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TRIPLE H PROPERTIES REDONDO

7600 REDONDO CIR, HUNTINGTON BEACH, CA 92648

SHEET INDEX

(TOTAL SHEETS = 12)

ARCHITECTURAL (11 SHEETS)

A0.1	TITLE SHEET
A0.5	OVERALL SITE PLAN
A0.5a	SITE PLAN–FENCE LAYOUT
BUILDING 1	
A2.1–1	FLOOR PLAN
A3.1–1	ROOF PLAN
A4.1–1	EXTERIOR ELEVATIONS
BUILDING 2	
A2.1–2	FLOOR PLAN
A3.1–2	ROOF PLAN
A4.1–2	EXTERIOR ELEVATIONS
A9.0	PERSPECTIVE VIEWS
A9.1	MATERIAL BOARD

LANDSCAPE (1 SHEETS)

L1.1	PRELIMINARY LANDSCAPE PLAN

ABBREVIATIONS

&	And
∠	Angle
@	At
℄	Centerline
~	Diameter or Round
#	Pound or Number
(E)	Existing
ACOUS	Acoustical
A.D.	Area Drain
ADJ.	Adjustable
AGGR.	Aggregate
AL.	Aluminum
APPROX.	Approximate
ARCH.	Architectural
ASB.	Asbestos
ASPH.	Asphalt
BD.	Board
BITUM.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
B.O.C.	Bottom of Concrete
B.O.M.	Bottom of Mullion
B.O.P.	Bottom of Panel
B.O.R.	Bottom of Reveal
BOT.	Bottom
CAB.	Cabinet
C.B.	Catch Basin
CEM.	Cement
CER.	Ceramic
C.I.	Cast Iron
C.G.	Corner Guard
CLG.	Ceiling
CLKG.	Caulking
CLO.	Closet
CLR.	Clear
C.O.	Cased Opening
COL.	Column
C.O.M.	Center of Mullion
CONC.	Concrete
CONN.	Connection
CONSTR.	Construction
CONT.	Continuous
C.O.R.	Center of Reveal
CORR.	Corridor
CTSK.	Countersunk
CNTR.	Counter
CTR.	Center
DBL.	Double
DEPT.	Department
D.F.	Drinking Fountain
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DISP.	Dispenser
DN.	Down
D.O.	Door Opening
DR.	Door
DWR.	Drawer
DS.	Downspout
D.S.P.	Dry Standpipe
DWG	Drawing
E.	East
EA.	Each
E.J.	Expansion Joint
EL.	Elevation
ELEC.	Electrical
ELEV.	Elevator
EMER.	Emergency
ENCL.	Enclosure
E.P.	Electrical Panelboard
EQ.	Equal
EQPT.	Equipment
E.W.C.	Electric Water Cooler
EXST.	Existing
EXPO.	Exposed
EXP.	Expansion
EXT.	Exterior
F.A.	Fire Alarm
F.B.	Flat Bar
F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cab
F.H.C.	Fire Hose Cabinet
FIN.	Finish
FL.	Floor
FLASH.	Flashing
FLUOR.	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.M.	Face of Mullion
F.O.SH.	Face of Sheathing
FPRF.	Fireproof
F.S.	Full Size
FT.	Foot or Feet
FTG.	Footing
FURR.	Furring
FUT.	Future
GA.	Gauge
GALV.	Galvanized
G.B.	Grab Bar
GL.	Glass
GND.	Ground
GR.	Grade
GYP.	Gypsum
H.B.	Hose Bibb
H.C.	Hollow Core
HDWD.	Hardwood
HDWE.	Hardware
H.M.	Hollow Metal
HORIZ.	Horizontal
HR.	Hour
HGT.	Height
I.D.	Inside Diameter (Dim.)
INSUL.	Insulation
INT.	Interior
Jan.	Janitor
JT.	Joint
KIT.	Kitchen
K.O.	Knock Out
LAB.	Laboratory
LAM.	Laminate
LAV.	Lavatory
LKR.	Locker
LT.	Light
MAX.	Maximum
M.C.	Medicine
MECH.	Mechanical
MEMB.	Membrane
MET.	Metal
MFR.	Manufacturer
MH.	Manhole
MIN.	Minimum
MIR.	Mirror
MISC.	Miscellaneous
M.O.	Masonry Opening
MTD.	Mounted
MUL.	Mullion
N.	North
N.I.C.	Not In Contract
NO.	Number
NOM.	Nominal
N.T.S.	Not To Scale
O.A.	Overall
OBS.	Obscure
O.C.	On Center
O.D.	Outside Diameter (Dim.)
OFF.	Office
OPNG.	Opening
OPP.	Opposite
PRCST.	Pre-cast
PL.	Plate
P.LAM.	Plastic Laminate
PLAS.	Plaster
PLYWD.	Plywood
PR.	Pair
PT.	Point
P.T.D	Paper Towel Dispenser
P.T.D/R	Combination Paper Towel
PTN.	Partition
P.T.R.	Paper Towel Receptacle
P.J.	Panel Joint
Q.T.	Quarry Tile
R.	Riser
RAD.	Radius
R.D.	Roof Drain
REF.	Reference
REFR.	Refrigerator
RGTR.	Register
REINF.	Reinforced
REQ.	Required
RESIL.	Resilient
RM.	Room
R.O.	Rough Opening
RWD.	Redwood
R.W.L.	Rain Water Leader
S.	South
SAF	Self Adhered Flashing
S.C.	Solid Core
S.C.D.	Seat Cover Dispenser
SCHED.	Schedule
S.D.	Soap Dispenser
SECT.	Section
SH.	Shelf
SHR.	Shower
SHT.	Sheet
SIM.	Similar
S.N.D.	Sanitary Napkin Disp.
S.N.R.	Sanitary Napkin Recept.
SPEC.	Specification
SQ.	Square
S.ST.	Stainless Steel
S.SK.	Service Sink
STA.	Station
STD.	Standard
STL.	Steel
STOR.	Storage
STRL.	Structural
SUSP.	Suspended
SYS.	Symmetrical
TRD.	Tread
T.B.	Towel Bar
T.C.	Top of Curb
TEL.	Telephone
TER.	Terrazzo
T. & G.	Tongue and Groove
THK.	Thick
T.O.C.	Top of Concrete
T.O.P.	Top of Panel
T.O.R.	Top of Reveal
T.O.RC.	Top of Deep Recess
T.O.M.	Top of Mullion
T.O.W.	Top of Wall
T.P.	Top of Pavement
T.P.D.	Toilet Paper Dispenser
T.V.	Television
T.W.	Top of Wall
TYP.	Typical
UNF.	Unfinished
U.O.N.	Unless Otherwise Noted
UR.	Urinal
VERT.	Vertical
VEST.	Vestibule
W.	West
W/	With
W.C.	Water Closet
WD.	Wood
W/O	Without
WPM	Waterproofing Membrane
WRB	Weather/Water Resistive Barrier
WSCT.	Wainscot
WT.	Weight

DEVELOPER

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COLLEEN NOLAN LANDSCAPE

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COLLEEN M. NOLAN
PH: (714) 743–7915

PROJECT DATA

BUILDING DEPARTMENT: CITY OF HUNTINGTON BEACH, CA

APPLICABLE CODES:

BUILDING:	2022 CALIFORNIA BUILDING CODE
STRUCTURE:	2022 CALIFORNIA BUILDING CODE
MECHANICAL:	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL:	2022 CALIFORNIA ELECTRICAL CODE
PLUMBING:	2022 CALIFORNIA PLUMBING CODE
FIRE/LIFE SAFETY:	2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
ENERGY:	2022 STATE OF CALIFORNIA ENERGY CODE
	2022 STATE OF CALIFORNIA GREEN BUILDING CODE
ACCESSIBILITY:	2022 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION:

OCCUPANCY	SECTION	USE	PROPOSED AREA (SF)
S–1 / STORAGE	(311)	WAREHOUSE	SEE ALLOWABLE AREA BELOW
B / OFFICE	(304)	OFFICE	SEE ALLOWABLE AREA BELOW

CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

ALLOWABLE BUILDING HEIGHT:

MAIN OCCUPANCY	SPRINKLER CONDITION	(TABLE 504.3) ALLOWABLE BUILDING HEIGHT IN FEET	(504.4) ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE	PROPOSED BUILDING HEIGHT IN FEET	PROPOSED NUMBER OF STORIES ABOVE GRADE PLANE
S–1 BUILDING 1	S	75'–0"	3 STORY	50'–0"	1 STORY/MEZZ
S–1 BUILDING 2	S	75'–0"	3 STORY	50'–0"	1 STORY/MEZZ

ALLOWABLE BUILDING AREA:

UNLIMITED AREA ALLOWED PER 507.4
W/ AUTOMATIC SPRINKLER AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES

PROPOSED TOTAL BUILDING 1 AREA:	93,360 SF
PROPOSED TOTAL BUILDING 2 AREA:	83,352 SF
PROPOSED TOTAL BUILDING AREA:	176,712 SF

CHAPTER 6 - TYPES OF CONSTRUCTION:

TYPE OF CONSTRUCTION: (602) TYPE III–B
(FULLY SPRINKLERED THROUGHOUT)

FIRE RESISTANCE RATING REQUIREMENTS FOR:

BUILDING ELEMENTS	(TABLE 601)
STRUCTURAL FRAME	0 HR.
EXTERIOR BEARING WALLS	2 HR.
INTERIOR BEARING WALLS	0 HR.
EXTERIOR NON–BEARING WALLS	SEE (TABLE 602)
INTERIOR NON–BEARING WALLS	0 HR.
FLOORS	0 HR.
ROOF	0 HR.
EXTERIOR WALLS BASED ON FIRE SEPARATION	(TABLE 602)
NORTH EXTERIOR WALL (X > 30')	0 HR.
EAST EXTERIOR WALL (X > 30')	0 HR.
SOUTH EXTERIOR WALL (X > 30')	0 HR.
WEST EXTERIOR WALL (X > 30')	0 HR.

CHAPTER 7 - FIRE-RESISTANCE RATED CONSTRUCTION:

ALLOWABLE AREA OF OPENINGS (TABLE 705.8) **(FULLY SPRINKLERED THROUGHOUT)**

EXTERIOR WALLS		FIRE SEPARATION DISTANCE (FT)	ALLOWABLE AREA (%)	EXTERIOR WALL AREA (SF)	ACTUAL AREA OF PROTECTED OPENINGS (A_p)	ALLWBL. AREA OF PROTECTED OPENINGS (a_p)	ACTUAL AREA OF UNPRTCTD. OPENINGS (A_u)	ALLWBL. AREA OF UNPRTCTD. OPENINGS (a_u)	$(A_p/a_p)+(A_u/a_u)$
FIRST FLOOR	NORTH	> 20	UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED						
	EAST								
	SOUTH								
	WEST								

CHAPTER 9 - FIRE PROTECTION SYSTEMS:

(903.3.1.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH 2022 CFC AND NFPA 13.

(903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING AND ALARMS WILL BE PROVIDED.

E.S.F.R. (EARLY SUPPRESSION FAST–RESPONSE) AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM PROVIDED THROUGHOUT.
SPRINKLER DESIGN AND CALCULATIONS TO BE SUBMITTED UNDER SEPARATE PERMIT.

(910.2) EXCEPTION 2: SMOKE AND HEAT VENTS NOT REQUIRED WHERE E.S.F.R. SPRINKLER SYSTEM IS PROVIDED

PROJECT DESCRIPTION

PROPOSING TWO NEW INDUSTRIAL BUILDINGS IN APPROXIMATELY 9.59 ACRE PROPERTY.

BUILDING ONE FOOTPRINT IS 93,360 WHICH INCLUDES MAX. %10 OFFICE SPACE ON GROUND LEVEL AND MEZZANINE. OVERALL BUILDING SIZE INCLUDING THE MEZZANINE IS 98,360 SF.
BUILDING ONE OFFERS 11 TRAILER DOCKS AND 106 PARKING STALLS.

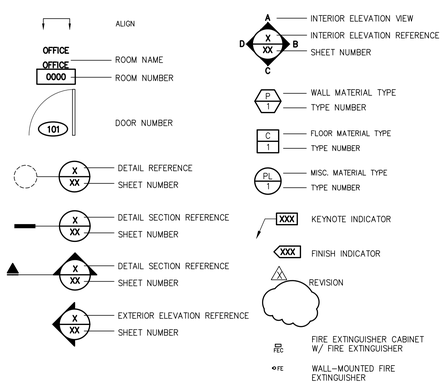
BUILDING TWO FOOTPRINT IS 83,352 WHICH INCLUDES MAX. %10 OFFICE SPACE ON GROUND LEVEL AND MEZZANINE. OVERALL BUILDING SIZE INCLUDING THE MEZZANINE IS 87,552 SF.
BUILDING TWO OFFERS 11 TRAILER DOCKS AND 88 PARKING STALLS.

ZONING CONFORMANCE

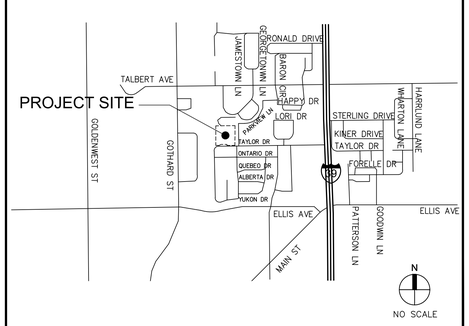
DEVELOPMENT STANDARD	REQUIRED	PROPOSED
MAX COVERAGE	N/A	N/A
MAX HEIGHT	40 FT	40 FT
MAX F.A.R.	0.75	0.44
SETBACKS		
FRONT	10 FT	VARIES 82.5 FT. MIN.
SIDE	15 FT	45 FT AND 47 FT
REAR	0 FT	VARIES 42.5 FT MIN.
AREA ANALYSIS		
BUILDING 1	N/A	98,360 SF
BUILDING 2	N/A	83,325 SF
PARKING (@10% OFFICE)		
BUILDING 1	98	106
BUILDING 2	88	88

SEE SHEET A0.5 FOR ADDITIONAL INFORMATION

SYMBOLS



VICINITY MAP



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TITLE SHEET

DATE	REMARKS
03–14–2024	PLANNING 1ST SUBMITTAL
10–06–2023	PLANNING RESUBMITTAL

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23–0166–00

SHEET
A0.1

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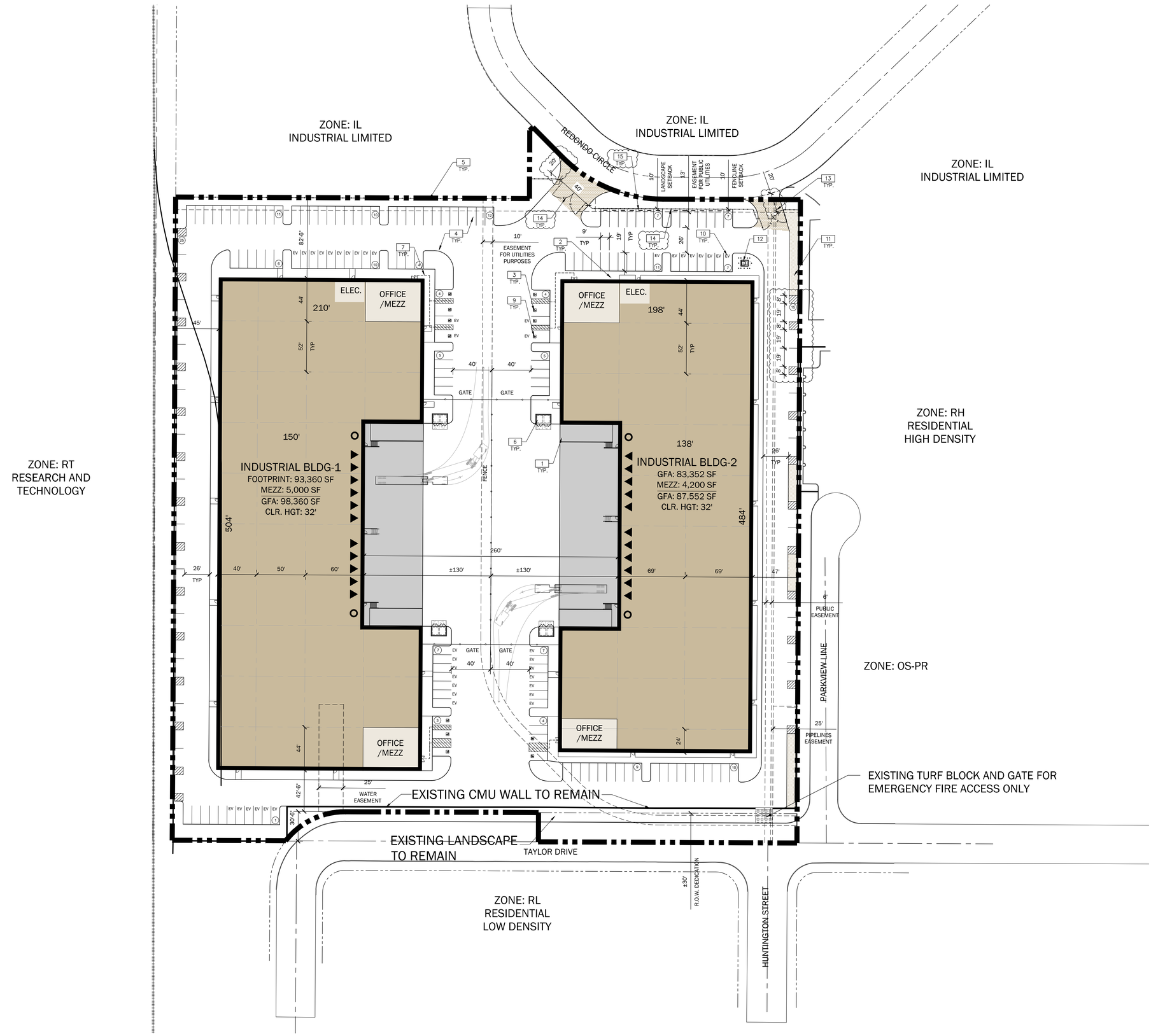


SITE PLAN
SCALE: 1"=40'-0"

DEVELOPMENT STANDARDS

Zoning		
Jurisdiction		Huntington Beach, CA
Zoning Designation		IL
Max Coverage		n/a
Max F.A.R		0.75
Max Height		40 FT
Building Setbacks		
	Front	10 FT
	Side	15 FT
	Rear	0 FT
Landscape Setbacks/Requirements		
	Front	10 FT
	Side	0 FT
	Rear	0 FT
Parking Standards		
	Min Stall Size	9x19
	Drive Aisle	26 FT
	Fire Lane	26 FT
	Landscape Islands	5 FT
Required Parking		
	Office	1/250 SF
	Manufacturing	1/500 SF
	Warehouse	1/1000 SF
PROJECT DATA		
Site Summary		APN(s): TBD
Gross Site Area	417,987 SF	9.59 AC
R.O.W. Easements	7,945 SF	0.18 AC
Net Site Area	410,041 SF	9.41 AC
Total Building Area(s)	Gross Floor Area	185,912 SF
	Footprint	176,712 SF
Coverage	Gross	42%
FAR	Gross	0.44
Building 1		
Building Area(s)	Footprint	93,360 SF
	Mezzanine	5,000 SF
	Gross Floor Area	98,360 SF
Cars Required	@10% Office	98 Stalls
Cars Provided	*@1.08/1,000 SF*	106 Stalls
	Req. Accessible	5 Stalls
Drive-in Doors		2
Docks	*@1.12/10,000 SF*	11
Building 2		
Building Area(s)	Footprint	83,352 SF
	Mezzanine	4,200 SF
	Gross Floor Area	87,552 SF
Cars Required	@10% Office	88 Stalls
Cars Provided	*@1.01/1,000 SF*	88 Stalls
	Req. Accessible	4 Stalls
Drive-in Doors		2
Docks	*@1.26/10,000 SF*	11
Parking Grand Total		192 Stalls

Notes

1. The minimum front setback shall be 10 feet and the average setback 20 feet, except for parcels fronting on local streets where only a 10-foot setback is required.

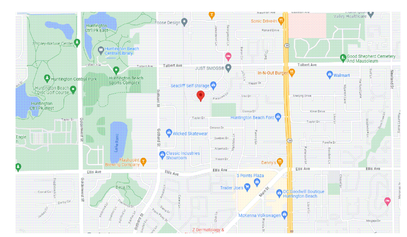
2. In all Industrial Districts, a 15-foot setback is required abutting an R district and no openings in buildings within 45 feet of an R district.

3. A zero-side yard setback may be permitted in the Industrial Districts, but not abutting an R district, provided that a solid wall at the property line is constructed of maintenance-free masonry material and the opposite side yard is a minimum of 30 feet.

4. See Section 230.70, Measurement of Height. Within 45 feet of an R district, no building or structure shall exceed a height of 18 feet.

5. Planting Areas. Required front and street-side yards adjacent to a public right-of-way shall be planting areas except for necessary drives and walks. A six-foot wide planting area shall be provided adjacent to an R district and contain one tree for each 25 lineal feet of planting area. A minimum of eight percent (8%) of the total net site area shall be landscaped, or as required by Title 21 or conditions of approval. See Chapter 232, Landscape Improvements for more info.

6. 1 per 250 sq. ft. if office area exceeds 10% of gross floor area in IG or IL District; 30% in RT District.



SITE PLAN NOTES

1. CONCRETE RAMP.
2. CONCRETE PAVEMENT.
3. ACCESSIBLE PARKING STALL WITH SIGNAGE.
4. PAINTED PARKING STRIPING PER CITY STANDARDS.
5. IMAGINARY PROPERTY LINE.
6. TRASH ENCLOSURE WITH RECYCLE BIN.
7. ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS.
8. FIRE LINE.
9. ACCESSIBLE EV CHARGERS PARKING STALL WITH SIGNAGE.
10. EV CHARGERS PARKING STALL.
11. LANDSCAPE AND IRRIGATION AREA.
12. TRANSFORMER WITH CONCRETE PAD AND BOLLARDS.
13. STAMPED CONCRETE DRIVE.
14. 6'-0" HIGH TUBULAR STEEL FENCE AND GATES- PAINTED BLACK.
15. CONCRETE WHEEL STOP INSTALLED 2'-0" FROM FACE-OF-CURB.

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SITE PLAN

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL
10-06-2025	PLANNING RESUBMITTAL

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET
A0.5

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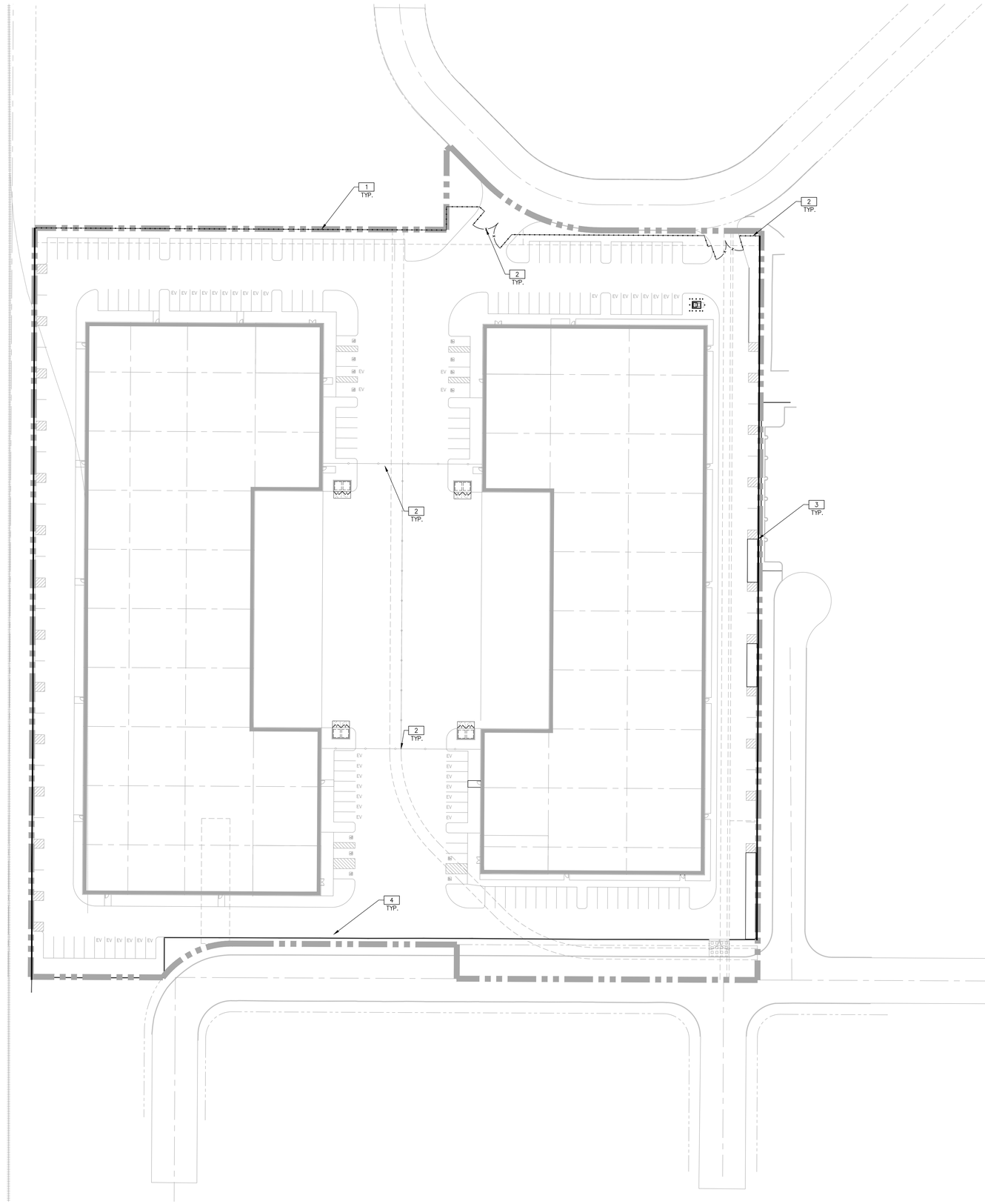

1" =40

0 50 100 200 500

SITE PLAN-FENCE LAYOUT

SCALE: 1"=40'-0"

N

SITE PLAN NOTES

1. IMAGINARY PROPERTY LINE.
2. TUBULAR GATE STEEL FENCING.
3. NEW 6' CMU WALL.
4. EXISTING FENCE WITH FIRE DEPT. GATE. TO REMAIN

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SITE PLAN-FENCE LAYOUT

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET

A0.5a

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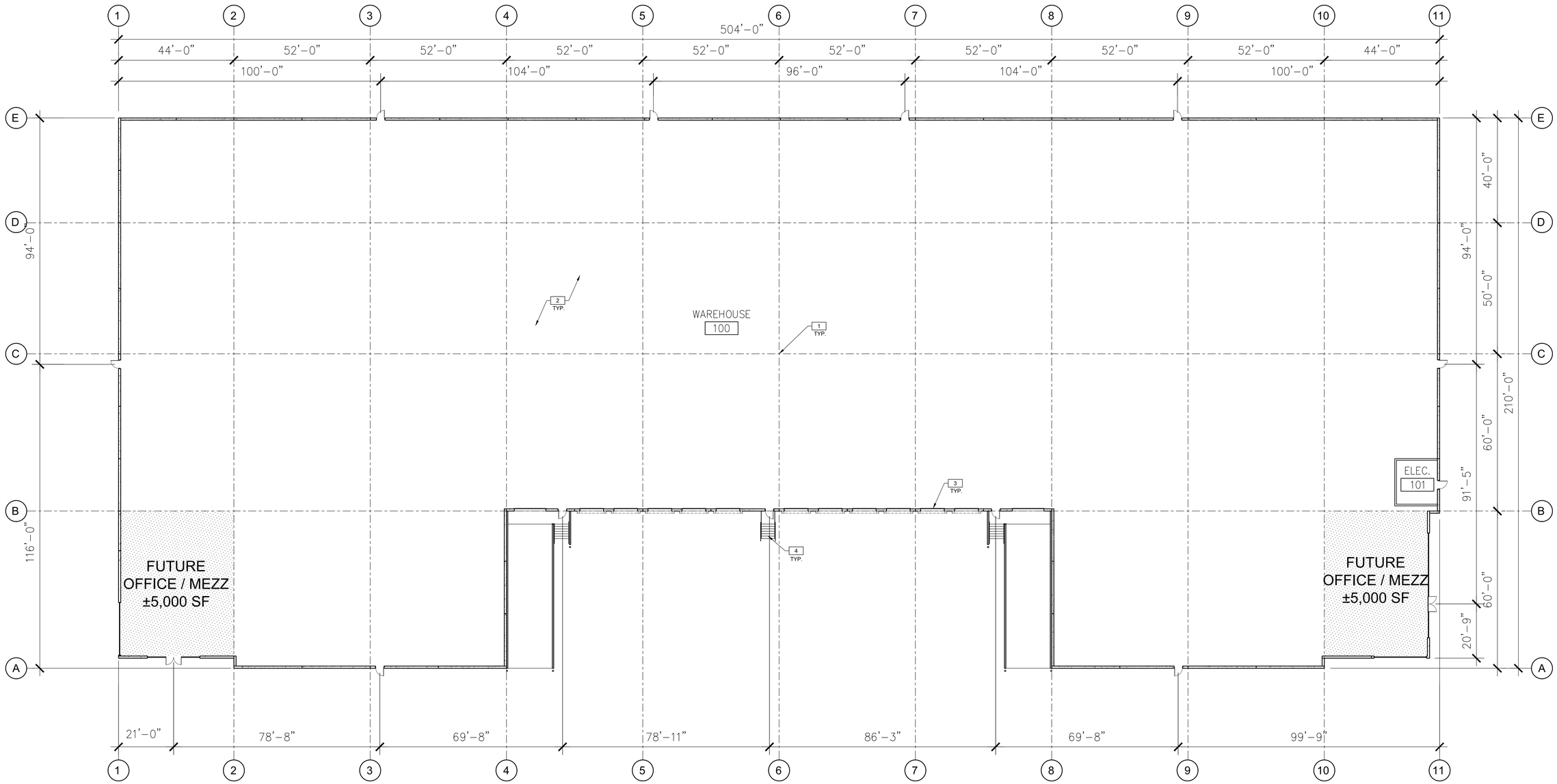


1/16"=1'-0"

0 8' 16' 32' 64'

BUILDING 1 - FLOOR PLAN

SCALE: 1/16"=1'-0"

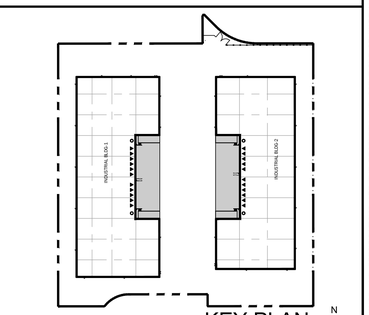
FLOOR PLAN NOTES

1. STRUCTURAL COLUMN AT GRID INTERSECTION
2. CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
3. DOCK DOOR
4. CONCRETE STAIR

WALL LEGEND

CONCRETE WALL

NON-RATED PARTITION



KEY PLAN

SCALE: N.T.S.

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BUILDING 1 - FLOOR PLAN

DATE	REMARKS
03-14-2024	PLANING 1ST SUBMITTAL

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET

A2.1-1

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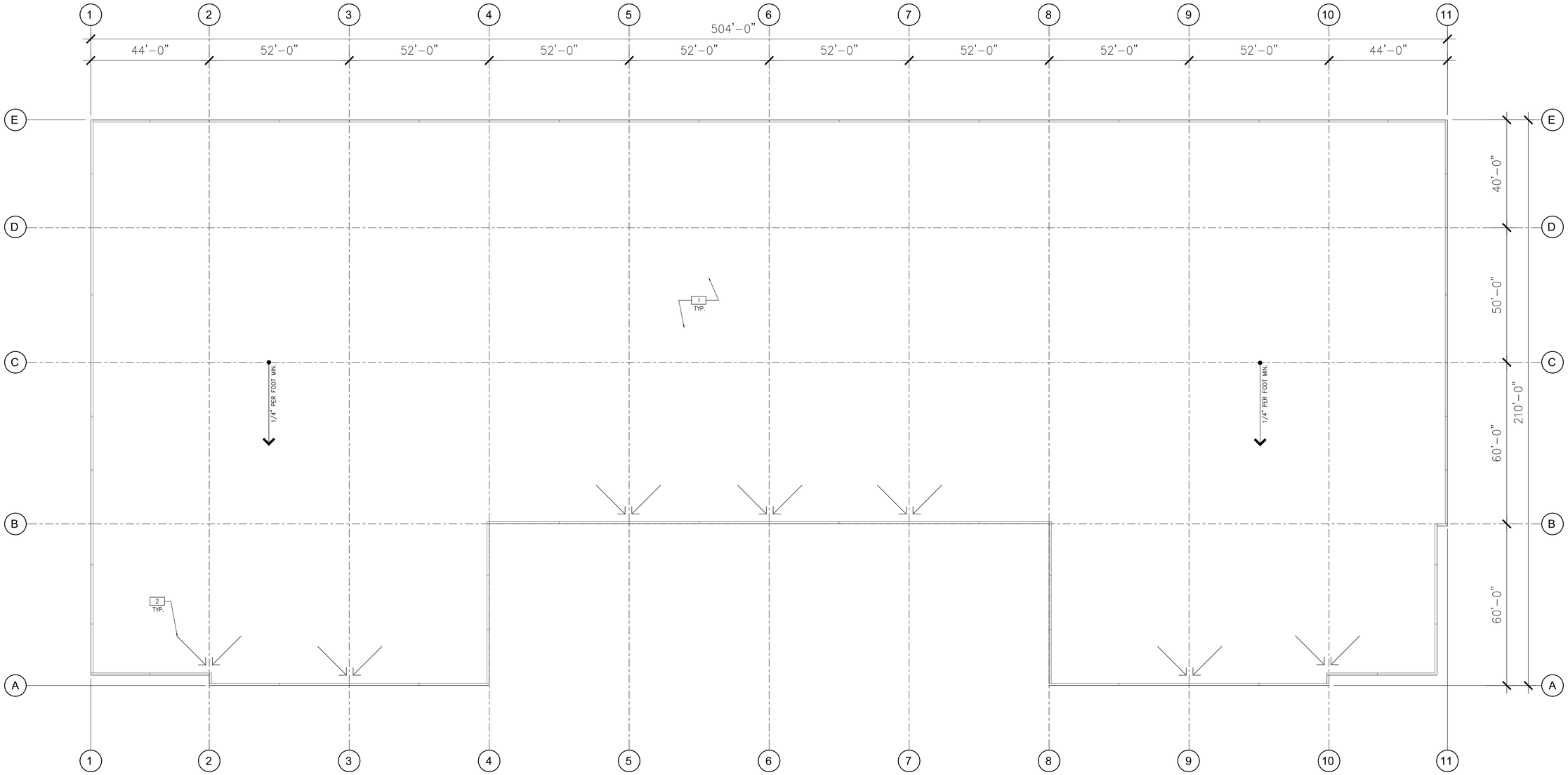

1/16"=1'-0"

0 1' 2' 4' 6' 12'

BUILDING 1 - ROOF PLAN

SCALE: 1/16"=1'-0"

N

ROOF PLAN NOTES

1. BUILT-UP ROOFING OVER WOOD DECK.
2. FLOW LINE TO DRAIN.
3. STRUCTURAL FRAMING BELOW ROOF DECK (HIDDEN).

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BUILDING 1 - ROOF PLAN

DATE	REMARKS
03-14-2024	PLANING 1ST SUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET

A3.1-1

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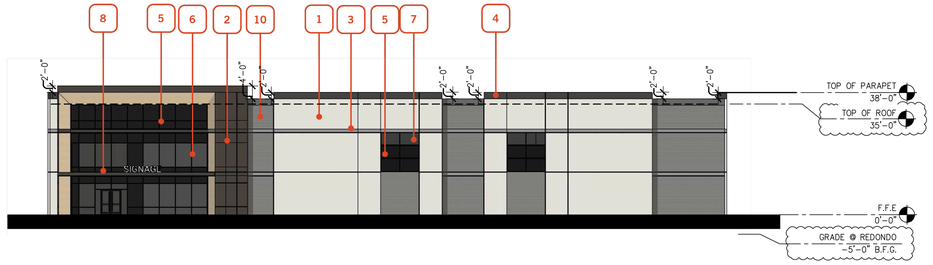
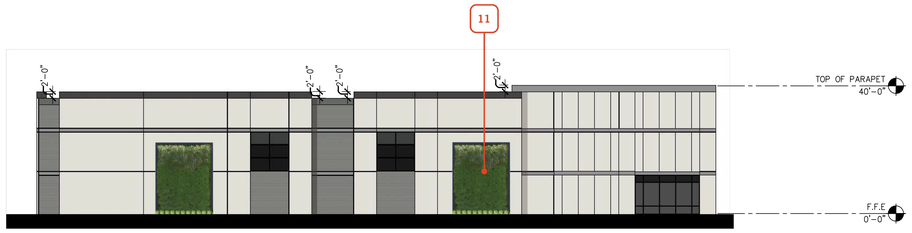
KEYNOTES

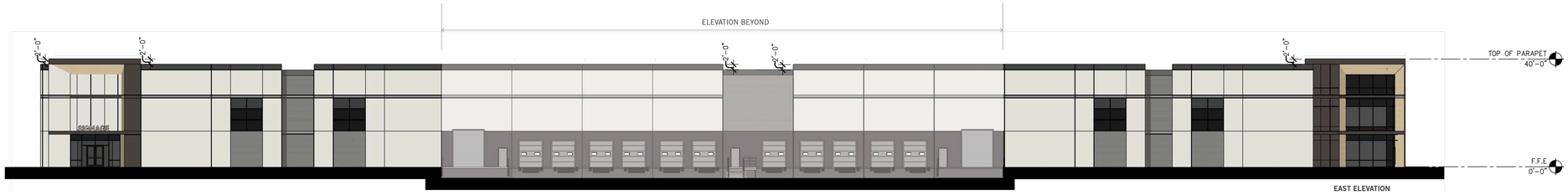
1. **BASE COLOR** SW 7014 EIDER WHITE
2. **ALUMINUM PANELS** SW 7675 SEALSKIN
3. **ACCENT COLOR** SW 2849 WESTCHESTER GRAY
4. **ACCENT COLOR** SW 6258 TRICORN BLACK
5. **SPANDREL GLASS**
6. **CLEAR VISION GLASS**
7. **CLERESTORY**
8. **METAL CANOPY** SW 7675 SEALSKIN
9. **ALUMINUM COMPOSITE ACCENT PANELS**
10. **FORMLINER** SW 2849 WESTCHESTER GRAY
11. **LIVE GREENWALL**



BUILDING 1 - NORTH EXTERIOR ELEVATION (A)
SCALE: 1/16" = 1'-0"



BUILDING 1 - SOUTH EXTERIOR ELEVATION (B)
SCALE: 1/16" = 1'-0"



BUILDING 1 - EAST EXTERIOR ELEVATION (C)
SCALE: 1/16" = 1'-0"

BUILDING 1 - WEST EXTERIOR ELEVATION (D)
SCALE: 1/16" = 1'-0"

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BUILDING 1 - EXTERIOR ELEVATIONS

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL
10-08-2025	PLANNING RESUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET
A4.1-1

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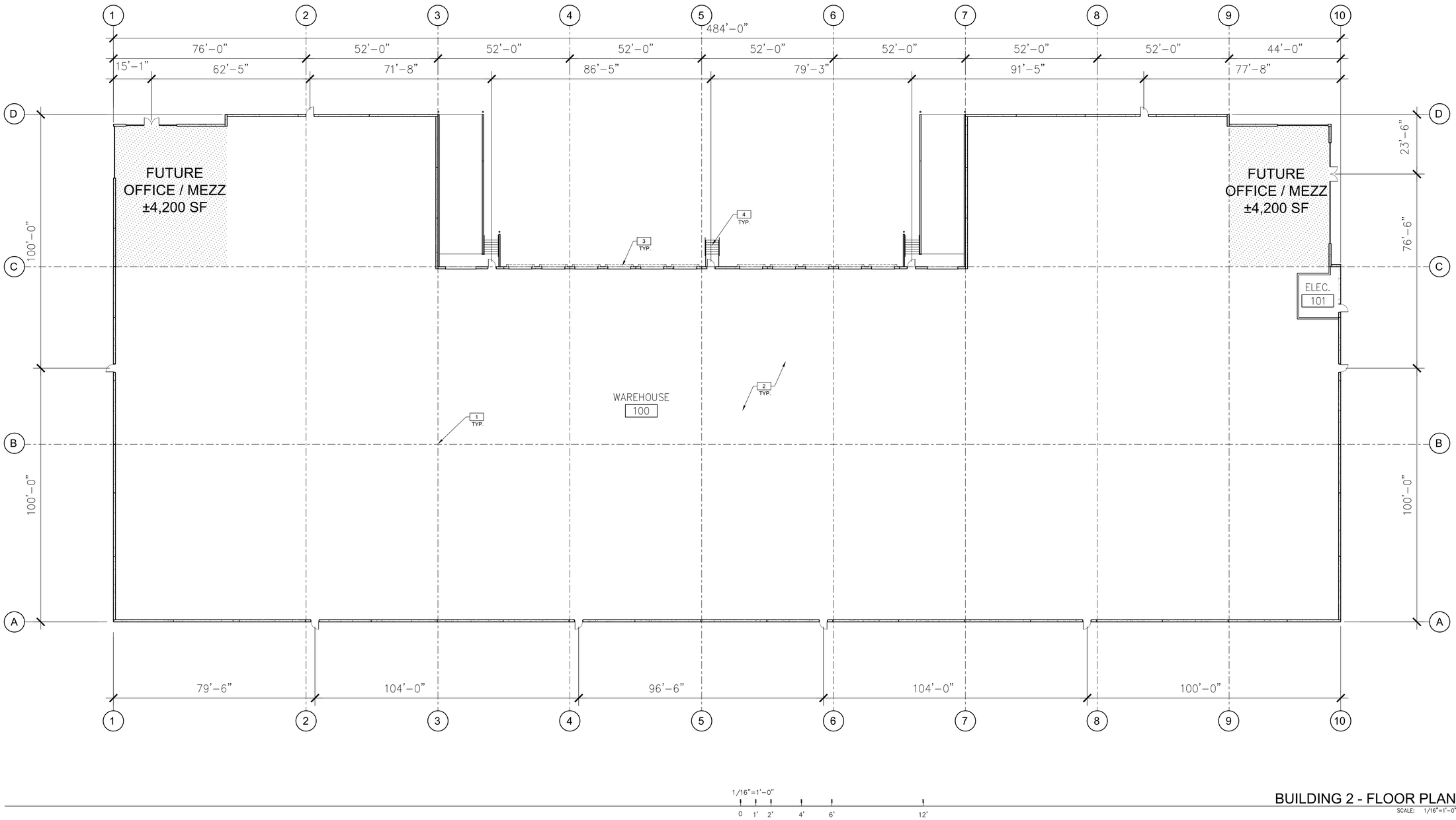


BUILDING 2 - FLOOR PLAN

SCALE: 1/16"=1'-0"

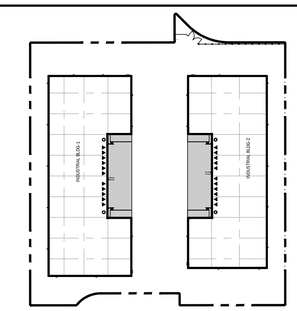
FLOOR PLAN NOTES

1. STRUCTURAL COLUMN AT GRID INTERSECTION
2. CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
3. DOCK DOOR
4. CONCRETE STAIR
5. DASHED LINE INDICATES SOFFIT ABOVE

WALL LEGEND

CONCRETE WALL

NON-RATED PARTITION



KEY PLAN

SCALE: N.T.S.

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BUILDING 2 - FLOOR PLAN

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET

A2.1-2

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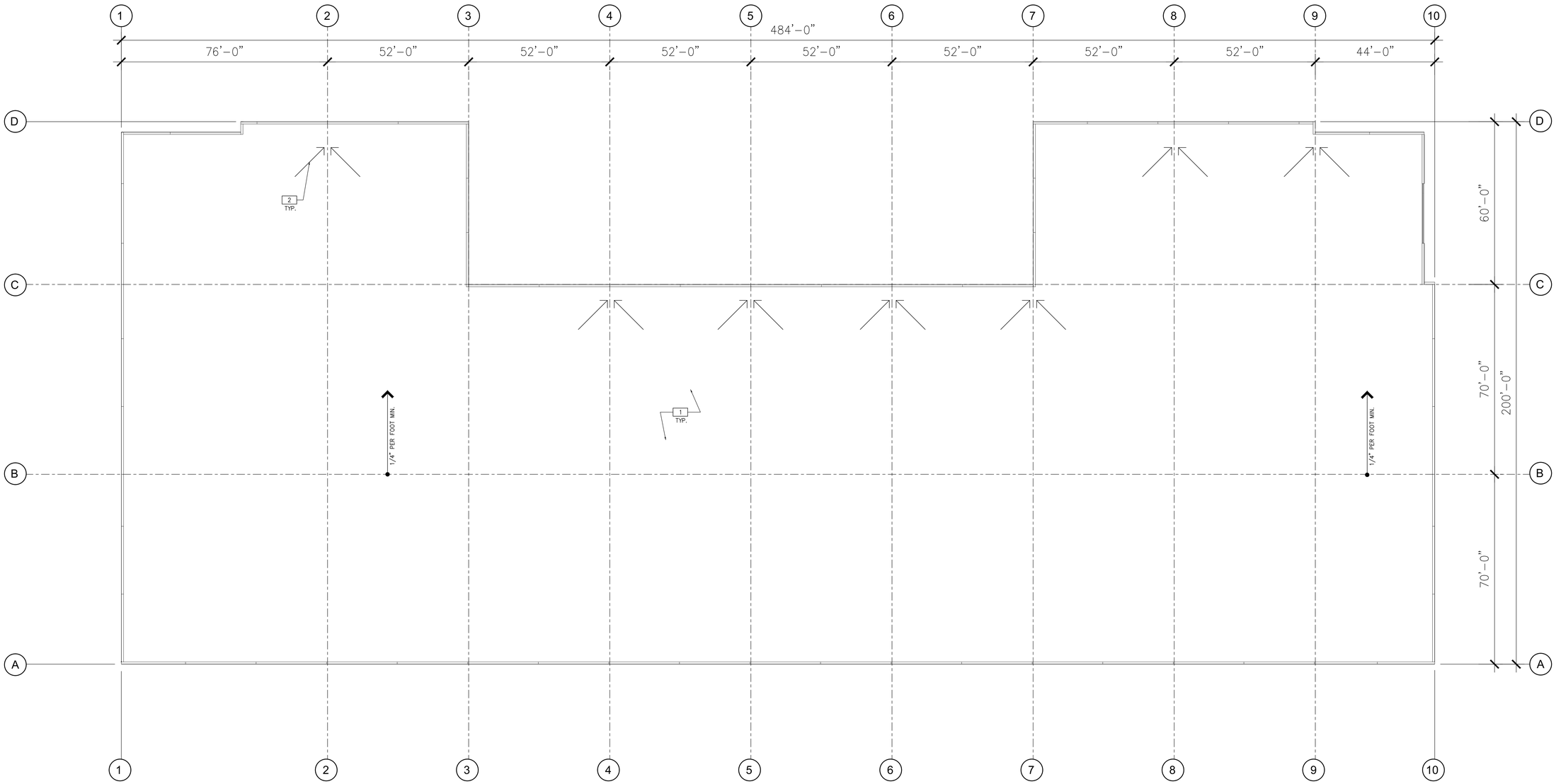

1/16"=1'-0"

0 1' 2' 4' 6' 12'

BUILDING 2 - ROOF PLAN

SCALE: 1/16"=1'-0"

N

ROOF PLAN NOTES

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BUILDING 2 - ROOF PLAN

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET

A3.1-2

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KEYNOTES

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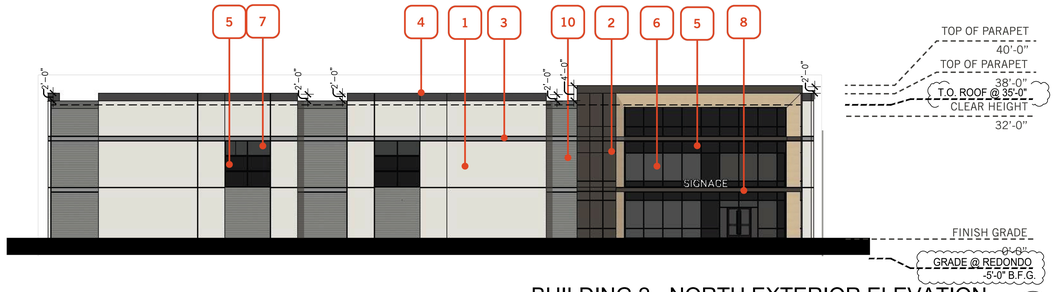
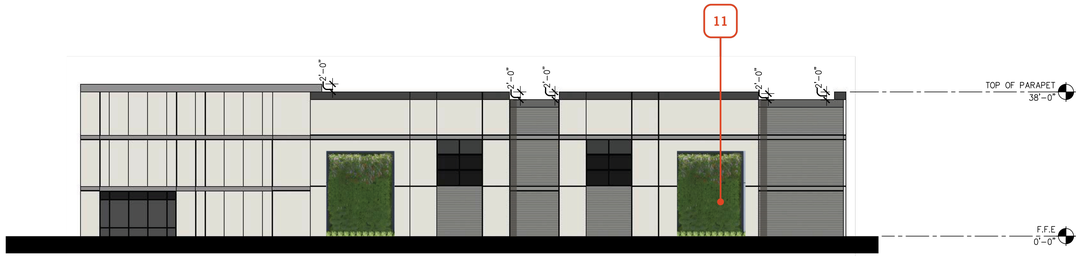
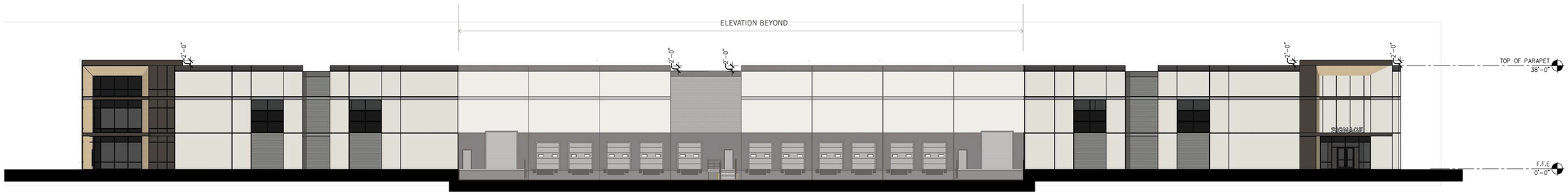


BUILDING 2 - NORTH EXTERIOR ELEVATION (A)
SCALE: 1/16" = 1'-0"



BUILDING 2 - SOUTH EXTERIOR ELEVATION (B)
SCALE: 1/16" = 1'-0"

BUILDING 2 - EAST EXTERIOR ELEVATION (C)
SCALE: 1/16" = 1'-0"



BUILDING 2 - WEST EXTERIOR ELEVATION (D)
SCALE: 1/16" = 1'-0"

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BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL
10-08-2025	PLANNING RESUBMITTAL

DATE	REMARKS

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET
A4.1-2

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PERSPECTIVE VIEW - SOUTHWEST
TRIPLE H PROPERTIES REDONDO HUNTINGTON BEACH
HUNTINGTON BEACH, CA - IRV23-0166-00

WARE MALCOMB 06.27.2024 PAGE 5

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PERSPECTIVE VIEW - SOUTHEAST
TRIPLE H PROPERTIES REDONDO HUNTINGTON BEACH
HUNTINGTON BEACH, CA - IRV23-0166-00

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PERSPECTIVE VIEW
TRIPLE H PROPERTIES REDONDO HUNTINGTON BEACH
HUNTINGTON BEACH, CA - IRV23-0166-00

WARE MALCOMB 06.27.2024 PAGE 3

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PERSPECTIVE VIEW - SOUTHWEST
TRIPLE H PROPERTIES REDONDO HUNTINGTON BEACH
HUNTINGTON BEACH, CA - IRV23-0166-00

WARE MALCOMB 06.27.2024 PAGE 5

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PERSPECTIVE VIEW - GREEN WALL
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PERSPECTIVE VIEWS

DATE	REMARKS	DATE	REMARKS
03-14-2024	PLANING 1ST SUBMITTAL		

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

SHEET
A9.0

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1 VISION GLASS
VITRO
SOLARBAN SOLARBLUE

2 SPANDREL GLASS
ICD
OPACI-COAT-300 #1-0016

3 CONCRETE TILT PANEL BASE COLOR
SHERWIN WILLIAMS
SW 7014 EIDER WHITE

4 CONCRETE TILT PANEL ACCENT COLOR
SHERWIN WILLIAMS
SW 6258 TRICORN BLACK

5 CONCRETE TILT PANEL ACCENT COLOR
SHERWIN WILLIAMS
SW 2849 WESTCHESTER GRAY

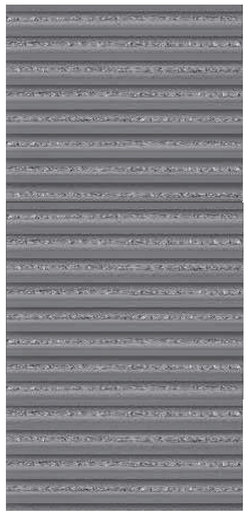
6 ALUMINUM WOOD GRAIN COMPOSITE PANEL
WHITE OAK

7 ALUMINUM PANEL
SHERWIN WILLIAMS
SW 7675 SEALSKIN

PERSPECTIVE

8 MULLION SYSTEM
ARCADIA
AB-7 STD DARK BRONZE

9 METAL CANOPY
SHERWIN WILLIAMS
SW 7675 SEALSKIN



10 FORMLINER
SHERWIN WILLIAMS
SW 2849 WESTCHESTER GRAY

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EXTERIOR MATERIAL BOARD

TRIPLE H PROPERTIES REDONDO HUNTINGTON BEACH

HUNTINGTON BEACH, CA - IRV23-0166-00

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06.27.2024

PAGE
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MATERIAL BOARD

DATE	REMARKS	DATE	REMARKS
03-14-2024	PLANNING 1ST SUBMITTAL		

PA / PM:	M. MOHAMMADI
DRAWN BY:	O.J
JOB NO.:	IRV23-0166-00

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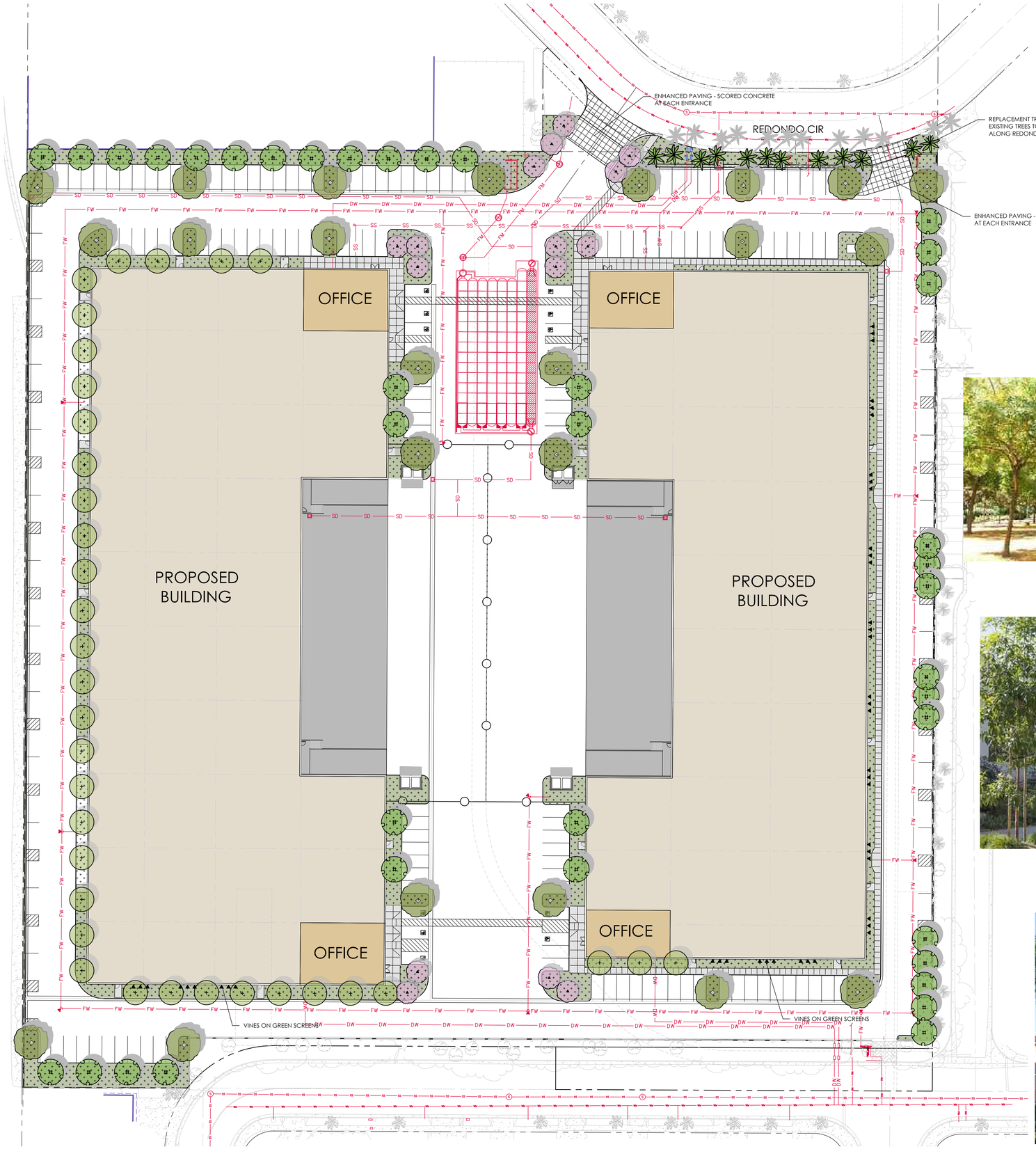
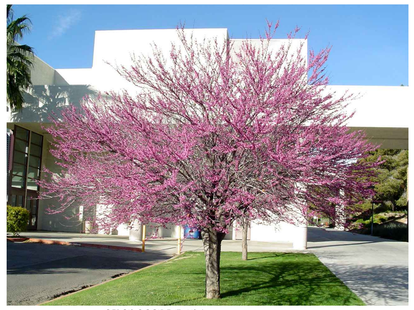


PRELIMINARY PLANTING LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE
PROPOSED TREES		
	TIPUANA TIPU / TIPU TREE	24" BOX STANDARD
	CERCIS OCCIDENTALIS / WESTERN REDBUD	24" BOX STANDARD
	TRISTANIA CONFERTA / BRISBANE BOX	15 GAL STANDARD
	GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW	15 GAL STANDARD
	SYAGRUS ROMANZOFFIANA / QUEEN PALM	14' BTH STRAIGHT TRUNK

SYMBOL	BOTANICAL / COMMON NAME	SIZE
PROPOSED SHRUBS, GROUNDCOVER & VINES		
	AGAVE DESMETTIANA / DWARF AGAVE	1 GAL / 42" O.C.
	DIETES VEGETA / FORTNIGHT LILY	5 GAL / 36" O.C.
	ELAEAGNUS P. 'FRUITLANDII' / FRUITLAND SILVERBERRY	5 GAL / 36" O.C.
	HEMEROCALLIS SP. / DARK ORANGE DAYLILY	1 GAL / 30" O.C.
	PHORMIUM T. 'SURFER' / SURFER NEW ZEALAND FLAX	5 GAL / 36" O.C.
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLE BRUSH	1 GAL / 30" O.C.
	CARISSA 'GREEN CARPET' / GREEN CARPET NATAL PLUM	1 GAL / 24" O.C.
	ROSMARINUS O. 'PROSTRATUS' / HUNTINGTON CARPET ROSEMARY	1 GAL / 24" O.C.
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	5 GAL / PER PLAN

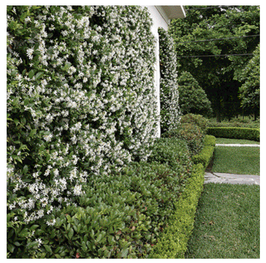
TIPUANA TIPU / TIPU TREE


CERCIS OCCIDENTALIS / WESTERN REDBUD

TRISTANIA CONFERTA / BRISBANE BOX

GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW

SYAGRUS ROMANZOFFIANA / QUEEN PALM


TRACHELOSPERMUM JASMINOIDES / STAR JASMINE ON GREEN SCREEN WALLS

N

SCALE: 1"=30'-0"

0 30 60 90

REGISTERED LANDSCAPE ARCHITECT
Colleen M. Nolan
Lic. #5439
(Signature)
08.25.2024
(Date)
STATE OF CALIFORNIA

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PRELIMINARY LANDSCAPE PLAN

DATE	REMARKS
03.07.2024	PLANNING 1ST SUBMITTAL
08.25.2024	PLANNING RESUBMITTAL

PA / PM:	C. NOLAN
DRAWN BY:	
JOB NO.:	IRV23-0166-00

SHEET

L1.1

TRIPLE H PROPERTIES
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Colleen M. Nolan
Landscape Architect, #5439
12856 Silverado Court
Corona, CA 92883
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cnolan@cox.net

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