

PLANNING SUBMITTAL 10-18-2022
HILTON CABANA

21351 PACIFIC COAST HWY
HUNTINGTON BEACH, CA 92648

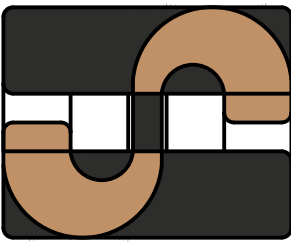


The Waterfront Beach Resort
A Hilton Hotel

CDP-2022-024
CUP-2022-033
DRB-2022-008

architecture and planning
www.shpartners.net

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marco@shpartners.net
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PARTNERS



EXISTING BUILDING



PROPOSED NEW TRELLIS AND FENCE/GATES



PROJECT NARRATIVE:

THE PURPOSE OF THIS PROJECT IS TO PROVIDE VISUAL UPGRADES AND AMENITIES TO EXISTING WALK-UP FOOD VENDOR BUILDING. PROPOSED UPGRADES TO INCLUDE A TRELLIS WITH HEATERS OVER NEW FENCED AREA FOR TABLES AND SEATING.

HOURS OF OPERATION:
THE PREMISES ARE INTENDED TO BE OPEN DAILY 8:00 AM - 10:00 PM MEMORIAL DAY WEEKEND THROUGH LABOR DAY WEEKEND, ALONG WITH FRIDAYS, SATURDAYS AND SUNDAYS IN THE OFF SEASON.

THE EXISTING BUILDING CONTAINS:
- FOOD SERVICE AREA: 1,356 SQUARE FEET
- BICYCLE RENTAL AREA: 1,162 SQUARE FEET
TOTAL EXISTING BUILDING AREA: 2,518 SQUARE FEET

NUMBER OF EMPLOYEES:
THERE WOULD BE 10 ASSOCIATES AT THE FOOD SERVICE AREA AND 6 ASSOCIATES AT THE BICYCLE RENTAL SPACE.

REASON OF THIS APPLICATION:

1. UPGRADES TO THE EXTERIOR OF THE EXISTING BUILDING.

2. THE APPLICANT WILL BE REQUESTING A NEW ABC LICENSE FOR THIS VENUE AT THE SAME TIME AS THE CUP/CDP CITY PROCESS. BEER, WINE, AND DISTILLED SPIRITS WOULD BE SERVED (LIQUOR LICENSE TYPE 47). THE AREA ONLY WITHIN THE 36" HIGH METAL FENCE IS INTENDED FOR ALCOHOL SERVICE AREA.

SURROUNDING USES:
THE BEACH PARKING LOT IS ON THE NORTH AND THE BEACH IS ON THE EAST WEST AND SOUTH OF THE SITE.

POPULATION SERVED:
THE POPULATION SERVED BY THIS PROJECT WOULD BE BEACH AND HOTEL VISITORS.

VICINITY MAP



PROJECT TEAM

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A2.1	FLOOR PLAN & EXTERIOR ELEVATIONS								
I	TOPOGRAPHIC SURVEY								

TITLE SHEET

REMARKS
DATE

PA / PM: DS / MH
DRAWN BY: MH
JOB NO.: 22-06

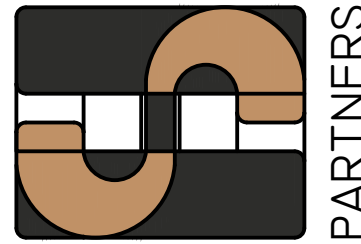
SHEET
G.1

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PHOTOS OF EXISTING AREA



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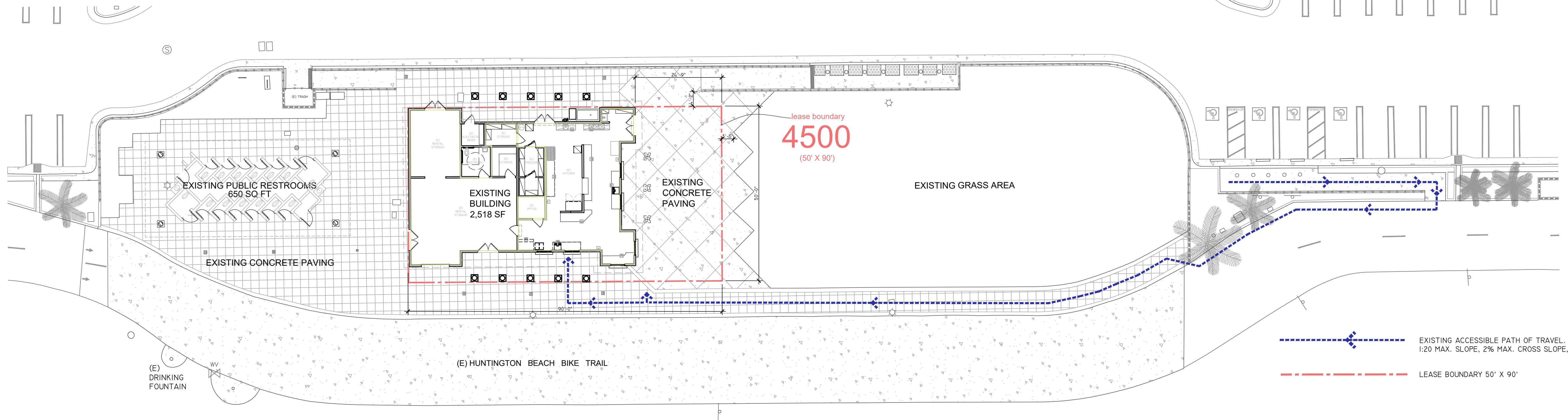
EXISTING PHOTOS	
DATE	REMARKS

PA / PM:	DS / MH
DRAWN BY:	MH
JOB NO.:	22-06

SHEET
G.2

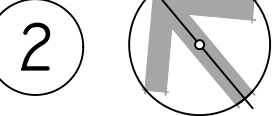
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24"x36"



SITE PLAN - LEASE BOUNDARY

SCALE: 1/16"=1'-0"



LEGEND:

- 30" HIGH - 30" x 36" TABLE , TYP.
COLOR: TBD
- 30" HIGH - 36" x 36" TABLE , TYP.
COLOR: TBD
- 30" HIGH - 30" x 72" TABLE , TYP.
COLOR: TBD
- 42" HIGH - 30" x 144" TABLE , TYP.
COLOR: TBD
- ACCESSIBLE TABLE
- 42" HIGH - 24" x 108" STANDING SURF BOARD TABLE, TYP.
COLOR: TBD
- 40" HIGH - 30-5/8" DIA. CITYVIEW TRASH RECEPTACLE
MODEL: CV2-1001
- 30" HIGH "SITESCAPE STADIUM DRINK RAIL"
6'-0" LENGTH WITH 20" WIDE COUNTER TOP, TYP.
COLOR: TBD
- 42" HIGH "SITESCAPE STADIUM DRINK RAIL"
6'-0" LENGTH WITH 20" WIDE COUNTER TOP, TYP.
COLOR: TBD
- BRONZE COLOR ALUMINUM SMART PATIO PLUS (20'-0" X 40'-0")
TYP. WITH BROMIC PLATINUM 500 SERIES EXTERIOR HEATER, OR
EQUAL. (ALTERNATE: BRONZE COLOR POWDER COATED
GALVANIZED IRON COLUMNS AND BEAMS)

PLUMBING FIXTURE CALCULATIONS

CPC 2019 - TABLE 422.1

USE (NET) - A2	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
KITCHEN	1,356	200	7
STORAGE (MERCANTILE)	1,162	300	4
PATIO	950	15	64
PATIO STANDING	150	5	30
TOTAL OCCUPANTS			105

PLUMBING REQUIRED: 105 OCCUPANTS (53 MEN AND 53 WOMEN)
MEN : 2 WATER CLOSET, 1 URINAL, 1 LAVATORY
WOMEN : 3 WATER CLOSET, 1 LAVATORY
1 DRINKING FOUNTAIN HI AND LOW
1 SERVICE/MOP SINK

PLUMBING PROVIDED: 14 WATER CLOSETS EXISTING PUBLIC RESTROOMS
2 ACCESSIBLE WATER CLOSETS
12 WATER CLOSETS
1 DRINKING FOUNTAIN HI AND LOW
1 SERVICE/MOP SINK

EXIT CALCULATIONS

CBC 2019 - TABLE 1004.5

BUILDING USE (NET)	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
KITCHEN	1,356	200	7
STORAGE (MERCANTILE)	1,162	300	4
TOTAL OCCUPANTS			11

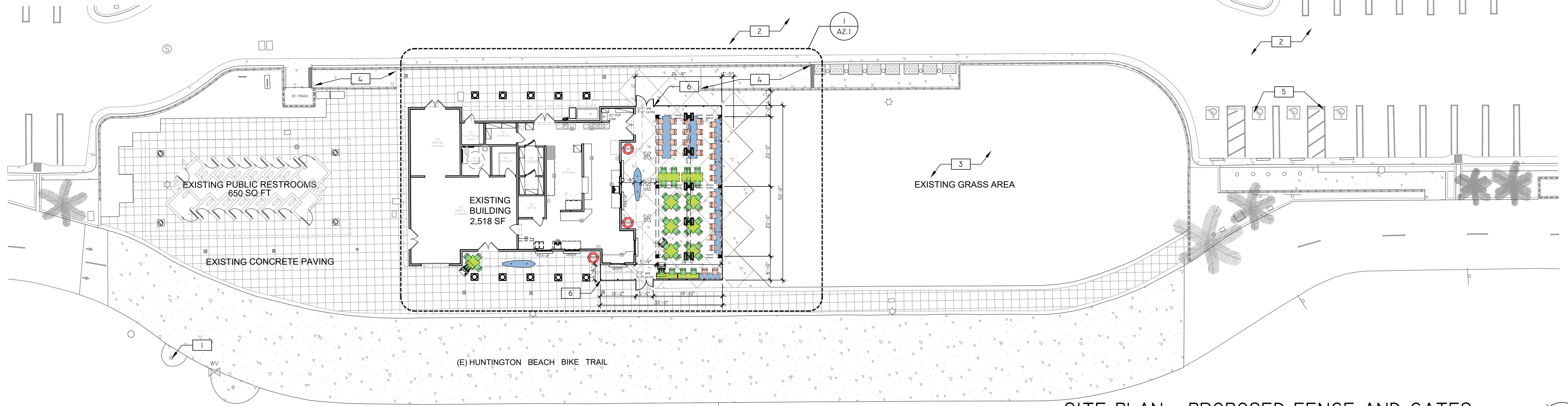
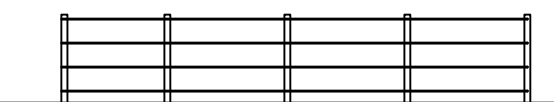
ONE EXIT IS REQUIRED, FIVE (5) EXITS ARE PROVIDED

PATIO USE (NET)	SQUARE FEET	OCC. LOAD FACTOR	OCCUPANTS
PATIO TABLE/CHAIR	950	15	64
PATIO STANDING	150	5	30
TOTAL OCCUPANTS			94

TWO EXITS ARE REQUIRED, TWO (2) EXITS ARE PROVIDED

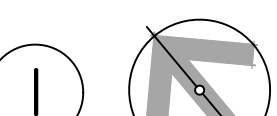
NOTES

- EXISTING HI-LOW DRINKING FOUNTAIN
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING LANDSCAPE AND IRRIGATION AREA TO REMAIN.
- EXISTING SERVICE RAMP TO REMAIN.
- EXISTING ACCESSIBLE PARKING SPACES AND PARKING STRIPING TO REMAIN
- PROPOSED 36" HIGH - STAINLESS STEEL CABLE RAILING WITH 3"x3" POSTS AT 5'-0" O.C. (ALTERNATE: BRONZE COLOR POWDER COATED GALVANIZED IRON POSTS)



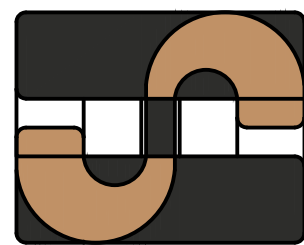
SITE PLAN - PROPOSED FENCE AND GATES

SCALE: 1/16"=1'-0"



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SITE PLANS

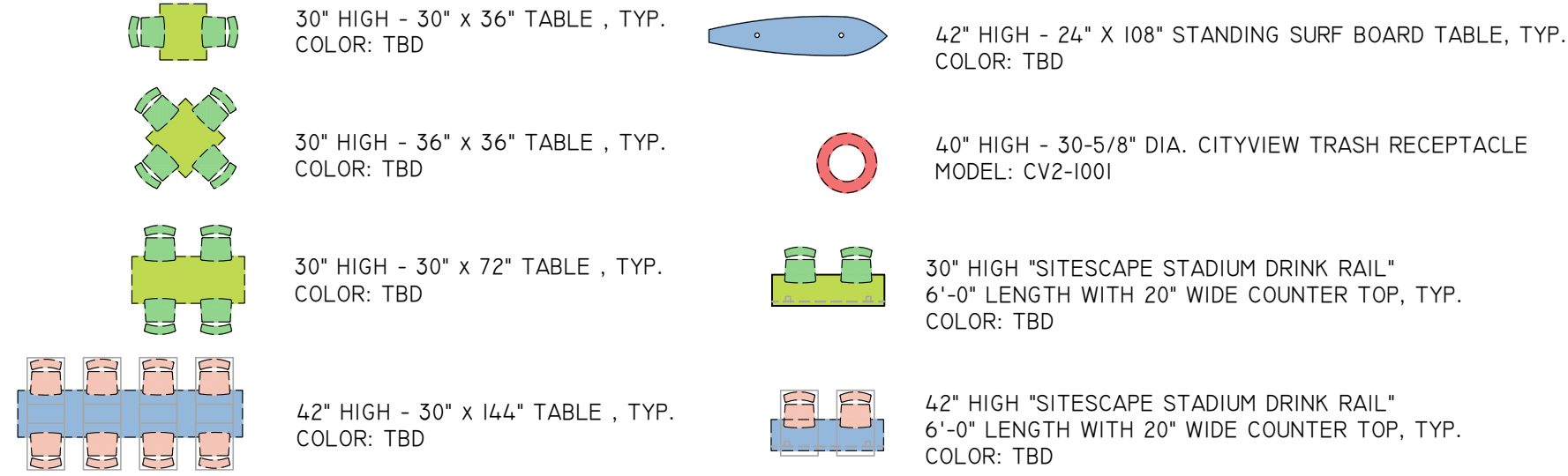
REMARKS

PA / PM: DS / MH
DRAWN BY: FTM
JOB NO.: 22-06

SHEET

A1.1

LEGEND:



BRONZE COLOR ALUMINUM SMART PATIO PLUS (20'-0" X 40'-0") TYP.
WITH BROMIC PLATINUM 500 SERIES EXTERIOR HEATER, OR EQUAL.
(ALTERNATE: BRONZE COLOR POWDER COATED GALVANIZED IRON
COLUMNS AND BEAMS)

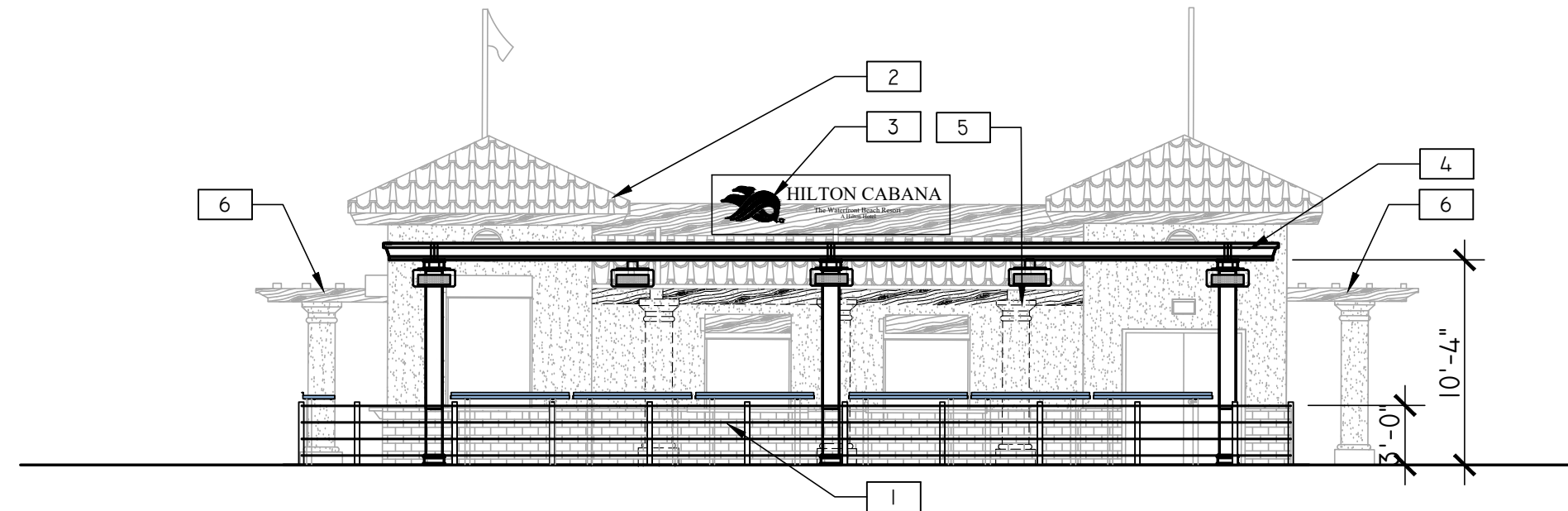
ACCESSIBLE TABLE

INDICATES EXISTING ACCESSIBLE EXIT

INDICATES PATIO ACCESSIBLE EXIT

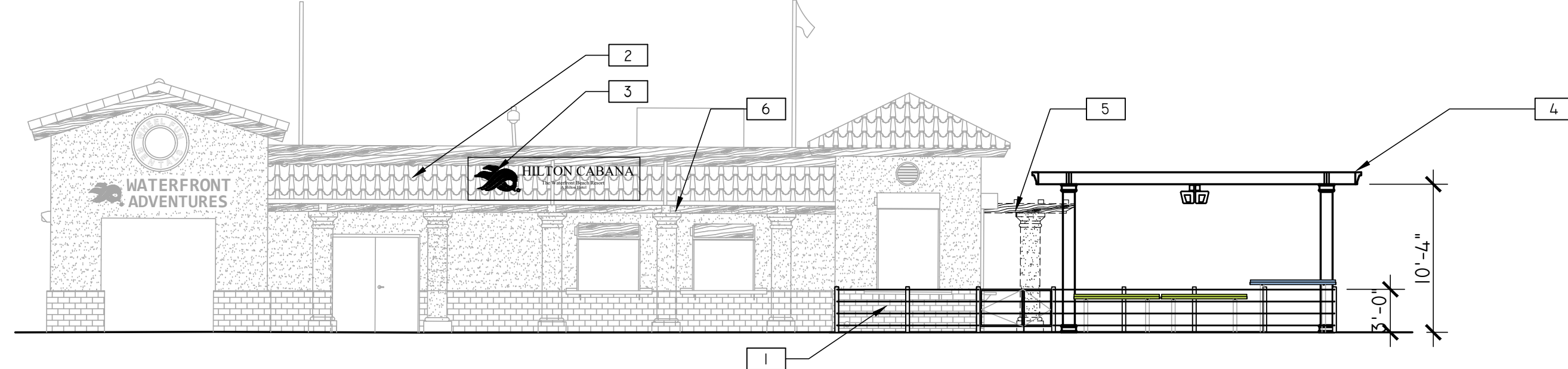
NOTES

1. PROPOSED 36" HIGH - STAINLESS STEEL CABLE RAILING WITH 3"x3" POSTS AT 5'-0" O.C. (ALTERNATE: BRONZE COLOR POWDER COATED GALVANIZED IRON POSTS)
2. EXISTING BUILDING TO REMAIN
3. PROPOSED NEW SIGNAGE
4. BRONZE COLOR ALUMINUM SMART PATIO PLUS (20'-0" X 40'-0") TYP. WITH BROMIC PLATINUM 500 SERIES EXTERIOR HEATER, OR EQUAL. (ALTERNATE: BRONZE COLOR POWDER COATED GALVANIZED IRON COLUMNS AND BEAMS)
5. EXISTING COLUMNS AND WOOD TRELLIS TO REMOVED, TYP.
6. EXISTING COLUMNS AND WOOD TRELLIS TO REMAIN.



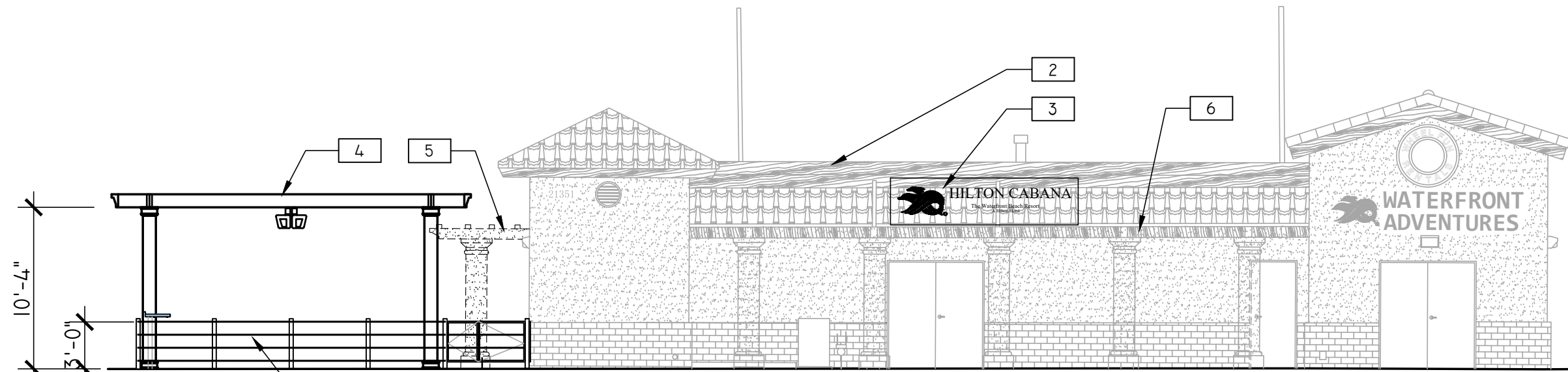
EAST ELEVATION

SCALE: 1/8"=1'-0"



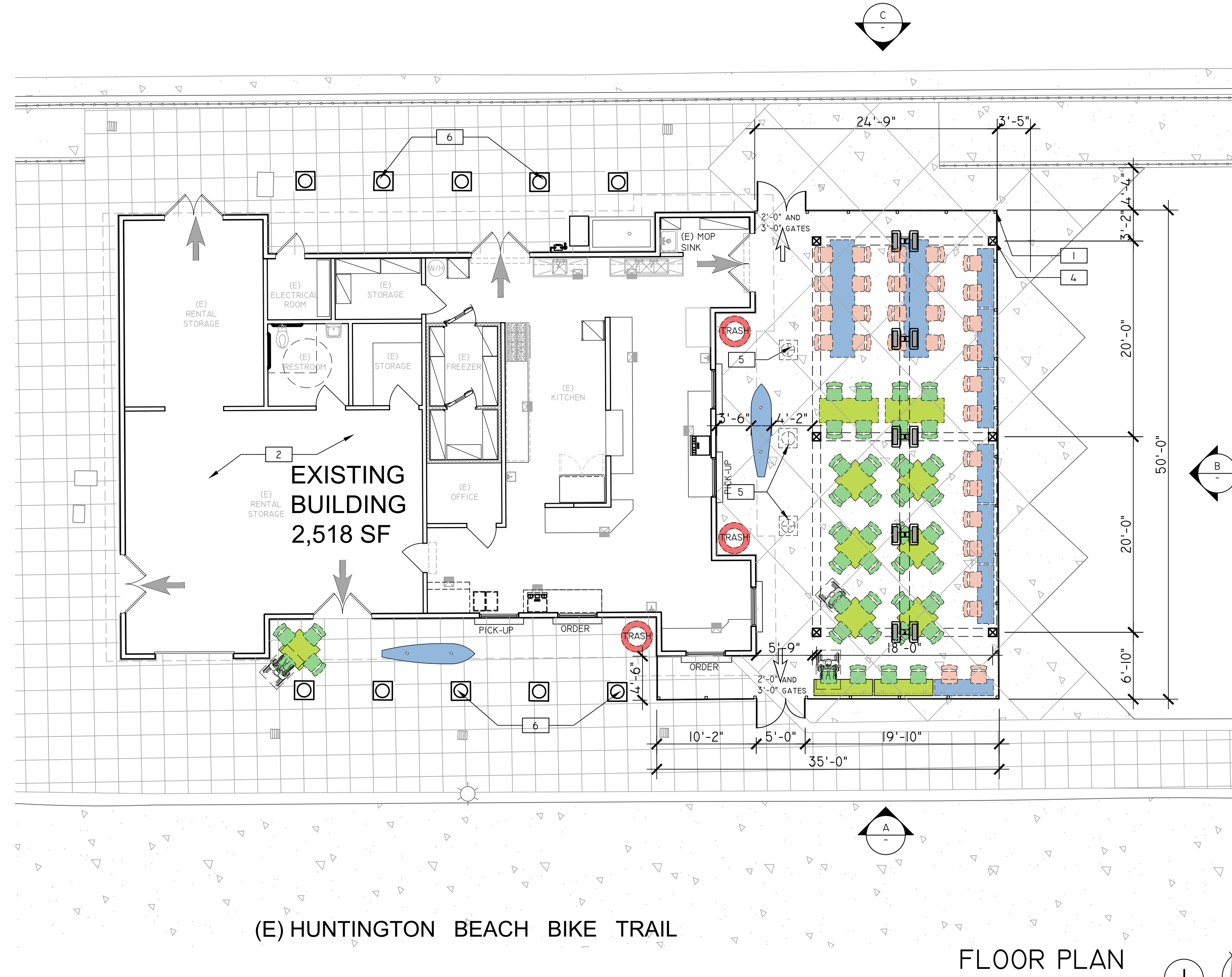
SOUTH ELEVATION - FROM BEACH

SCALE: 1/8"=1'-0"



NORTH ELEVATION - FROM PARKING LOT

SCALE: 1/8"=1'-0"



FLOOR PLAN

SCALE: 1/8"=1'-0"



STADIUM BY SITESCAPE OR EQUAL



SYSTEMS FURNITURE
CHAIRS OR EQUAL



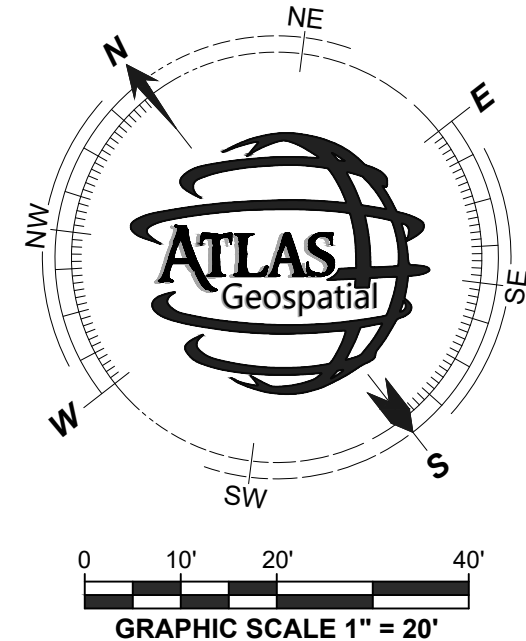
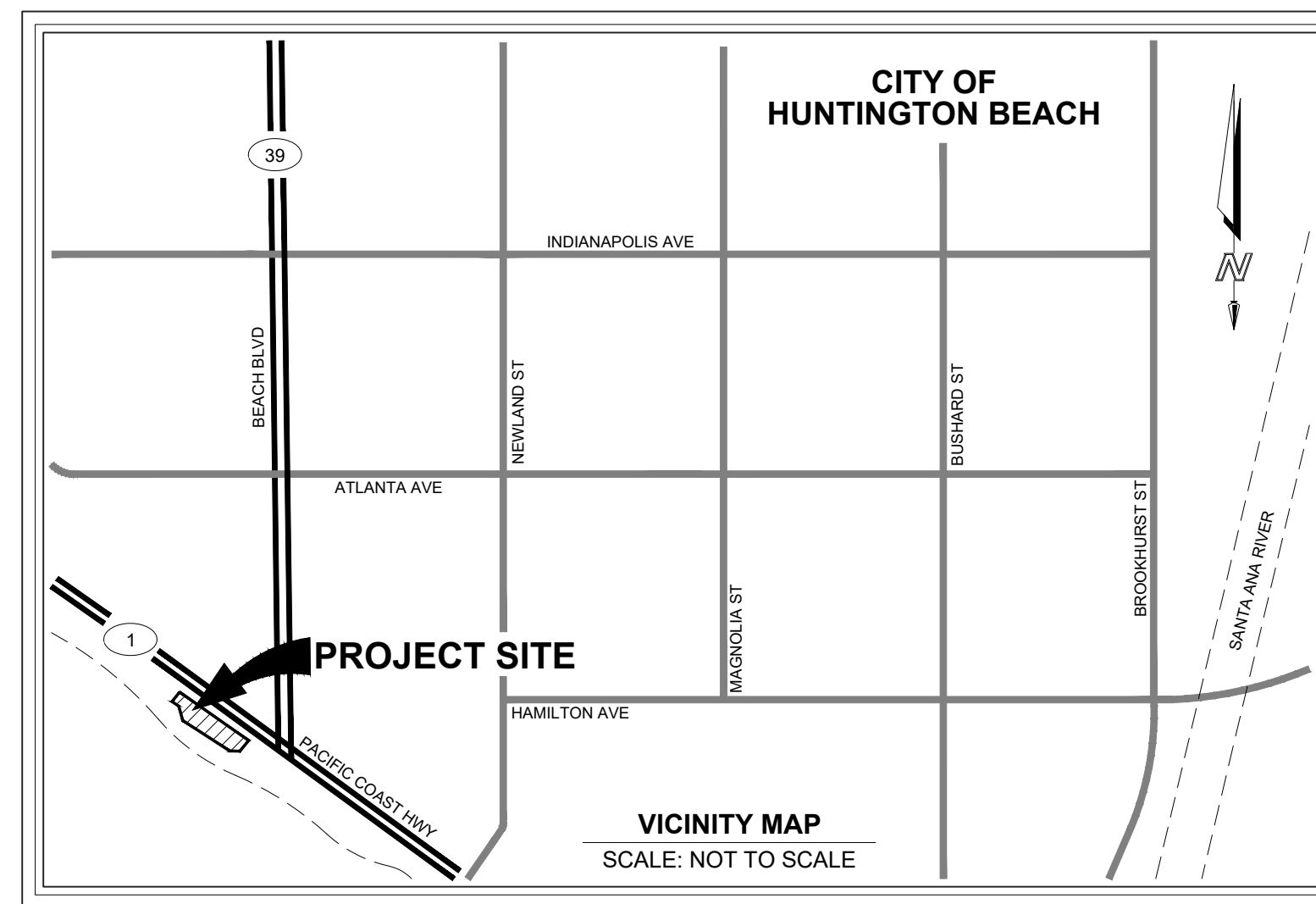
30" HIGH BACKLESS
METAL BARSTOOL
WITH SQUARE SEAT
OR EQUAL



SMARTPATIO PLUS, COLOR: BRONZE OR EQUAL

TOPOGRAPHIC SURVEY

21100 PACIFIC COAST HIGHWAY, CITY OF
HUNTINGTON BEACH, COUNTY OF ORANGE,
STATE OF CALIFORNIA



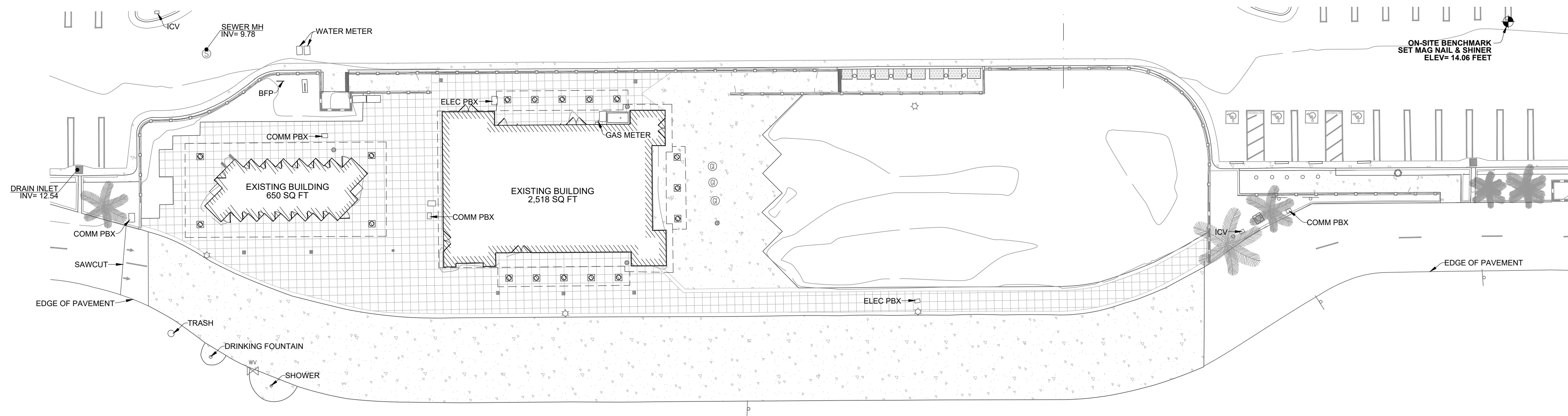
SURVEYOR'S NOTES

- THIS SURVEY WAS PERFORMED ON APRIL 6, 2022.
- 2 BASIS OF BEARINGS BEING THE CENTERLINE OF BEACH BOULEVARD, PER CLIENT
PROVIDED LEASE DOCUMENT, A BEARING OF S00°17'48"W.
- 3 ELEVATION SHOWN HEREON ARE BASED PER QUANTO COUNTY PUBLIC WORKS,
DESIGNATION H8-19677, BEING A FOUND 3 3/4" ODS ALUMINUM BENCHMARK DISK
4 H8-19677 BEING 1967.7 FEET ABOVE SEA LEVEL, AND A 3 FT 5.5 FT CONCRETE
CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE
INTERSECTION OF BEACH BOULEVARD AND ATLANTA AVENUE, 250 FT EASTERLY OF
5 THE CENTERLINE OF BEACH BOULEVARD AND 46.5 FT SOUTHERLY OF THE
CENTERLINE OF ATLANTA AVENUE. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEVATION: 5.46 FEET (NAVD83).
- ON-SITE BENCHMARK** IS LOCATED SOUTHEAST OF SURVEYED AREA.
ELEVATION: 14.06 FEET.
- 7 PROPERTY BOUNDARIES SHOWN HEREON (IF ANY) ARE BASED ON MISCELLANEOUS
RECORD DOCUMENTS, AND ARE SHOWN FOR EXHIBIT PURPOSES ONLY. THIS SURVEY
8 MAKES NO EFFORT TO RESOLVE ANY MATERIAL DISCREPANCIES WHICH MAY OR MAY
NOT HAVE BEEN PREVIOUSLY DISCOVERED. THE RESULTS OF THIS WORK IS NOT A
PROPERTY BOUNDARY SURVEY, AND IS NOT FOR USE IN LAND TRANSFER.

LEGEND

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING

- | | |
|-----------------|----------------------------------|
| | PROPERTY BOUNDARY LINE |
| | PROPOSED LEASE AREA |
| | CENTERLINE |
| | RIGHT OF WAY LINE |
| | INDETERMINATE BOUNDARY LINE |
| | EASEMENT LINE |
| | EXISTING CONTOURS |
| | OVERHEAD ELECTRICAL LINE |
| | EXISTING CHAIN LINK FENCE |
| | EXISTING WROUGHT IRON FENCE |
| | BLOCK WALL |
| | INDICATES RESTRICTED ACCESS |
| | ZONING BOUNDARY |
| | ASSESSORS PARCEL NUMBER |
| APN | |
| R.O.W. | |
| | RIGHT OF WAY |
| | PROPERTY LINE |
| | CENTER LINE |
| | FACE OF CURB |
| | WALL |
| | FENCE |
| | INVERT |
| | IRRIGATION CONTROL VALVE |
| | PULL BOX |
| | FIRE DEPARTMENT CONNECTION |
| | POST INDICATOR VAIL |
| | BACKFLOW PREVENTOR |
| | ELECTRIC |
| | COMMUNICATION |
| X=HBL | BUILDING HEIGHT LOCATION |
| | FIRE HYDRANT |
| | LIGHT WITH CONCRETE BASE |
| | WATER VALVE |
| | GAS VALVE |
| | STORM DRAIN MANHOLE |
| | SANITARY SEWER MANHOLE |
| | SEWER CLEANOUT |
| | GREASE INTERCEPTOR MANHOLE |
| | COMMUNICATION MANHOLE |
| | SPOT ELEVATIONS |
| X S19.06 | |
| | STREET SIGN |
| | UTILITY POLE |
| | GUY WIRE |
| | EXISTING BOLLARD |
| | TRAFFIC SIGNAL/LIGHTPOLE |
| | FOUND MONUMENT AS DESCRIBED |
| | SET 5/8" I.P. W/ PLASTIC CAP TAG |
| | |
| | EXISTING BUILDING WITH OVERHANG |



TOPOGRAPHIC SURVEY

21100 PACIFIC COAST HIGHWAY, CITY OF
HUNTINGTON BEACH, COUNTY OF ORANGE,
STATE OF CALIFORNIA

PROJECT NUMBER: 22-045	
DWG NAME: 22-045 HILTON HUNTINGTON BEACH	
PREPARED BY: AG/AM	DATE: 05.10.2022
CHECKED BY: JAA/AM	DATE: 05.10.2022

REVISION SHEET
0 1 OF 1

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