRUE NORTH INDICATOR</p>	WINDOW, RELITE OR LOUVER MARK <p>WINDOW NUMBER - REFER TO SCHEDULE</p>	REVISION CLOUD AND DELTA <p>2</p>
WALL SECTION <p>DETAIL IDENTIFICATION CUT LINE - DEFINES THE DETAILED ELEMENT SHEET WHERE DRAWN</p>	INTERIOR ELEVATION <p>DETAIL IDENTIFICATION SHEET WHERE DRAWN</p>	DOOR MARK <p>DOOR NUMBER - REFER TO SCHEDULE</p>	COLUMN GRIDS <p>2 B</p>	EQUIPMENT MARK <p>EQUIPMENT NUMBER - REFER TO SCHEDULE</p>	WORK, CONTROL OR DATUM POINT <p>50'-0" AFF</p>
ROOM MARK <p>ROOM - ROOM NAME ROOM NUMBER</p>					

PROJECT DATA		
APN:	023-13-412	
ZONE:	RMH-A	
TYPE OF CONSTRUCTION:	VB	
SPRINKLER:	YES (13D)	
FLOOD ZONE:	X	
BUILDING HEIGHT:	35'-0" MAX	
LOT AREA:	2,875 SF	a
LEGAL DESCRIPTION:	LOT 8 OF BLOCK 219 OF HUNTINGTON BEACH SEVENTEENTH ST. SECTION OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 10, OF MISCELLANEOUS MAPS, RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.	
PROPOSED SCOPE:		
MAIN RESIDENCE:		
LEVEL 01:		
LIVING AREA:	944 SF	b
EXTERIOR STAIRS:	58 SF	c
2 CAR GARAGE:	415 SF	d
LEVEL 02:		
LIVING AREA:	574 SF	e
FRONT DECK:	63 SF	f
LEVEL 03:		
LIVING AREA:	702 SF	g
FRONT DECK:	405 SF	h
BACK DECK:	207 SF	i
ROOF DECK:		
FRONT ROOF DECK:	282 SF	j
BACK ROOF DECK:	315 SF	k
ROOF UTILITY:	350 SF	l
ATTACHED ADU:		
LEVEL 02:		
LIVING AREA:	423 SF	m
EXTERIOR STAIRS:	75 SF	n
PROPOSED FLOOR TO AREA RATIO:		
TOTAL LIVING AREA	b+c+e+g+m+n	2,776 SF
	b+c+e+g+m+n / a	.97
PROPOSED TOTAL LOT COVERAGE:		
GROUND FLOOR COVERAGE	b+c+d	1,417 SF
	b+c+d / a	.49
SETBACKS		
	REQUIRED	PROVIDED
FRONT (ALONG PUBLIC STREET)	12'	12'
REAR (FIRST STORY)	7.5'	24'
SIDE	3'	3', 3.5'

PROJECT DESCRIPTION	
PROJECT CONSISTS OF A NEW SINGLE FAMILY RESIDENCE, ADU AND ROOF DECK	
RESIDENCE INCLUDES :	ADU INCLUDES:
3 BEDROOMS	1 BEDROOMS
3 BATHROOMS	1 BATHROOMS
LIVING ROOM	LIVING ROOM
KITCHEN	KITCHEN
GARAGE	
ROOF & PATIO DECK	
AHJ NOTES	
MECHANICAL, ELECTRICAL AND PLUMBING ARE NOT PART OF THIS PLAN REVIEW AND APPROVAL. MEP ARE SUBJECT TO BUILDING FIELD INSPECTION.	
DEFERRED SUBMITTAL	
DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING INSPECTION FOR APPROVAL. THIS PROJECT INCLUDED THE FOLLOWING DEFERRED SUBMITTAL ITEMS AND APPLICABLE DESIGN CRITERIA.	
SOLAR PANELS	- TO BE UNDER A SEPARATE PERMIT
SPRINKLER (13D)	- TO BE UNDER A SEPARATE PERMIT
CODE SUMMARY	
2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS 2022 CALIFORNIA GREEN BUILDING STANDARD CODE CITY OF HUNTINGTON BEACH MUNICIPAL CODE	
VICINITY MAP	

DRAWINGS LIST	
ARCHITECTURAL	
TS1.0	TITLE SHEET
TS1.1	AREA ANALYSIS
SP1.0	PROPOSED SITE PLAN AND ROOF PLAN
A1.00	PROPOSED PLAN LEVEL 01 & 02
A1.11	PROPOSED PLAN LEVEL 03 & ROOF DECK
A2.0	BUILDING SECTIONS
A2.1	BUILDING SECTIONS
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
CIVIL	
1 of 2	PRECISE GRADING PLAN
2 of 2	EXISTING TOPO & EROSION CONTROL PLAN



ARCHITECT OF RECORD:



BAO PHAM, RA

NEW RESIDENCE AND ADU
209 19TH STREET
HUNTINGTON BEACH, CA 92648

ISSUANCE

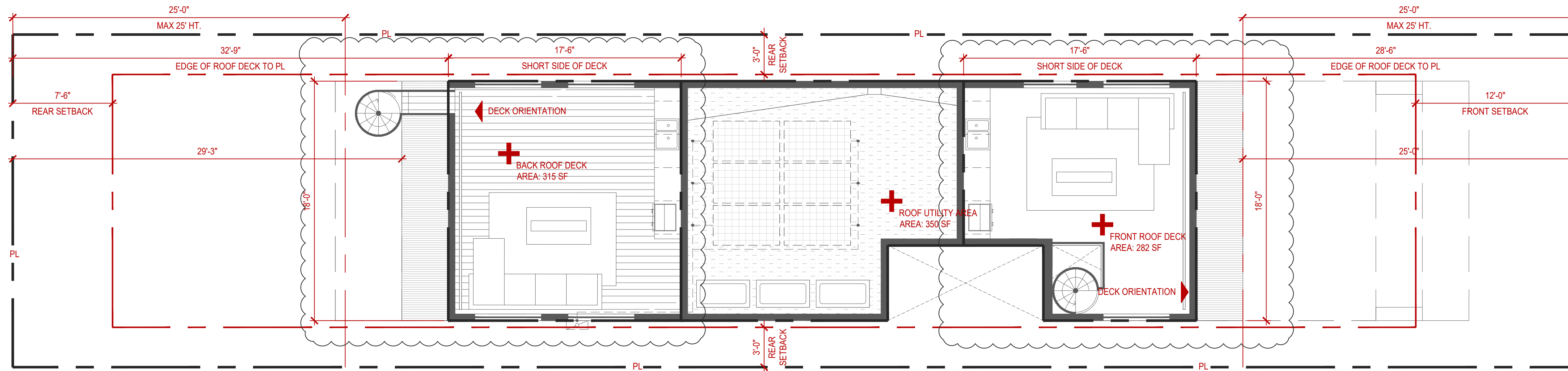
- △
- △
- △
- △
- △
- △
- △
- △
- △

Designed plans and specifications represented by these drawings are properties of BPDO and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPDO.

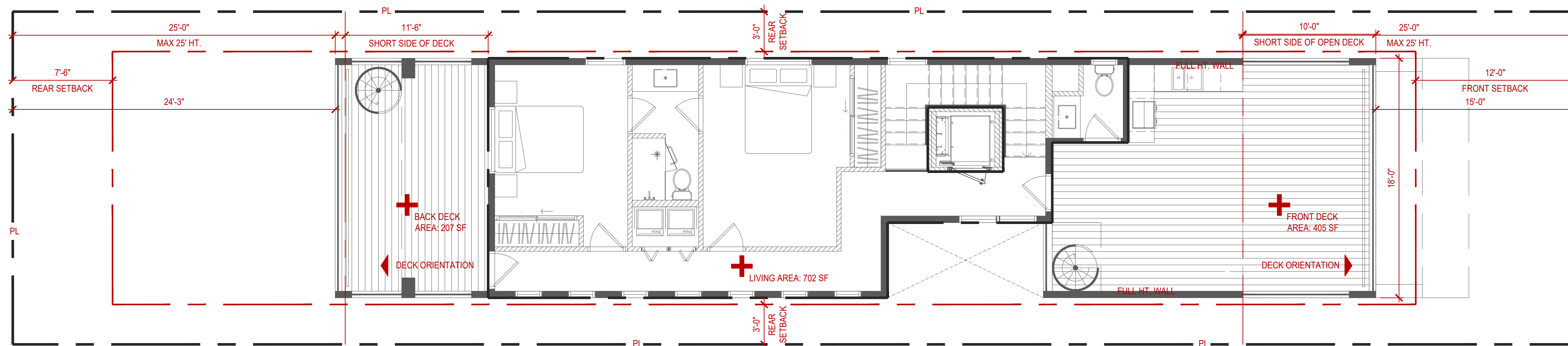
TITLE SHEET

TS1.0

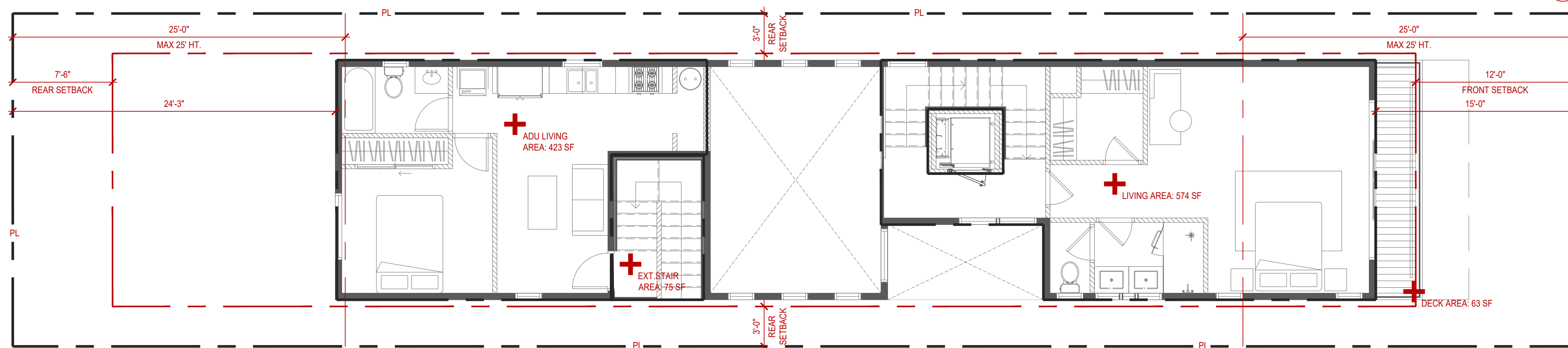
8871 Garden Grove Blvd. Garden Grove, CA 92844 | bpdo.connect@gmail.com | 714.457.0436



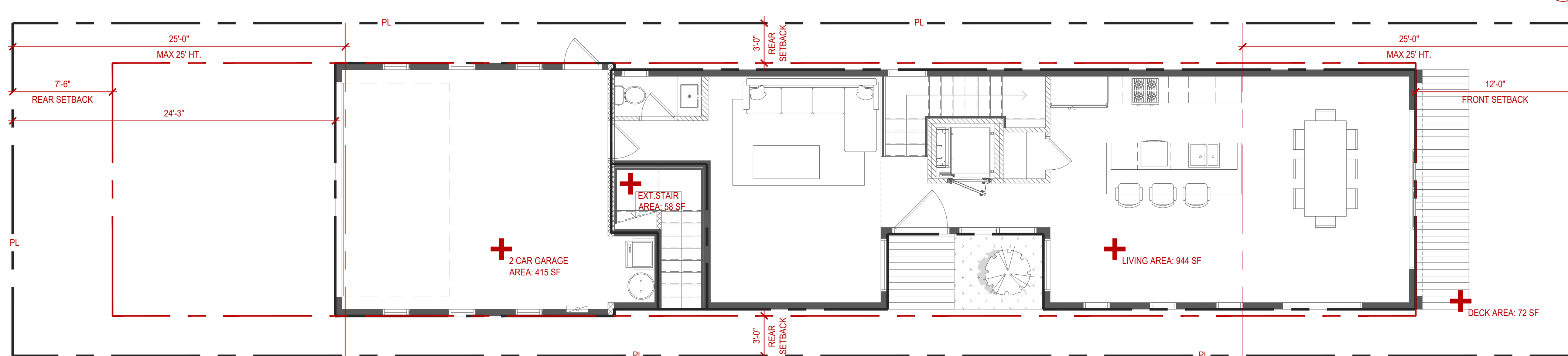
22 ROOF DECK
SCALE: 3/16" = 1'-0"



23 LEVEL 03
SCALE: 3/16" = 1'-0"



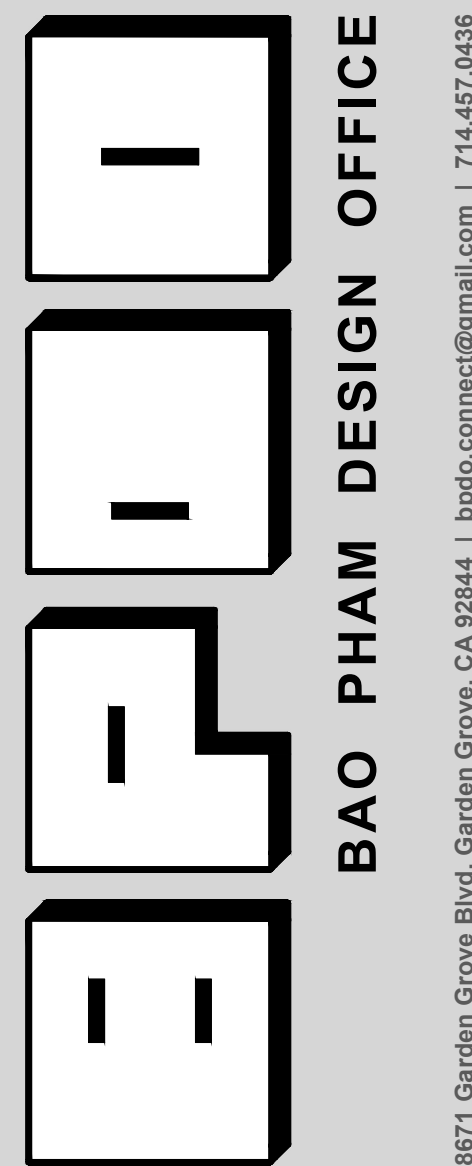
24 LEVEL 02
SCALE: 3/16" = 1'-0"



25 LEVEL 01
SCALE: 3/16" = 1'-0"

PROJECT DATA

APN:	023-13-412	
ZONE:	RMH-A	
TYPE OF CONSTRUCTION:	VB	
SPRINKLER:	YES (13D)	
FLOOD ZONE:	X	
BUILDING HEIGHT:	35'-0" MAX	
LOT AREA:	2,875 SF	a
LEGAL DESCRIPTION:	LOT 9 OF BLOCK 219 OF HUNTINGTON BEACH SEVENTEENTH ST. SECTION OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 10, OF MISCELLANEOUS MAPS, RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA.	
PROPOSED SCOPE:		
MAIN RESIDENCE:		
	LEVEL 01:	
	LIVING AREA:	944 SF b
	EXTERIOR STAIRS:	58 SF c
	2 CAR GARAGE:	415 SF d
	LEVEL 02:	
	LIVING AREA:	574 SF e
	FRONT DECK:	63 SF f
	LEVEL 03:	
	LIVING AREA:	702 SF g
	FRONT DECK:	405 SF h
	BACK DECK:	207 SF i
	ROOF DECK:	
	FRONT ROOF DECK:	282 SF j
	BACK ROOF DECK:	315 SF k
	ROOF UTILITY:	350 SF l
ATTACHED ADU:		
	LEVEL 02:	
	LIVING AREA:	423 SF m
	EXTERIOR STAIRS:	75 SF n
PROPOSED FLOOR TO AREA RATIO:		
TOTAL LIVING AREA	b+c+e+g+m+n	2,776 SF
	b+c+e+g+m+n / a	.97 ✓
PROPOSED TOTAL LOT COVERAGE:		
GROUND FLOOR COVERAGE	b+c+d	1,417 SF
	b+c+d / a	.49 ✓



BAO PHAM DESIGN OFFICE
8871 Garden Grove Blvd. Garden Grove, CA 92844 | bpd.o.connect@gmail.com | 714.457.0436

ARCHITECT OF RECORD:



BAO PHAM, RA

NEW RESIDENCE
AND ADU

209 19TH STREET
HUNTINGTON BEACH, CA 92648

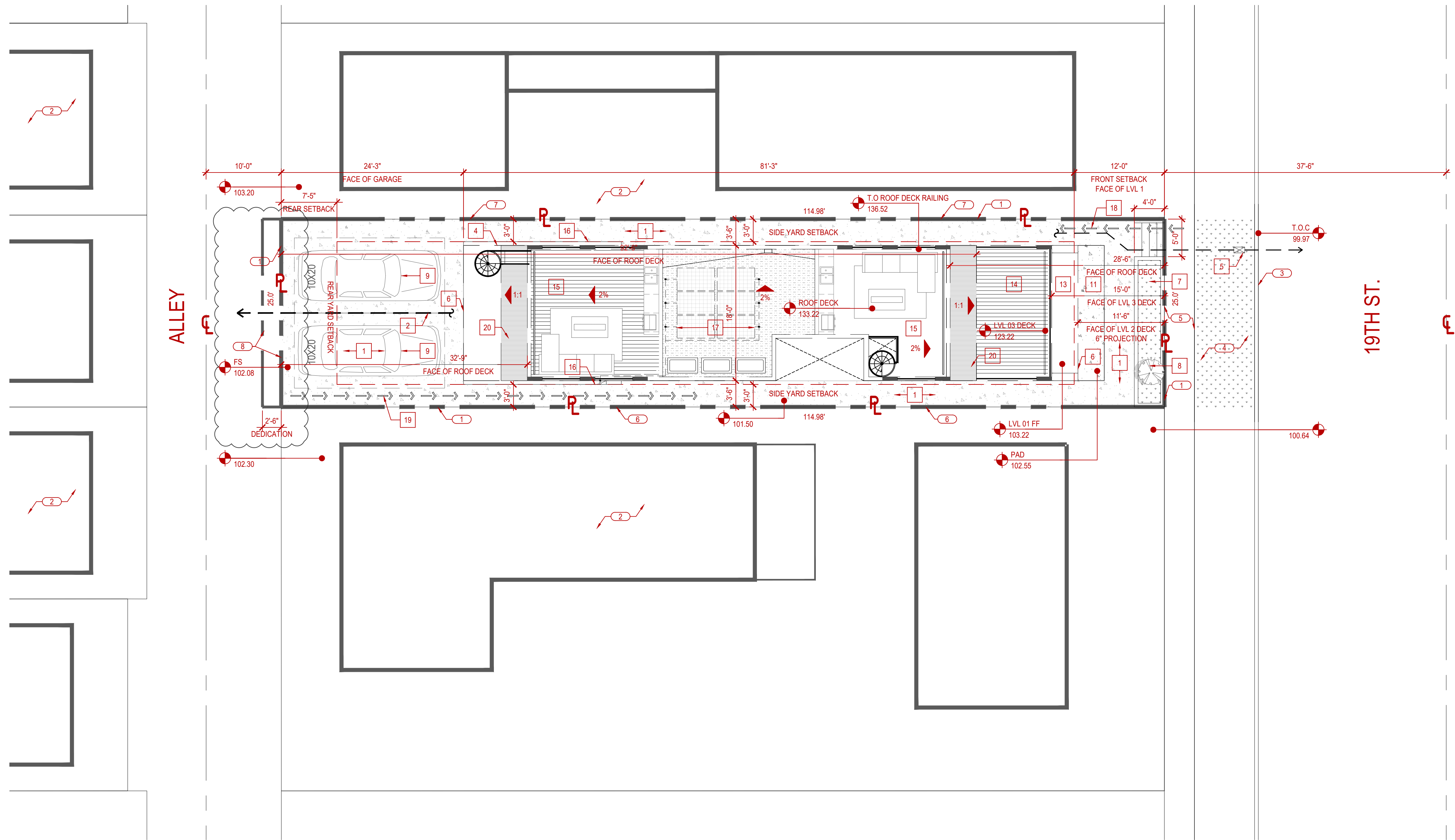
ISSUANCE

- △
- △
- △
- △
- △
- △
- △
- △

Designed plans and specifications represented by these drawings are properties of BPDO and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPDO.

AREA ANALYSIS

TS1.1

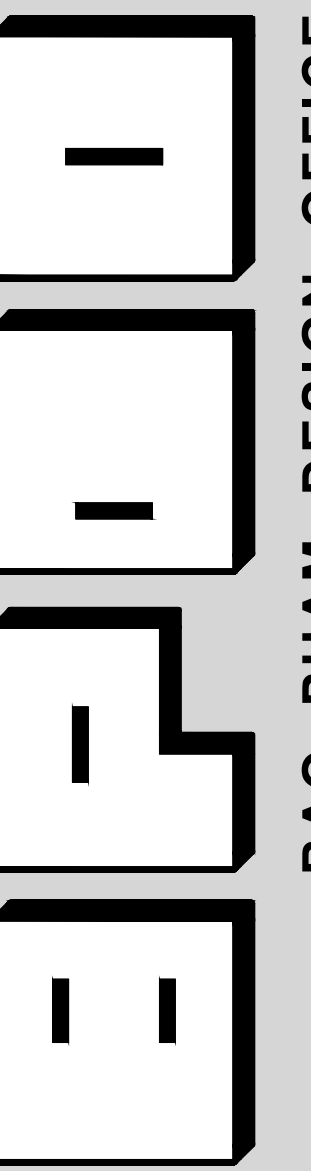


20 PROPOSED SITE PLAN AND ROOF PLAN
SCALE: 1/8" = 1'-0"

REFER TO CIVIL DRAWINGS FOR CONTROL POINTS AND ADDITIONAL SITE INFORMATION

KEY NOTES

- | EXISTING | NEW | |
|--------------------------------|--|--|
| 1 PROPERTY LINE | 1 SLOPED CONCRETE WALKWAY - 1:20 REFER TO CIVIL | 13 LEVEL 02 OVERHANG |
| 2 ADJACENT PROPERTY | 2 4" SEWER LATERAL REFER TO CIVIL | 14 LEVEL 03 DECK |
| 3 CURB LINE | 3 ELECTRICAL PANEL PER SERVICE PROVIDER | 15 ROOF TOP DECK |
| 4 LANDSCAPE - PROTECT IN PLACE | 4 GAS METER PER SERVICE PROVIDER | 16 FACE OF GARAGE |
| 5 PUBLIC RIGHT OF WAY | 5 1" WATER METER AND 1" LINE PER SERVICE PROVIDER | 17 PV SYSTEM PER T24 UNDER SEPARATE PERMIT |
| 6 6" WOOD FENCE | 6 HOUSE STREET NUMBER (4) INCHES IN HEIGHT, OF A COLOR CONTRASTING TO THE BACKGROUND | 18 PRIMARY SITE ACCESS |
| 7 6" VINYL FENCE | 7 4X20 LANDSCAPE PLANTER PER CITY STANDARDS OWNER'S CHOICE | 19 SECONDARY SITE ACCESS |
| 8 2'-6" DEDICATION | 8 24" BOX TREE PER CITY STANDARDS OWNER'S CHOICE | 20 1:1 STANDING SEAM METAL ROOF |
| | 9 OFF STREET PARKING | |
| | 10 CONCRETE AT GRADE PER CIVIL & STRUCTURAL | |
| | 11 LEVEL 01 OUTDOOR DECK | |
| | 12 LEVEL 02 OUTDOOR DECK | |



BAO PHAM DESIGN OFFICE
8871 Garden Grove Blvd. Garden Grove, CA 92844 | bpdo.connect@gmail.com | 714.457.0436

ARCHITECT OF RECORD:



BAO PHAM, RA

NEW RESIDENCE AND ADU

209 19TH STREET
HUNTINGTON BEACH, CA 92648

ISSUANCE

- △
- △
- △
- △
- △
- △
- △
- △
- △
- △

Designed plans and specifications represented by these drawings are properties of BPDO and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPDO.

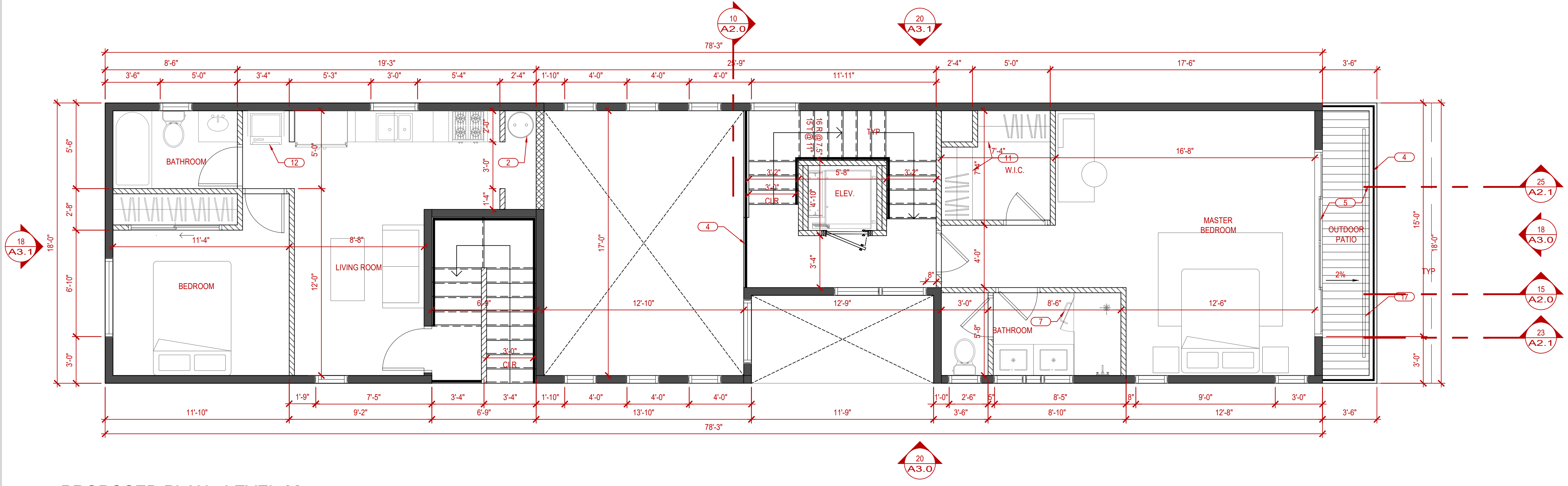
PROPOSED SITE PLAN AND ROOF PLAN

SP1.0

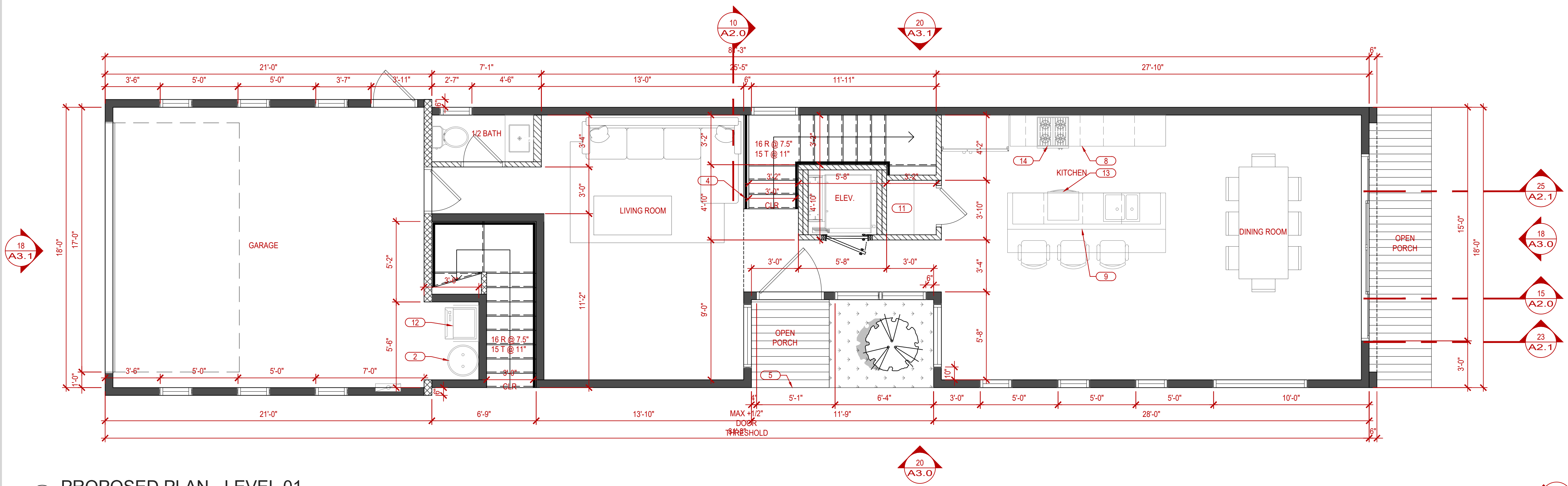


- △
- △
- △
- △
- △
- △
- △
- △
- △
- △

Designed plans and specifications represented by these drawings are properties of BPDO and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPDO.



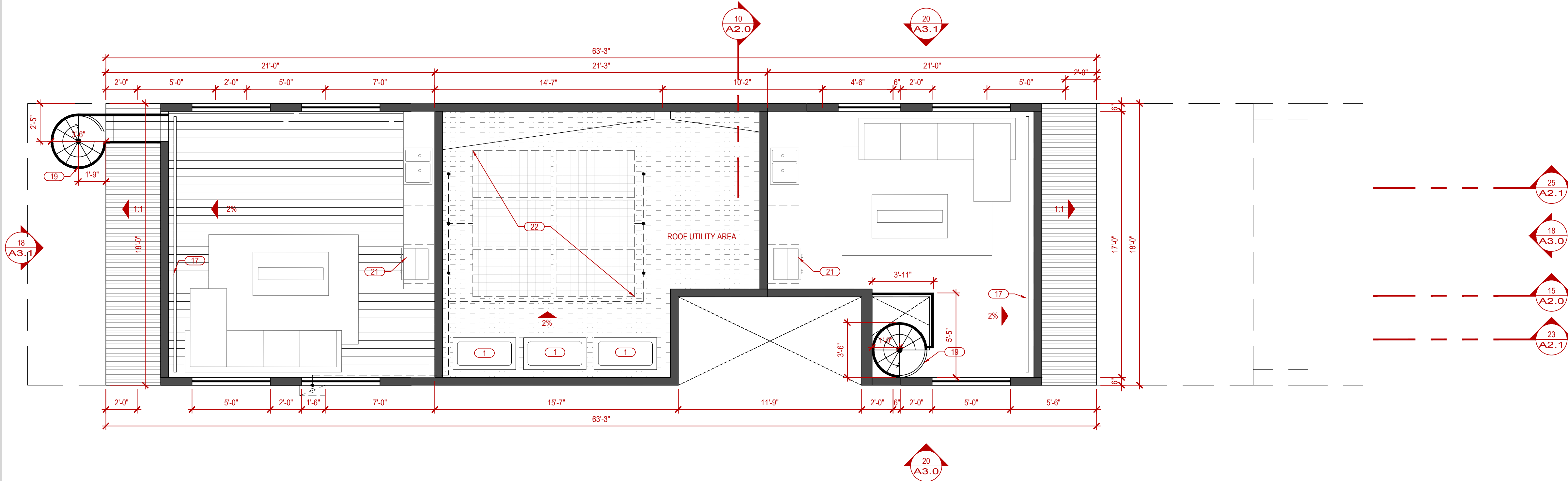
16 PROPOSED PLAN - LEVEL 02
 SCALE: 1/4" = 1'-0"



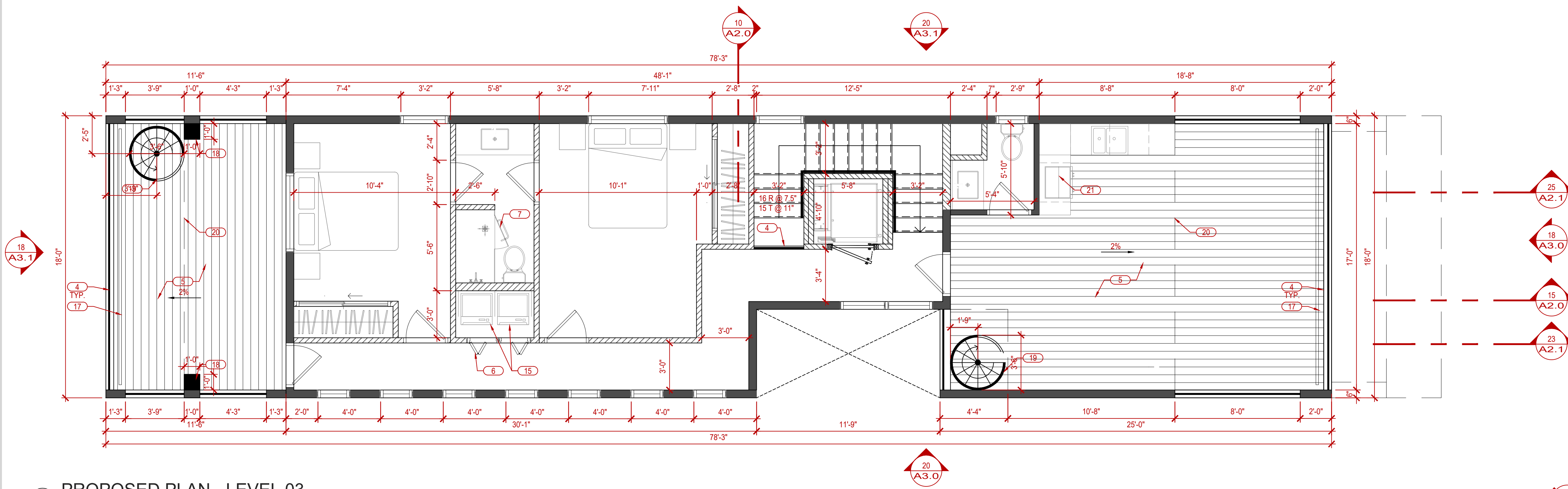
18 PROPOSED PLAN - LEVEL 01
 SCALE: 1/4" = 1'-0"

KEY NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 OUTDOOR RATED CONDENSER UNIT PROVIDE 4" CONCRETE PAD OR PREFAB PAD. INSTALL LEVELED. PROVIDE CLEARANCE PER MANUFACTURE'S RECOMMENDATION. 2 WATER HEATER: ELECTRIC HEAT PUMP 3 200 A ELECTRIC METER AND INVERTER 4 42" MIN. TEMPERED GLASS RAILING SYSTEM 5 ELASTOMETRIC MEMBRANE, SLOPE 1/4" PER FT. MIN. TYP. AT ALL DECKS FINISHED SURFACE OF DECK TO BE WITHIN 1/2" OF DOOR THRESHOLD WHERE DOOR SWINGS OUTWARD 6 LOUVERED PLANTATION BI FOLD DOORS. MIN 100 SQ. IN. PROVIDED BY LOUVER SYSTEM 7 CATEGORY II GLASS ENCLOSURE DOOR / PANEL 8 UPPER AND LOWER CABINETS 9 CUSTOM MILLWORK 10 LOWER CABINETS 11 FULL HEIGHT CABINETS 12 WASHER & DRYER / STACKABLE 13 DISHWASHER 14 COOKTOP/RANGE. IF OVER 400 CFM, MAKE UP AIR REQUIRED. 15 WASHER & DRYER | <ul style="list-style-type: none"> 16 HOSE BIB WITH BACKFLOW PREVENTER 17 LINEAR DRAIN 18 COLUMN WITH STUCCO FINISH 19 42" DIA. GALV. EXTERIOR SPIRAL STAIRS - MYLEN OR EQUAL 9.5" MAX RISE. 4" MAX OPEN TREAD. MIN 6'6" MIN. HEADROOM CLEAR 12 STEPS 20 EDGE OF DECK ABOVE 21 OUTDOOR BBQ AREA - ELECT AND PLUMBING HOOKUP 22 SOLAR PV SYSTEM - SEPARATE PERMIT |
|--|---|



16 PROPOSED PLAN - ROOF DECK
SCALE: 1/4" = 1'-0"



18 PROPOSED PLAN - LEVEL 03
SCALE: 1/4" = 1'-0"

KEY NOTES

- | | |
|---|---|
| 1 OUTDOOR RATED CONDENSER UNIT PROVIDE 4" CONCRETE PAD OR PREFAB PAD. INSTALL LEVEL. PROVIDE CLEARANCE PER MANUFACTURE'S RECOMMENDATION. | 16 HOSE BIB WITH BACKFLOW PREVENTER |
| 2 WATER HEATER: ELECTRIC HEAT PUMP | 17 LINEAR DRAIN |
| 3 200 A ELECTRIC METER AND INVERTER | 18 COLUMN WITH STUCCO FINISH |
| 4 42" MIN. TEMPERED GLASS RAILING SYSTEM | 19 42" DIA. GALV. EXTERIOR SPIRAL STAIRS - MYLEN OR EQUAL 9.5" MAX RISE. 4" MAX OPEN TREAD. MIN 6'6" MIN. HEADROOM CLEAR 12 STEPS |
| 5 ELASTOMETRIC MEMBRANE, SLOPE 1/4" PER FT. MIN. TYP. AT ALL DECKS FINISHED SURFACE OF DECK TO BE WITHIN 1/2" OF DOOR THRESHOLD WHERE DOOR SWINGS OUTWARD | 20 EDGE OF DECK ABOVE |
| 6 LOUVERED PLANTATION BI FOLD DOORS. MIN 100 SQ. IN. PROVIDED BY LOUVER SYSTEM | 21 OUTDOOR BBQ AREA - ELECT AND PLUMBING HOOKUP |
| 7 CATEGORY II GLASS ENCLOSURE DOOR / PANEL | 22 SOLAR PV SYSTEM - SEPARATE PERMIT |
| 8 UPPER AND LOWER CABINETS | |
| 9 CUSTOM MILLWORK | |
| 10 LOWER CABINETS | |
| 11 FULL HEIGHT CABINETS | |
| 12 WASHER & DRYER / STACKABLE | |
| 13 DISHWASHER | |
| 14 COOKTOP/RANGE. IF OVER 400 CFM, MAKE UP AIR REQUIRED. | |
| 15 WASHER & DRYER | |

KEY NOTES:

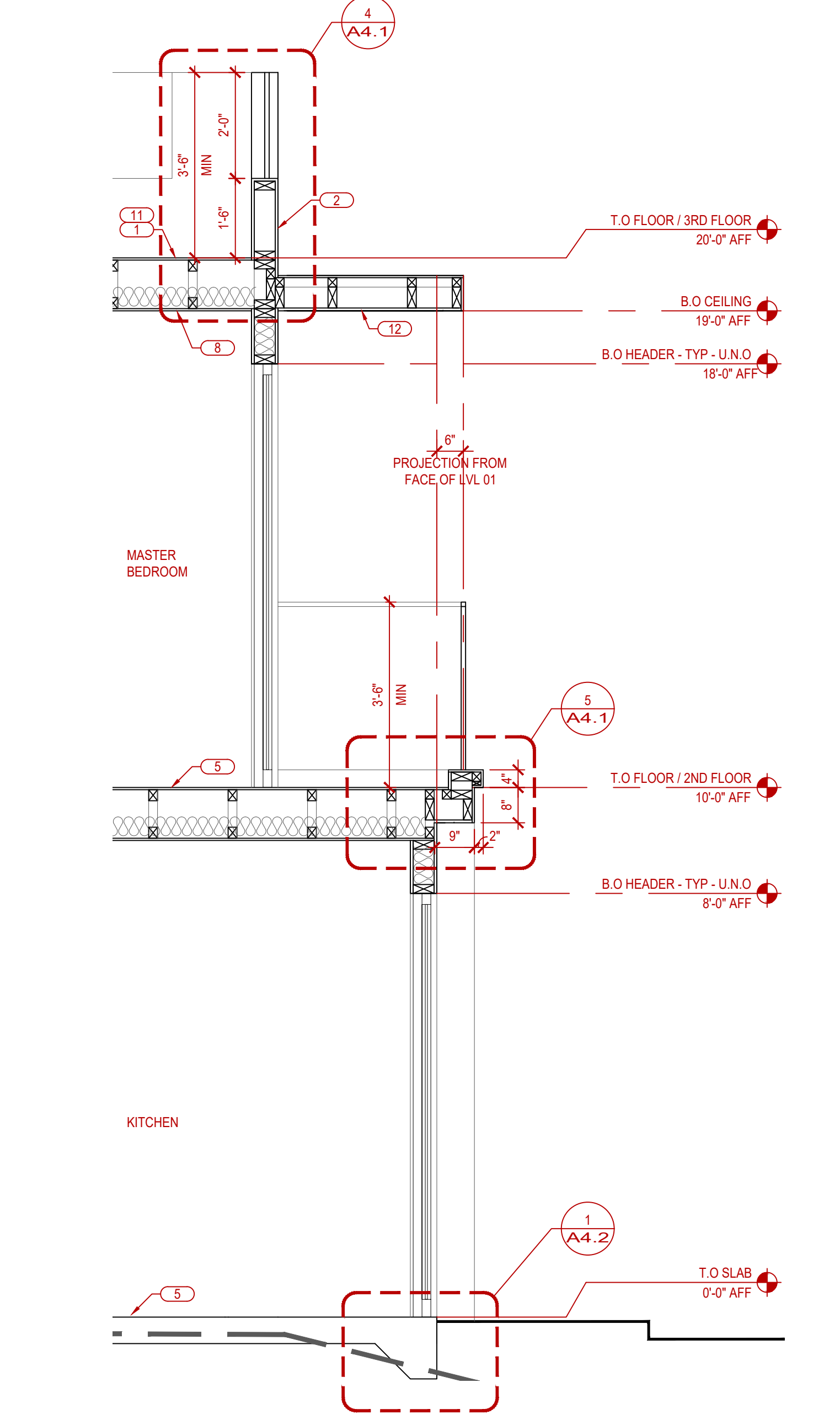
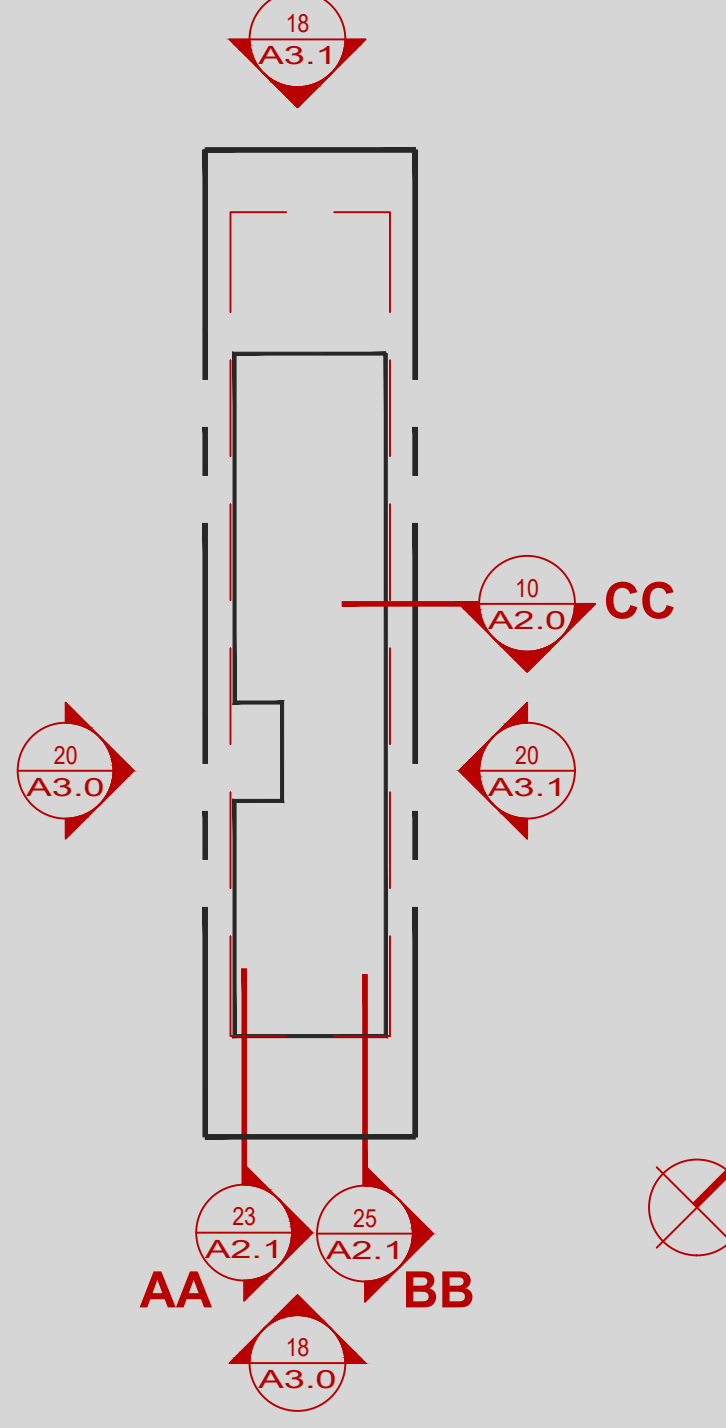
- 1 TYP. ROOF:
CLASS 'A' FIRE RATING
ROOF MATERIAL: MER-KO ELASTOMERIC MEMBRANE
OR APPROVED EQUAL : UES ER-517
- 2 TYP. EXTERIOR WALL:
SMOOTH LA HABRA STUCCO OR EQUAL | NAVAJO WHITE JOVER
PLYWOOD SHEATHING PER STRUCT OVER WOOD STUDS PER STRUCT W/
5/8" GWB W/ R15 INSULATION T-24
- 3 TYP. INTERIOR WALL:
5/8" GWB OVER WOOD STUDS PER STRUCT
- 4 TYP. INTERIOR WALL @ GARAGE:
5/8" TYPE "X" GWB OVER WOOD STUDS PER STRUCT W/ R15 INSULATION
PER T-24
- 5 TYP. FLOOR LEVEL:
FLOOR COVER BY OWNER OVER PLYWOOD PER STRUCT OVER FLOOR
FRAMING PER STRUCT OVER 5/8" GWB
- 6 TYP. OF FIRST FLOOR OVER GARAGE:
FLOOR COVER BY OWNER OVER PLYWOOD PER STRUCT OVER FLOOR
FRAMING PER STRUCT OVER 2 LAYERS 5/8" "X" GWB WITH R19
INSULATION PER T-24
- 7 TYP. GARAGE FLOOR:
CONCRETE SLAB PER STRUCT W/ SEALANT
- 8 TYP. CEILING:
5/8" GWB AT UNDERSIDE OF FLOOR OR ROOF FRAMING PER STRUCT
R30 INSULATION PER T-24
- 9 TYP. DECK:
ELASTOMERIC MEMBRANE, SLOPE 1/4" PER FT. MIN. TYP. @ ALL DECKS
- 10 4" MIN. ILLUMINATED ADDRESS
- 11 TYP. ROOF:
LIGHT ROOF PER STRUCT R19 INSULATION PER T-24
- 12 TYP. CEILING:
7/8" LATH AND PLASTER EXTERIOR AT UNDERSIDE OF FLOOR OR ROOF
FRAMING PER STRUCT
- 13 CONVENTIONAL ROOF FRAMING PER STRUCT
- 14 LOW HT. DECK PARAPET
- 15 1:1 STANDING SEAM METAL ROOF

FLOOR LEGEND:

- CEILING AT GARAGE
JOISTS PER STRUCTURAL W/ R-30 INSULATION OVER
(2) LAYERS 5/8" TYPE "X" GWB

ROOF SPECIFICATION:

1. ROOF: CLASS 'A' FIRE RATING -
ROOF MATERIAL: MER-KO
ELASTOMERIC MEMBRANE
OR APPROVED EQUAL
UES ER-517
- UNDERLAYMENT: ASTM D 226,
TYPE I OR ASTM D 4869 TYPE I
PER 2022 CBC CHAPT. 15
OR 2022 CRC R902.1

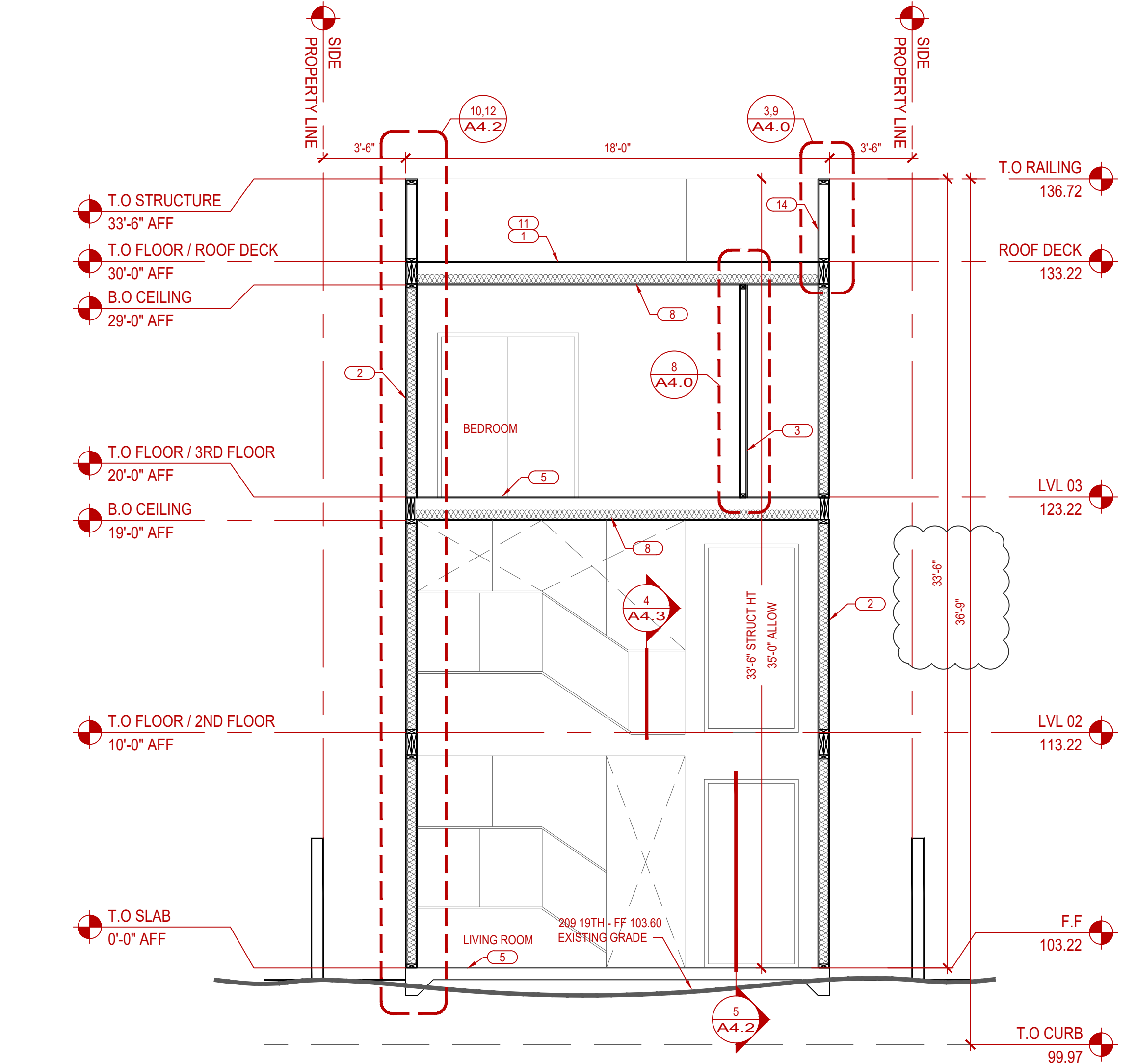


15 ENTRY SECTION
SCALE: 1/2" = 1'-0"

STAIRWAYS WITHIN DWELLING UNITS AND EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF THE TREADS AND LANDINGS.(CRC R303.6)

HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT SHALL BE 31.5" AND 27" WHEN INSTALLED ON ONE SIDE AND BOTH SIDES, RESPECTIVELY. (CRC R311.7.1)

HANDRAILS SHALL BE CONTINUOUS EXCEPT AT A TURN THEY ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AND HAVE A MINIMUM CLEAR DISTANCE BETWEEN THE WALL AND HANDRAIL GRIP OF 1 1/2 INCHES. (CRC R311.7.2)



10 SECTION CC
SCALE: 1/4" = 1'-0"

ARCHITECT OF RECORD:



BAO PHAM, RA

**NEW RESIDENCE
AND ADU**
209 19TH STREET
HUNTINGTON BEACH, CA 92648

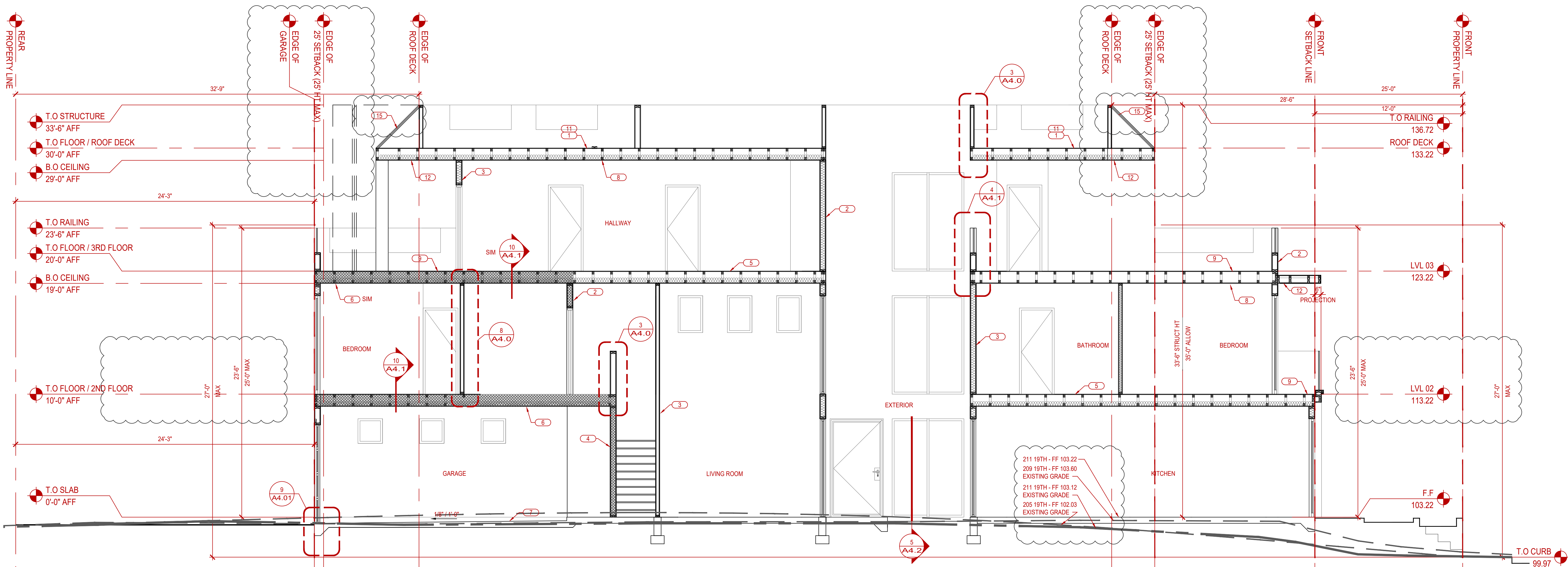
ISSUANCE

- △
- △
- △
- △
- △
- △
- △
- △
- △
- △
- △

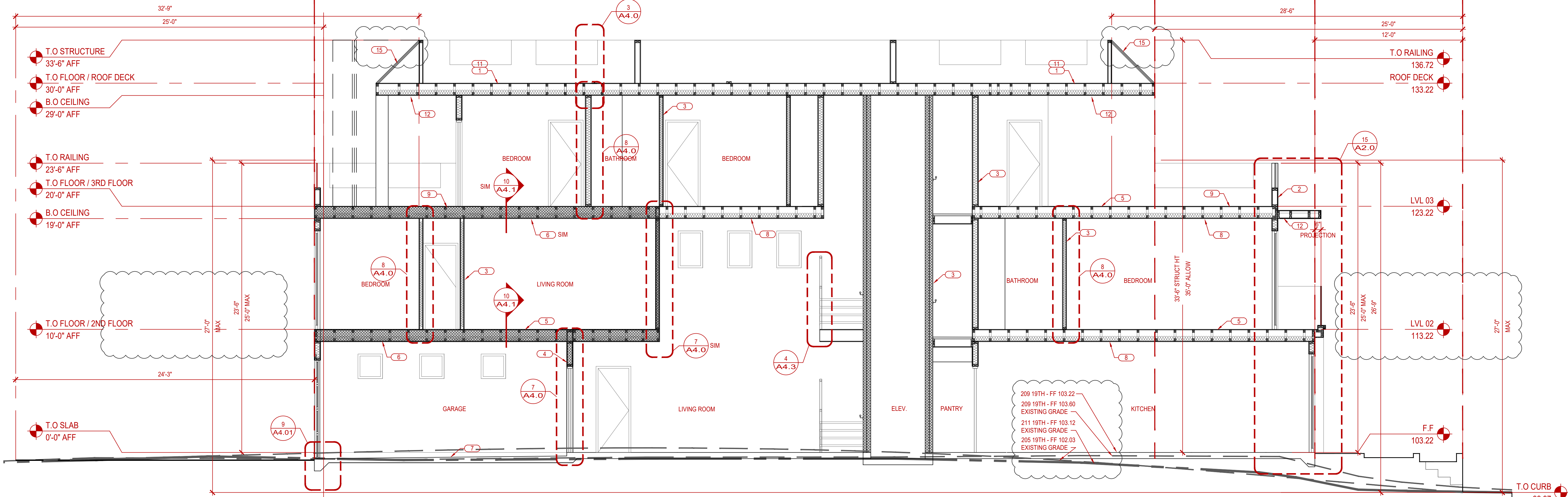
Designed plans and specifications represented by these drawings are properties of BPDO and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPDO.

BUILDING SECTIONS

A2.0



23 SECTION AA
SCALE: 1/4" = 1'-0"



25 SECTION BB
SCALE: 1/4" = 1'-0"

EXTERIOR WINDOW NOTES:

EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)

- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMA/WDMA/CSEA 101/1.S.2/A40
- B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
- C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- D. ALL NEW WINDOW GLAZING SHALL BE
MAX U = 0.29
MAX SHGC = 0.21
FOR CLIMATE ZONE 10

EXTERIOR DOOR NOTES:

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:

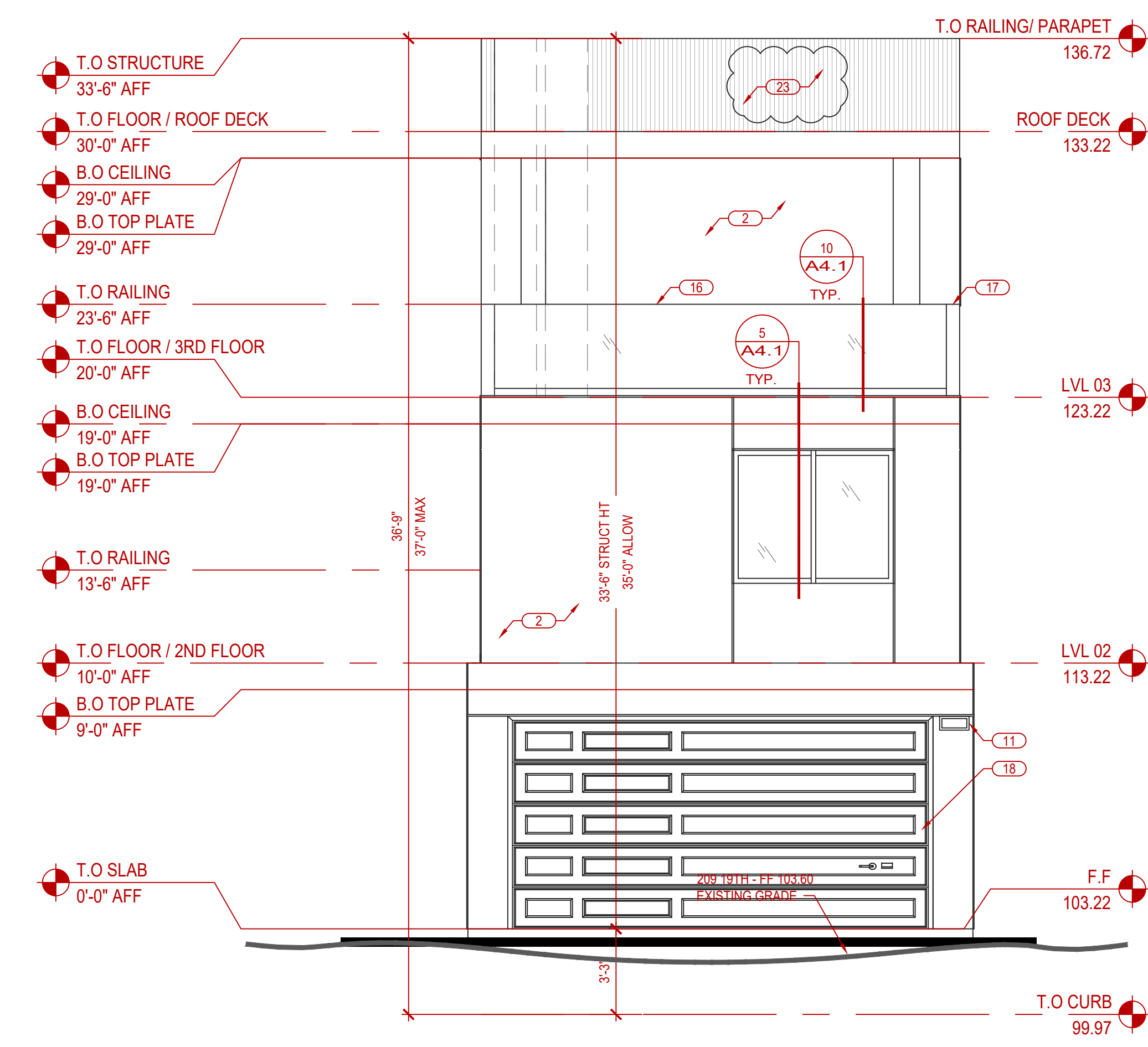
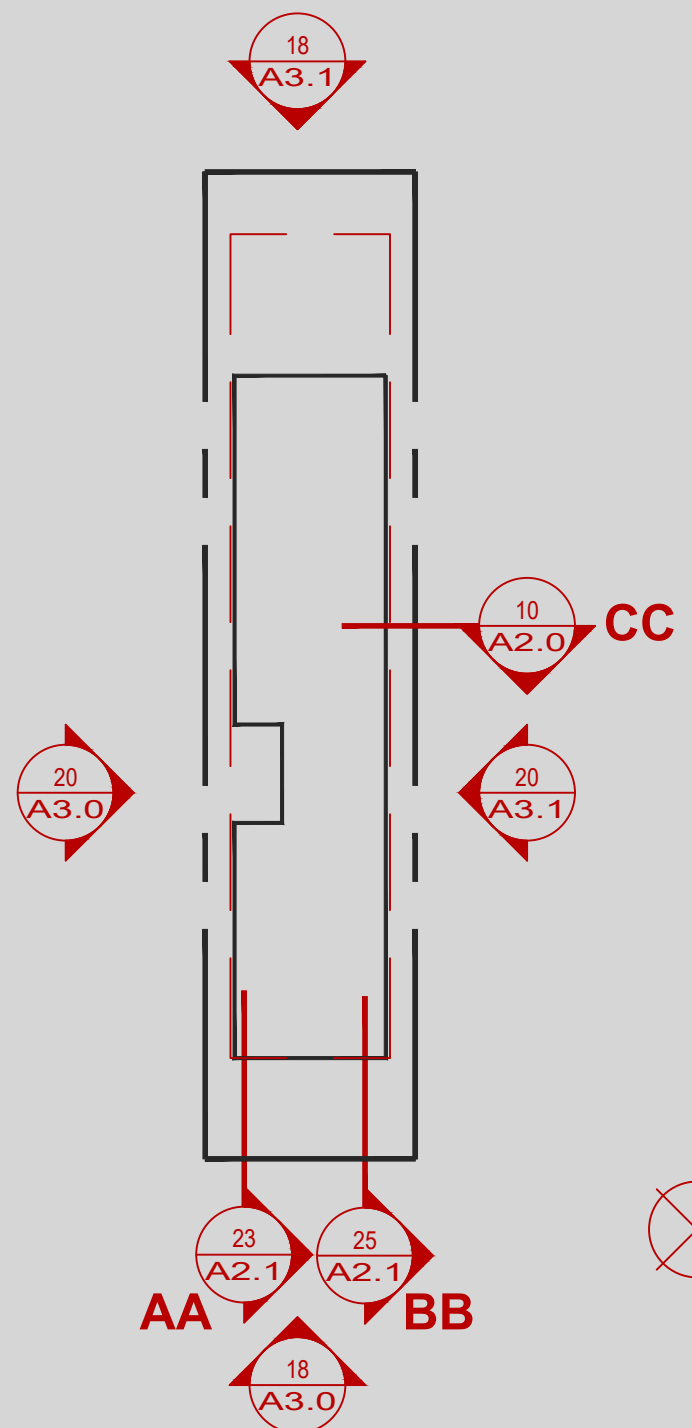
- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL
- B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
- STILES AND RAILS MINIMUM 1-3/8 INCHES THICK
- RAISED PANELS MINIMUM 1-1/4 INCHES THICK
EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK
- C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 252
- D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1

ROOF SPECIFICATION:

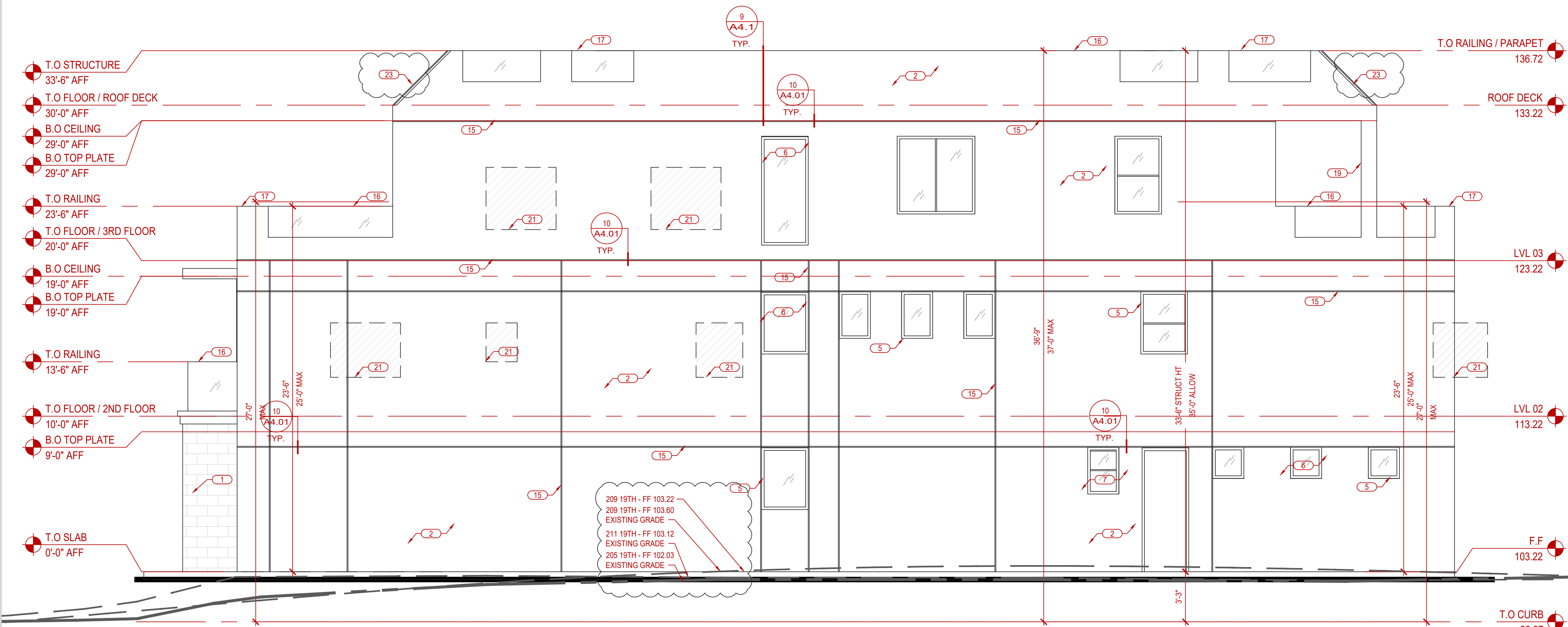
- 1. ROOF: CLASS 'A' FIRE RATING - UNDERLAYMENT: ASTM D 226, TYPE I OR ASTM D 4869 TYPE I
- ROOF MATERIAL: MER-KO ELASTOMERIC MEMBRANE OR APPROVED EQUAL UES ER-517
- PER 2022 CBC CHAPT. 15 OR 2022 CRC R902.1

KEY NOTES:

- 1 MOSAIC STONE VENEER | SANDSTONE - BEIGE - OWNER'S CHOICE
- 2 SMOOTH STUCCO | LA HABRA STUCCO | NAVAJO WHITE | P-525
- 3 2X CORNICE
- 4 CARRIAGE LIGHT - OWNER'S CHOICE
- 5 RECESSED STUCCO WINDOW BAY
- 6 WINDOW - GLASS PANEL
- 7 WINDOW - TEMPERED GLASS PANEL
- 8 FRONT DOOR - OWNER'S CHOICE
- 9 PATIO DOOR - WIDTH VARIES - TEMPERED SLIDING GLASS DOOR
- 10 FUTURE SOLAR PANELS
- 11 4" MIN. ILLUMINATED ADDRESS
- 12 SCUPPER AND DOWN SPOUT
- 13 GUTTER (OWNER'S CHOICE)
- 14 2X ACCENT BANDING
- 15 STUCCO REVEAL - 1"
- 16 GLASS RAILING SYSTEM
- 17 LOW HT. PARAPET - 42"
- 18 DOUBLE GARAGE DOOR | BROWN | OWNER'S CHOICE
- 19 EXTERIOR COLUMN WITH STUCCO FINISH
- 20 EXTERIOR SPIRAL STAIR - PER MFR
- 21 ADJACENT SF PROPERTY WINDOW - 211 19TH ST. TYP
- 22 ADJACENT MF PROPERTY WINDOW - 205 19TH ST. TYP
- 23 1:1 STANDING SEAM METAL ROOFING TYP



18 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



20 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECT OF RECORD:



BAO PHAM, RA

NEW RESIDENCE AND ADU
209 19TH STREET
HUNTINGTON BEACH, CA 92648

ISSUANCE

- △
- △
- △
- △
- △
- △
- △
- △
- △
- △

Designed plans and specifications represented by these drawings are properties of BPD O and were developed for use in connection with each particular project. None of these plans and ideas shall be used, duplicated, disclosed, in part or in whole, without written permission of BPD O.

BUILDING ELEVATIONS

A3.1

- FIRE DEPARTMENT NOTES**
- ALL SOILS SHALL CONFORM TO THE CITY OF HUNTINGTON BEACH SOIL CLEANUP STANDARD, CITY SPECIFICATION 431-92.
 - ALL ABANDONED OIL WELLS MUST MEET THE CRITERIA SPECIFIED WITH THE CITY SPECIFICATION 422, OIL WELL ABANDONMENT PERMIT PROCESS, AND ALL REQUIREMENTS OF THE DEPARTMENT OF OIL, GAS, AND GEOTHERMAL RESOURCES, (714) 816-6847.
 - ALL DEBRIS/CONTAMINATED SOIL SHALL BE REMOVED AND PROPERLY DISPOSED OF PER CITY, COUNTY AND STATE REQUIREMENTS.
 - SOIL STOCKPILING, REMEDIATION, MIXING FOR RE-USE, AND/OR DEBRIS REMOVAL REQUIRES THE FOLLOWING NOTIFICATION:
 - HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT (714) 536-5431
 - HUNTINGTON BEACH FIRE DEPARTMENT (714) 536-5411
 - CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (909) 320-2024
 - ORANGE COUNTY HEALTH CARE AGENCY (714) 667-3623
 - A REGISTERED, STATE LICENSED ENVIRONMENTAL AUDITING FIRM SHALL AT ALL TIMES BE PRESENT WITH THE APPROPRIATE NUMBER OF SITE AUDITORS.
 - ANY ADDITIONAL DISCOVERY OF OILFIELD WASTE, HAZARDOUS MATERIALS, OR OTHERWISE SHALL BE DISCLOSED IMMEDIATELY TO THE HUNTINGTON BEACH FIRE DEPARTMENT. ALL GRADING OPERATIONS SHALL CEASE UNTIL A NEW REMEDIATION WORK PLAN IS APPROVED.
 - ALL STRUCTURES SO AFFECTED UNDER THE REQUIREMENTS OF THE City of Huntington Beach SOIL CLEANUP STANDARD, CITY SPECIFICATION 431-92 AND PERMIT REQUIREMENTS, CITY SPECIFICATION # 429, SHALL HAVE SAFETY MEASURES SUCH AS METHANE CARRIERS, FLUGITIVE COMBUSTIBLE GAS COLLECTION SYSTEMS, WELL VENT COLLECTION SYSTEMS, CLASSIFIED ELECTRICAL INSTALLATION, SOME OR ALL IN THE SUB-SLAB AREA.
 - THE GRADING PLANS MUST STATE THE SPECIFIC SAFETY MEASURES REQUIRED. THE FIRE DEPARTMENT PETROCHEM/DEVELOPMENT SECTION MAY BE CONTACTED AT (714) 536-5411.
 - ANY AND ALL ASSOCIATED UNDERGROUND FIRE SERVICE SUPPLY WORK SHALL REQUIRE SEPARATE FIRE DEPARTMENT PLAN REVIEW & PERMITTING, BY A C16, C34, OR C36 LICENSED CONTRACTOR MEETING THE ADOPTED NFPA 13 CHAPTER 10 OR NFPA 24.

- CABLE TV CONSTRUCTION NOTES**
- CABLE TV FACILITIES MUST BE PLACED BY THE DEVELOPER.
 - ROUTING OF UNDERGROUND CONDUIT SYSTEM WILL BE DETERMINED BY TIME WARNER COMMUNICATIONS UPON RECEIPT OF TWO COPIES EACH OF UTILITY UNDERGROUND CONSTRUCTION PRINTS (EDISON AND VERIZON) AND EXECUTED AGREEMENT.
 - DESIRED ROUTING MUST BE HIGHLIGHTED ON SUPPLY UTILITY PRINT. ONE COPY MUST BE RETURNED TO THE DEVELOPER.
 - PRE-WIRING OF FACILITIES MUST BE DONE IN ACCORDANCE WITH TIME WARNER COMMUNICATIONS AGREEMENT AND SPECIFICATIONS THAT WILL HAVE ONE HOME RUN TO EACH UNIT FROM "MULTI TAP" TO BE 250 FEET
- CONTACT: CONSTRUCTION DEPARTMENT
 DAVE DOLNEY, PROJECT SUPERINTENDENT (714) 903-8446
 BILL JANKOWSKI, CONST. SUPERVISOR (714) 903-8336
 MIKE PURSELL, DIRECTOR (714) 903-8309
- THE DEVELOPER WILL PROVIDE THE LABOR WITH THE EXCEPTION OF PULLING DISTRIBUTION CABLE, SPLICING, AND ACTIVATION.
 - TIME WARNER COMMUNICATIONS RESERVES THE RIGHT TO REVOKE THE OFFER TO PROVIDE MATERIALS WITHOUT PRIOR NOTICE.

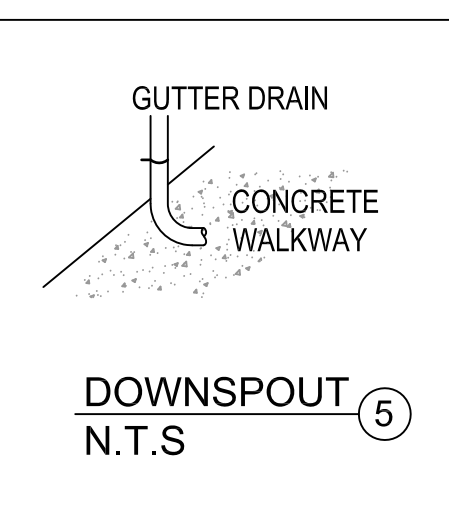
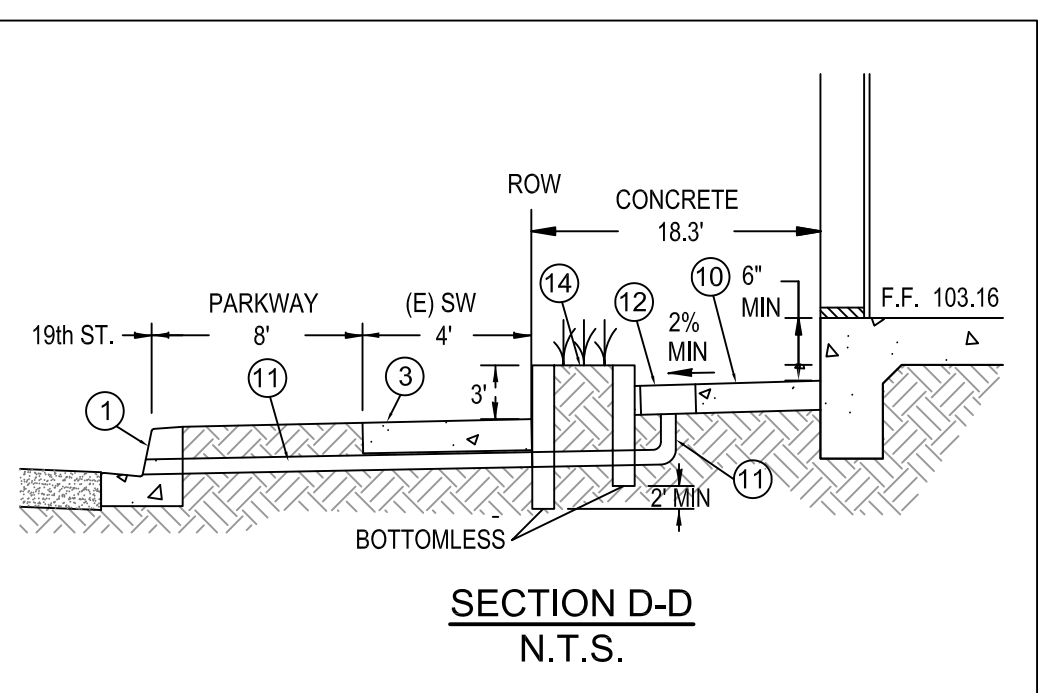
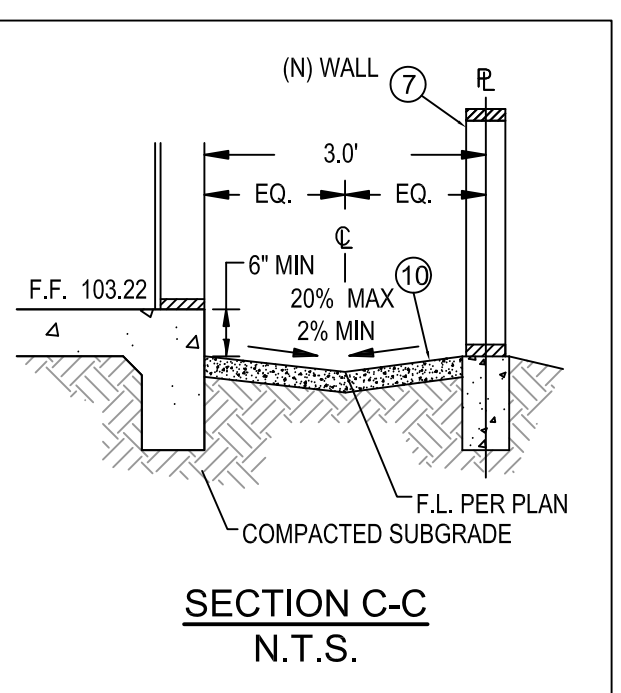
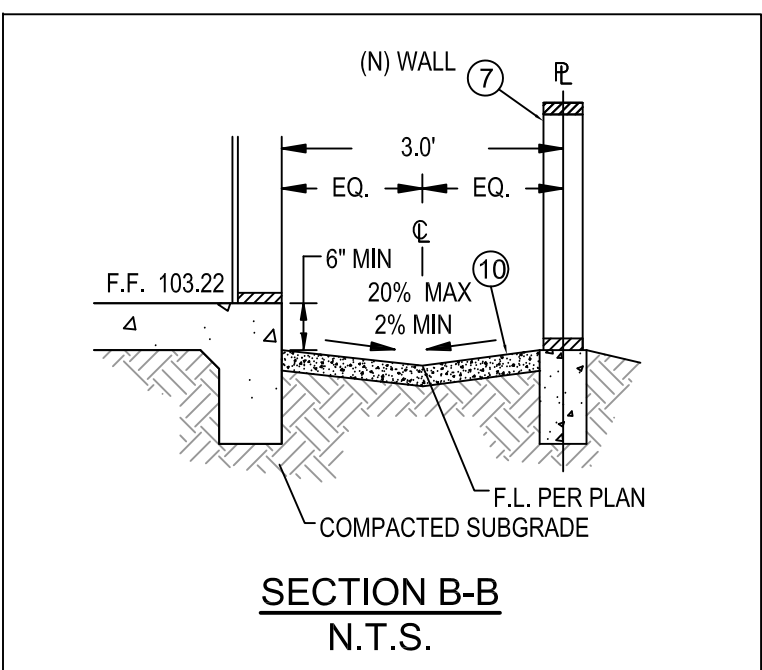
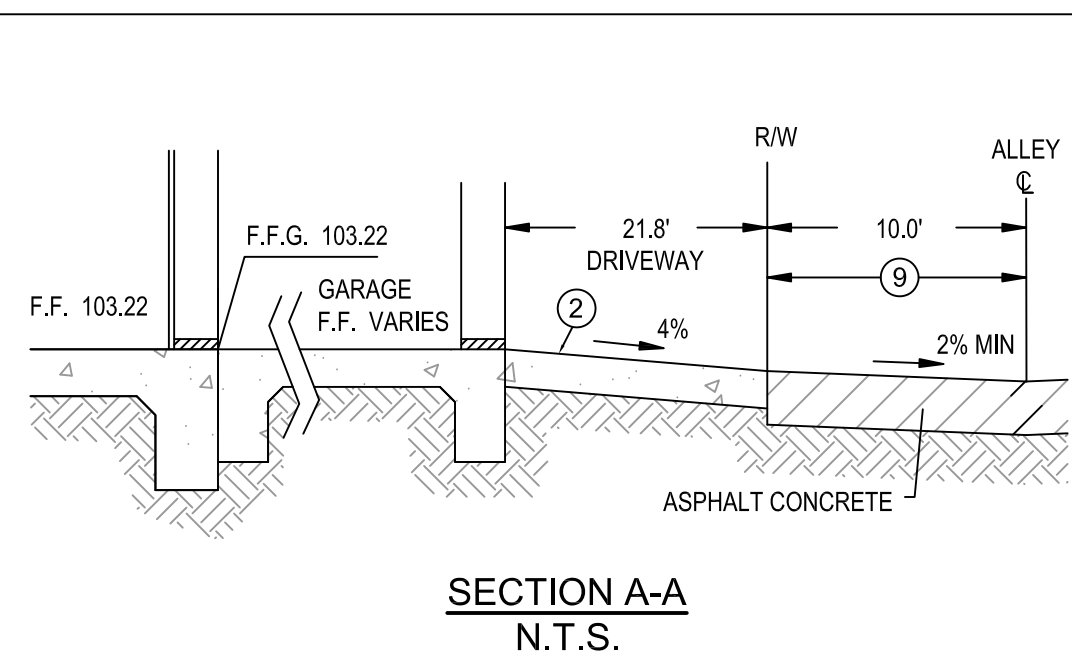
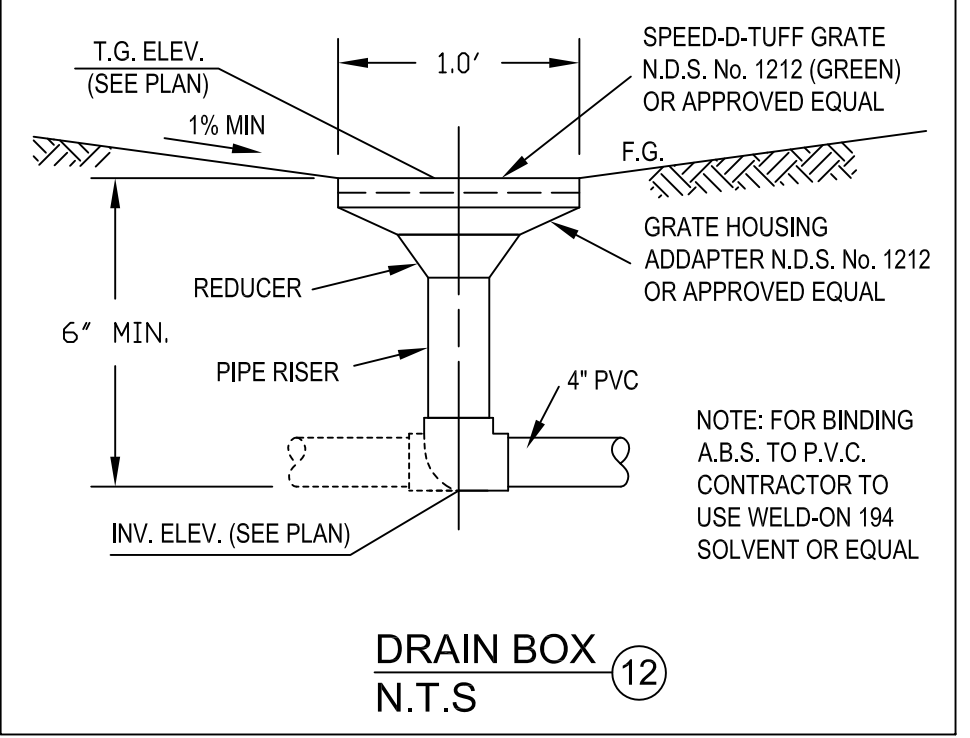
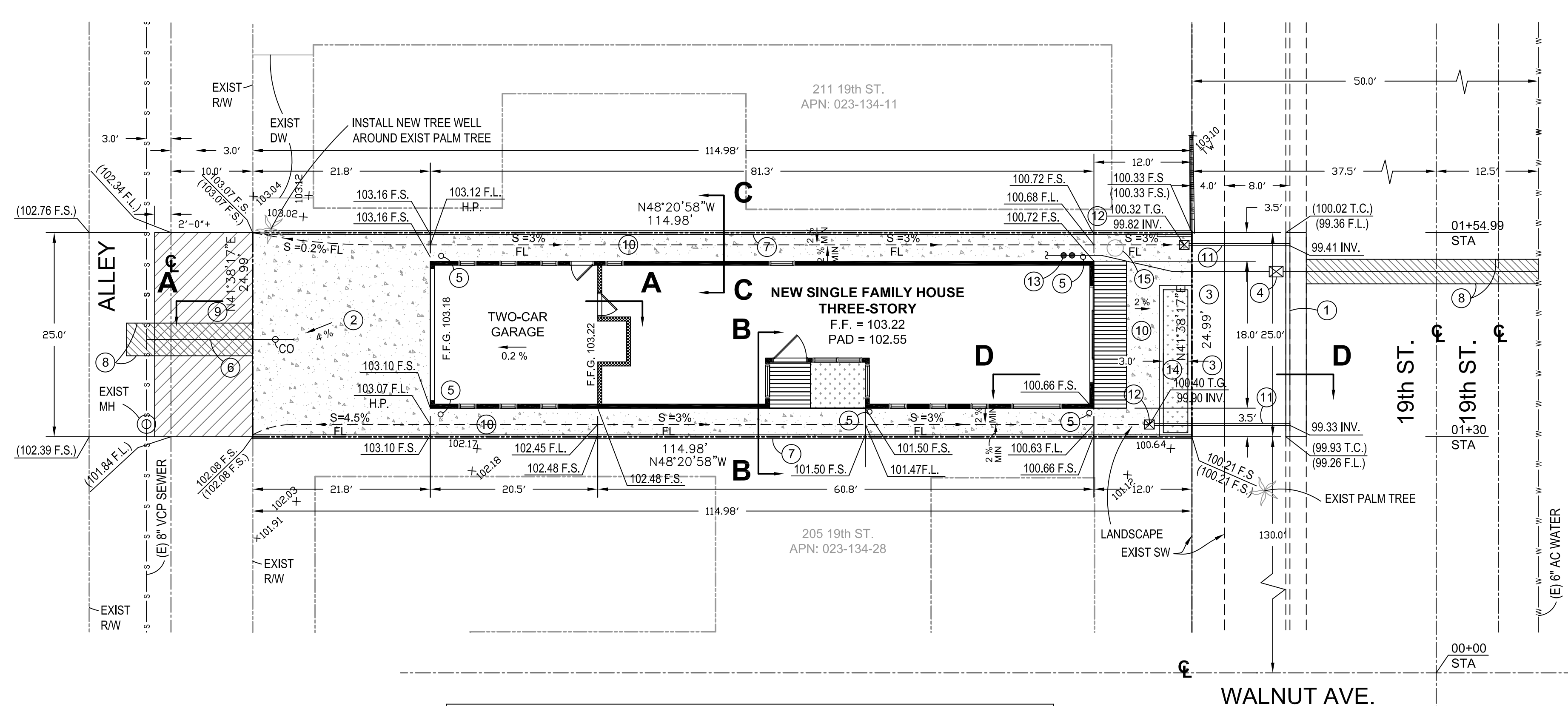
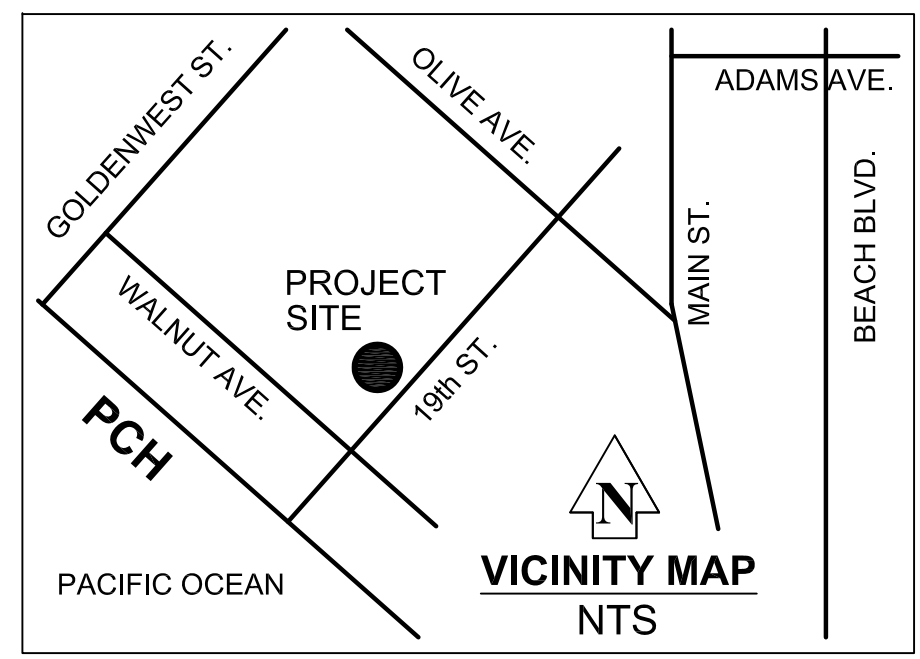
- WATER NOTE:**
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST CITY OF HUNTINGTON BEACH WATER DIVISION STANDARDS.
 - THE CITY OF HUNTINGTON BEACH PUBLIC WORKS WATER INSPECTOR MUST BE NOTIFIED 48 HOURS BEFORE START OF WORK AT (714) 536-5431
 - DEVELOPER IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HUNTINGTON BEACH DEPARTMENT OF BUILDING AND SAFETY FOR THE SIZE OF WATER METER(S) AND/OR SERVICE LATERAL(S) SIZES SHOWN ON THIS PLAN WILL REQUIRE CITY BUILDING AND/OR FIRE DEPARTMENT APPROVAL. DEVELOPER IS RESPONSIBLE FOR COST OF REPLACING UNDERSIZED LATERALS & METERS DUE TO INCORRECT FITTURE UNIT COUNTS, GALLON PER MINUTE CALCULATIONS, OR LACK OF COORDINATION WITH CITY OF HUNTINGTON BEACH DEPARTMENT OF BUILDING AND SAFETY.
 - ALL UNDERGROUND PIPING BETWEEN THE METER AND BACKFLOW PROTECTION DEVICES SHALL BE SLEEVED AND BACKFILLED WITH 2-SACK SLURRY TO 12-INCHES BELOW FINISHED GRADE.
 - SCREENING OF BACKFLOW PROTECTION DEVICE SHALL BE APPROVED BY THE CITY DEPARTMENT OF PUBLIC WORKS AND PLANNING DEPARTMENT.
 - CONTRACTOR SHALL NOT TAP EXISTING MAINS WITHOUT A CERTIFIED WATER INSPECTOR PRESENT. PRESSURE TEST TAPPING SLEEVE IN CERTIFIED WATER INSPECTORS PRESENCE BEFORE TAPPING EXISTING MAIN.
 - CITY OF HUNTINGTON BEACH WORK PRIOR TO ACCEPTANCE WILL BE LIMITED TO PLAN REVIEW AND CONSTRUCTION INSPECTION. ANY ADDITIONAL WORK BY THE CITY FORCES DEEMED NECESSARY BY CERTIFIED WATER INSPECTORS TO ENSURE COMPLIANCE WITH CITY STANDARDS WILL BE BACKCHARGED TO THE DEVELOPER OR CONTRACTOR. FINAL ACCEPTANCE WILL NOT OCCUR UNTIL REIMBURSEMENT IS RECEIVED.
 - NOTE: ANY WATER SERVICE WITH A FITTURE EXCEEDING 20 FEET ABOVE THE TOP OF LOWEST CURB ELEVATION SHALL HAVE BACKFLOW PROTECTION PER CITY OF H.B. STD. PLAN 609A. COMMERCIAL AND INDUSTRIAL REQUIRE PROTECTION ALL THE TIME.

NEW WATER METER ELEVATION CERTIFICATION

THE ENGINEER OF RECORD OR LICENSED SURVEY AND STAKE THE LOCATION OF THE PROPOSED WATER SERVICE AND METER AND INCLUDE THE FINISH ELEVATION FOR THE PLACEMENT OF THE NEW WATER METER. PER WATER DIVISION STANDARDS, THE METER SHALL BE LOCATED 7 INCHES BELOW THE FINISH SURFACE MEASURED FROM THE TOP OF FINISH SURFACE TO THE CENTERLINE/FLOW LINE OF THE METER. PRIOR TO THE CONTRACTOR CONSTRUCTING THE ASPHALT PAVEMENT IN THE ALLEY, THE OWNER/DEVELOPER SHALL PROVIDE AN APPROVED WRITTEN CERTIFICATION TO THE PUBLIC WORKS INSPECTOR AND WATER INSPECTOR CERTIFYING THAT THE ELEVATION OF THE NEW WATER METER COMPLIES WITH THE SURVEY DATA.

- NPDES GENERAL NOTES**
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING INDUSTRY ACCEPTED BEST MANAGEMENT PRACTICES (BMPs). THESE BMPs SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY SUCH AS GRADING THAT MAY CAUSE SOIL DISTURBANCE. THESE BMPs ARE TO BE MAINTAINED YEAR-ROUND OR UNTIL ALL LOOSE SEDIMENT HAS BEEN STABILIZED.
 - STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES AND ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND. STOCKPILED MATERIAL SHALL BE NO MORE THAN 8 FEET IN HEIGHT AND SHALL BE COMPLETELY COVERED WITH A SECURE IMPERMEABLE COVER AT THE END OF EACH WORK DAY. ALL STOCKPILES SHALL BE LOCATED AWAY FROM ANY STORM DRAIN INLETS AND AWAY FROM ANY STORM WATER CONVEYANCE STRUCTURES. AT NO TIME SHALL ANY RAW MATERIAL BE STAGED OR STOCKPILED ON CITY STREETS, SIDEWALKS, AND/OR CURBS WITHOUT A VALID OBSTRUCTION PERMIT.
 - APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, AND ADJOINING PROPERTY BY WIND OR RUNOFF.
 - RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED ON THE CONSTRUCTION SITE AND SHALL NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE STORM DRAIN SYSTEM.
 - CONCRETE WASH OUT WATER SHALL BE CONTAINED IN A WATER-TIGHT DEVICE TO PREVENT CEMENT DEPOSITION ONTO THE GROUND AND RUNOFF INTO STREETS, DRAINAGE FACILITIES, AND RECEIVING WATERS.
 - ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
 - AT THE END OF EACH WORK DAY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN COVERED TRASH OR RECYCLE BINS.
 - CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT STORMWATER DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIALS OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 - ALL UNPAVED CONSTRUCTION ENTRANCES AND EXITS SHALL BE PROTECTED USING AN EFFECTIVE COMBINATION OF TRACKING CONTROL BMPs TO MINIMIZE AND/OR ELIMINATE OFF-SITE TRACKING OF SEDIMENT. THESE BMPs SHALL BE MAINTAINED AND INSPECTED DAILY.
 - ALL TEMPORARY PORTABLE RESTROOMS MUST HAVE A CATCHMENT PAN AND MUST BE LOCATED AT LEAST 50 FEET AWAY FROM ANY STORM DRAIN INLETS.
 - POLLUTANTS ARE ANY SUBSTANCES INTRODUCED INTO THE ENVIRONMENT THAT ADVERSELY AFFECTS THE USEFULNESS OF A RESOURCE. POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SEDIMENT; SOLID OR LIQUID CHEMICALS SUCH AS: PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDE, HERBICIDE, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE / EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHINGS AND TESTING.
 - DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED MANNER. A DESIGNATED TEMPORARY AREA ON-SITE SHALL BE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
 - DISCHARGING CONTAMINATED GROUNDWATER, PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
 - DISCHARGES OF STORM WATER FROM CONSTRUCTION SITES SHALL NOT BE LADEN WITH SEDIMENT. ALL STORM WATER DISCHARGES MUST BE RELATIVELY FREE OF SEDIMENT.
 - ALL CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL MEET THE REGULATORY CONSTRUCTION REQUIREMENTS ON THE PROJECT SITE IN COMPLIANCE WITH THE CITY'S MUNICIPAL CODE 14.25, STORMWATER AND URBAN RUNOFF MANAGEMENT AND MUNICIPAL CODE 17.05, GRADING AND EXCAVATION CODE.

- GRADING GENERAL NOTES**
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HUNTINGTON BEACH REQUIREMENTS.
 - CITY OF HUNTINGTON BEACH GRADING INSPECTOR IS TO BE NOTIFIED 48 HOURS PRIOR TO ANY GRADING AT THE DEPARTMENT OF PUBLIC WORKS, (714) 536-5431.
 - DUST SHALL BE CONTROLLED BY WATERING.
 - REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING, INSPECTION IS REQUIRED.
 - ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
 - IMPORT SOIL SHALL BE A GRANULAR MATERIAL WITH LOW EXPANSION POTENTIAL AND SHALL BE COMPACTED TO AT LEAST 90%.



LEGEND

XXX.XX (XXX.XXX)	PROPOSED ELEVATIONS	BSW	BACK OF SIDEWALK	INV	INVERT
---	EXISTING ELEVATIONS	CL	CENTERLINE	IRRB	IRRIGATION BOX
---	PROPERTY LINE	CO	CONCRETE	LF	LINEAR FEET
E	ELECTRICAL LINE	CONC	CONCRETE	LS	LUMP SUM
X	CHAIN LINK FENCE	CP	SURVEY CONTROL POINT	LT	LIGHT
---	RECLAIMED WATER	DCK	TOP OF DECK	PS	PIPE SLOPE
S	SEWER LINE	DWNSPT	DOWNSPOUT	SF	SQUARE FEET
T	TELEPHONE LINE	EG	EXISTING GRADE	SGN	SIGN
W	WATER LINE	EP	EDGE OF PAVEMENT	TC	TOP OF CURB
---	BLOCK WALL	FF	FINISHED FLOOR	TCW	TOP CONC. WALL
---	EDGE OF PAVEMENT	FG	FINISHED GRADE	TG	TOP GRATE
---	EXISTING BUILDING	FH	FIRE HYDRANT	TP	TOP OF PIPE
AC	CONCRETE	FL	FLOW LINE	TR	TOP OF RAIL
AC	ASPHALTIC CONCRETE	FTG	TOP OF FOOTING	TOR	TOP OF RAMP
---	DRAINAGE DIRECTION	FS	FINISHED SURFACE	WV	WATER VALVE
		GB	GRADE BREAK	---	LANDSCAPED AREA
		GM	GAS METER	---	PORCH
		HP	HIGH POINT	---	NEW AC
		s	SLOPE DIRECTION	---	

CONSTRUCTION NOTES - ESTIMATED QUANTITIES

ITEM	DESCRIPTION	ON-SITE	OFF-SITE
1	CONSTRUCT NEW CONCRETE CURB&GUTTER PER CITY STD. 202		25 LF
2	CONSTRUCT NEW 6" CONCRETE DRIVEWAY OVER 4" AGGREGATE BASE	400 SF	
3	CONSTRUCT NEW CONCRETE SIDEWALK PER CITY STD. 207		100 SF
4	CONSTRUCT 1" DOMESTIC WATER SERVICE LINE AND 1" METER PER CITY'S STD 602		1 EACH
5	INSTALL DOWNSPOUT PER DETAIL HEREON	5 EACH	
6	POWER WASH (E) SEWER LATERAL & VIDEOTAPE FROM THE CLEANOUT TO THE SEWER MAIN. SUBMIT VIDEO TO PUBLIC WORKS DEPT. FOR EVALUATION TO DETERMINE ITS CONDITION & IF POSSIBLE REPLACEMENT IS NECESSARY, EXACT LOCATION NOT KNOWN AT THIS TIME.		1 EACH
7	REMOVE (E) WOOD FENCE, CONSTRUCT NEW 6" BLOCK WALL PER SEPARATE PERMIT	230 LF	
8	SAWCUT AND REMOVE EXISTING PAVEMENT, CONSTRUCT TRENCH PAVEMENT REPAIR PER CITY STD. 606		175 SF
9	REPAVE ALLEY TO CENTER LINE PER CITY STDS. (0.33' AC WITH SS-1 SEAL COAT OVER 0.50' A.B. (MIN))		250 SF
10	CONSTRUCT NEW 4" CONCRETE OVER 3" AGGREGATE BASE	980 SF	
11	INSTALL CURB DRAIN WITH 3" SCH. 80 PVC PIPE PER CITY STD. 204		24 FT
12	CONSTRUCT DRAIN BOX INLET PER DETAIL HEREON		2 EACH
13	CONSTRUCT 1" BACKFLOW DEVICE (DCV) PER CITY STD. 609B		1 EACH
14	CONSTRUCT LANDSCAPE PER SEPARATE PERMIT		1 EACH
15	REMOVE EXISTING FLAG POLE		1 EACH

- THE FOLLOWING ITEMS REQUIRE A SEPARATE PUBLIC WORKS ENCROACHMENT PERMIT: 1 3 4 6 8 9 11 13
- THE CITY BUILDING DIVISION WILL BE RESPONSIBLE FOR INSPECTION BEYOND THE WATER METER
- THE P.W. INSPECTOR AND CROSS-CONNECTION CONTROL SPECIALIST WILL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE FINAL LOCATION OF THE DCV.

LEGAL DESCRIPTION:
 LOT 9 OF BLOCK 219 OF HUNTINGTON BEACH SEVENTEENTH ST. SECTION OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 10, OF MISCELLANEOUS MAPS, RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, CALIFORNIA. ASSESSORS NUMBER: 023-134-12

BENCH MARK:
 ASSUMED ELEVATION 100.00' MAG NAIL AT THE INTERSECTION OF WALNUT AVE @ 19th STREET

ESTIMATE OF EARTHWORK QUANTITIES:
 CUT = 1 C.Y. FILL = 6 C.Y. OVEREXCAVATION = 21 C.Y.

CERTIFICATION STATEMENT:
 THE UNDERSIGNED STATES THAT ALL IMPROVEMENTS SHOWN HEREIN HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE DIMENSIONS, LINES AND ELEVATIONS INDICATED.

INITIALS: R.C.E# DATE: _____

INDEX	
1	PRECISE GRADING PLAN
2	EXISTING TOPO & EROSION CONTROL PLAN

BLDG# C2020-006281 PW# 20-056 L# 20-183 **RD# 349**

DIGALERT

DIAL TOLL FREE
 1-800-277-2600

AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'D

DEVELOPER/OWNER

EDWARD BUI AND JULIE QUACH

1409 N GLENARBOR ST.
 SANTA ANA, CA 92706
 (714) 702-7111

SOILS ENGINEER

PROJ.# G1601005 DATE: 5-28-2016

GEOTECHNICAL INTERNATIONAL
 LAN & ASSOCIATES
 LAN N. PHAM, P.E. RGE 686, EXP. 3-31-2025
 13139 HARBOR BLVD., GARDEN GROVE, CA 92643
 TEL: (714) 414-9215; FAX: (714) 537-7974

APPROVED BY:

FIRE DEPT.	DATE
PLANNING DEPT.	DATE
REVIEWED BY:	
HUNTINGTON BEACH DEPT. OF PUBLIC WORKS	

CITY OF HUNTINGTON BEACH
 DEPARTMENT OF PUBLIC WORKS

LAN & ASSOCIATES
 LAN N. PHAM, P.E.
 RCE: 29595
 EXP. 3-31-2025
 13139 HARBOR BLVD.,
 GARDEN GROVE, CA 92643
 TEL: (714) 487-7037
 FAX: (714) 537-7974

DRAWN BY:	KT	DATE:	09/20/21
DESIGNED BY:	LP	DATE:	09/20/21
CHECKED BY:	LP	DATE:	09/20/21

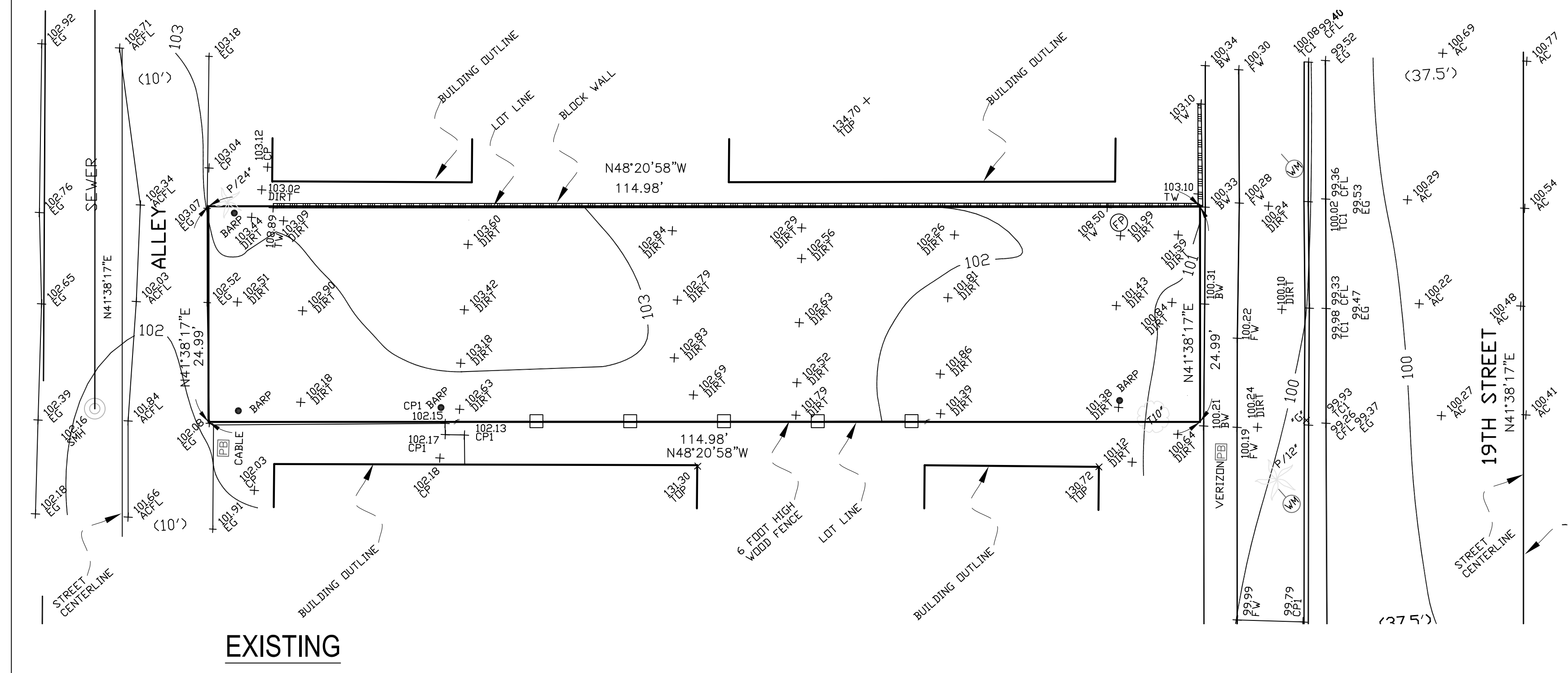
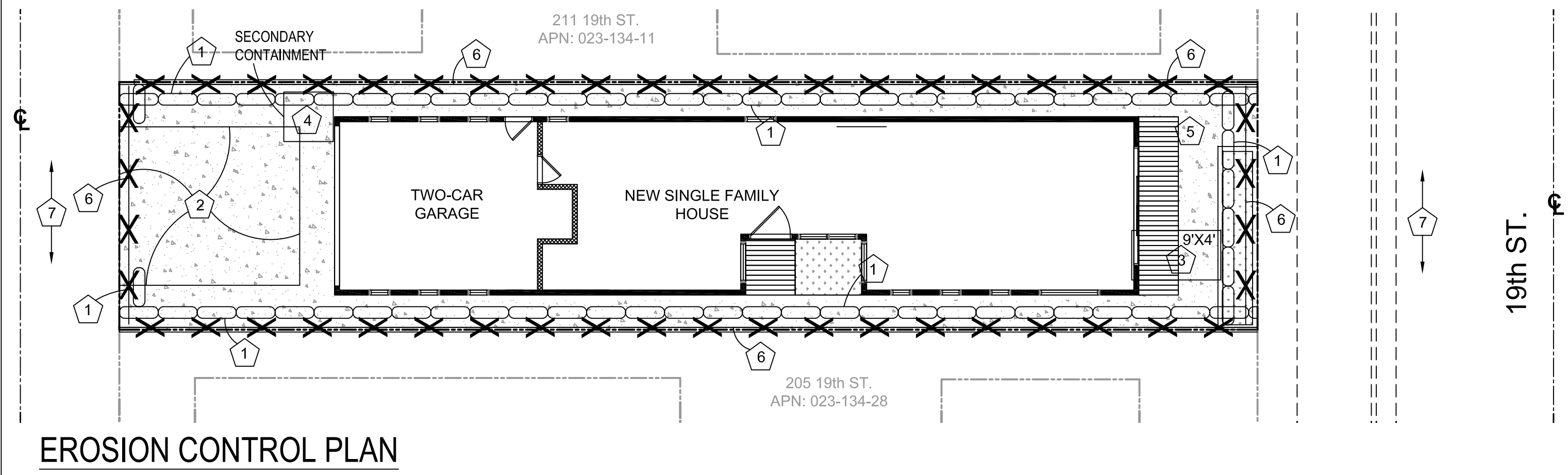
PREPARED UNDER THE SUPERVISION OF: _____

R.C.E. NO.: 29595 EXP. DATE: 3/31/2025

PRECISE GRADING PLAN

EDWARD BUI AND JULIE QUACH
 209 19th ST.
 HUNTINGTON BEACH, CA 92648

SHEET NO. **1** OF **2**

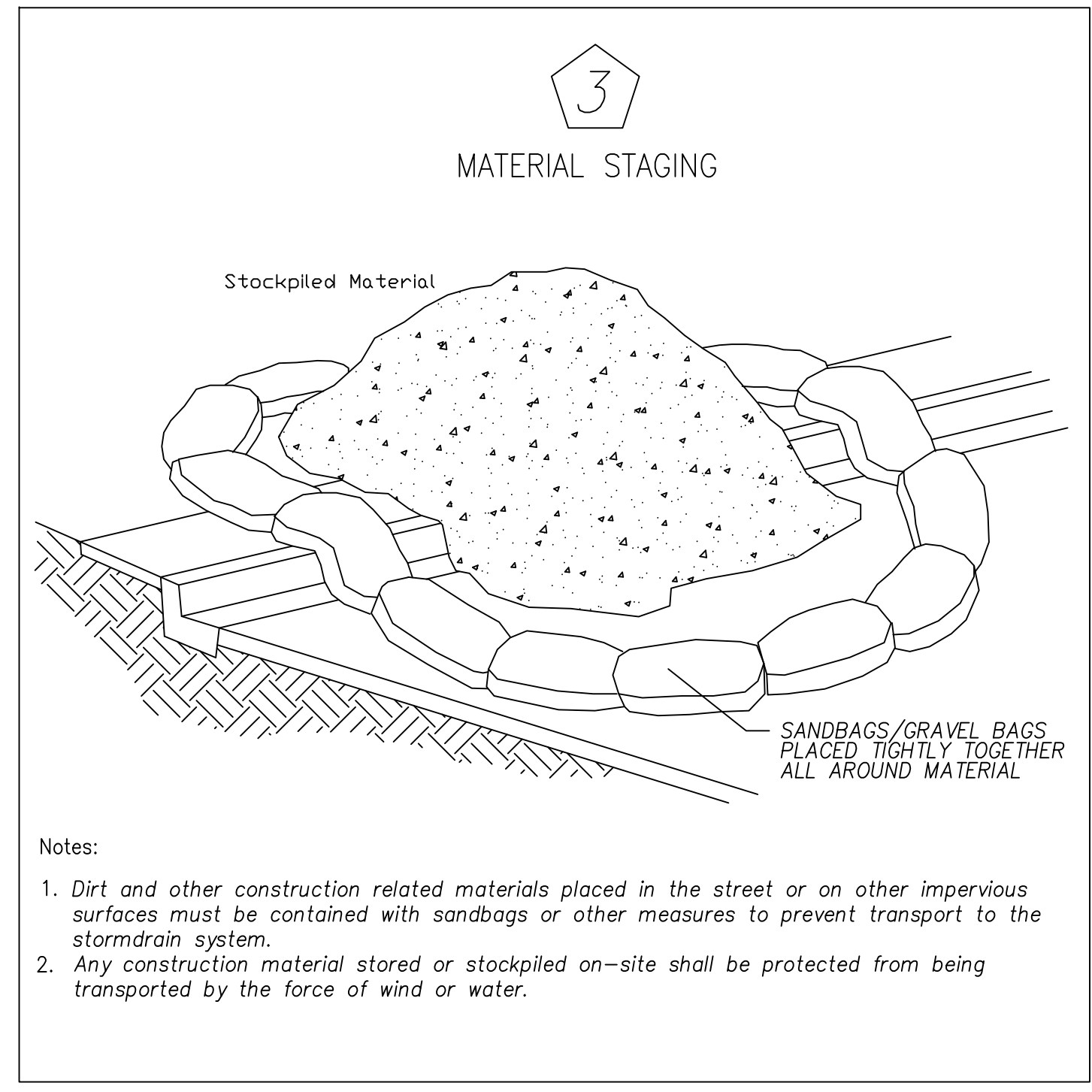
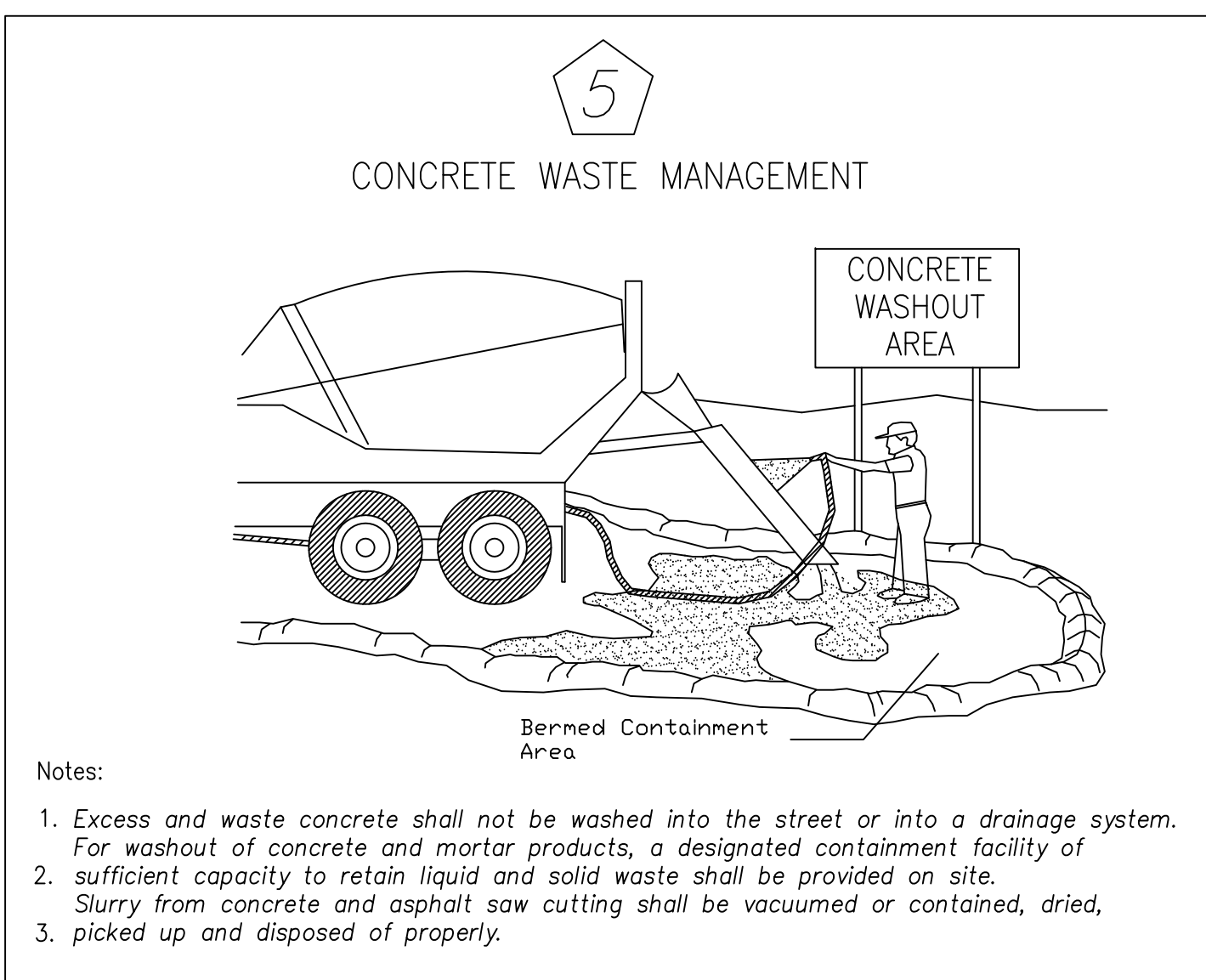
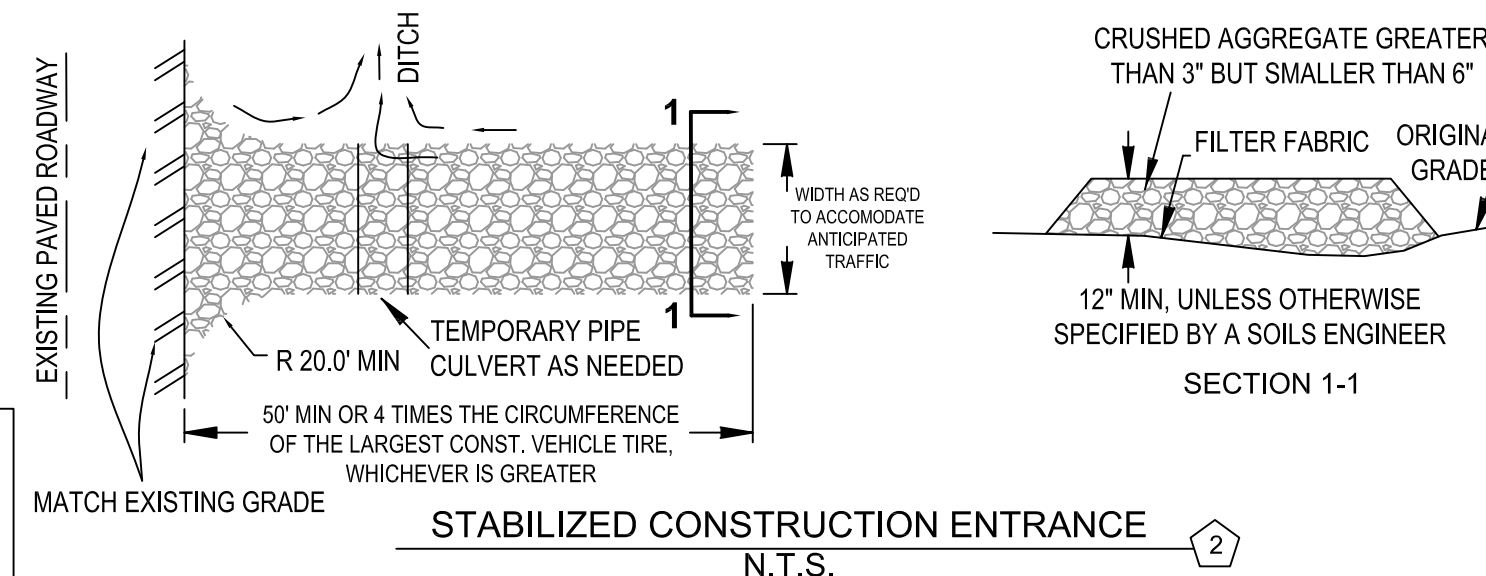
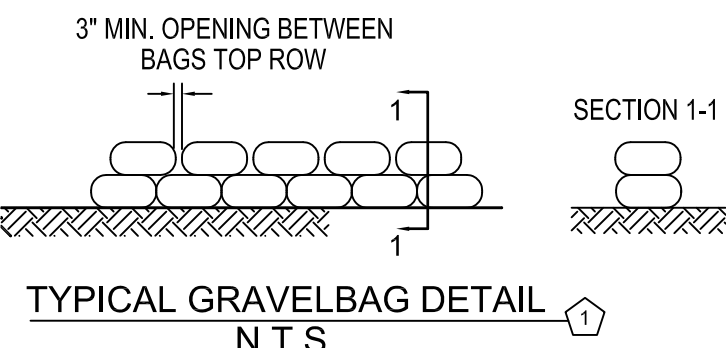


EROSION CONTROL NOTES

1. EROSION CONTROL IS REQUIRED FOR GRADING OPERATIONS DURING "DRY SEASON" REQUIREMENTS (MAY 1 THROUGH SEPTEMBER 30) AND FOR "WET SEASON" REQUIREMENTS (OCTOBER 1 THROUGH APRIL 30). APPROVED PLANS ARE REQUIRED FOR ALL ROUGH GRADING OPERATIONS.
2. IN CASE OF EMERGENCY CALL:

LAN PHAM, PE (RESPONSIBLE PERSON)
 LAN & ASSOCIATES (FIRM)
 AT (714) 487-7037 (24 HOUR PHONE NO.)

3. THE DESIGN CIVIL ENGINEER WILL SUPERVISE EROSION CONTROL WORK AND ENSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS (IF REQUIRED).
4. THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMP'S AS NEEDED TO PROTECT ALL EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM EVENT IS DEFINED AS A NATIONAL WEATHER SERVICE FORECASTED, 50% CHANCE OF RAIN).
5. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER.
6. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
7. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, SILT FENCES, AND DESILTING BASINS, ETC.
8. GRADED AREAS AROUND THE TRACT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
10. DESILTING BASINS ARE TO BE CONSTRUCTED AS GRADING OF INDIVIDUAL GRADING AREAS ARE COMPLETE PER ROUGH GRADING PLANS.
11. THE CITY ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THIS PLAN AS DEEMED NECESSARY.
12. INFORMATION ON THIS PLAN IS FOR EROSION CONTROL ONLY. ALL OTHER INFORMATION IS SUBJECT TO CHANGE.
13. TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
14. AREAS SHALL BE MAINTAINED IN SUCH A STATE THAT FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).
15. NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR DURING THE "WET SEASON", UNLESS ADEQUATE TEMPORARY/ PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE NEAREST PRACTICAL STREET, STORM DRAIN OR NATURAL WATER COURSE.
16. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHANNLED INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.
17. CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TO THIS SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT BE LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.
18. SLOPES CONSTRUCTED PRIOR TO OCTOBER 1 SHALL BE TREATED FOR EROSION CONTROL PRIOR TO OCTOBER 15. SLOPES CONSTRUCTED AFTER OCTOBER 1 SHALL BE TREATED FOR EROSION CONTROL AS THE CONSTRUCTION OF SLOPE PROGRESSES IN INCREMENTS OF 25 FEET OR LESS MEASURED VERTICALLY.
19. FILL AREAS WHILE BEING BROUGHT UP TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; GRADED BERMS AROUND AREAS TO ELIMINATE EROSION OF FILL SLOPES BY SURFACE RUNOFF; CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN TOE OF SLOPE DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE; AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND MAINTAINED ON THOSE FILL AREAS WHERE EARTH-WORK OPERATIONS ARE NOT IN PROGRESS.
20. TOP OF CUT BROW DITCHES, WHERE REQUIRED ON THE PLANS, SHALL BE CONSTRUCTED PRIOR TO EXCEEDING 12 FEET OF CUT MEASURED VERTICALLY.
21. CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS THAT HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATION, AND THAT ARE SUBJECT TO RUNOFF DURING THE PERIOD FROM THE BEGINNING OF THE "WET SEASON". THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES; BRUSH BARRIERS AND SILT FENCES. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.
22. CITY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.



ITEM	DESCRIPTION
1	INSTALL TYPICAL GRAVELBAG PER DETAIL HEREON
2	CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER CASQA TC-1 & DETAIL HEREON
3	MATERIAL STAGING AREA PER CASQA WM-1 & DETAIL HEREON
4	PORTABLE TOILET PER CASQA WM-9 & DETAIL HEREON
5	CONCRETE WASH OUT AREA PER CASQA WM-8 & DETAIL HEREON
6	INSTALL 6 FEET HEIGHT TEMPORARY FENCE WITH GREEN SCREEN PER DETAIL HEREON
7	STREET SWEEPING PER CASQA SE-7

PROPERTIES	RESULTS
Weight	135 g/m ²
Material Break Strength	420 lbs/ft
Crystalline Melt Point	133°C
Flammability Point	364°C
Shade Percentage	85%

130 SERIES PRIVACY SCREEN

ATTACHMENT ENLARGEMENT showing fence post, stretcher bar, fencescreen, edge binding, and grommet.

GRAPHIC SCALE
 SCALE IN FEET
 1 inch = 10 ft.

CERTIFICATION STATEMENT:
 THE UNDERSIGNED STATES THAT ALL IMPROVEMENTS SHOWN HEREIN HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE DIMENSIONS, LINES AND ELEVATIONS INDICATED.

INITIALS _____ R.C.# _____ DATE _____

DIGALERT
 DIAL TOLL FREE
 1-800-277-2600
 AT LEAST TWO DAYS BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	DATE	BY	DESCRIPTION	APP'VD

DEVELOPER/OWNER
 EDWARD BUI AND JULIE QUACH
 1409 N GLENARBOR ST.
 SANTA ANA, CA 92706
 (714) 702-7111

SOILS ENGINEER
 PROJ. # G1601005 DATE: 5-28-2016
 GEOTECHNICAL INTERNATIONAL
 LAN & ASSOCIATES
 LAN N. PHAM, P.E. RGE 686, EXP. 3-31-2025
 13139 HARBOR BLVD, GARDEN GROVE, CA 92843
 TEL: (714) 414-9215; FAX: (714) 537-7974

REVIEWED BY:
 HUNTINGTON BEACH DEPT. OF PUBLIC WORKS

CITY OF HUNTINGTON BEACH
 DEPARTMENT OF PUBLIC WORKS

LAN & ASSOCIATES
 LAN N. PHAM, P.E.
 RCE, 29595
 EXP. 3-31-2025
 13139 HARBOR BLVD.
 GARDEN GROVE, CA 92843
 TEL: (714) 487-7037
 FAX: (714) 537-7974

DRAWN BY:	KT	DATE	09/2021
DESIGNED BY: <td>LP</td> <td>DATE</td> <td>09/2021</td>	LP	DATE	09/2021
CHECKED BY: <td>LP</td> <td>DATE</td> <td>09/2021</td>	LP	DATE	09/2021

PREPARED UNDER THE SUPERVISION OF:
 R.C.E. NO.: 29595 EXP. DATE: 3/31/2025

EXISTING TOPO & EROSION CONTROL PLAN

EDWARD BUI AND JULIE QUACH
 209 19th ST.
 HUNTINGTON BEACH, CA 92648

BLDG# C2020-006281 PW# 20-056 L# 20-183

SHEET NO. **2** OF **2**