

**PROPOSED SITE AND LANDSCAPE PLAN**  
Scale: 1/8" = 1'-0"

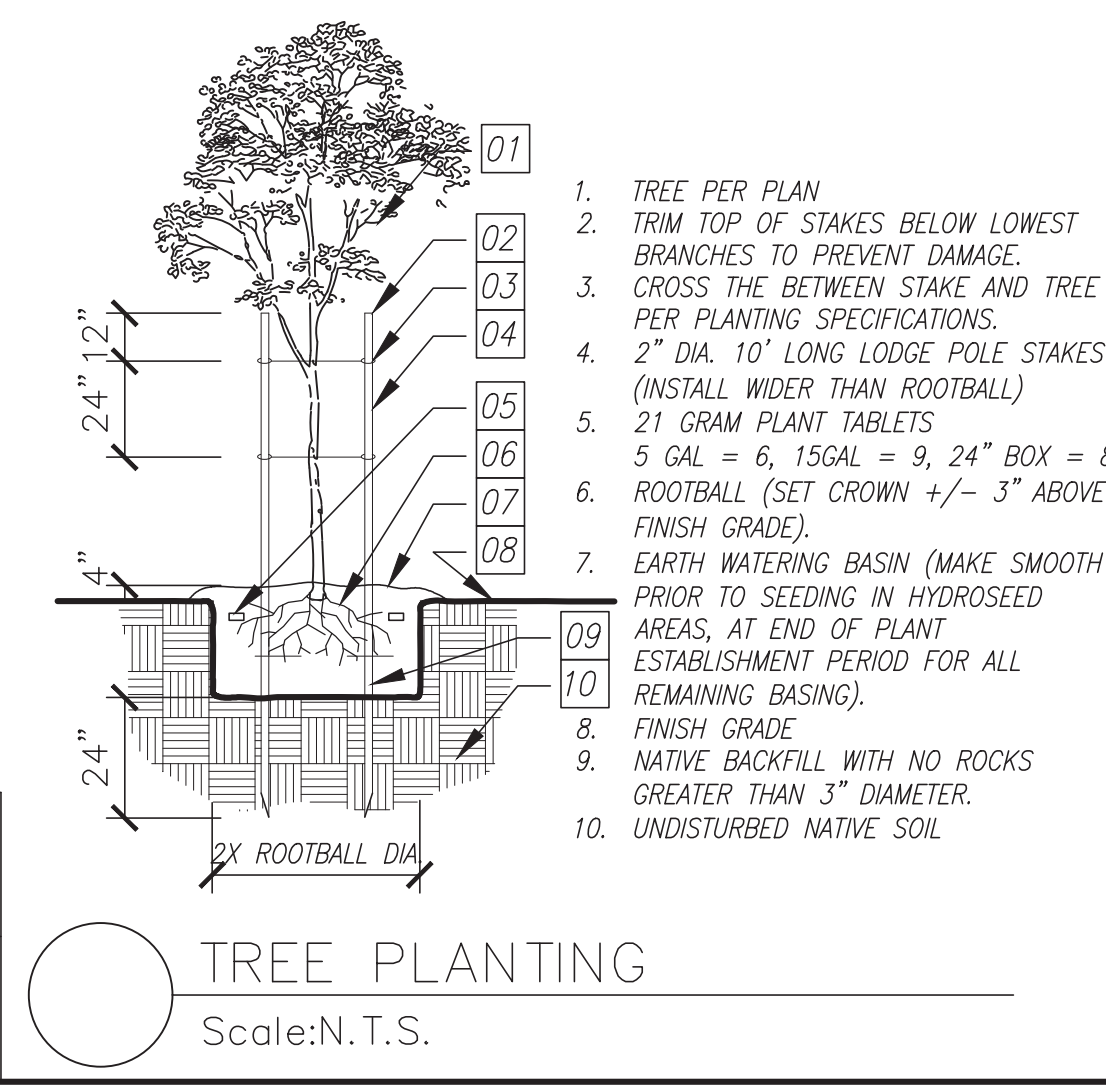
**LANDSCAPING LEGEND**

SYMBOL	ITEM NO.	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	TYPE
	①	Deodra Cedar OR EQUAL APPROVED W/ PLANTER BOX		24" BOX	1	TREE
	②	36" Olea Europaea OR EQUAL APPROVED W/ PLANTER BOX		24" BOX	7	TREE
	③	CEANOETHUS "DARK STAR" OR HEART'S DESIRE	CALIFORNIA LILAC	5 GAL.	21	SHRUB
	④	MUHLBERGIA RIGENS	DEERGRASS	5 GAL.	65	SHRUB
	⑤	LAVANDULA MULTIFIDA	FERNLEAF LAVENDER	5 GAL.	45	SHRUB
	⑥	BOUGAINVILLEA CV. PIXIE PINK	BOUGAINVILLEA 'PIXIE PINK'	5 GAL.	3	VINE

**IRRIGATION NOTE:**  
ALL PLANTING AREAS MUST BE DESIGNED W/ AN AUTOMATIC IRRIGATION SYSTEM. A POP-UP SPRINKLER TYPE IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL YARDS FOR EACH RESIDENTIAL UNIT DRIP, BUBBLER, OR OTHER LOW GALLONAGE SYSTEMS MAY BE USED IN BUFFER AREAS AND NARROW STRIPS. ALL IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE STATION PROGRAMMING.

⑦ STAMPED COLORED CONCRETE TO BE USED DUST-ON CONCRETE COLOR HARDENERS WITH WALNUT COLOR AND ASHLAR TEXTURE PATTERN. PRODUCT: DAVIS COLOR - ASTM C979 OR EQUAL APPROVED FOR IN FRONT GARAGE

⑧ MULCH COVER 3" DEPTH INSTALLED PRIOR TO GROUND COVER PLANTING, 4" DEPTH IN PERMANENT PLANT BASIN ON SLOPES. OR EQUAL APPROVED



**TREE PLANTING**  
Scale: N.T.S.

**WALL FRAMING LEGEND**

- 2X4 STUD INTERIOR WALL
- 2X6 STUD INTERIOR WALL
- 2X6 STUD NEW WALL
- 1 Hour Fire Wall
- 5/8" Dry Wall Both Side Full Height
- SEE W-501
- 2X4 STUD EXTERIOR WALL
- 2X6 STUD EXTERIOR WALL

**SITE PLAN NOTE:**

- Site Plan: Lots shall be graded to drain surface water away from the dwelling. The grade shall fall a minimum of 6" within the first 10'
- Grading, Erosion and Sediment controls REFER TO PERMIT PW# 22-0089

**NOTE:**  
Per California Civil Code Article 1101.4 and CALGreen Section 301.1, for all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire house that do not meet compliant flow rates will need to be upgraded. Water closets with a flow rate in excess of 1.6 gpf will need to be replaced with water closets with a maximum flow rate of 1.28 gpf. Shower heads with a flow rate greater than 2.5 gpm will need to be replaced with a maximum 1.8 gpm shower head. Lavatory and kitchen faucets with a flow rate greater than 2.2 gpm will need to be replaced with a faucet with maximum flow rate of 1.2 gpm (or 1.8 gpm for kitchen faucets).

ARCHITECT  
FRANCIS P. ONG  
No. C. 18885  
Exp. 1-31-25  
STATE OF CALIFORNIA

REVIEWED BY: ONG, FRANCIS PHAT

ADDRESS: ONG, FRANCIS PHAT  
4122 CLEMMWOOD STREET, IRVINE, CA 92604  
Phone: (714) 296-3844  
EMAIL: fong@francisphat.com

2000 Main Street 3<sup>rd</sup> Floor  
Huntington Beach, CA 92648  
714/536-5241

**WATER METER UPGRADE CHECK LIST**

Owner's / Applicant's Name: DONNA DOAN  
Job Address: 4731 Los Patos Ave., Huntington Beach, CA 92649 for (N) Main House.  
Permit Number (if applicable): XXX  
Contact Number: (714) 800-9969

**NOTE: Provide ALL counts of New and Existing Fixtures Below!!!**

Water Closet / Toilet	6	x	2.5	=	15
Bathroom Sink including Bar Sink	8	x	1.0	=	8
Bath Tub with 1/2" fill valve	1	x	4.0	=	4
Bath Tub with 3/4" fill valve	3	x	10.0	=	30
Shower Stall (per head)	5	x	2.0	=	10
Kitchen Sink	2	x	1.5	=	3
Dish Washer	2	x	1.5	=	3
Laundry / Washer	2	x	4.0	=	8
Laundry Sink	1	x	1.5	=	1.5
Hose Bibb	2	x	2.5	=	5
Hose Bibb (each additional)	1	x	1.0	=	1
<b>TOTAL FIXTURE COUNT</b>					<b>57.5</b>

**EXAMPLE**

Water Closets	4	=	10
Lavs	6	=	6
Bathtubs	2	=	8
Jac Tub	1	=	10
Shower Stalls	2	=	4
Kitchen Sink	1	=	1.5
Dish Washer	1	=	1.5
Laundry	1	=	4
Hose Bibb	1	=	2.5
Hose Bibb	3	=	3
<b>TOTAL</b>			<b>56.5</b>

**NOTE:** Most SFR's have about \$9 to \$100 in total plumbing length. Verify your total fixture count on the table below. See that 50.5 exceeds \$9, so you would have to upgrade your water meter to a 1 inch meter with a 1 1/4 inch supply.

**TABLE 6.6**  
Fixture Unit Table for Determining Water Pipe and Meter Sizes

Meter Building and Supply Street and Service, Branches, Inches	40'	60'	80'	100'	150'	200'
3/4"	1-1/4"	39	39	39	39	39
1-1/2"	1-3/4"	78	78	78	67	52
1-3/4"	1-1/4"	78	78	78	67	52

DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.  
ADDRESS: Q3 DESIGN & CONSTRUCTION INC., 4731 LOS PATOS AVE., HUNTINGTON BEACH, CA 92649  
PHONE: (714) 458-5374 - EMAIL: DOAN@Q3D.COM  
CONTACT PERSON: QUOC DO

PROPOSED SITE AND LANDSCAPE PLAN  
WATER METER UPGRADE CHECK LIST

TITLE: DONNA DOAN RESIDENCE  
PROJECT: PROPOSED MAIN HOUSE AND ATTACHED ADU  
APN: 163-302-34 (PARCEL 4)  
4731 Los Patos Ave., Huntington Beach, CA 92649

2000 Main Street 3<sup>rd</sup> Floor  
Huntington Beach, CA 92648  
714/536-5241

**WATER METER UPGRADE CHECK LIST**

Owner's / Applicant's Name: DONNA DOAN  
Job Address: XXX Lynn Ln., Huntington Beach, CA 92649 for (N) ATTACHED ADU.  
Permit Number (if applicable): XXX  
Contact Number: (714) 800-9969

**NOTE: Provide ALL counts of New and Existing Fixtures Below!!!**

Water Closet / Toilet	3	x	2.5	=	7.5
Bathroom Sink including Bar Sink	3	x	1.0	=	3
Bath Tub with 1/2" fill valve	2	x	4.0	=	8
Bath Tub with 3/4" fill valve	3	x	10.0	=	30
Shower Stall (per head)	1	x	2.0	=	2
Kitchen Sink	1	x	1.5	=	1.5
Dish Washer	1	x	1.5	=	1.5
Laundry / Washer	1	x	4.0	=	4
Laundry Sink	1	x	1.5	=	1.5
Hose Bibb	1	x	2.5	=	2.5
Hose Bibb (each additional)	1	x	1.0	=	1
<b>TOTAL FIXTURE COUNT</b>					<b>29</b>

**EXAMPLE**

Water Closets	4	=	10
Lavs	6	=	6
Bathtubs	2	=	8
Jac Tub	1	=	10
Shower Stalls	2	=	4
Kitchen Sink	1	=	1.5
Dish Washer	1	=	1.5
Laundry	1	=	4
Hose Bibb	1	=	2.5
Hose Bibb	3	=	3
<b>TOTAL</b>			<b>56.5</b>

**NOTE:** Most SFR's have about \$9 to \$100 in total plumbing length. Verify your total fixture count on the table below. See that 50.5 exceeds \$9, so you would have to upgrade your water meter to a 1 inch meter with a 1 1/4 inch supply.

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1-1/2"	1-3/4"	78	78	78	67	52
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DATE: 06-25-2023

JOB NO.: 0321 184B

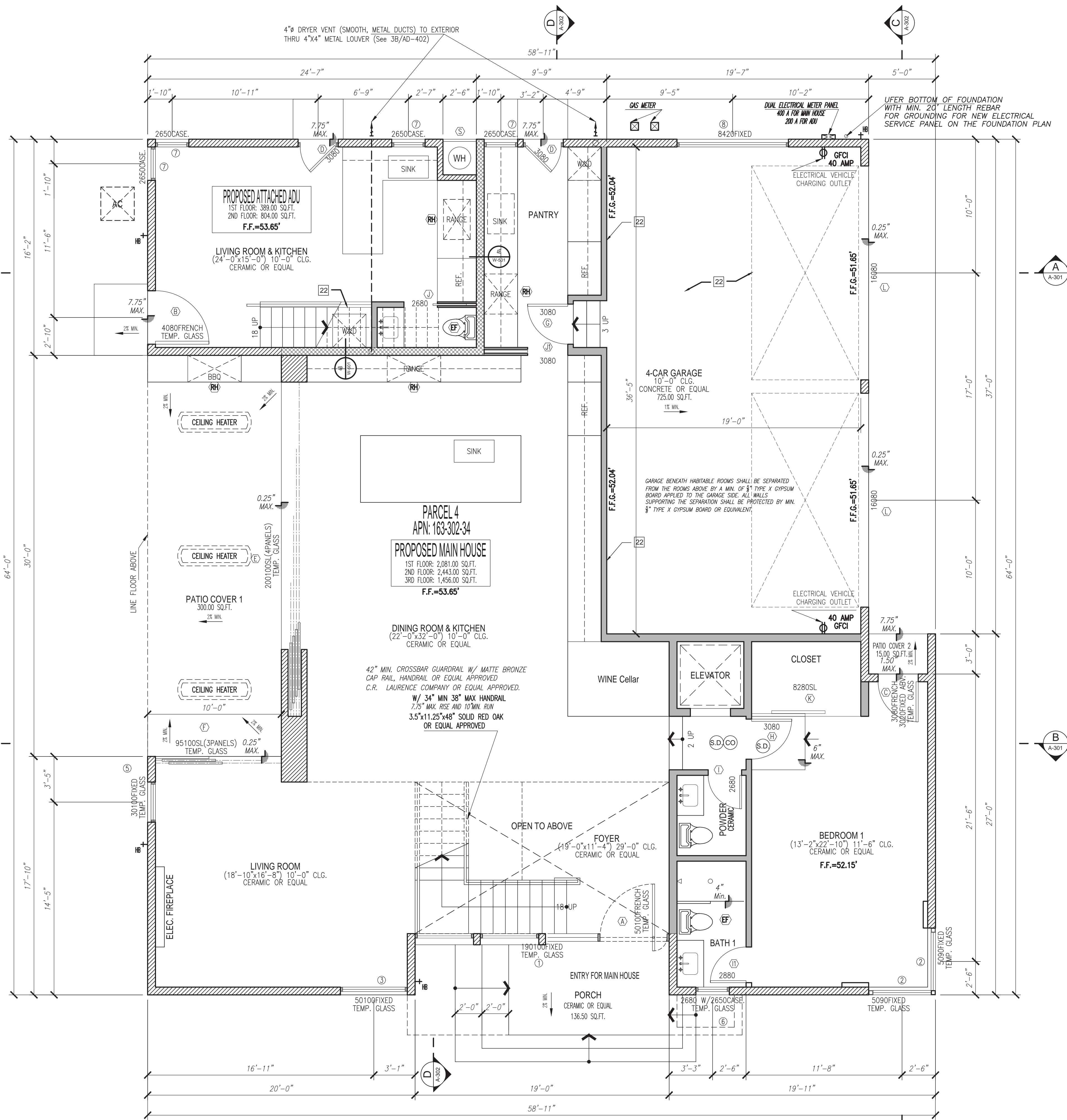
DRAWN BY: QD

SCALE: 1/8"=1'-0"

SHEET NO. 6

A-001

OF 35



**PROPOSED 1ST FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

**PLUMBING NOTE:**

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. CPC 408.3

CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY. CPC 408.9

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. (R307.2)

CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND CEILING PANELS IN SHOWER AREAS

SHOWER HEAD FLOW SHALL BE A MAX. OF 1.8 GALLONS PER MINUTE AT 80 P.S.I.  
 LAVATORY FAUCETS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 P.S.I.  
 WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM  
 KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 P.S.I.

**MECHANICAL NOTE:**

- ALL MECHANICAL WORK SHALL PER CMC 2022, AND 2022 CALIFORNIA ENERGY CODE. LOW VOLTAGE WIRING EXPOSED TO THE WEATHER SHALL BE INSTALLED IN A MANNER TO PREVENT PHYSICAL DAMAGE. CMC 2022 SEC. 306 AND 312.3
- ALL APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE PER BUILDING CODE REQUIREMENTS.
- OUTSIDE AIR INTAKE SHALL BE 10'-0" AWAY OR 3'-0" BELOW ANY APPLIANCE VENT OUTLET OR EXHAUST FAN DISCHARGE OR PLUMBING.
- THERMOSTATS ARE TO BE LOCATED BETWEEN 3 AND 4 FEET ABOVE THE FLOOR.
- DUSTS SHALL BE BRACED AND GUYED TO PREVENT LATERAL OR HORIZONTAL SWING. DUCTS SUPPORT PER TABLE 6-7, 6-10 CMC 2022
- THE DUCT WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6 OF THE 2022 CALIFORNIA MECHANICAL CODE OR APPLICABLE "SMACNA" STANDARD. THE DUCT MATERIALS AND GAGES SHALL BE PER TABLES 6-1, 6-2, 6-3, 6-4, 6-5, 6-6, 6-7, 6-8, 6-9, 6-10 (CMC 2022, SEC. 602.1)
- THE SIZES OF THE DUCT SYSTEMS SHOWN ON THE MECHANICAL PLANS WILL COMPLY WITH ACCA MANUAL Q OR ANOTHER APPROVED METHOD PER SECTION 601.2 OF THE 2022 CMC. MAKE UP AIR & EXHAUST AIR DUCT WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6 OF CMC 2022 SEC. 504.1.
- EXHAUST FANS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.
- MECH. CONTRACTOR TO PROVIDE OPERATION AND MAINTENANCE MANUALS TO THE OWNER UPON COMPLETION OF WORK.
- ALL DUCTING AND CONNECTORS FOR HEATING AND/OR AIR CONDITIONING SHALL BE UL 181 APPROVED.
- ENVIRONMENTAL EXHAUST DUCT TERMINATIONS MAY BE NO CLOSER THAN 3'-0" TO AN OPENING BACK INTO THE BUILDING. THE EXHAUST TERMINATION WILL BE NO CLOSER THAN 3'-0" TO THE WINDOW. CMC 2022, SEC. 504.5.
- DUCT SYSTEMS USED WITH BLOWER TYPE EQUIPMENT WHICH ARE PORTIONS OF A HEATING, COOLING, ABSORPTION, EVAPORATIVE COOLING OR OUTDOOR AIR VENTILATION SYSTEM SHALL BE SIZED IN ACCORDANCE WITH CHAPTER 17, PART II. REFERENCE STANDARDS OF THE CALIFORNIA MECHANICAL CODE.
- ALL INSTALLATION WITH COMPLY WITH 2022 ED. CMC, CBC, CFC, AND NFPA 2022 REQUIREMENTS.
- CONDENSATE DISPOSAL SHALL COMPLY WITH SECTION 310.0 OF THE CMC 2022.
- AIR DUCT INSULATION, THICKNESS, DENSITY, AND LOCATION, AND MUST COMPLY WITH SECTION 604, 605 & TABLE 6-3, 6-4, 6-5, 6-6, 6-7, 6-8, 6-9 OF THE CMC 2022.
- A 120-VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF THE EQUIPMENT, AND EQUIPMENT REQUIRING MORE THAN 50 VOLTS SHALL HAVE A POSITIVE MEANS OF DISCONNECT ADJACENT TO AND IN SIGHT OF THE EQUIPMENT SERVED.
- EACH PIECE OF HEATING, VENTILATING AND AIR CONDITIONING EQUIPMENT SHALL BE LABELED TO THE SPACE SERVED AS REQUIRED BY SECTION 304.
- ALL MECHANICAL EQUIPMENT SHALL BE SECURELY FASTENED IN PLACE BY SECTION 304.4
- ALL MECHANICAL EQUIPMENT SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY.
- AIR FOR COMBUSTION AND VENTILATION SHALL PER CMC 2022 SEC. 701
- AIR HANDLING DUCT SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED AS PROVIDED IN CHAPTER 6 OF CMC CODE.
- EACH SINGLE HEATING AND COOLING AIR SYSTEM IN EXCESS OF 2000 CFM IN THIS TYPE OCCUPANCY IS REQUIRED TO BE EQUIPPED WITH AN AUTOMATIC SHUTOFF. ALSO, WHENEVER SUCH SYSTEM SERVES MORE THAN ONE OCCUPANCY, AN AUTOMATIC SHUT OFF SHALL BE PROVIDED. SECTION 609.0, 2022 CMC.

**MECHANICAL EQUIPMENT SCHEDULE**

SYM.	DESCRIPTION	REMARK
EF	PANASONIC WHISPER GREEN FV-05-11VKS1 300 CFM @ 0.1" W.G. W/ HUMIDITY CONTROL ELECTRIC 120/1/60 SONES: <0.3 4" EAD UTR W/ ROOF JACK	CEILING MTD EXHAUST FAN FOR RESTROOM. FURNISH W/ BACKDRAFT DAMPER, INTERLOCK FAN TO LIGHT SWITCH
RH	BROAN ELITE E661 300 CFM @ 3-1/2" X14" DUCT ELECTRIC 120/1/60, 2.4 AMP SONES (NORM): < 0.3 SONES (HIGH): 3.0	RANGE HOOD FOR KITCHEN

**INSULATION SCHEDULE**

- PROVIDE R=13 INSULATION FOR ALL EXTERIOR WALLS
- PROVIDE R=30 INSULATION FOR ALL ROOF ATTIC
- PROVIDE R=19 INSULATION FOR ALL ROOF DECK

**CALCULATION FOR "WHOLE HOUSE VENTILATION FOR INDOOR AIR QUALITY (IAQ):"**

**MAIN HOUSE**

- TOTAL SQ.FT. = 5,955
- TOTAL BEDROOM # = 5
- PER ANSI ASHRAE STANDARD 62.2 EQUATION 4.1(a), REQUIRED VENTILATION = 5.93X0.03 + (5 + 1) X 7.5 = 35.79 + 30.00 = 65.79 CFM
- WE USE EXHAUST FAN: PANASONIC WHISPER GREEN FV-05-11VKS2, OR EQUAL APPROVED CEILING MTD EXHAUST FAN 3X110 CFM @ 3/8" S.P. > 223.65 CFM THEREFORE, OK!

**ATTACHED ADU:**

- TOTAL SQ.FT. = 1,193
- TOTAL BEDROOM # = 3
- PER ANSI ASHRAE STANDARD 62.2 EQUATION 4.1(a), REQUIRED VENTILATION = 1.193X0.03 + (3 + 1) X 7.5 = 35.79 + 30.00 = 65.79 CFM
- WE USE EXHAUST FAN: PANASONIC WHISPER GREEN FV-05-11VKS2, OR EQUAL APPROVED CEILING MTD EXHAUST FAN 110 CFM @ 3/8" S.P. > 65.79 CFM THEREFORE, OK!

**NOTE:** WHOLE HOUSE EXHAUST FANS INSTALLED SHALL HAVE INSULATED LOUVERS OR COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF.

**FLOOR PLAN NOTES**

- DOUBLE SINK WITH GARBAGE DISPOSAL (REFER TO INTERIOR ELEVATIONS)
- BUILT-IN DISHWASHER WITH AIR GAP (REFER TO INTERIOR ELEVATIONS)
- DROP-IN COOK TOP RANGE WITH EXHAUST HOOD
- PROVIDE 39" REFRIGERATOR SPACE (PROVIDE PLUMBING RECESSED IN WALL FOR ICE MAKER)
- 30" WIDE MICROWAVE OVEN OVER CONVENTIONAL OVEN. MANUFACTURER TO BE DETERMINED BY OWNER (REFER TO SPECIFICATIONS)
- PANTRY WITH ADJUSTABLE SHELVES U.N.O. (REFER TO INTERIOR ELEVATIONS)
- LINE OF CABINETS/SHELF ABOVE (REFER TO INTERIOR ELEVATIONS)
- PROVIDE CURTAIN ROD
- 32" X 60" FIBERGLASS TUB WITH SHOWER TO 72" A.F.F. WITH SHOWER HEAD AT +80" A.F.F.
- 42" X 60" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM
- 114" X 42" FIBERGLASS TUB/SHOWER WITH WAINSCOT TO 78" ABOVE FINISH FLOOR AND SHOWER HEAD AT 80" A.F.F.
- RECESSED MEDICINE CABINET (REFER TO INTERIOR ELEVATIONS)
- SHATTER RESISTANT SHOWER ENCLOSURE - FULLY TEMPERED OR LAMINATED SAFETY GLASS
- WASHER SPACE (PROVIDE RECESS NICHE IN WALL FOR PLUMBING AND PROVIDE WASTE LINE)
- DRYER SPACE (VENT TO O.S.A.)
- LINE OF EXHAUST VENT
- BACK DRAFT DAMPER
- WATER HEATER PER C.M.C. - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. LOWER STRAP LOCATED TO MAINTAIN MINIMUM 4" DISTANCE ABOVE CONTROLS. - PLACE W/H ON 18" HIGH RIGID PLATFORM. - PROVIDE P.T. RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN.
- FORCED AIR UNIT PER C.M.C. - PROVIDE RIGID WOOD PLATFORM W/ R.A.G. (14" MIN.) - PROVIDE CONDENSATE LINE TO DRAIN OUTSIDE OR APPROVED TRAPPED DRAIN (REFER TO HVAC DRAWINGS) - VERIFY SIZE AND CLEARANCE
- AIR CONDITIONER PAD (VERIFY SIZE WITH MANUFACTURER)
- PEDESTAL SINK
- PROVIDE 5/8" TYPE 'X' APPROVED GYPSUM BOARD AT GARAGE AT ALL WALLS, CEILING, BEAMS AND SUPPORTING MEMBERS ADJACENT TO HABITABLE AREAS. PROVIDE 2-LAYERS AT MEMBERS SPACED GREATER THAN 16" O.C. (REFER TO GENERAL NOTE SHEETS IN SPECIFICATIONS FOR CLARIFICATION)
- NON-COMBUSTIBLE HEARTH - MINIMUM 20" IN FRONT OF AND 12" ON EACH SIDE OF FIREPLACE OPENING
- LAUNDRY SINK
- LINE OF SHELF (REFER TO PLAN FOR HEIGHT)
- LINE OF SOFFIT ABOVE
- LINE OF SHELF ABOVE (REFER TO PLAN FOR HEIGHT)
- LINEN (REFER TO INTERIOR ELEVATION)
- SHELF AND POLE
- SHELF AND DOUBLE POLE
- 22" X 30" MINIMUM ATTIC ACCESS (30" X 30" MINIMUM W/ ATTIC MTD. FAU)
- GAS CO. SERVICE RISER (VERIFY LOCATION W/ UTILITY CO.)
- ELECTRIC SERVICE MAIN - PROVIDE USER CONTROL (VERIFY LOCATION WITH UTILITY COMPANY)
- LOW WALL (REFER TO PLAN FOR HEIGHT)
- HAND MADE SHOWER PAN - SEE PLAN FOR SIZE
- DUCT CHASE
- DEAD BOLT AT TOP AND BOTTOM OF ENTRY DOOR AND TOP ONLY OF INTERIOR DOORS
- WATER CLOSET (MAXIMUM 1.28 GALLONS PER FLUSH)

**SMOKE & CARBON MONOXIDE ALARM NOTES**

THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN INDIVIDUAL UNIT.

SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP.

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP.

(S) SMOKE DETECTOR, U.L. 217 APPROVED-CEILING MOUNTED U.N.O.  
 (CO) CARBON MONOXIDE ALARMS.

**WALL FRAMING LEGEND**

2X4 STUD INTERIOR WALL

2X6 STUD INTERIOR WALL

2X6 STUD NEW WALL

1/2" Dry Wall

5/8" Dry Wall Both Side Full Height

SEE W-501

2X4 STUD EXTERIOR WALL

2X6 STUD EXTERIOR WALL

**REVISION BY:**

REVISION BY:	DATE:

**DATE:** 06-25-2023

**JOB NO.:** 0321 184B

**DRAWN BY:** QD

**SCALE:** 1/4"=1'-0"

**SHEET NO. 7**

**A-101**

OF 35

**ARCHITECT**  
 FRANCIS PHAT ARCHITECT  
 No. C. 18885  
 Exp. 11-31-25  
 STATE OF CALIFORNIA

**REVIEWED BY:** ONG, FRANCIS PHAT

**DESIGNED BY:** Q3 DESIGN & CONSTRUCTION INC.

**PROJECT:** DONNA DOAN RESIDENCE  
 PROPOSED MAIN HOUSE AND ATTACHED ADU  
 4731 LUS PINE AVE., HUNTINGTON BEACH, CA 92648  
 APN: 163-302-34 (PARCEL 4)

**ADDRESS:** ONG, FRANCIS PHAT  
 4122 CLEAVELAND STREET, IRVINE, CA 92604  
 Phone: (714) 296-3844  
 EMAIL: fphat@francisphat.com

**DATE:** 06-25-2023

**JOB NO.:** 0321 184B

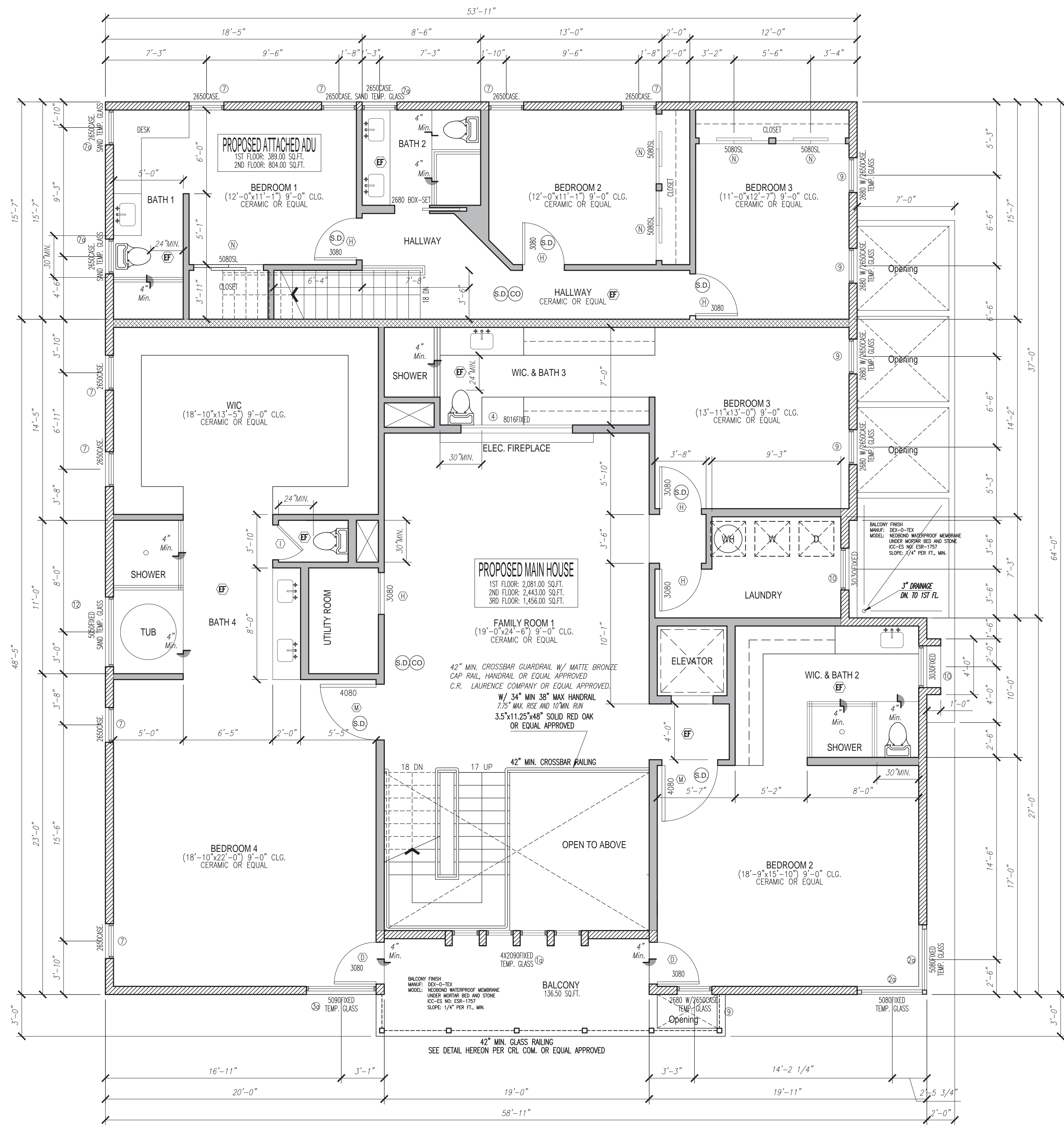
**DRAWN BY:** QD

**SCALE:** 1/4"=1'-0"

**SHEET NO. 7**

**A-101**

OF 35



**PROPOSED 2ND FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

**CRL MODULAR CROSSBAR INFILL SYSTEM**

**CRL Left End Standoff Connector (Flat Back)**

- Surface Mount Design With No Exposed Fasteners
- 316 Alloy Stainless Steel
- Easy Slip Fit Mounting
- Supports 1/2" (12 mm) Diameter Bar
- Two Architectural Finishes Available
- For Use With Square Post Applications

CRL's Stainless Steel Standoff Connectors are designed to support CRL 1/2" (12 mm) diameter Stainless Steel Bar. Our easy slip fit design allows for clean seamless installations. No special welding or fabrication required. When attaching to the post use our Cat. No. SFBOLT 1/4"-20 x 1" (25 mm) bolt.

CAT. NO.	GRADE	FINISH
CBRTBS	316	Brushed Stainless
CBRTPS	316	Polished Stainless

**CRL Right End Standoff Connector (Flat Back)**

- Surface Mount Design With No Exposed Fasteners
- 316 Alloy Stainless Steel
- Easy Slip Fit Mounting
- Supports 1/2" (12 mm) Diameter Bar
- Two Architectural Finishes Available
- For Use With Square Post Applications

CRL's Stainless Steel Standoff Connectors are designed to support CRL 1/2" (12 mm) diameter Stainless Steel Bar. Our easy slip fit design allows for clean seamless installations. No special welding or fabrication required. When attaching to the post use our Cat. No. SFBOLT 1/4"-20 x 1" (25 mm) bolt.

CAT. NO.	GRADE	FINISH
CBRTBS	316	Brushed Stainless
CBRTPS	316	Polished Stainless

**CRL Modular Crossbar Connector Bolt**

- For Securing Modular Crossbar Standoffs
- Stainless Steel 1/4"-20 x 1" Flat Head Phillips Bolt

CRL Modular Crossbar Connector Bolts are used to secure Standoff Connectors to drilled and tapped posts. Flat Phillips head bolt has 1/4"-20 thread.

CAT. NO.	SIZE	QTY./PK.
SFBOLT	1/4"-20 x 1" (25 mm)	50

crlaurence.com | 293R  
 crlaurence.ca | crlaurence.com.au | crlaurence.co.uk | crlaurence.eu



REVIEWED BY: ONG, FRANCIS PHAT  
 ADDRESS: ONG, FRANCIS PHAT  
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 EMAIL: fphat@ong.com

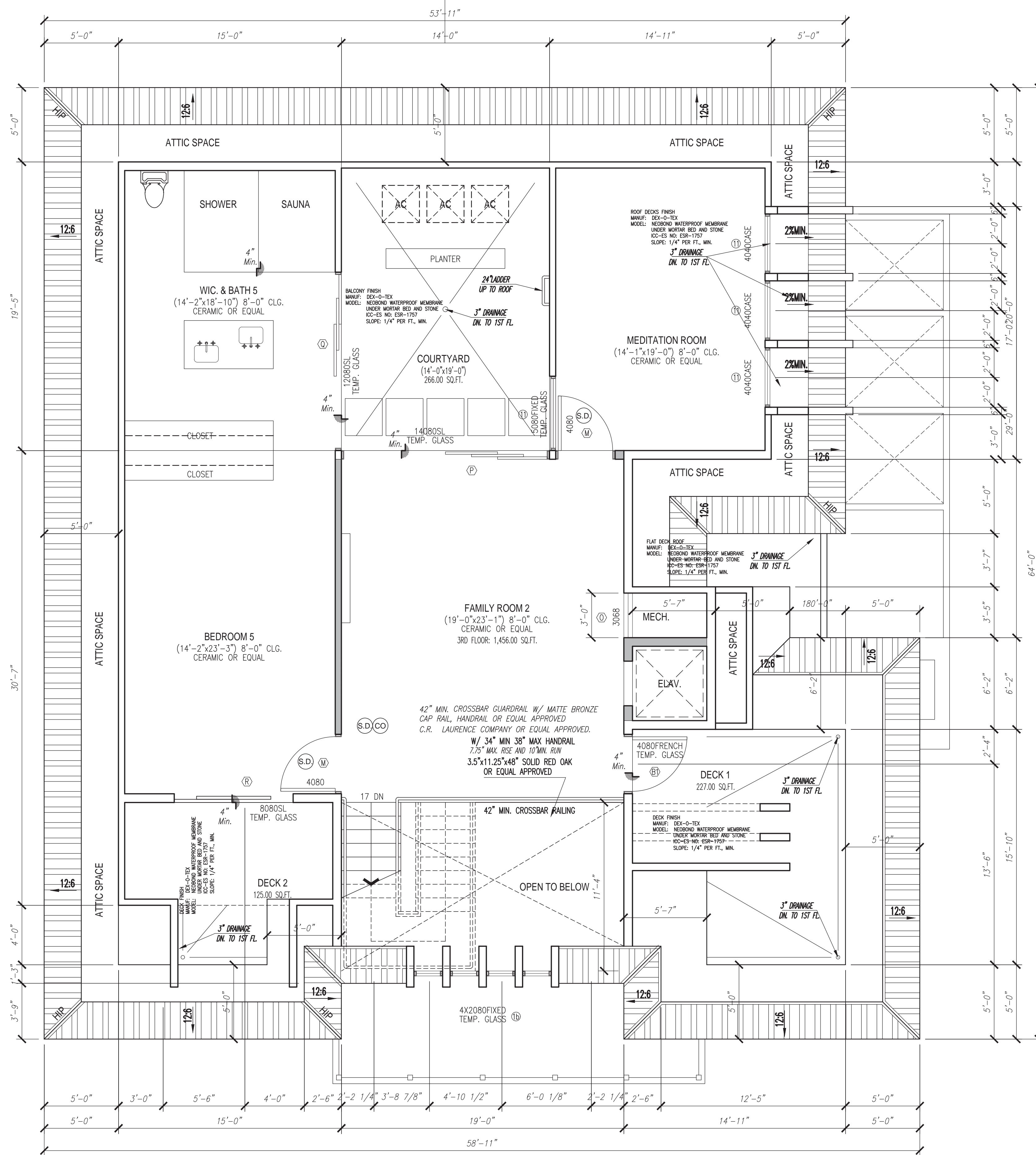
DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.  
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 10000 WILSON AVENUE, SUITE 100, IRVINE, CA 92618  
 (CELL) 714-458-8374 • EMAIL: DOAN@Q3DC.COM  
 CONTACT PERSON: QUOC DO

TITLE: PROPOSED 2ND FLOOR PLAN  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED 1100 STONY RIDGE DRIVE, ATTACHED ADU  
 APN: 163-302-34 (PARCEL 4)  
 4731 Las Pitas Ave., Huntington Beach, CA 92648

REVISION BY:	DATE:

DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

SHEET NO. 8  
 A-102  
 OF 35



**PROPOSED 3RD FLOOR PLAN**  
 Scale: 1/8" = 1'-0"  
**TOP ROOF DECK PLAN**

**DOOR SCHEDULE**

SYM.	SIZE	TYPE	QUAN.
A	5'-0"x10'-0"	FRENCH DOOR W/TEMP. GLASS	1
B	4'-0"x8'-0"	FRENCH DOOR W/TEMP. GLASS	1
B1	4'-0"x8'-0"	FRENCH DOOR W/TEMP. GLASS	1
C	3'-0"x8'-0"	FRENCH DOOR W/TEMP. GLASS AND 3'-0"x8'-0" FIXED WD ABOVE	1
D	3'-0"x8'-0"	FRENCH DOOR W/TEMP. GLASS	4
E	20'-0"x10'-0"	SLIDING GLASS DOORS W/TEMP. GLASS (4 PANELS)	1
F	9'-5"x10'-0"	SLIDING GLASS DOORS W/TEMP. GLASS (3 PANELS)	1
G	3'-0"x8'-0"	DOOR SHALL BE 1-3/8" SOLID OR HONEY COMB CORE STEEL DOORS, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING.	1
H	3'-0"x8'-0"	HOLLOW CORE	7
I	2'-6"x8'-0"	HOLLOW CORE	2
II	2'-8"x8'-0"	HOLLOW CORE	1
J	2'-6"x8'-0"	SLIDING BOX SET HOLLOW CORE	2
JI	3'-0"x8'-0"	SLIDING BOX SET HOLLOW CORE	1
K	8'-2"x8'-0"	SLIDING HOLLOW CORE	1
L	16'-0"x8'-0"	GARAGE DOOR	2
M	4'-0"x8'-0"	HOLLOW CORE	4
N	5'-0"x8'-0"	SLIDING HOLLOW CORE	5
O	3'-0"x6'-8"	HOLLOW CORE	1
P	14'-0"x8'-0"	SLIDING GLASS DOORS W/TEMP. GLASS (3 PANELS)	1
Q	12'-0"x8'-0"	SLIDING GLASS DOORS W/TEMP. GLASS (3 PANELS)	1
R	8'-0"x8'-0"	SLIDING GLASS DOORS W/TEMP. GLASS (2 PANELS)	1
S	2'-6"x8'-0"	METAL DOOR W/ LOUVERED FOR WH	1

**WINDOW SCHEDULE**

SYM.	SIZE	TYPE	QUAN.
1	19'-0"x10'-0"	FIXED TEMP. GLASS W/ DOOR A (50100)	1
1a	4x2'-0"x9'-0"	FIXED TEMP. GLASS	1
1b	4x2'-0"x8'-0"	FIXED TEMP. GLASS	1
2	5'-0"x9'-0"	FIXED TEMP. GLASS	2
2a	5'-0"x8'-0"	FIXED TEMP. GLASS	2
3	5'-0"x10'-0"	FIXED TEMP. GLASS	1
3a	5'-0"x9'-0"	FIXED TEMP. GLASS	1
4	8'-0"x1'-6"	FIXED TEMP. GLASS	1
5	3'-0"x10'-0"	FIXED TEMP. GLASS	1
6	2'-6"x8'-0"	w/ LOWER 2650 Casement TEMP. GLASS	1
7	2'-6"x5'-0"	Casement WINDOWS	12
7a	2'-6"x5'-0"	Casement WINDOWS W/SAND TEMP. GLASS	3
8	8'-4"x2'-0"	FIXED TEMP. GLASS	1
9	2'-6"x8'-0"	w/ UPPER 2650 Casement TEMP. GLASS	5
10	3'-0"x3'-0"	FIXED TEMP. GLASS	2
11	4'-0"x4'-0"	Casement WINDOWS	3
12	5'-0"x5'-0"	FIXED TEMP. GLASS	1

**REMARKS:**  
 ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND LABELED.  
 \*The NFRC temporary label displayed on windows must remain on the unit until final inspection has been completed.  
 EVERY SLEEPING ROOM SHALL HAVE AN EGRESS WINDOW HAVING A FINISHED SILL HEIGHT, NOT MORE THAN 44" ABOVE THE FINISHED FLOOR  
 U-FACTOR = 0.30 AND SHGC = 0.23 OR SEE 1-24 SHEET  
 ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION.  
 MANUFACTURERS TO SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER.

**NOTE:**  
 DOOR & WINDOW : ALUMINUM BRONZE ANODIZED (C.R. LAURENCE COMPANY)  
 STAIR GUARD RAIL C.R. LAURENCE COMPANY  
 OR EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT  
 ADDRESS: ONG, FRANCIS PHAT  
 4122 CLEAVELAND STREET, IRVINE, CA 92604  
 Phone: (714) 296-3844  
 EMAIL: fong@francisong.com

DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.  
 ADDRESS: Q3 DESIGN & CONSTRUCTION INC.  
 10000 S. HAYWARD AVE., SUITE 100, HAYWARD, CA 94542  
 (CELL) 714-458-8374 • EMAIL: DDO@Q3DC.COM  
 CONTACT PERSON: QUOC DO  
 EMAIL: quoc@q3dc.com

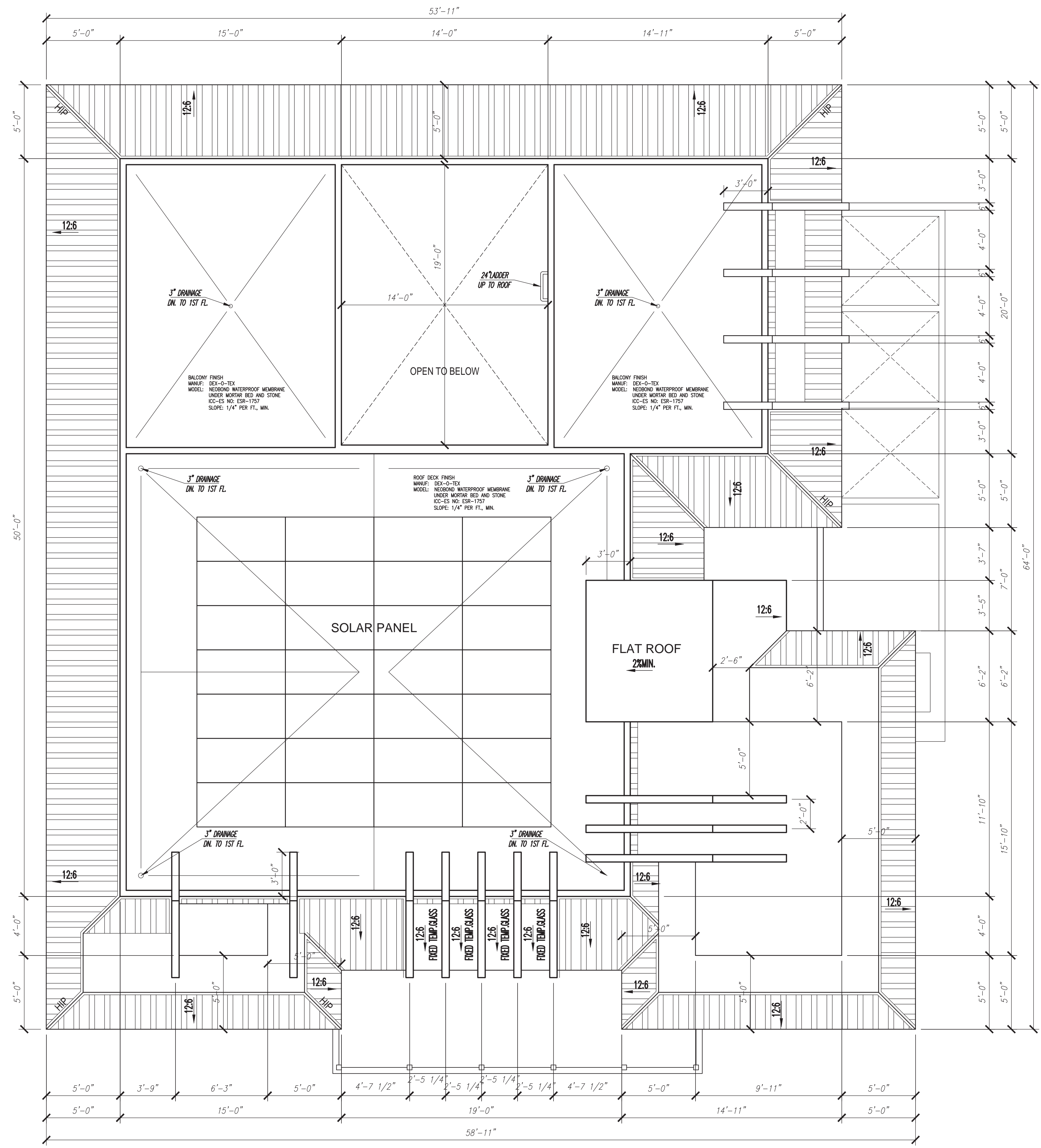
TITLE: PROPOSED 3RD FLOOR PLAN AND TOP ROOF DECK PLAN  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED 3RD FLOOR RESIDENTIAL  
 4731 Los Peñas Ave., Huntington Beach, CA 92648  
 APN: 168-302-24 (PARCEL 4)

REVISION BY:

DATE	BY	DESCRIPTION

DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

SHEET NO. 9  
**A-103**  
 OF 35



**PROPOSED ROOF PLAN**  
 Scale: 1/8" = 1'-0"

**ROOF NOTES**

50. ROOF SLOPES: 10:5  
 51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS OR EQUAL APPROVED  
 ROOF COVERING: MANUFACTURER: WESTERN METAL DECK  
 STANDING SEAM ROOFING, DARK BRONZE  
 SHALL BE CLASS "A" FIRE RETARDANT UL790.  
 INSTALLED DRY WEIGHT: 16 oz/ sq. ft. (0.0416 kg/ m<sup>2</sup>)  
 Or Equal Approved

**FLAT ROOF NOTES**

CLASS "A" ELASTOMERIC DECK COATING.  
 FOR FLAT ROOF  
 MANUF: DEX-O-TEX  
 MODEL: NEOBOND WATERPROOF MEMBRANE UNDER MORTAR BED AND STONE  
 ICC-ES NO: ESR-1757  
 SLOPE: 1/4" PER FT., MIN.  
 EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT  
 ADDRESS: ONG, FRANCIS PHAT  
 4122 CLEAVELAND STREET, IRVINE, CA 92604  
 Phone: (714) 296-3844  
 EMAIL: fong@fron.com

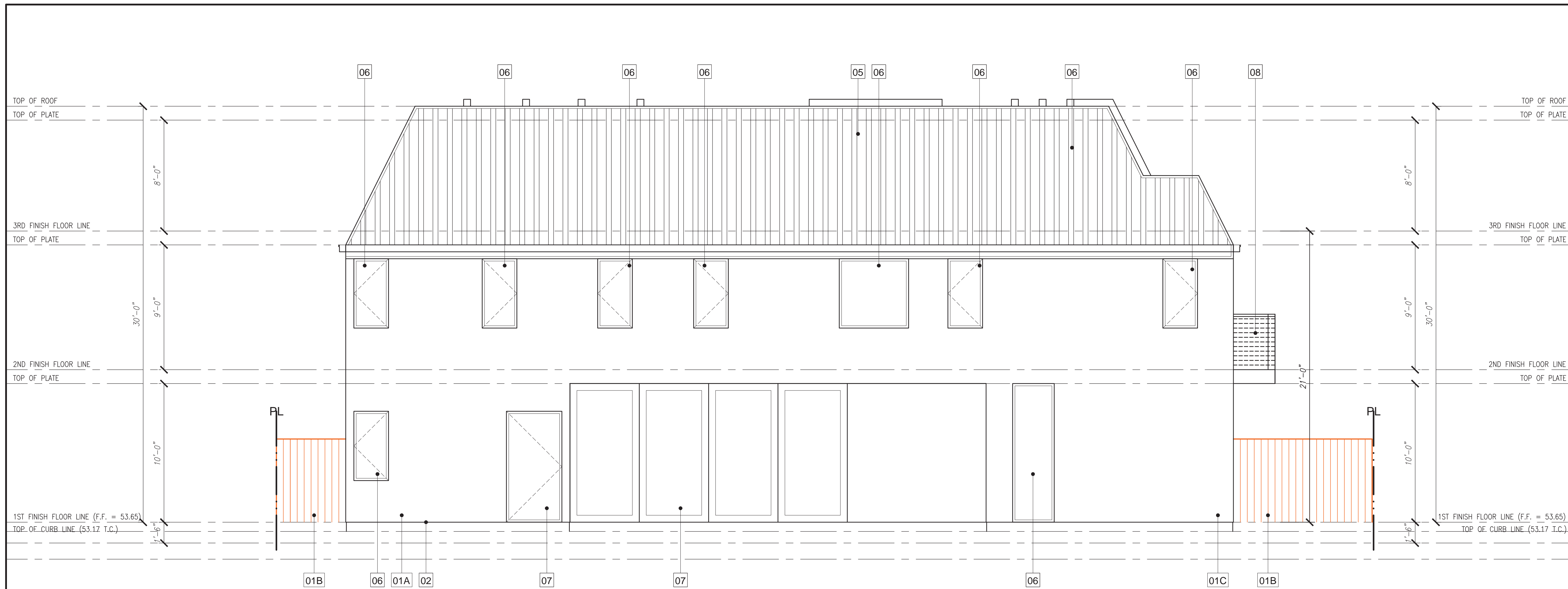
DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.  
 ADDRESS: Q3 DESIGN & CONSTRUCTION INC.  
 10000 WILSON AVENUE, SUITE 100, IRVINE, CA 92618  
 (CELL) 714-458-8374 • EMAIL: DOO@Q3CPLB.COM  
 CONTACT PERSON: QUOC DO

TITLE: PROPOSED ROOF PLAN  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED NEW 1.5 STORY ATTACHED ADU  
 4731 LOS PALMS AVE., HUNTINGTON BEACH, CA 92648  
 APN: 163-302-34 (PARCEL 4)

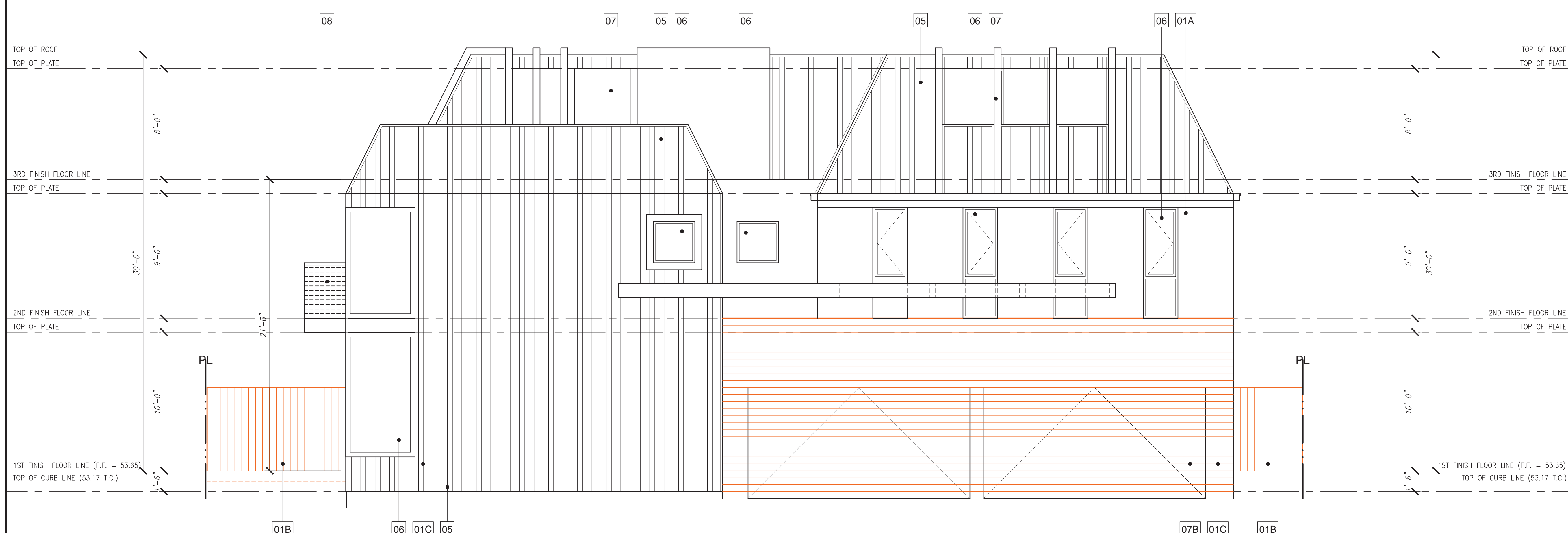
REVISION BY:	DATE:
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DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

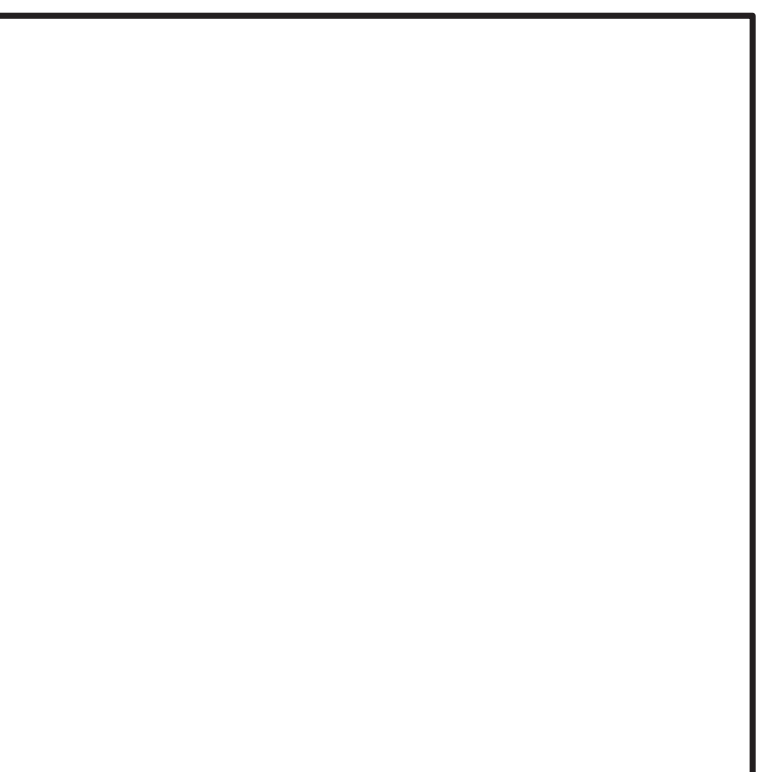
SHEET NO. 10  
**A-104**  
 OF 35



**PROPOSED (WEST) REAR ELEVATION**  
 Scale: 1/4" = 1'-0"



**PROPOSED (LYNN LANE) (EAST) FRONT ELEVATION**  
 Scale: 1/4" = 1'-0"

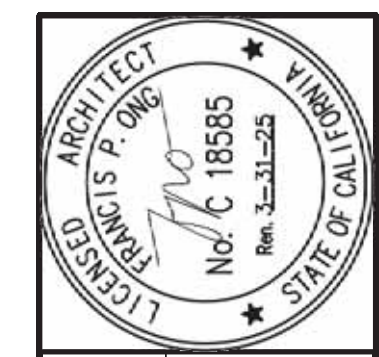


**PROPOSED (EAST) FRONT ELEVATION**  
 Scale: 1/4" = 1'-0"

- ELEVATION NOTES**
- 01A. EXTERIOR SAND FINISH STUCCO BODY LAHABRA 20/30 SF STUCCO COLOR COAT 40 DOVE GREY (40) OR EQUAL APPROVED.
  - 01B. NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 01C. NewTechWood SIDING (SPANISH WALNUT (WN)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 02. CONTINUOUS G.I. STUCCO SCREED (REFER TO DETAIL) OR EQUAL APPROVED.
  - 03. EXTERIOR SAND FINISH STUCCO BODY LAHABRA 20/30 SF STUCCO COLOR COAT 40 DOVE GREY (40) OR EQUAL APPROVED.
  - 04. Exterior facade cladding Stainless Steel BRONZE ANODIZED C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 05. ROOF MATERIAL (REFER TO ROOF NOTES)
  - 06. ALUMINUM BRONZE ANODIZED WINDOW(SEE PLAN FOR SIZE) OR EQUAL APPROVED.
  - 07. ALUMINUM BRONZE ANODIZED DOOR (SEE PLAN FOR SIZE) OR EQUAL APPROVED.
  - 07A. GARAGE DOOR TO BE INSTALLED NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 07B. GARAGE DOOR TO BE INSTALLED NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 08. 42" MIN. CROSSBAR GUARDRAIL W/ MATTE BRONZE CAP RAIL, HANDRAIL OR EQUAL APPROVED C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 09. CONCRETE OR EQUAL APPROVED
  - 10. EXISTING ADJACENT PROPERTIES WINDOW

- ROOF NOTES**
- 50. ROOF SLOPES: 9:5
  - 51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS OR EQUAL APPROVED  
 ROOF COVERING: MANUFACTURER: WESTERN METAL DECK  
 STANDING SEAM ROOFING, DARK BRONZE  
 SHALL BE CLASS "A" FIRE RETARDANT UL790.  
 INSTALLED DRY WEIGHT: 16 oz/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

- FLAT ROOF NOTES**
- CLASS "A" ELASTOMERIC DECK COATING.  
 FOR FLAT ROOF  
 MANUF: DEX-O-TEX  
 MODEL: NEOBOND WATERPROOF MEMBRANE  
 UNDER MORTAR BED AND STONE  
 ICC-ES NO: ESR-1757  
 SLOPE: 1/4" PER FT., MIN.  
 EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT  
 ADDRESS: ONG, FRANCIS PHAT  
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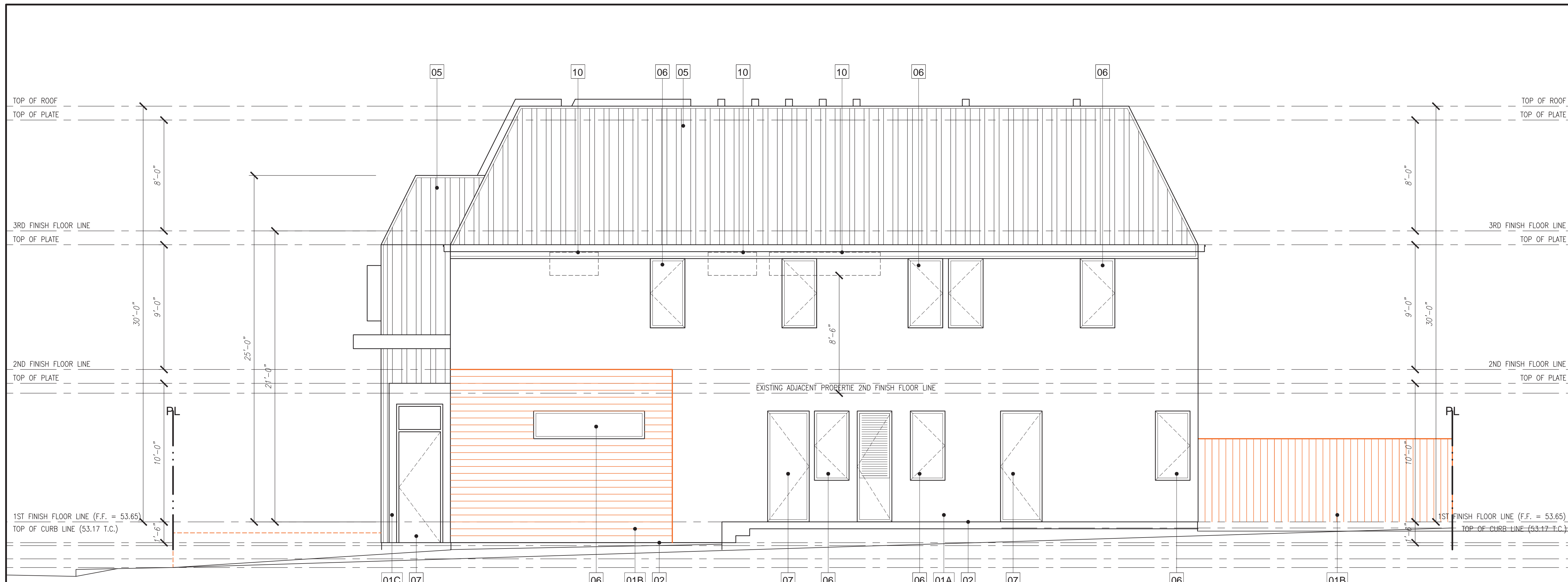
DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.  
 ADDRESS: Q3 DESIGN & CONSTRUCTION INC.  
 10000 S. HAYWARD AVENUE, SUITE 100  
 HAYWARD, CA 94542  
 (CELL) 714-458-5374 - EMAIL: DOO@Q3D.COM  
 CONTACT PERSON: QUOC DO

TITLE: PROPOSED (EAST) FRONT ELEVATION  
 PROPOSED (WEST) REAR ELEVATION  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED 1.50 STORY RESIDENTIAL ADD  
 4731 Las Pitas Ave., Huntington Beach, CA 92648  
 APN: 168-302-24 (PARCEL 4)

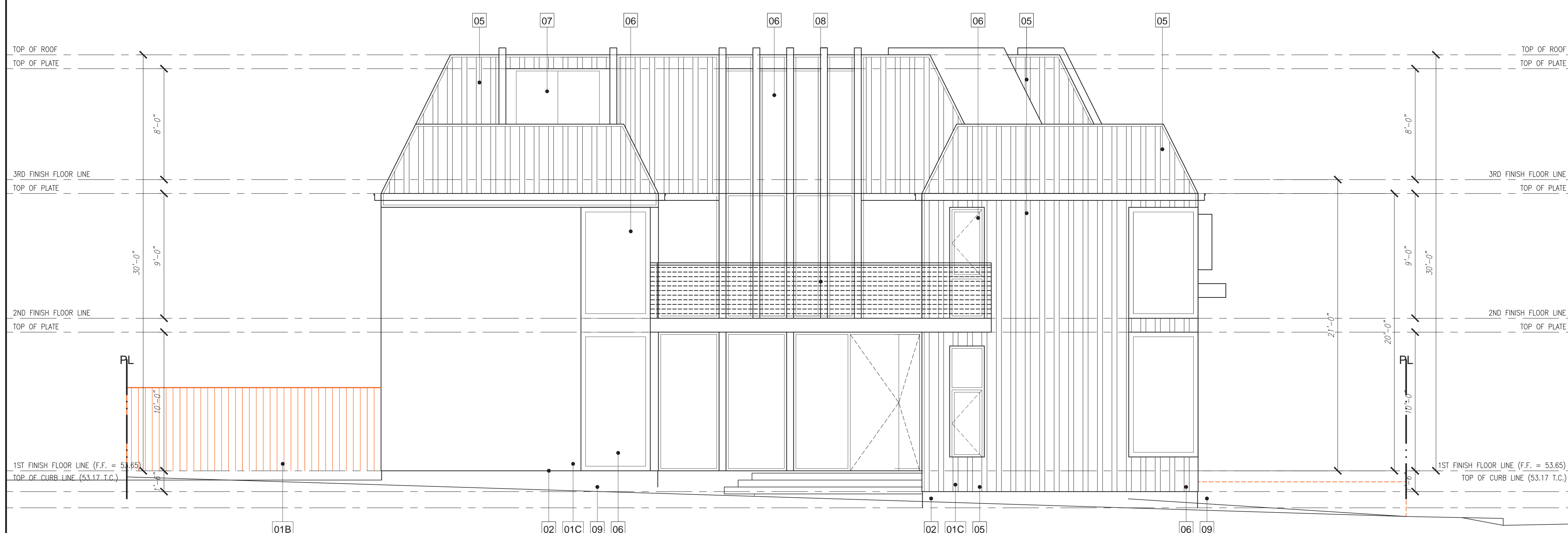
REVISION BY:	DATE:
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DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

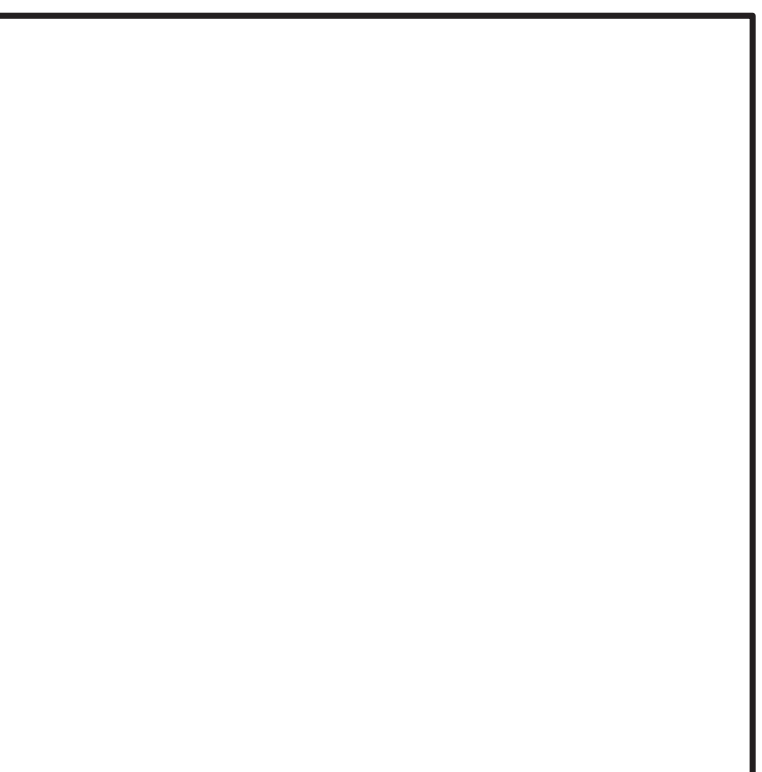
SHEET NO. 11  
**A-201**  
 OF 35



**PROPOSED (NORTH) RIGHT ELEVATION**  
 Scale: 1/4" = 1'-0"



**PROPOSED (LOS PATOS AVE) (SOUTH) LEFT ELEVATION**  
 Scale: 1/4" = 1'-0"



**PROPOSED (EAST) FRONT ELEVATION**  
 Scale: 1/4" = 1'-0"

- ELEVATION NOTES**
- 01A. EXTERIOR SAND FINISH STUCCO BODY LAHABRA 20/30 SF STUCCO COLOR COAT 40 DOVE GREY (40) OR EQUAL APPROVED.
  - 01B. NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 01C. NewTechWood SIDING (SPANISH WALNUT (WN)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 02. CONTINUOUS G.I. STUCCO SCREED (REFER TO DETAIL) OR EQUAL APPROVED.
  - 03. EXTERIOR SAND FINISH STUCCO BODY LAHABRA 20/30 SF STUCCO COLOR COAT 40 DOVE GREY (40) OR EQUAL APPROVED.
  - 04. Exterior facade cladding Stainless Steel BRONZE ANODIZED C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 05. ROOF MATERIAL (REFER TO ROOF NOTES)
  - 06. ALUMINUM BRONZE ANODIZED WINDOW(SEE PLAN FOR SIZE) OR EQUAL APPROVED.
  - 07. ALUMINUM BRONZE ANODIZED DOOR (SEE PLAN FOR SIZE) OR EQUAL APPROVED.
  - 07A. GARAGE DOOR TO BE INSTALLED NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 07B. GARAGE DOOR TO BE INSTALLED NewTechWood SIDING (# PERUVIAN TEAK (TK)) NewTechWood America, Inc. ICC-ES AC174 OR EQUAL APPROVED.
  - 08. 42" MIN. CROSSBAR GUARDRAIL W/ MATTE BRONZE CAP RAIL, HANDRAIL OR EQUAL APPROVED C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 09. CONCRETE OR EQUAL APPROVED
  - 10. EXISTING ADJACENT PROPRIETIES WINDOW

- ROOF NOTES**
- 50. ROOF SLOPES: 9:5
  - 51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS OR EQUAL APPROVED  
 ROOF COVERING: MANUFACTURER: WESTERN METAL DECK  
 STANDING SEAM ROOFING, DARK BRONZE  
 SHALL BE CLASS "A" FIRE RETARDANT UL790.  
 INSTALLED DRY WEIGHT: 16 oz/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

- FLAT ROOF NOTES**
- CLASS "A" ELASTOMERIC DECK COATING.  
 FOR FLAT ROOF  
 MANUF: DEX-O-TEX  
 MODEL: NEOBOND WATERPROOF MEMBRANE UNDER MORTAR BED AND STONE  
 ICC-ES NO: ESR-1757  
 SLOPE: 1/4" PER FT., MIN.  
 EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT  
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 EMAIL: fong@francison.com

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 10000 S. HAYWARD AVE., SUITE 100, HAYWARD, CA 94542  
 (CELL) 714-458-5374 - EMAIL: DOO@Q3DC.COM  
 CONTACT PERSON: QUOC DO

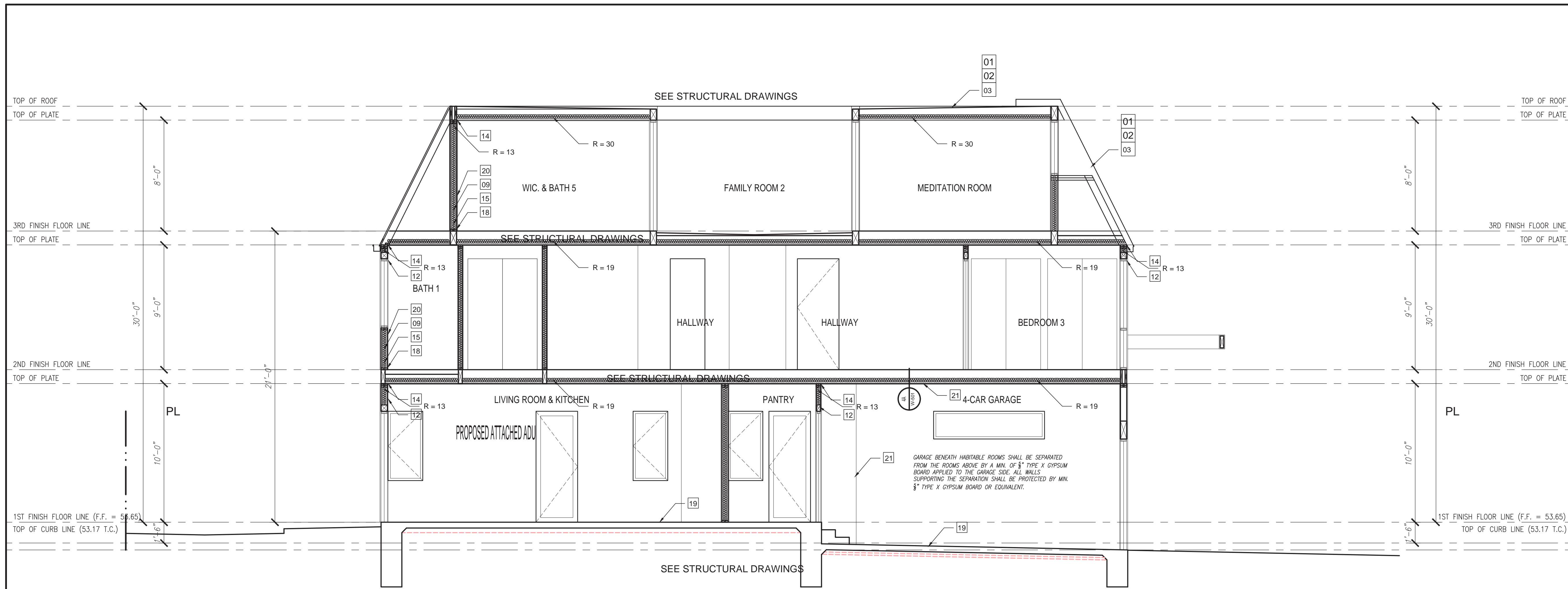
TITLE: PROPOSED (EAST) FRONT ELEVATION  
 PROPOSED (WEST) REAR ELEVATION  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED TWO STORY DETACHED ADU  
 4731 Las Patos Ave., Huntington Beach, CA 92648  
 APN: 163-302-24 (PARCEL 4)

REVISION BY:	DATE:
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DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

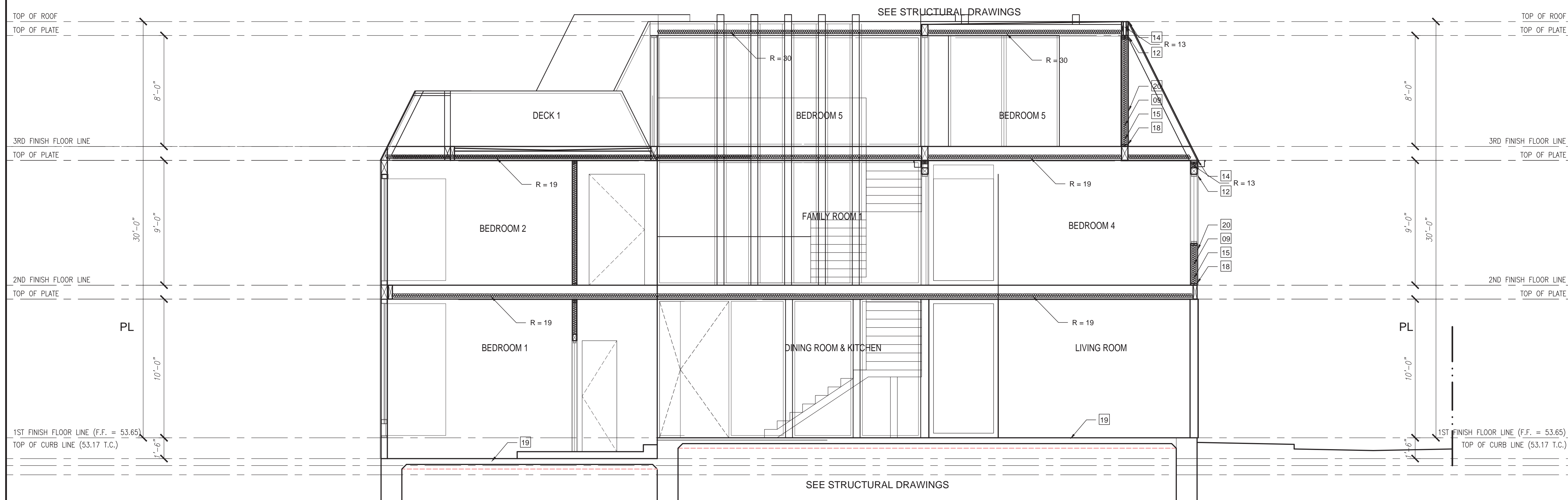
SHEET NO. 12  
**A-202**  
 OF 35





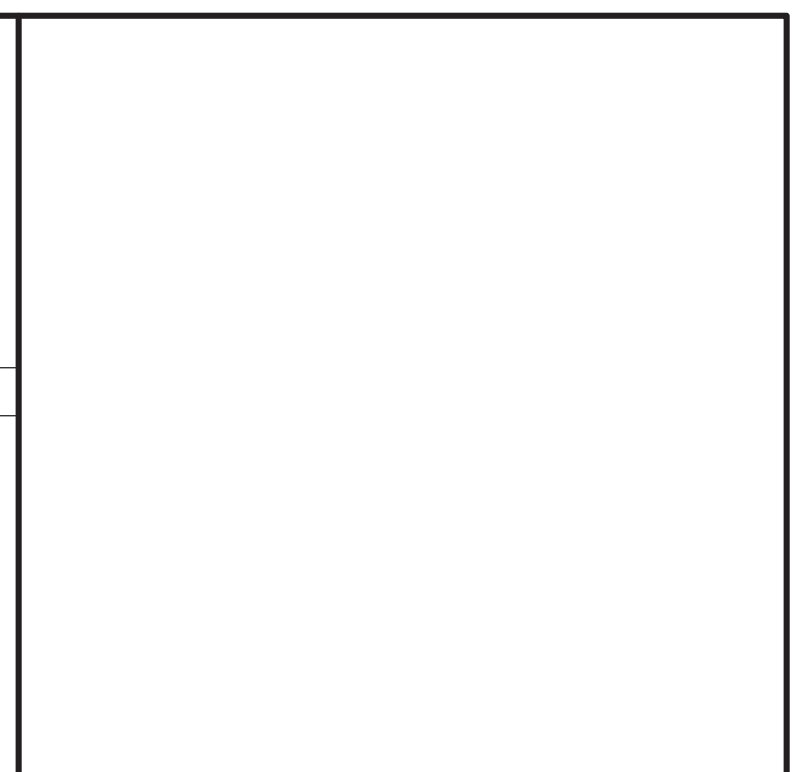
**PROPOSED SECTION A-A**

Scale: 1/4" = 1'-0"



**PROPOSED SECTION B-B**

Scale: 1/4" = 1'-0"



**SECTION NOTES**

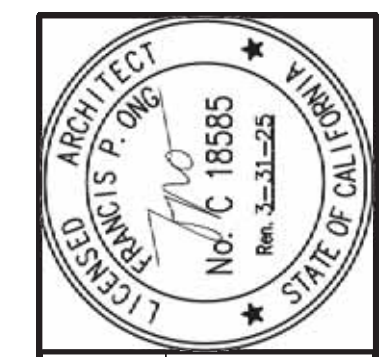
- 01. ROOF MATERIAL (REFER TO ROOF NOTES)
- 02. ROOF SHEATHING (REFER TO FRAMING PLAN)
- 03. ROOF RAFTER
- 04. 2x ROOF RAFTERS (REFER TO FRAMING PLAN)
- 05. FALSE 2x FRAMING AT 24" O.C.
- 06. EXTERIOR SOFFIT (REFER TO ELEVATION NOTES)
- 07. 2x CEILING JOISTS (REFER TO FRAMING PLAN)
- 08. INSULATION (REFER TO ENERGY COMPLIANCE SHEET)
- 09. FLUSH BEAM (REFER TO FRAMING PLAN)
- 10. DROP BEAM (REFER TO FRAMING PLAN)
- 11. HEADER (REFER TO FRAMING PLAN)
- 12. 2 X 4 FRAMING
- 13. CONTINUOUS DOUBLE 2x TOP PLATE
- 14. 2x STUDS AT 16" O.C.
- 15. 2x BLOCK AT MID-HEIGHT
- 16. 2x CRIPPLE STUD AT 16" O.C.
- 17. 2x P.T.D.F. SILL PLATE
- 18. CONCRETE SLAB (REFER TO STRUCTURAL FOUNDATION PLAN)
- 19. 1/2" GYPSUM BOARD
- 20. 5/8" TYPE "X" GYPSUM BOARD
- 21. 5/8" GYPSUM BOARD AT MEMBERS SPACED 24" O.C. OR GREATER
- 22. SHELF (REFER TO FLOOR PLAN FOR HEIGHT)
- 23. SOFFIT (REFER TO FLOOR PLAN FOR HEIGHT)
- 24. 2x SOLE PLATE
- 25. 2x FLOOR JOISTS (REFER TO FRAMING PLAN)
- 26. FLOOR SHEATHING (REFER TO FRAMING PLAN)
- 27. HANDRAIL (REFER TO DETAIL)
- 28. GUARDRAIL (REFER TO DETAIL)
- 29. (3) 2 X 12 STAIR STRINGERS
- 30. 5/8" MINIMUM PLYWOOD TREAD AND RISERS
- 31. 2x "NAILED SPACED" DECKING
- 32. G.I. FLASHING (ROOF TO WALL)
- 33. RIP 2x DECK JOISTS FOR 1/4" PER FOOT SLOPE
- 34. ELASTOMERIC DECKING OVER PLYWOOD SUB FLOOR
- 35. LOW WALL CAP (SEE DETAIL 5B ON SHEET AD-2)

**ROOF NOTES**

- 50. ROOF SLOPES: 9:5
- 51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS OR EQUAL APPROVED
- ROOF COVERING: MANUFACTURER: WESTERN METAL DECK
- STANDING SEAM ROOFING, DARK BRONZE
- SHALL BE CLASS 'A' FIRE RETARDANT UL790.
- INSTALLED DRY WEIGHT: 16 oz/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

**FLAT ROOF NOTES**

- CLASS "A" ELASTOMERIC DECK COATING.
- FOR FLAT ROOF
- MANUF: DEX-O-TEX
- MODEL: NEOBOND WATERPROOF MEMBRANE UNDER MORTAR BED AND STONE
- ICC-ES NO: ESR-1757
- SLOPE: 1/4" PER FT., MIN.
- EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT  
 ADDRESS: ONG, FRANCIS PHAT  
 4122 CLEVENWOOD STREET, IRVINE, CA 92604  
 Phone: (714) 296-3844  
 EMAIL: fong@francisong.com

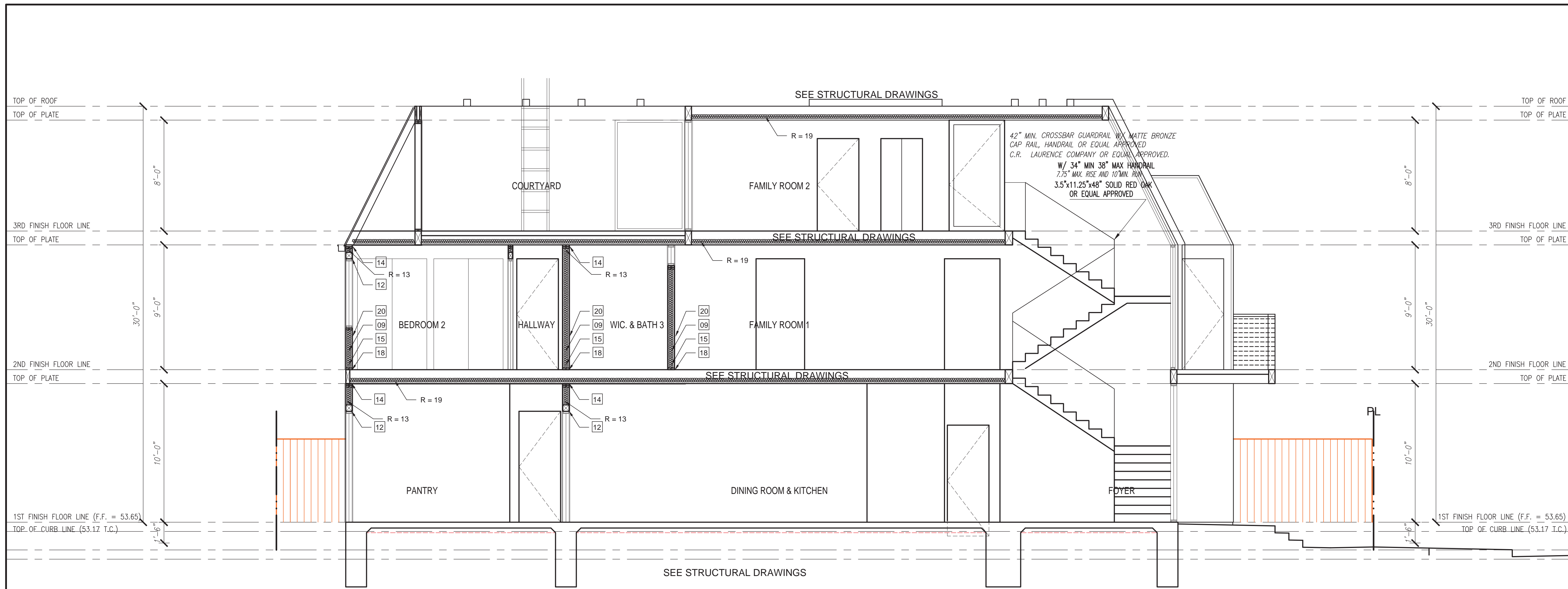
DESIGNED BY: O3 DESIGN & CONSTRUCTION INC.  
 ADDRESS: O3 DESIGN & CONSTRUCTION INC.  
 (CELL) 714-458-8374 • EMAIL: DOO@O3CPLB.COM  
 CONTACT PERSON: QUOC DO

TITLE: PROPOSED SECTION A-A & B-B  
 PROJECT: DONNA DOAN RESIDENCE  
 PROPOSED NEW 10,000 SQ. FT. ATTACHED ADU  
 4731 Lus Plaza Ave., Huntington Beach, CA 92648  
 APN: 168-302-34 (PARCEL 4)

REVISION BY:	DATE:

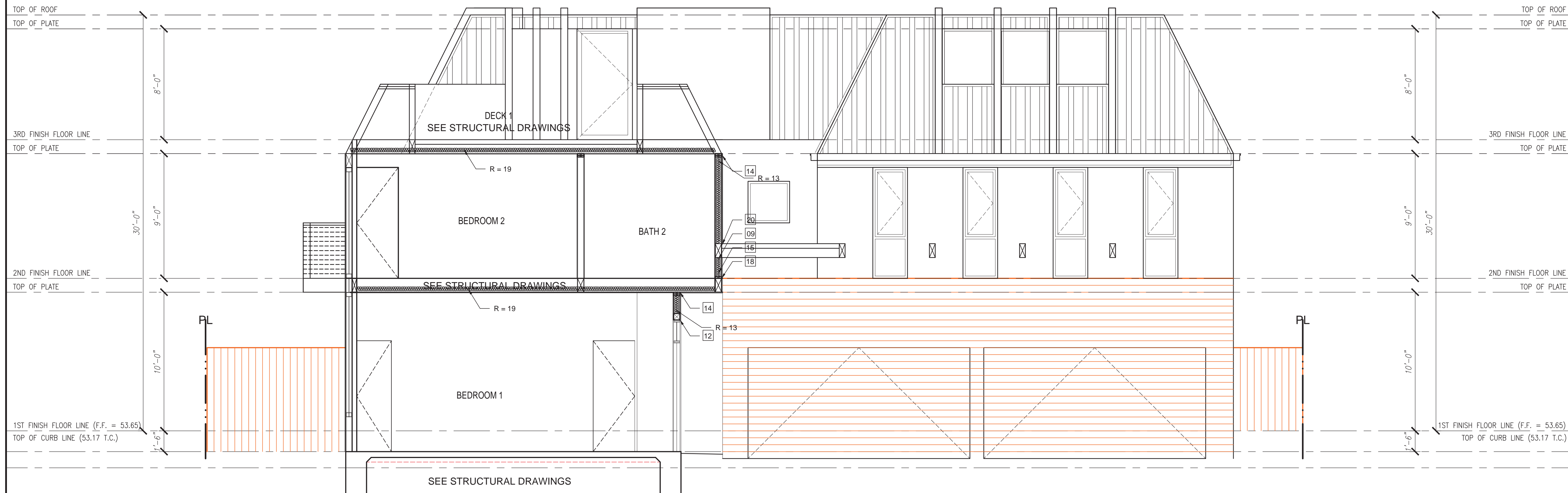
DATE: 06-25-2023  
 JOB NO.: 0321 184B  
 DRAWN BY: QD  
 SCALE: 1/4"=1'-0"

SHEET NO. 13  
**A-301**  
 OF 35



**PROPOSED SECTION D-D**

Scale: 1/4" = 1'-0"



**PROPOSED SECTION C-C**

Scale: 1/4" = 1'-0"

SECTION NOTES

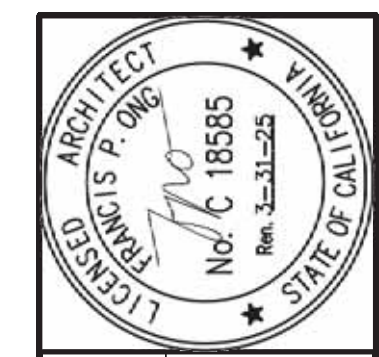
01. ROOF MATERIAL (REFER TO ROOF NOTES)
02. ROOF SHEATHING (REFER TO FRAMING PLAN)
03. ROOF RAFTER
04. 2x ROOF RAFTERS (REFER TO FRAMING PLAN)
05. FALSE 2x FRAMING AT 24" O.C.
06. EXTERIOR FINISH (REFER TO ELEVATION NOTES)
07. EXTERIOR SOFFIT (REFER TO ELEVATION NOTES)
08. 2x CEILING JOISTS (REFER TO FRAMING PLAN)
09. INSULATION (REFER TO ENERGY COMPLIANCE SHEET)
10. FLUSH BEAM (REFER TO FRAMING PLAN)
11. DROP BEAM (REFER TO FRAMING PLAN)
12. HEADER (REFER TO FRAMING PLAN)
13. 2 x 4 FRAMING
14. CONTINUOUS DOUBLE 2x TOP PLATE
15. 2x STUDS AT 16" O.C.
16. 2x BLOCK AT MID-HEIGHT
17. 2x CRIPPLE STUD AT 16" O.C.
18. 2x P.T.D.F. SILL PLATE
19. CONCRETE SLAB (REFER TO STRUCTURAL FOUNDATION PLAN)
20. 1/2" GYPSUM BOARD
21. 5/8" TYPE "X" GYPSUM BOARD
22. 5/8" GYPSUM BOARD AT MEMBERS SPACED 24" O.C. OR GREATER
23. SHELF (REFER TO FLOOR PLAN FOR HEIGHT)
24. SOFFIT (REFER TO FLOOR PLAN FOR HEIGHT)
25. 2x SOLE PLATE
26. 2x FLOOR JOISTS (REFER TO FRAMING PLAN)
27. FLOOR SHEATHING (REFER TO FRAMING PLAN)
28. HANDRAIL (REFER TO DETAIL)
29. GUARDRAIL (REFER TO DETAIL)
30. (3) 2 X 12 STAIR STRINGERS
31. 5/8" MINIMUM PLYWOOD TREAD AND RISERS
32. 2x "NAILED SPACED" DECKING
33. G.I. FLASHING (ROOF TO WALL)
34. RIP 2x DECK JOISTS FOR 1/4" PER FOOT SLOPE
35. ELASTOMERIC DECKING OVER PLYWOOD SUB FLOOR
36. LOW WALL CAP (SEE DETAIL 5B ON SHEET AD-2)

ROOF NOTES

50. ROOF SLOPES: 9:5
51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS OR EQUAL APPROVED  
ROOF COVERING: MANUFACTURER: WESTERN METAL DECK  
STANDING SEAM ROOFING, DARK BRONZE  
SHALL BE CLASS 'A' FIRE RETARDANT UL790.  
INSTALLED DRY WEIGHT: 16 oz/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

FLAT ROOF NOTES

CLASS "A" ELASTOMERIC DECK COATING.  
FOR FLAT ROOF  
MANUF: DEX-O-TEX  
MODEL: NEOBOND WATERPROOF MEMBRANE  
UNDER MORTAR BED AND STONE  
ICC-ES NO: ESR-1757  
SLOPE: 1/4" PER FT., MIN.  
EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT

ADDRESS: ONG, FRANCIS PHAT  
4122 CLEAVELAND STREET, IRVINE, CA 92604  
Phone: (714) 296-3844  
EMAIL: fong@francisong.com

DESIGNED BY: Q3 DESIGN & CONSTRUCTION INC.

ADDRESS: Q3 DESIGN & CONSTRUCTION INC.  
10000 S. HAYWARD AVENUE, SUITE 100  
DUBLIN, CA 94568  
PHONE: (925) 835-8888  
CONTACT PERSON: QUOC DO

TITLE: PROPOSED SECTION C-C & D-D

PROJECT: DONNA DOAN RESIDENCE  
PROPOSED NEW 1.5 STORY RESIDENTIAL  
4031 LISI PINE AVE., HUNTINGTON BEACH, CA 92646  
APN: 163-302-24 (PARCEL 4)

REVISION BY:	DATE:

DATE: 06-25-2023

JOB NO.: 0321 184B

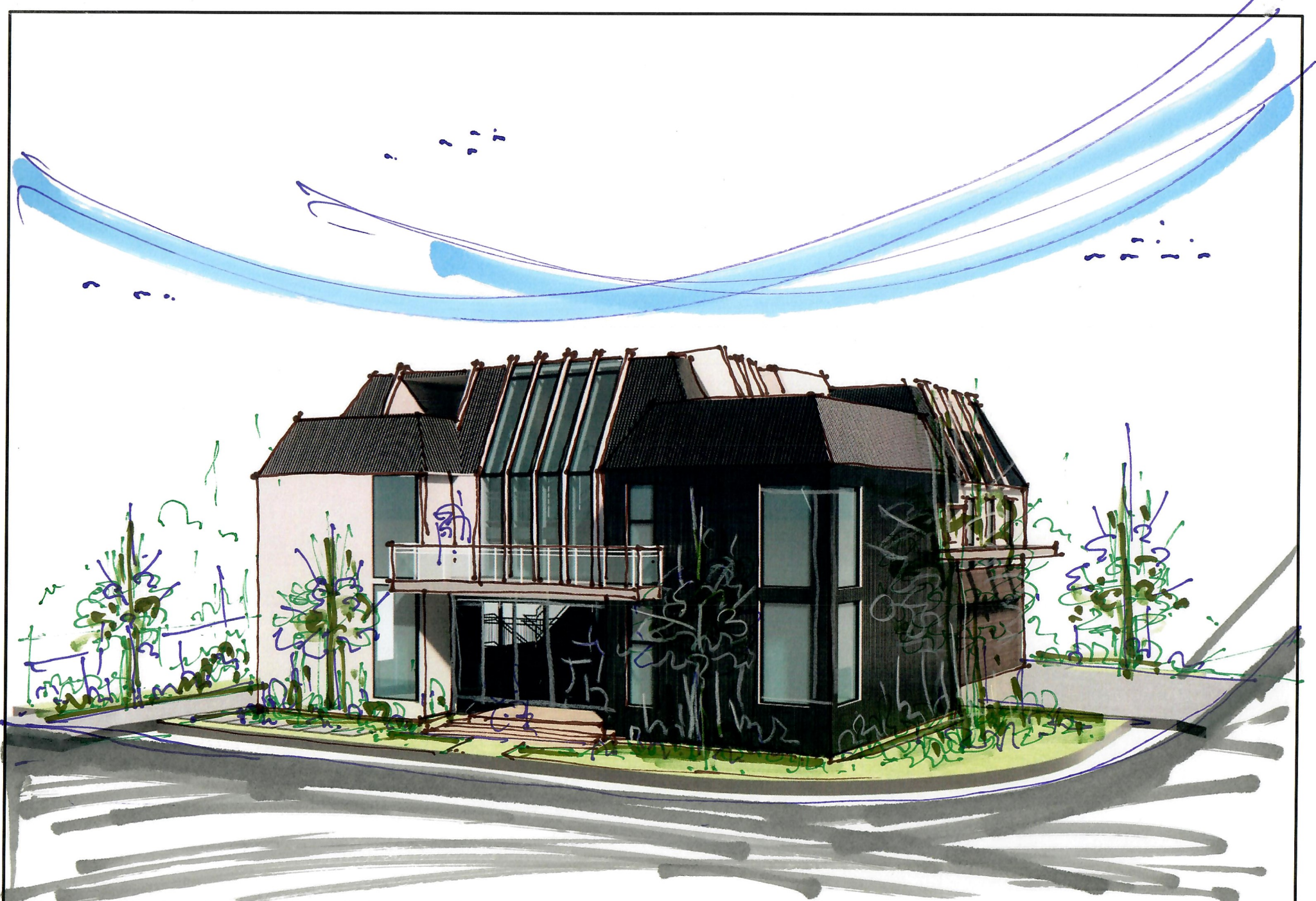
DRAWN BY: QD

SCALE: 1/4"=1'-0"

SHEET NO. 14

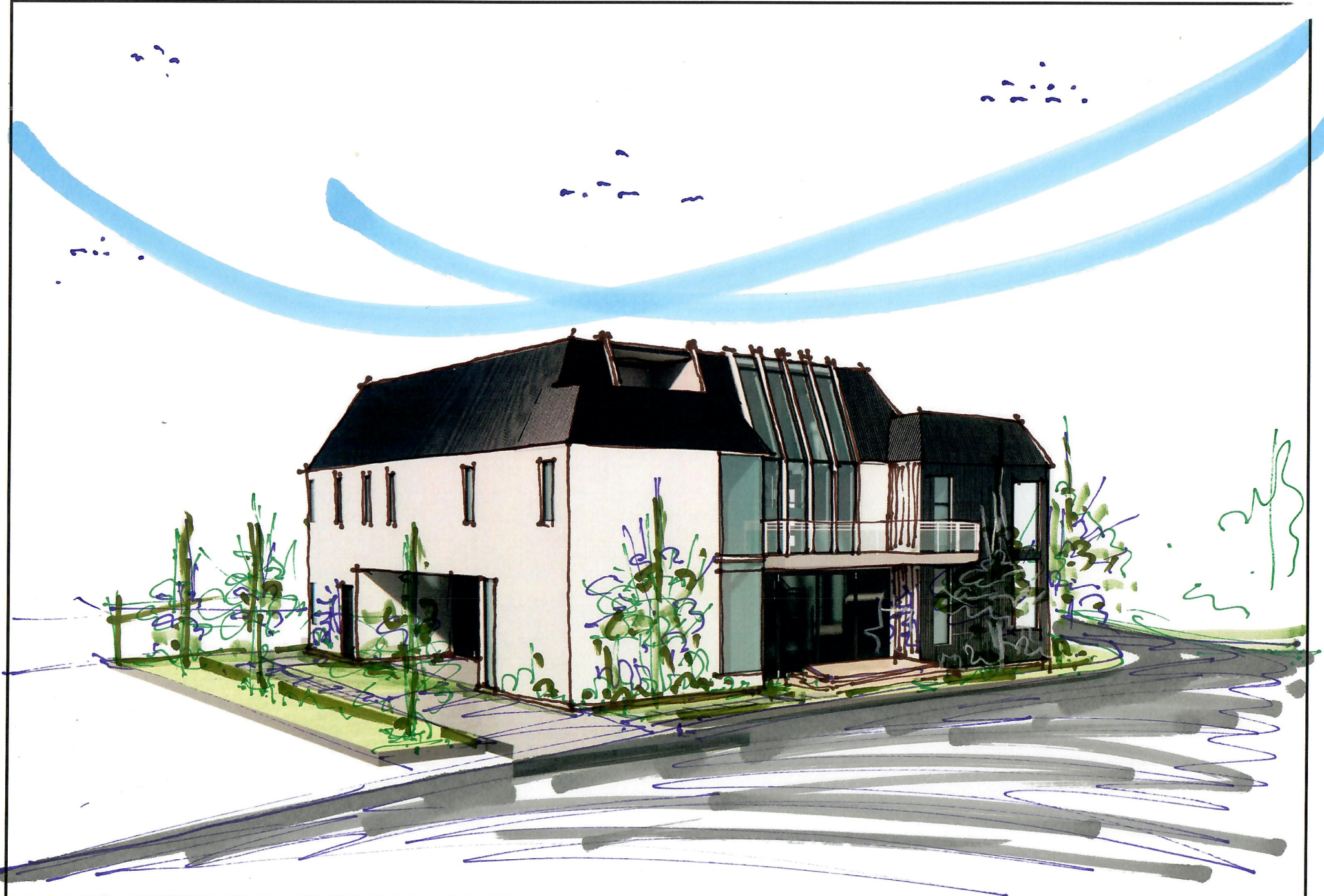
**A-302**

OF 35



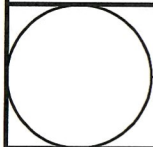
# PROPOSED CORNER LOS PATOS & LYNN VIEW

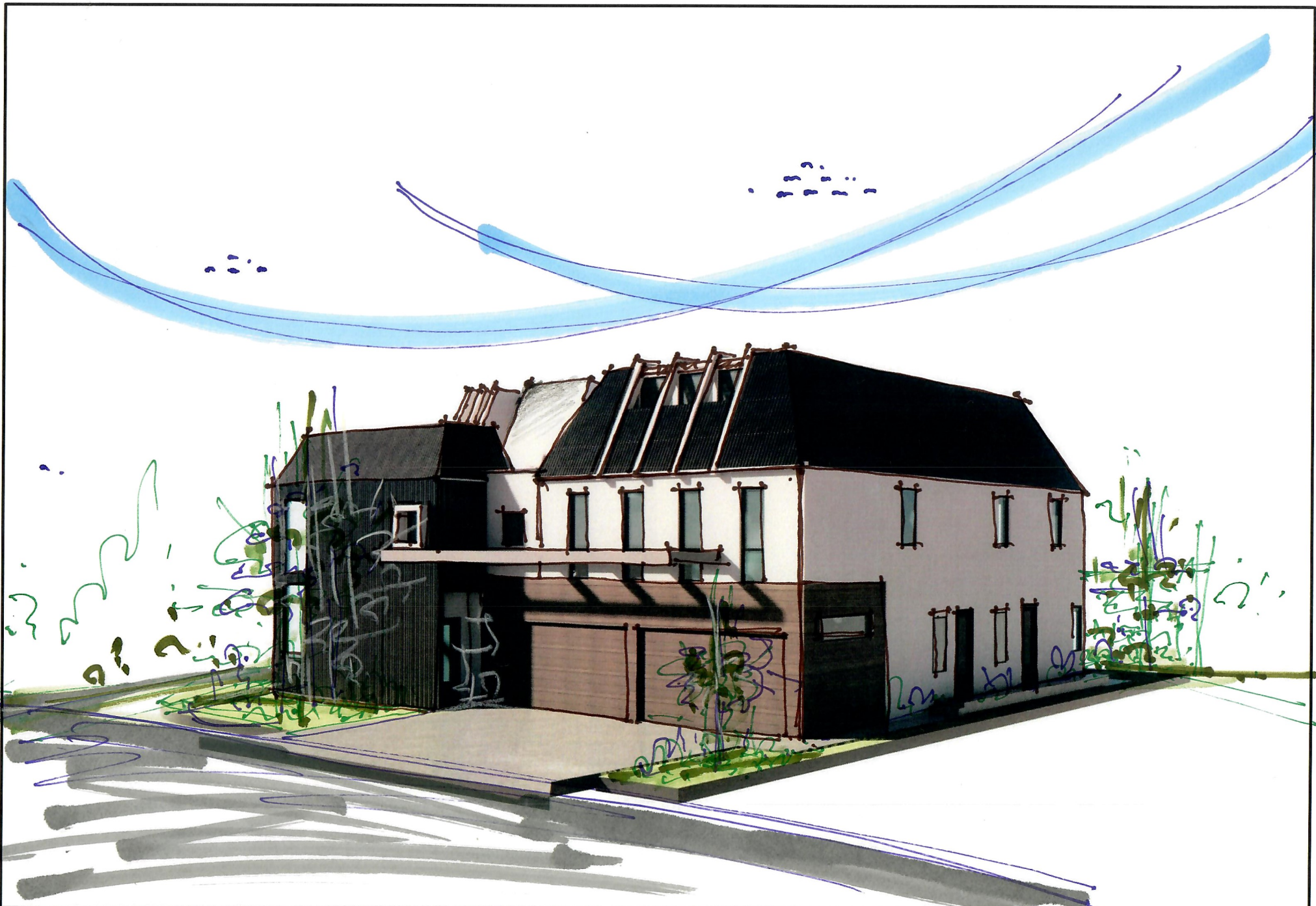
Scale:NTS



# PROPOSED LOS PATOS AVE VIEW

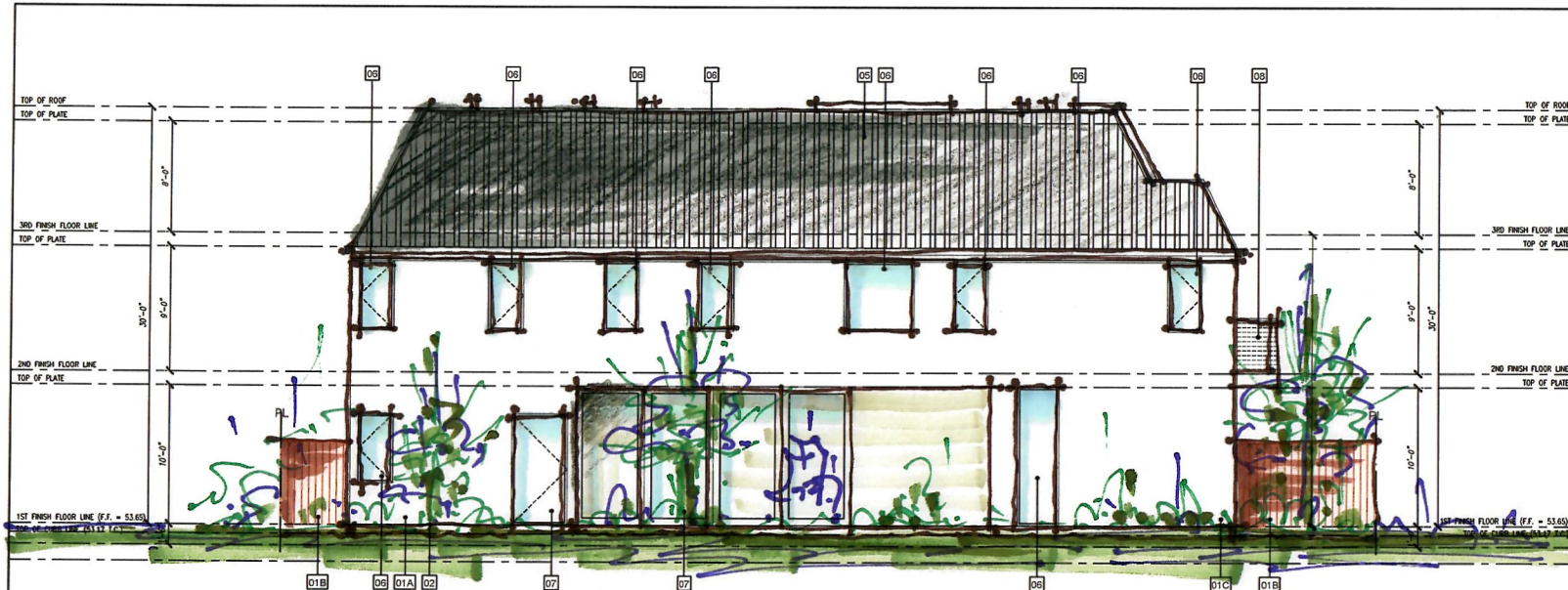
Scale:NTS





# PROPOSED LYNN LANE VIEW

Scale:NTS



PROPOSED (WEST) REAR ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED (LYNN LANE) (EAST) FRONT ELEVATION

Scale: 1/4" = 1'-0"

**ELEVATION NOTES**

D1A EXTERIOR SAND FINISH STUCCO BODY  
LAYER 1/2" SF STUCCO COLOR COAT  
40 DUNE GREY (40) OR EQUAL APPROVED.

D1B NewTechWood Siding (P PERUVIAN TEAK (TK))  
NewTechWood America, Inc. KC-ES AC174  
OR EQUAL APPROVED.

D1C NewTechWood Siding (SPINUS WILLOW (SW))  
NewTechWood America, Inc. KC-ES AC174  
OR EQUAL APPROVED.

D2 CONTINUOUS G.I. STUCCO SCREEN  
(REFER TO DETAIL) OR EQUAL APPROVED.

D3 EXTERIOR SAND FINISH STUCCO BODY  
LAYER 1/2" SF STUCCO COLOR COAT  
40 DUNE GREY (40) OR EQUAL APPROVED.

D4 Exterior facade cladding  
Stainless Steel BRONZE ANODIZED  
C.R. LAURENCE COMPANY OR EQUAL APPROVED.

D5 ROOF MATERIAL (REFER TO ROOF NOTES)

D6 ALUMINUM BRONZE ANODIZED WINDOW/SE PLAN FOR SIZE  
OR EQUAL APPROVED.

D7 ALUMINUM BRONZE ANODIZED DOOR (SEE PLAN FOR SIZE)  
OR EQUAL APPROVED.

D7A GARGOYLE DOWN TO BE INSTALLED NewTechWood Siding  
(P PERUVIAN TEAK (TK))  
NewTechWood America, Inc. KC-ES AC174  
OR EQUAL APPROVED.

D7B GARGOYLE DOWN TO BE INSTALLED NewTechWood Siding  
(P PERUVIAN TEAK (TK))  
NewTechWood America, Inc. KC-ES AC174  
OR EQUAL APPROVED.

D8 4" MIN. CROSSBAR GUARDRAIL  
W/ MATTE BRONZE CAP RAIL, HANDRAIL  
OR EQUAL APPROVED  
C.R. LAURENCE COMPANY OR EQUAL APPROVED.

D9 CONCRETE OR EQUAL APPROVED  
EXISTING ADJACENT PROPERTIES WINDOW

**ROOF NOTES**

S0 ROOF SLOPES: 8:5

S1 ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS  
OR EQUAL APPROVED.  
ROOF COVERING: MANUFACTURED:  
WESTERN METAL DECK  
STANDING SEAM ROOFING, DARK BRONZE  
SHALL BE CLASS A FIRE RETARDANT (UL790)  
INSTALLED DRY WEIGHT: 16.02/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

**FLAT ROOF NOTES**

CLASS "A" ELASTOMERIC DECK COATING  
FOR FLAT ROOF  
MANUF: BSA-C-15A  
MODE: MEMCO WATERPROOF MEMBRANE  
UNDER MORTAR BED AND GRADE  
12.2 AS 10: 158 1/2 L  
SLOPE: 1/4" PER FT. VA.  
EQUAL APPROVED



REVIEWED BY: ONG, FRANCIS PHAT

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TEL: 949-261-9777

DESIGNED BY: O3 DESIGN & CONSTRUCTION INC.

ADDRESS: O3 DESIGN & CONSTRUCTION INC.  
10011 HUNTERS CREEK DRIVE, SUITE 100  
DUBLIN, CA 94568  
TEL: 925-835-0000

TITLE: PROPOSED (EAST) FRONT ELEVATION  
PROPOSED (WEST) REAR ELEVATION

PROJECT: DONNA DOAN RESIDENCE  
PROPOSED REAR AND EAST ELEVATIONS  
4777 FERRIS AVE, DUBLIN, CA 94568

DATE: APR. 18, 2024 (PRICE 4)

REVISION BY	DATE
Δ	
Δ	
Δ	

DATE: 06-25-2023

JOB NO.: 0321 164B

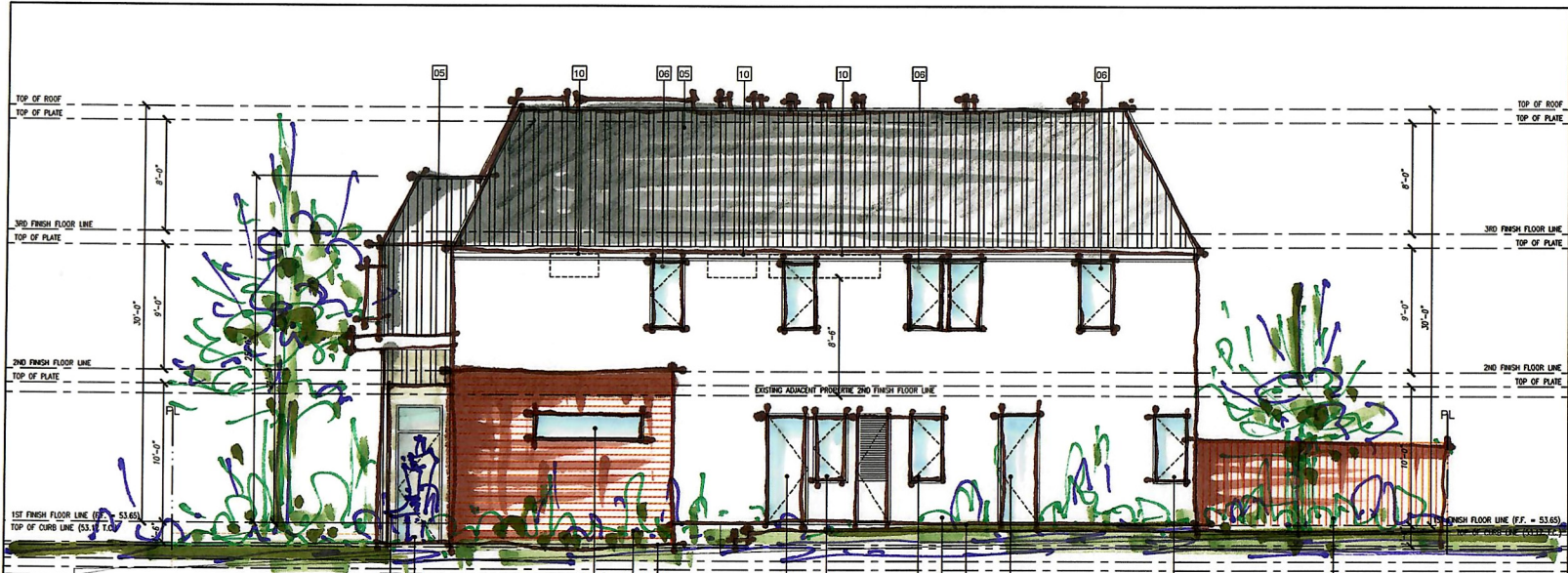
DRAWN BY: QD

SCALE: 1/4"=1'-0"

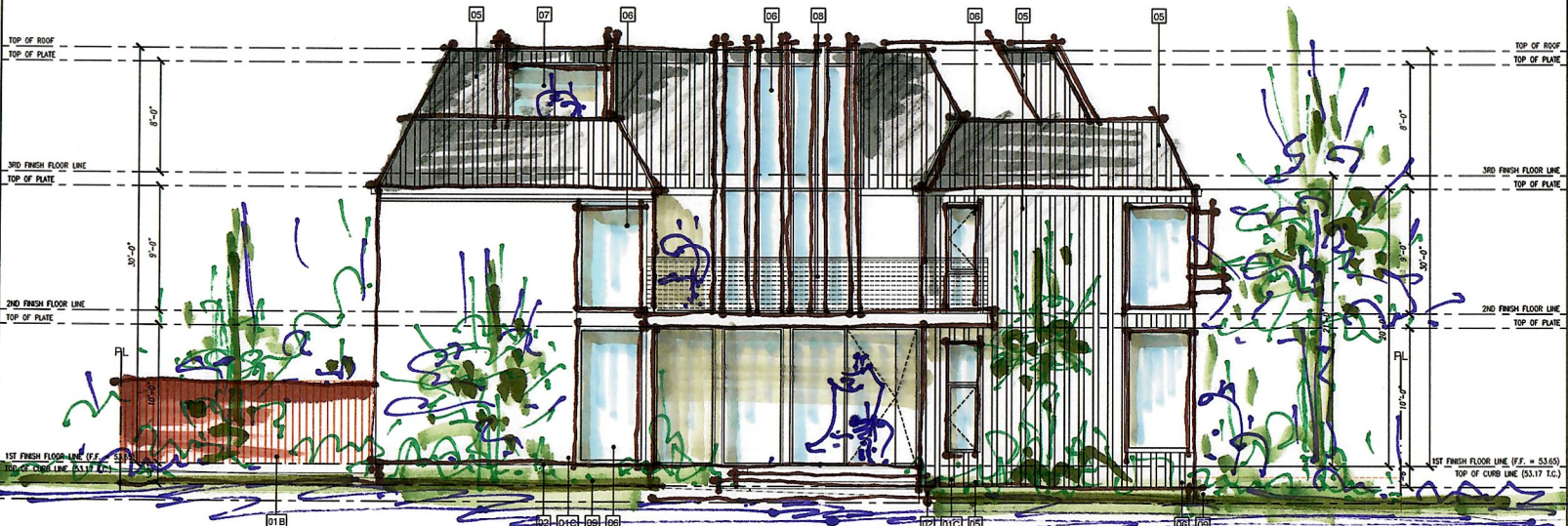
SHEET NO. 11

A-201

OF 35



PROPOSED (NORTH) RIGHT ELEVATION  
Scale: 1/4" = 1'-0"



PROPOSED (LOS PATOS AVE) (SOUTH) LEFT ELEVATION  
Scale: 1/4" = 1'-0"

- ### ELEVATION NOTES
- 01A. EXTERIOR SAND FINISH STUCCO BODY  
LAMBDA 20/20 SP STUCCO COLOR COAT  
40 DOVE GREY (40) OR EQUAL APPROVED.
  - 01B. NewTechWood Siding (1 PERMANENT TEAK (10))  
NewTechWood America, Inc. ICC-ES AC174  
OR EQUAL APPROVED.
  - 01C. NewTechWood Siding (SPRINK WALKER (10))  
NewTechWood America, Inc. ICC-ES AC174  
OR EQUAL APPROVED.
  - 02. CONTINUOUS G.I. STUCCO SKEED  
(REFER TO DETAILS) OR EQUAL APPROVED.
  - 03. EXTERIOR SAND FINISH STUCCO BODY  
LAMBDA 20/20 SP STUCCO COLOR COAT  
40 DOVE GREY (40) OR EQUAL APPROVED.
  - 04. Exterior facade cladding  
Stainless Steel BRONZE ANODIZED  
C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 05. ROOF MATERIAL (REFER TO ROOF NOTES)
  - 06. ALUMINUM BRONZE ANODIZED WOODSHAKE PLAN FOR SIZE  
OR EQUAL APPROVED.
  - 07A. ALUMINUM BRONZE ANODIZED DOOR (SEE PLAN FOR SIZE)  
OR EQUAL APPROVED.
  - 07B. GARAGE DOOR TO BE INSTALLED NewTechWood Siding  
(1 PERMANENT TEAK (10))  
NewTechWood America, Inc. ICC-ES AC174  
OR EQUAL APPROVED.
  - 07C. GARAGE DOOR TO BE INSTALLED NewTechWood Siding  
(1 PERMANENT TEAK (10))  
NewTechWood America, Inc. ICC-ES AC174  
OR EQUAL APPROVED.
  - 08. 42" MIN. CROSSBAR GUARDRAIL  
1/4" MATE BRONZE CAP RAIL, HANDRAIL  
OR EQUAL APPROVED  
C.R. LAURENCE COMPANY OR EQUAL APPROVED.
  - 09. CONCRETE OR EQUAL APPROVED
  - 10. EXISTING ADJACENT PROPERTIES WINDOW

- ### ROOF NOTES
- 50. ROOF SLOPES: 9:5
  - 51. ROOF MATERIAL: STANDING SEAM METAL ROOF PANELS  
OR EQUAL APPROVED  
ROOF COVERING MANUFACTURER:  
WESTERN METAL DECK  
STANDING SEAM ROOFING, DARK BRONZE  
SHALL BE CLASS "A" FINE REMOVAL ULS200  
INSTALLED DRY WEIGHT: 16 sq/ sq. ft. (0.0416 kg/ m<sup>2</sup>)

- ### FLAT ROOF NOTES
- CLASS "A" ELASTOMERIC DECK COATING.  
FOR FLAT ROOF  
MANUF: DSR-4-1E3  
MODEL: NEOCAD WATERPROOF MEMBRANE  
UNDR: MCFAR BED AND STONE  
ICC-ES N21-128-12.4  
SLOPE: 1/4" PER FT. MIN.  
EQUAL APPROVED

REVIEWED BY: ONG, FRANCIS PHAT  
ADDRESS: ONG, FRANCIS PHAT  
410 DEWING STREET, IRVINE, CALIFORNIA  
92614-3908  
PH: 949-261-9999

DESIGNED BY: O3 DESIGN & CONSTRUCTION, INC.  
ADDRESS: O3 DESIGN & CONSTRUCTION, INC.  
11400 S. DEWING STREET, IRVINE, CALIFORNIA 92618  
PH: 949-261-9999

TITLE: PROPOSED (NORTH) RIGHT ELEVATION  
PROPOSED (SOUTH) LEFT ELEVATION  
PROJECT: DONNA DONAT RESIDENCE  
PROFESSIONAL ARCHITECTURAL DRAWING  
ARCHITECT: DONNA DONAT ARCHITECTS  
10000 S. DEWING STREET, IRVINE, CALIFORNIA 92618  
PH: 949-261-9999

DATE	REVISION BY	DATE
	▲	
	▲	
	▲	

DATE: 06-25-2023  
JOB NO.: 0321-18-03  
DRAWN BY: OD  
SCALE: 1/4"=1'-0"